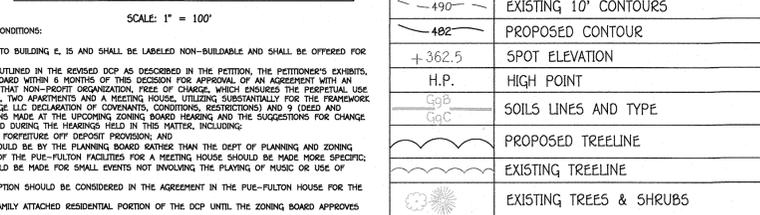
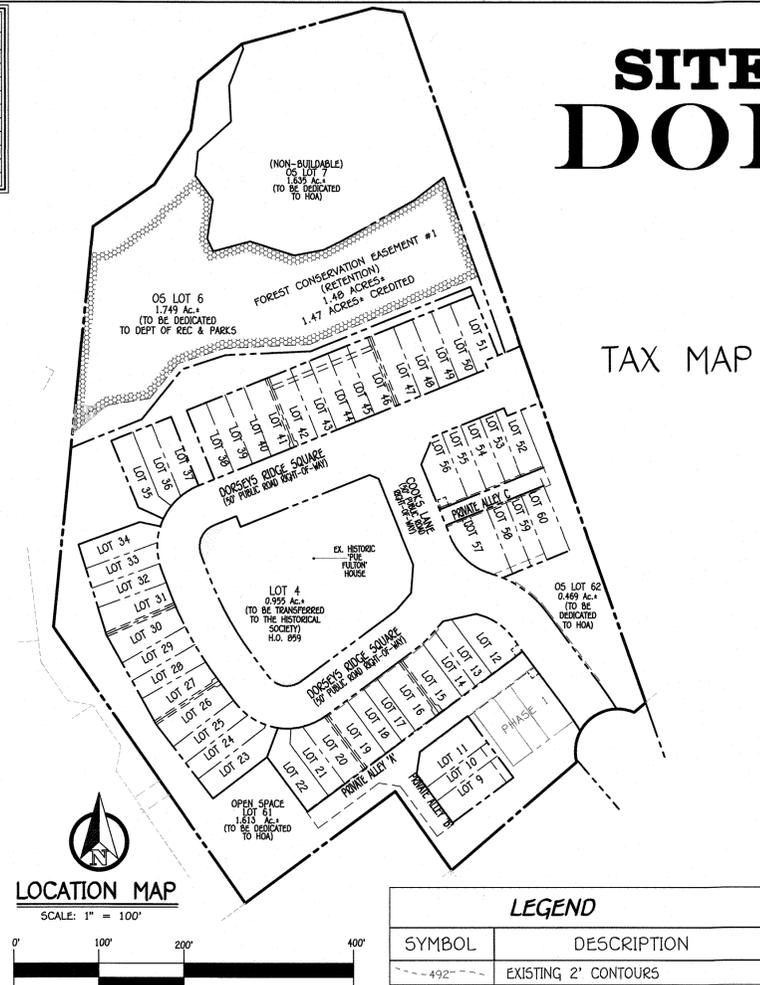


SHEET INDEX	
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
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STORMWATER MANAGEMENT PRACTICES & STREET ADDRESS CHART			
LOT NO.	STREET ADDRESS	DRY WELLS (Y/N)	BIO-RETENTION (Y/N)
9	3970 COOKS LANE	Y	(PROVIDED BY F-19-047)
10	3972 COOKS LANE	Y	(PROVIDED BY F-19-047)
11	3974 COOKS LANE	Y	(PROVIDED BY F-19-047)
12	4001 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
13	4003 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
14	4005 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
15	4007 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
16	4011 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
17	4013 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
18	4015 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
19	4017 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
20	4021 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
21	4023 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
22	4025 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
23	4029 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
24	4031 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
25	4033 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
26	4035 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
27	4039 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
28	4041 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
29	4043 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
30	4045 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
31	4049 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
32	4051 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
33	4053 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
34	4055 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
35	4059 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
36	4061 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
37	4063 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
38	4065 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
39	4069 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
40	4071 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
41	4073 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
42	4077 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
43	4079 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
44	4081 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
45	4083 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
46	4089 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
47	4091 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
48	4093 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
49	4095 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
50	4099 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
51	4097 DORSEY'S RIDGE SQUARE	Y	(PROVIDED BY F-19-047)
52	3923 COOKS LANE	Y	(PROVIDED BY F-19-047)
53	3921 COOKS LANE	Y	(PROVIDED BY F-19-047)
54	3919 COOKS LANE	Y	(PROVIDED BY F-19-047)
55	3917 COOKS LANE	Y	(PROVIDED BY F-19-047)
56	3915 COOKS LANE	Y	(PROVIDED BY F-19-047)
57	3913 COOKS LANE	Y	(PROVIDED BY F-19-047)
58	3923 COOKS LANE	Y	(PROVIDED BY F-19-047)
59	3927 COOKS LANE	Y	(PROVIDED BY F-19-047)
60	3925 COOKS LANE	Y	(PROVIDED BY F-19-047)

**GENERAL NOTES CONTINUED**

- THE ZONING BOARD APPROVED CASE 281106H ON OCTOBER 13, 2016 SUBJECT TO THE FOLLOWING CONDITIONS:
  - THAT ALL OPEN SPACE IDENTIFIED ON THE DCP, INCLUDING THE OPEN SPACE AREA ADJACENT TO BUILDING E, IS AND SHALL BE LABELED NON-BUILDABLE AND BE OFFERED FOR DEDICATION TO HOWARD COUNTY AS PERMANENT OPEN SPACE.
  - THAT THE ENHANCEMENT OF THE PUE-FULTON HOUSE AND ITS SURROUNDING ONE ACRE AS OUTLINED IN THE REVISED DCP AS DESCRIBED IN THE PETITION, THE PETITIONER'S EXHIBITS, AND IN THIS DECISION, MAY BECOME FINAL WHEN THE PETITIONER RETURNS TO THE ZONING BOARD SIX MONTHS FROM THE DATE OF APPROVAL OF AN AGREEMENT WITH AN APPROPRIATE NON-PROFIT ORGANIZATION TO TRANSFER OR LEASE TO THAT NON-PROFIT ORGANIZATION, FREE OF CHARGE, WHICHEVER OCCURS FIRST, THE PRESIDENTIAL USE AND MAINTENANCE OF THE PUE-FULTON PROPERTY FOR THE USE OF AN HISTORIC RESIDENCE, TWO APARTMENTS AND A MEETING HOUSE, UTILIZING SUBSTANTIALLY FOR THE FRAMEWORK OF THAT AGREEMENT THE PETITIONER'S EXHIBITS B (DORSEY'S RIDGE LLC DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS) AND 9 (DEED AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS) BUT ALSO INCLUDING SUGGESTIONS MADE AT THE UPCOMING ZONING BOARD HEARING AND THE SUGGESTIONS FOR CHANGE (THE REFERENCED WILL NOT BE APPLICABLE EXHIBIT B) MADE BY MR. BOBOTE, AND THE BOARD DURING THE HEARINGS HELD IN THIS MATTER, INCLUDING:
    - IN ARTICLE I, PARAGRAPH 3, AN "ACT OF GOD" EXCEPTION SHOULD BE MADE TO THE PRESERVATION OF DEPOSIT PROVISION; AND
    - IN ARTICLE I, PARAGRAPH 6, ANY PROPOSED TRANSFER OF OWNERSHIP APPROVAL SHOULD BE BY THE PLANNING BOARD RATHER THAN THE DEPT OF PLANNING AND ZONING;
    - IN ARTICLE II, SECTION 1, POLICY STATEMENT, THE NATURE, RESTRICTIONS AND THE USE OF THE PUE-FULTON FACILITIES FOR A MEETING HOUSE SHOULD BE MADE MORE SPECIFIC;
    - IN ARTICLE V, PARAGRAPH 3, AN EXCEPTION TO THE INSURANCE REQUIREMENTS SHOULD BE MADE FOR SMALL EVENTS NOT INVOLVING THE PLANNING OF PUBLIC OR USE OF ALCOHOL, BY WAY OF EXAMPLE.
    - AN OPTION FOR CONVEYANCE OF THE PUE-FULTON HOUSE TO THE COUNTY AS AN OPTION SHOULD BE CONSIDERED IN THE PUE-FULTON HOUSE FOR THE ABOVE-DESCRIBED USES IN PERPETUITY.
  - THE PETITIONER SHALL NOT BE PERMITTED TO PROCEED WITH DEVELOPMENT OF THE SINGLE FAMILY ATTACHED RESIDENTIAL PORTION OF THE DCP UNTIL THE ZONING BOARD APPROVES THE AGREEMENT REFERRED TO ABOVE IN CONCLUSION OF LAW 2.B.
- ON APRIL 3, 2017, ZONING BOARD APPROVED THE PROPOSED AGREEMENT WITH AN APPROPRIATE NON-PROFIT ORGANIZATION, HOWARD COUNTY HISTORICAL SOCIETY, INC., TO TRANSFER THE PUE-FULTON HOUSE AND LOT ALONG WITH RECORDATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS IN THE LAND RECORDS OF HOWARD COUNTY, MD.
- ALTERNATIVE COMPLIANCE APPLICATION, WP-17-004, WAS APPROVED ON APRIL 3, 2017 FOR ALTERNATIVE COMPLIANCE TO SECTION 16.1205(A)(7) TO ALLOW THE REMOVAL OF TWO (2) SPECIEN TREES 307 IN FEET MINIMUM DISTANCE TO ALLOW A 50-FOOT MINIMUM DISTANCE BETWEEN AN EASEMENT FOR HIGH TENSION POWER LINES IS SUBJECT TO THE FOLLOWING CONDITIONS: REMOVAL OF THE TWO (2) SPECIEN TREES WILL REQUIRE REPLACEMENT MITIGATION AT A RATIO OF TWO (2) LARGER CALIBER TREES AT LEAST THREE (3) INCHES DBH FOR EACH SPECIEN TREE REMOVED. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION.
- THE DORSEY'S RIDGE SUBMISSION WILL UTILIZE SEWER TRASH COLLECTION.
- NO STRUCTURES WILL BE PERMITTED WITHIN 10 FEET OF ANY PUBLIC WATER AND/OR SEWER EASEMENT.
- THIS PLAN IS SUBJECT TO WP-18-008 WHICH ON SEPTEMBER 21, 2018 THE PLANNING DIRECTOR APPROVED A REQUEST FOR ALTERNATIVE COMPLIANCE OF SECTION 16.146, REQUIRING A PRELIMINARY PLAN IF A SKETCH PLAN IS APPROVED OR APPROVED WITH MODIFICATIONS FOR A PROPERTY. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
  - SUBMISSION OF A FINAL PLAN APPLICATION, INCLUDING A FINAL SUBDIVISION PLAT AND ROAD CONSTRUCTION PLAN DRAWINGS WITHIN 6 MONTHS FROM THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL LETTER (50 TO 100 UNITS). A FINAL PLAN MUST BE SUBMITTED FOR PHASE 1 TO SHOW THE 5 LOTS, WITH ALL OTHER LOTS SHOWN AS NON-BUILDABLE BULK PARCELS) AND OPEN SPACE LOTS.
  - ALL PROPOSED INFRASTRUCTURE AND IMPROVEMENTS FOR THE ENTIRE PROJECT (57 UNITS) MUST BE SHOWN AND BONDED THROUGH A DEVELOPERS AGREEMENT WITH THE INITIAL SUBDIVISION PLAT AND SUPPLEMENTAL PLANS, EVEN IF THAT PLAN WILL ONLY USE THE 5 ALLOCATION CREDITS ASSOCIATED WITH THE PROPERTY.
  - ANY NECESSARY UNIT-SIZE CHANGES MUST BE MADE ON THE SUBSEQUENT SUBDIVISION PLAT, SUPPLEMENTAL PLANS AND SITE DEVELOPMENT PLANS.
  - A PHASING SCHEDULE MUST BE PROVIDED ON THE FINAL PLAN FOR THIS PROJECT IF NEEDED. PLEASE CONTACT JEFF BROWN AT (410) 313-4700 FOR GUIDANCE REGARDING THE WORKING WITH THE PHASING SCHEDULE. THE PLAN SHOULD INDICATE THAT 5 UNITS WILL BE PHASE 1, AND THE REMAINING UNITS WILL BE PHASE 2. PHASE 2 WILL REMAIN IN THE APFO HOLD BIN UNTIL THE SCHOOLS TEST IS PASSED IN THE RELATED PLANNING AREA.
  - AN EASEMENT FROM BGE MUST BE OBTAINED PRIOR TO RECORDATION OF THE FINAL PLAT FOR THIS PROJECT. A NOTE MUST BE PROVIDED ON THE PLAT INDICATING DATE OF RECORDATION OF THE EASEMENT AND LBER/FOLD NUMBERS ASSOCIATED WITH THE EASEMENT.
  - A SEPARATE FINAL PLAN / SDP IS REQUIRED FOR EACH OF THE FOLLOWING: COOKS LANE ROAD IMPROVEMENTS; OPEN SPACE; AND PEDESTRIAN NETWORK ENHANCEMENTS.



LEGEND	
SYMBOL	DESCRIPTION
---492---	EXISTING 2' CONTOURS
---490---	EXISTING 10' CONTOURS
---482---	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
G.S.P.	SOILS LINES AND TYPE
G.C.	SOILS LINES AND TYPE
(Tree symbol)	PROPOSED TREELINE
(Tree symbol)	EXISTING TREELINE
(Tree symbol)	EXISTING TREES & SHRUBS
(Tree symbol)	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
(Tree symbol)	LANDSCAPING PER SDP-21-036
(Tree symbol)	LANDSCAPING PER SDP-20-039
(Tree symbol)	PROPOSED LANDSCAPING PER THIS SDP
T.B.R.	TO BE REMOVED OR RELOCATED
(Fence symbol)	EXISTING FENCE LINE
(Paving symbol)	EXISTING PAVING
(Sidewalk symbol)	SIDEWALKS PROPOSED PER THIS SDP
(Sidewalk symbol)	EXISTING SIDEWALKS PER F-19-047
(Water/Sewer symbol)	PUBLIC WATER AND SEWER EASEMENT
(Drainage symbol)	DRAINAGE AND UTILITY EASEMENT
LOD	LIMITS OF DISTURBANCE

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
Co	Codorus and Hatboro silt loams, 0 to 3 percent slopes	C	0.37
LoB	Legore silt loam, 3 to 8 percent slopes, stony	C	0.29
LoB	Legore-Montalto-Urban land complex, 0 to 8 percent slopes	B	0.32
LoC	Legore-Montalto-Urban land complex, 0 to 15 percent slopes	B	0.32
LrF	Legore-Relay gravelly loams, 25 to 65 percent slopes, very stony	B/C	0.32
MAC	Manor loam, 0 to 15 percent slopes	B	0.24

RESIDENTIAL PARKING TABULATION (LOTS 9-60)			
TOTAL RESIDENTIAL PARKING REQUIRED: 130 PARKING SPACES			
OWNHOUSES: 2 SPACES PER UNIT			
52 UNITS X 2 SPACES PER UNIT = 104 PARKING SPACES			
OVERFLOW PARKING: 0.5 PER UNIT			
52 UNITS X 0.5 = 26 PARKING SPACES			
TOTAL RESIDENTIAL PARKING PROVIDED: 208 PARKING SPACES			
52 GARAGE LOAD UNITS (LOTS 1-8) AND 52 FROM A PRIVATE ALLEYS THAT EXCEEDS 200 FEET IN LENGTH. THE PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS:			
a. THE ALLEYS MUST MEET THE DESIGN STANDARDS AS REQUIRED BY THE OP'S DESIGN MANUAL.			
b. DECKS (MAXIMUM DEPTH THEREOF) SHALL BE SUCH THAT THE APPROVED DECK PLAN (PERMITTED) ALLOWS THAT ANY STRUCTURAL POST, FOOTING AND/OR OVERHANG LISTS SHALL BE A MINIMUM OF FIVE (5) FEET FROM ANY WATER WALK, OR SEWER CLEANOUT, OR WATER/SEWER APERTURE (SEE NOTES).			
c. THE CONSTRUCTION OF ACCESS STEPS FROM TO EXTERIOR GRADE, FOR DECKS SHALL NOT BE PERMITTED.			
d. THE DECK CONDITIONS AND SIZE LIMITATIONS APPROVED HEREIN SHALL BE NOTED AND DOCUMENTED ON THE WATER AND SEWER CONTRACT DRAWINGS, SITE DEVELOPMENT PLANS AND ELSEWHERE AS MAY BE DIRECTED BY DEVELOPMENT ENGINEERING.			

# SITE DEVELOPMENT PLAN

## DORSEY'S RIDGE

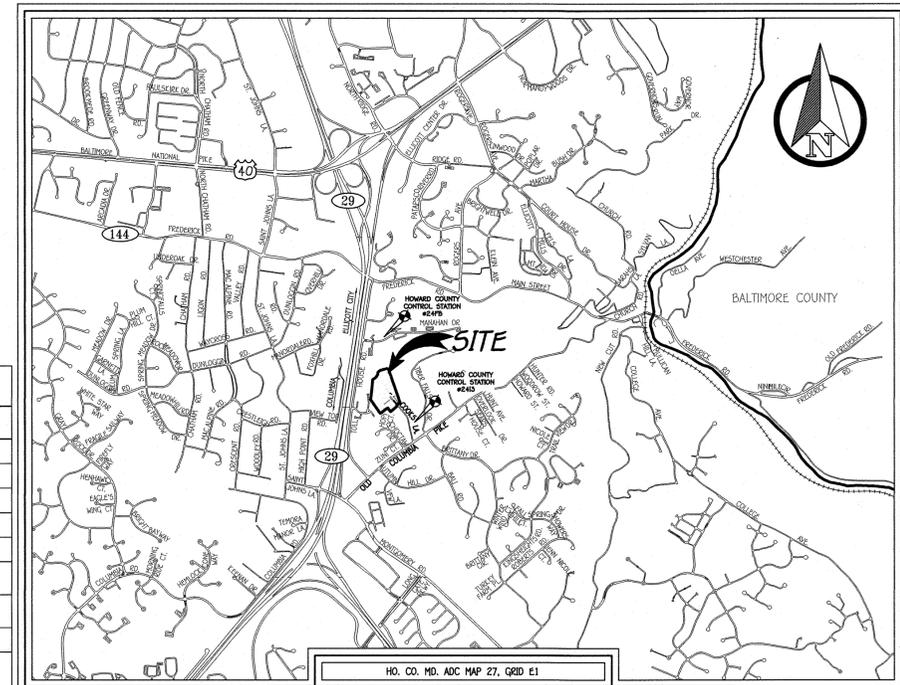
### PHASE 2

#### LOTS 9 THRU 60

#### TAX MAP No. 24 GRID No. 18 PARCEL NO. 260

#### SECOND ELECTION DISTRICT

#### HOWARD COUNTY, MARYLAND



VICINITY MAP					
SCALE: 1" = 2,000'					
STREET SIGN CHART					
STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE	COMMENTS
COOKS LANE	3+44	20' RT	STOP	R1-1	MOUNTED ON LIGHT POLE
PRIVATE ALLEY 'C'	0+56	21' LT	STOP	R1-1	MOUNTED ON LIGHT POLE

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
Co	Codorus and Hatboro silt loams, 0 to 3 percent slopes	C	0.37
LoB	Legore silt loam, 3 to 8 percent slopes, stony	C	0.29
LoB	Legore-Montalto-Urban land complex, 0 to 8 percent slopes	B	0.32
LoC	Legore-Montalto-Urban land complex, 0 to 15 percent slopes	B	0.32
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c. THE CONSTRUCTION OF ACCESS STEPS FROM TO EXTERIOR GRADE, FOR DECKS SHALL NOT BE PERMITTED.			
d. THE DECK CONDITIONS AND SIZE LIMITATIONS APPROVED HEREIN SHALL BE NOTED AND DOCUMENTED ON THE WATER AND SEWER CONTRACT DRAWINGS, SITE DEVELOPMENT PLANS AND ELSEWHERE AS MAY BE DIRECTED BY DEVELOPMENT ENGINEERING.			

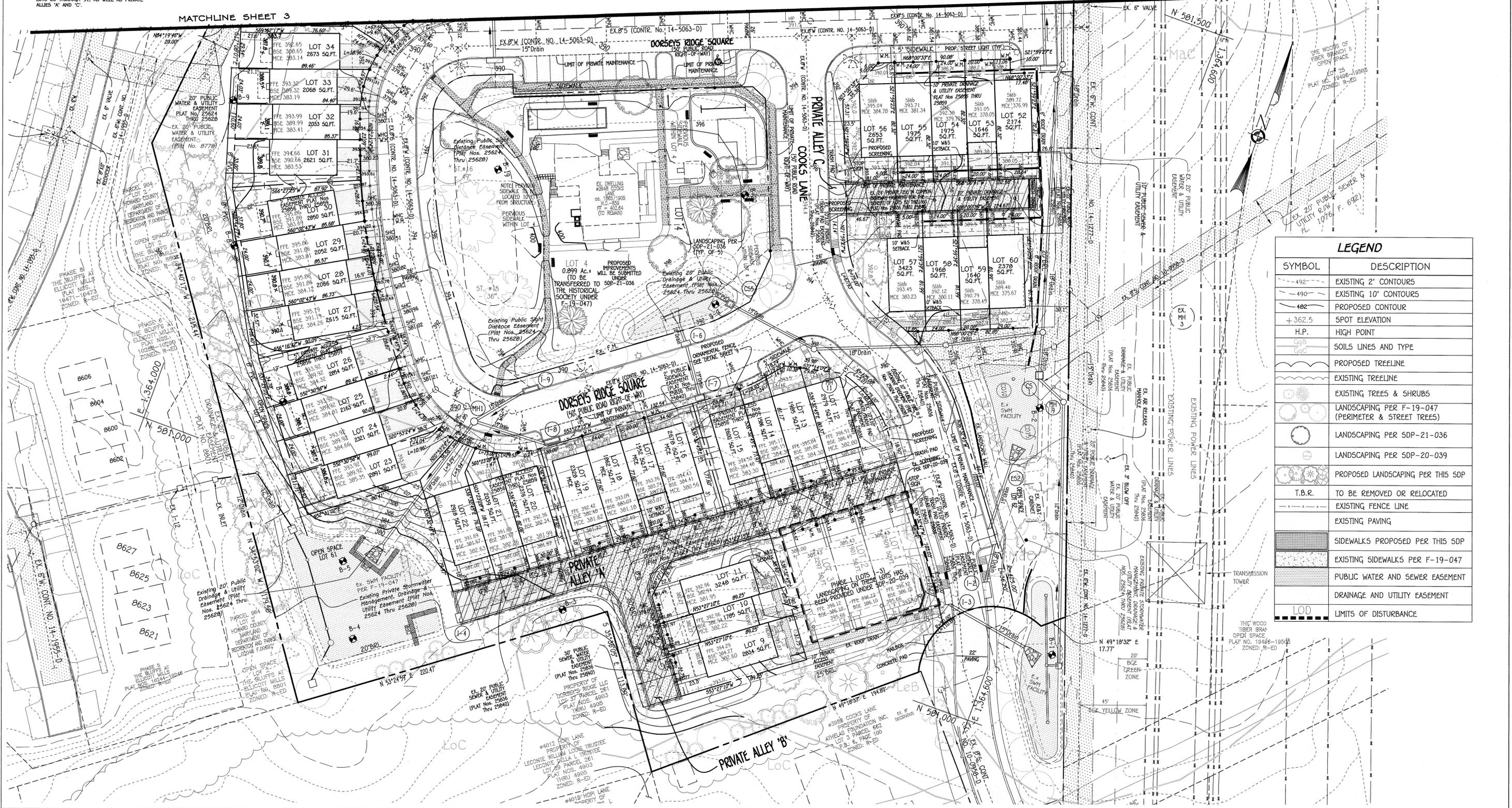
**GENERAL NOTES**

- SUBJECT PROPERTY ZONED CEF-R PER 28 1100H APPROVAL TO REZONE PROPERTY FROM R-2D TO CEF-R UNDER DECISION & ORDER APPROVAL DATED OCTOBER 13, 2016. AS PART OF CEF REZONING PROCESS, SUBMISSION WAS APPROVED BY PLANNING BOARD ON APRIL 14, 2016.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK, SEEING DONE.
- THIS PLAN IS SUBJECT TO THE APPROVED WITH SECTION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNTY BILL 45-2003, THE 10/06/13 COMPREHENSIVE ZONING PLAN AND 28-1100H DEVELOPMENT OR CONSTRUCTION ON THESE LOTS OR PARCELS MUST COMPLY WITH THE DEVELOPMENT ORDINANCES IN 281106H AND ZONING REGULATIONS IN EFFECT AT THE TIME OF BUILDING OR GRADING PERMIT APPLICATION.
- ANY CHANGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE COORDINATED AT THE CONTRACTOR'S EXPENSE.
- BOUNDARY OUTLINE BASED ON A FIELD SURVEY MONUMENTED BOUNDARY SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT SEPTEMBER, 2017.
- THE EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON HOWARD COUNTY AERIAL CONTIGUOUS SUPPLEMENTED WITH A FIELD SURVEY OF WETLANDS AND STREAM BANKS PERFORMED ON OR ABOUT JANUARY, 2017 BY FISHER, COLLINS & CARTER, INC. AND TOPOGRAPHIC INFORMATION TAKEN FROM F-19-047.
- IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, ANY MINOR CHANGES OR EXTENSIVE STANDARDS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, FENCES OR DECKS OR PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR WALK SETBACK.
- COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROVIDED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NOS.
- HOWARD COUNTY CONTROL STATION #2413 - HORIZONTAL - (NAD 83)      HOWARD COUNTY CONTROL STATION #2418 - HORIZONTAL - (NAD 83)  
 N 565.640(1)      E 1.364255.979  
 ELEVATION = 403.703 - VERTICAL - (NAD 83)      ELEVATION = 422.492 - VERTICAL - (NAD 83)
- DRAWINGS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
  - WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
  - SURFACE - 6" OF COMPACTED COUSHER RUN BASE W/ATP AND CHIP COATING (1-1/2" MIN.)
  - GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
  - STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (150-LOADING)
  - DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD SURFACE MORE THAN 1 FOOT DEPTH OVER DRAINAGE SURFACE.
  - STRUCTURES CLEARANCES - MINIMUM 12 FEET
  - MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME II, STANDARD DETAIL R-6-02.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- FLAG AND PEDESTAL TRAPS, RESIDUE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PEDESTAL AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PEDESTAL LOT DRIVEWAY.
- THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED FEBRUARY, 2017.
- FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-19-047.
- STORMWATER MANAGEMENT WILL BE IN ACCORDANCE WITH SECTION 5 OF THE HANDBOOK OF ENVIRONMENT STORM WATER DESIGN MANUAL, VOLUMES I & II, REVISED 2000, FOR LOTS 9-44 LOCATED PLEASE SEE SHEET 9 FOR DETAILED DETAIL AND CHART.
- HOUSE REQUIREMENTS FOR THIS PROJECT WERE PROVIDED UNDER F-19-047.
- NO FLOODPLAIN EXIST WITHIN THE LIMITS OF THIS SITE DEVELOPMENT PLAN.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- EXISTING WATER AND SEWER ARE PUBLIC (CONTRACT NO. 14-5063-0).
- THERE ARE NO KNOWN CHANGES WITHIN THIS SUBDIVISION. THERE IS AN EXISTING HISTORIC SHED HOUSE AND DWELLING, 180-859, THE PUE-FULTON FARM, ca. 1850-1905, ON LOT 4 OF THE OVERALL DORSEY'S RIDGE PROJECT TO REMAIN. THE OVERALL DORSEY'S RIDGE PLAN WAS PRESENTED TO THE HISTORIC PRESERVATION COMMISSION ON MARCH 9, 2017 IN CASE HFC-17-19 FOR ADVISORY COMMENTS. THE COMMISSION HAS REVIEWED THE PLAN AND HAS NO COMMENTS TO THE PLAN AS PRESENTED.
- A TRAFFIC STUDY DATED NOVEMBER 12, 2015 WAS PREPARED BY THE TRAFFIC GROUP WAS PROVIDED AS PART OF F-19-047 AND APPROVED ON MARCH 29, 2016.
- GEOTECHNICAL REPORT WAS PROVIDED WITH F-19-047.
- SOILS SHOWN HEREON ARE BASED ON NCEC WESBOL SURVEY AND HOWARD COUNTY SOIL SURVEY MAP #13.
- PERMITS: LANDSCAPING, STREET TREES, AND STORMWATER MANAGEMENT LANDSCAPING OBLIGATIONS FOR DORSEY'S RIDGE HAVE BEEN PROVIDED UNDER F-19-047 AND SDP-21-036. FINANCIAL SURETY FOR INTERIOR AND PERIMETER LANDSCAPING SHALL BE PROVIDED FOR LOTS 9 THROUGH 60. PERIMETER TREES, AND 50 SHRUBS SHALL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$18,450 FOR LANDSCAPING PROVIDED UNDER THIS SITE DEVELOPMENT PLAN. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- PRE-SUBMISSION COMMUNITY MEETINGS WERE HELD ON APRIL 21, 2015 AND AUGUST 11, 2015.
- THIS PLAN IS FOR HOUSE SITES AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-19-047.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-19-047.
- A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE FOR ALL THE USE IN COMMON DRIVEWAYS. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-2400 FOR DETAILS AND COST ESTIMATES.
- MHU AGREEMENT & MHU COVENANTS WILL BE REQUIRED IN ACCORDANCE WITH SECTION 13.402 OF THE COUNTY CODE. THEY ARE TO BE COMPLETED IN A FORMAT DICTATED BY THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT (DHCD) AND HAVE BEEN REVIEWED BY DHCD AND THE OFFICE OF LAW AT THE OFFICE OF FINAL PLAN APPROVAL. SIX (6) MHU ARE REQUIRED FOR THE OVERALL DORSEY'S RIDGE SUBDIVISION.
- THIS PLAN IS SUBJECT TO WP-20-053 WHICH WAS APPROVED ON JANUARY 23, 2020. THE PLANNING DIRECTOR APPROVED THE REQUEST FOR THE ALTERNATIVE COMPLIANCE OF SECTION 16.116(a)(2)(3) TO ALLOW FOR GRADING FOR THE PROPOSED SWM FACILITY AND THE ACCESS ROAD FOR MAINTENANCE FACILITY, THE PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL OF THIS WAMR:
  - REMOVAL OF THE 3-SPECIEN TREES WILL REQUIRE REPLACEMENT MITIGATION AT A RATIO OF TWO (2) LARGER CALIBER TREES AT LEAST THREE (3) INCHES (DBH) FOR EACH SPECIEN TREE REMOVED (SEEAL ALTERNATIVE COMPLIANCE APPLICATION, WP-20-053 WHICH WAS APPROVED ON JANUARY 23, 2020). THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION. THE MITIGATION PLANTING MUST BE INSTALLED WITHIN 180 DAYS OF THE DATE OF APPROVAL OF THIS DECISION.
  - REMOVAL OF THE 3-SPECIEN TREES WILL REQUIRE REPLACEMENT OF TWO NATIVE TREES WITH A DBH OF AT LEAST THREE (3) INCHES. THE MITIGATION PLANTING MUST BE SHOWN ON THE LANDSCAPE PLAN FOR DORSEY'S RIDGE, PHASE 1 (F-19-047) AND BE BONDED AS PART OF THE LANDSCAPING SURETY. THE REPLACEMENT TREES CAN NOT COUNT TOWARD THE LANDSCAPING OBLIGATION FOR THE SUBDIVISION.
  - SPECIEN TREES 31-6, 31-7, 31-8, 31-9, 31-10, 31-11, 31-12, 31-13, 31-14, 31-15 AND 31-16 MUST BE PROTECTED DURING CONSTRUCTION. A HANDBOOK LICENSED TREE EXPERT MUST INSPECT THE TREES AND DEVELOP RECOMMENDATIONS FOR PROFESSIONAL PRUNING OF ROOTS AND FOLIAGE. ALL PRUNING MUST BE PERFORMED BY A HANDBOOK LICENSED TREE EXPERT. TREE PROTECTION FENCING MUST BE INSTALLED AROUND THE ENTIRE PERIMETER OF THESE SPECIEN TREES TO THE GREATEST EXTENT POSSIBLE (UNTIL NOT DISTURBING PROPOSED FOREST CONSERVATION AREAS) TO PREVENT ROOT AND FOLIAGE DAMAGE DURING CONSTRUCTION.
  - NO GRADING IS PERMITTED WITHIN SEVENTY-FIVE (75) FEET OF THE PERSONAL STREAM BANK EXCEPT GRADING FOR THE PROPOSED STORMWATER MANAGEMENT FACILITY AND THE PROPOSED ACCESS ROADWAY USED FOR MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY AS SHOWN ON THE ALTERNATIVE COMPLIANCE EXHIBIT.
  - THE APPLICANT MUST REDUCE THE AMOUNT OF THE BUFFER DISTURBANCE BY ADDING A SLOTTED RETAINING WALL THAT WILL ALLOW FOR DISTURBANCE TO BE REDUCED.
  - THE APPLICANT MUST REDUCE THE RUNOFF ON THE MAINTENANCE ROAD FOR THE FORD WITH A TREE TO REDUCE THE DISTURBANCE.
- THIS PLAN IS SUBJECT TO WP-20-097 WHICH WAS APPROVED ON APRIL 14, 2020. THE PLANNING DIRECTOR APPROVED THE REQUEST FOR THE ALTERNATIVE COMPLIANCE OF SECTION 16.120(a)(7) TO ALLOW THE REMOVAL OF APPROVAL TO PROTECT SPECIEN TREE #14. THE PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL OF THIS WAMR:
  - APPROVAL IS FOR REMOVAL OF SPECIEN TREE #14 AS SHOWN ON THE ALTERNATIVE COMPLIANCE EXHIBIT. NO OTHER SPECIEN TREE IS APPROVED TO BE REMOVED UNDER THIS REQUEST. PREVIOUS ALTERNATIVE COMPLIANCE CONDITIONS OF APPROVAL TO PROTECT SPECIEN TREE #14 ARE NO LONGER APPLICABLE (WP-17-048 & WP-20-036).
  - REMOVAL OF THE SPECIEN TREE #14 WILL REQUIRE REPLACEMENT OF TWO NATIVE TREES WITH A DBH OF AT LEAST THREE (3) INCHES. THE MITIGATION PLANTING MUST BE SHOWN ON THE LANDSCAPE PLAN FOR DORSEY'S RIDGE, PHASE 1 (F-19-047) AND BE BONDED AS PART OF THE LANDSCAPING SURETY. THE REPLACEMENT TREES CAN NOT COUNT TOWARD THE LANDSCAPING OBLIGATION FOR THE SUBDIVISION.
  - SPECIEN TREES 31-6, 31-7, 31-8, 31-9, 31-10, 31-11, 31-12, 31-13, 31-14, 31-15 AND 31-16 MUST BE PROTECTED DURING CONSTRUCTION. A HANDBOOK LICENSED TREE EXPERT MUST INSPECT THE TREES AND DEVELOP RECOMMENDATIONS FOR PROFESSIONAL PRUNING OF ROOTS AND FOLIAGE. ALL PRUNING MUST BE PERFORMED BY A HANDBOOK LICENSED TREE EXPERT. TREE PROTECTION FENCING MUST BE INSTALLED AROUND THE ENTIRE PERIMETER OF THESE SPECIEN TREES TO THE GREATEST EXTENT POSSIBLE (UNTIL NOT DISTURBING PROPOSED FOREST CONSERVATION AREAS) TO PREVENT ROOT AND FOLIAGE DAMAGE DURING CONSTRUCTION.
- THIS PLAN IS SUBJECT TO WP-18-136 WHICH WAS APPROVED ON SEPT. 21, 2018. THE PLANNING DIRECTOR APPROVED THE REQUEST FOR THE ALTERNATIVE COMPLIANCE OF SECTION 16.144(g) AND DEFERRED THE REQUEST FOR AN ALTERNATIVE COMPLIANCE OF SECTION 16.1205(A)(7). THE PROJECT IS SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL OF THIS WAMR:
  - SUBMISSION OF A FINAL PLAN APPLICATION, INCLUDING A FINAL SUBDIVISION PLAT AND ROAD CONSTRUCTION PLAN DRAWINGS WITHIN 6 MONTHS FROM THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL LETTER (50 TO 100 UNITS). A FINAL PLAN MUST BE SUBMITTED FOR PHASE 1 TO SHOW THE 5 LOTS, WITH ALL OTHER LOTS SHOWN AS NON-BUILDABLE BULK PARCELS) AND OPEN SPACE LOTS.
  - ALL PROPOSED INFRASTRUCTURE AND IMPROVEMENTS FOR THE ENTIRE PROJECT (57 UNITS) MUST BE SHOWN AND BONDED THROUGH A DEVELOPERS AGREEMENT WITH THE INITIAL SUBDIVISION PLAT AND SUPPLEMENTAL PLANS, EVEN IF THAT PLAN WILL ONLY USE THE 5 ALLOCATION CREDITS ASSOCIATED WITH THE PROPERTY.
  - ANY NECESSARY UNIT-SIZE CHANGES MUST BE MADE ON THE SUBSEQUENT SUBDIVISION PLAT, SUPPLEMENTAL PLANS AND SITE DEVELOPMENT PLANS.
  - A PHASING SCHEDULE MUST BE PROVIDED ON THE FINAL PLAN FOR THIS PROJECT. THE PLAN SHOULD INDICATE THAT 5 UNITS WILL BE PHASE 1 AND THE REMAINING UNITS WILL BE PHASE 2. PHASE 2 WILL REMAIN IN THE APFO HOLD BIN UNTIL THE SCHOOLS TEST IS PASSED IN THE RELATED PLANNING AREA.
  - AN EASEMENT FROM BGE MUST BE OBTAINED PRIOR TO RECORDATION OF

**NOTE:**  
A HOWARD COUNTY STANDARD DRIVEWAY APRON (R-6.02) WILL BE PROVIDED FOR LOTS 23 THROUGH 51, AS WELL AS PRIVATE ALLEYS 'A' AND 'C'.

MATCHLINE SHEET 3

MATCHLINE SHEET 3



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING 2' CONTOURS
	EXISTING 10' CONTOURS
	PROPOSED CONTOUR
	SPOT ELEVATION
	H.I.P. HIGH POINT
	SOILS LINES AND TYPE
	PROPOSED TREELINE
	EXISTING TREELINE
	EXISTING TREES & SHRUBS
	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
	LANDSCAPING PER SDP-21-036
	LANDSCAPING PER SDP-20-039
	PROPOSED LANDSCAPING PER THIS SDP
	T.B.R. TO BE REMOVED OR RELOCATED
	EXISTING FENCE LINE
	EXISTING PAVING
	SIDEWALKS PROPOSED PER THIS SDP
	EXISTING SIDEWALKS PER F-19-047
	PUBLIC WATER AND SEWER EASEMENT
	DRAINAGE AND UTILITY EASEMENT
	LOD LIMITS OF DISTURBANCE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* *[Date]*

Chief, Development Engineering Division *[Signature]* *[Date]*

Director - Department of Planning and Zoning *[Signature]* *[Date]*



**PROFESSIONAL CERTIFICATION**

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE, 7/14/23.

*[Signature]* NAME *[Date]* DATE

OWNER/DEVELOPER: DORSEYS RIDGE, LLC  
C/O DAVE WOODSNER  
9172 WILLOW WALK  
ESTERO, FL 34135  
410-461-0837

BUILDER: NVR, INC.  
C/O BRENT HANAUER  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
443-832-9102

NO.	REVISION	DATE
1	SECTION/AREA	
2	LOT Nos.	

PLAT NO.	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25056-25059	10	CEF-R	24	2	601101

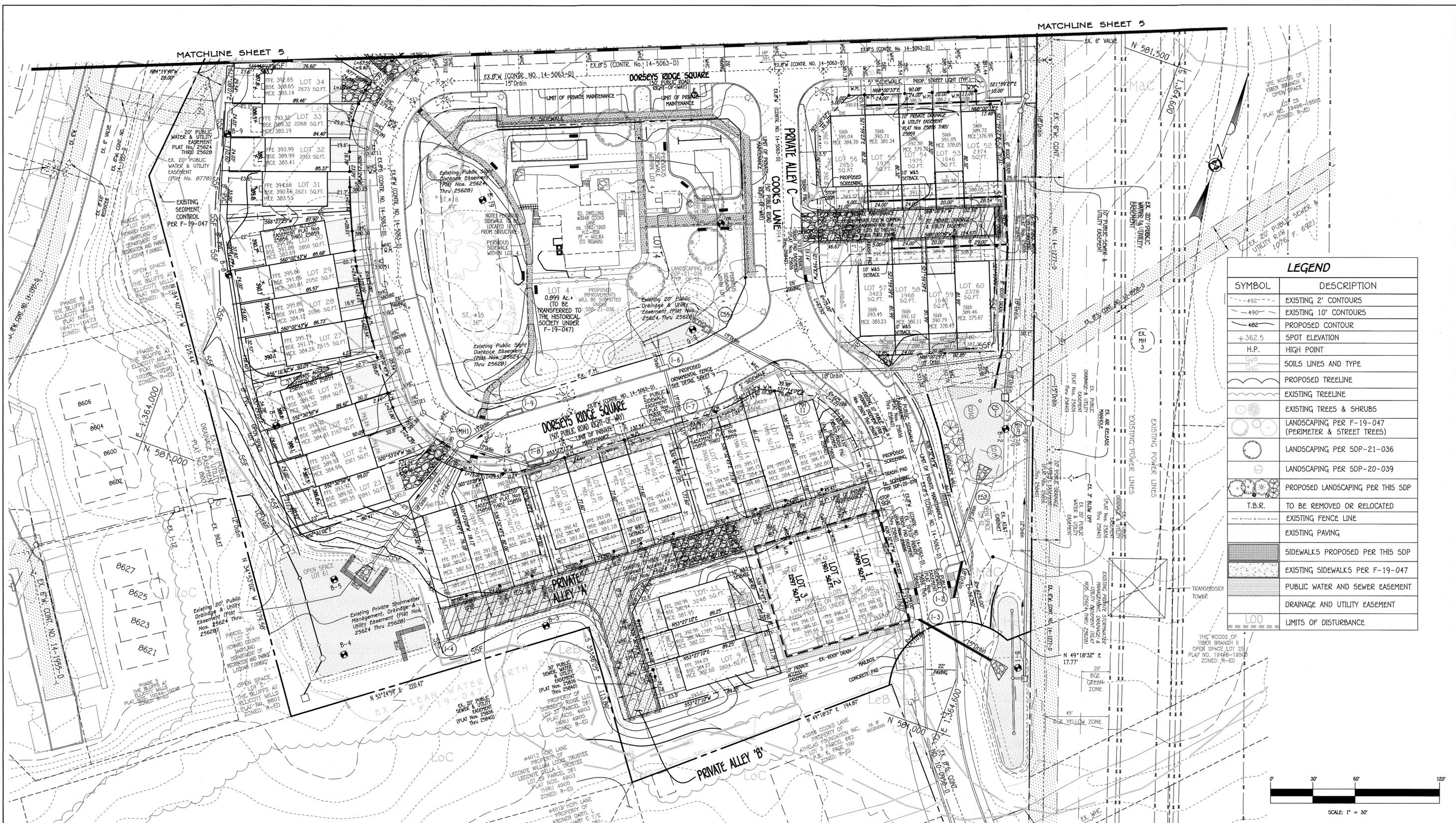
**SITE DEVELOPMENT PLAN**

**DORSEY'S RIDGE**  
PHASE-II  
LOTS 9 THRU 60  
ZONED: CEF-R

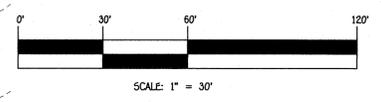
PREVIOUS HOWARD COUNTY FILES: S-09-014, P-09-040, F-09-150, F-05-129, F-09-074, ZB1106M, S-17-006, WP-17-084, WP-18-030, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129

TAX MAP NO.: 24 GRID NO.: 10 PARCEL NO.: 260  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
SHEET 2 OF 10





LEGEND	
SYMBOL	DESCRIPTION
---492---	EXISTING 2' CONTOURS
---490---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
---	PROPOSED TREELINE
---	EXISTING TREELINE
---	EXISTING TREES & SHRUBS
---	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
---	LANDSCAPING PER SDP-21-036
---	LANDSCAPING PER SDP-20-039
---	PROPOSED LANDSCAPING PER THIS SDP
T.B.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	SIDEWALKS PROPOSED PER THIS SDP
---	EXISTING SIDEWALKS PER F-19-047
---	PUBLIC WATER AND SEWER EASEMENT
---	DRAINAGE AND UTILITY EASEMENT
---	LIMITS OF DISTURBANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 11/17/21  
Date

Chief, Development Engineering Division *[Signature]* 11-9-21  
Date

Director - Department of Planning and Zoning *[Signature]* 11-15-21  
Date



**PROFESSIONAL CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 10/21/21  
DATE

SIGNATURE OF LICENSED PROFESSIONAL FRANK JOHN MANALANSAN II

**BUILDER/DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR EROSION AND SEDIMENT CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 10/21/21  
DATE

SIGNATURE OF DEVELOPER BRENT HANAUER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 10/23/21  
DATE

OWNER/DEVELOPER  
DORSEYS RIDGE, LLC  
C/O DAVE WOODS/GENER  
9172 WILLOW WALK  
ESTERO, FL 34135  
410-461-0837

BUILDER  
NVR, INC.  
C/O BRENT HANAUER  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
443-832-9102

NO.	REVISION	DATE
1	SECTION/AREA PHASE 2	LOT Nos. 9 THRU 60

PLAT NO.	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
28256-28259	18	CEF-R	24	2	601101

**SEDIMENT & EROSION CONTROL PLAN**

**DORSEY'S RIDGE**  
PHASE-II  
LOTS 9 THRU 60  
ZONED: CEF-R

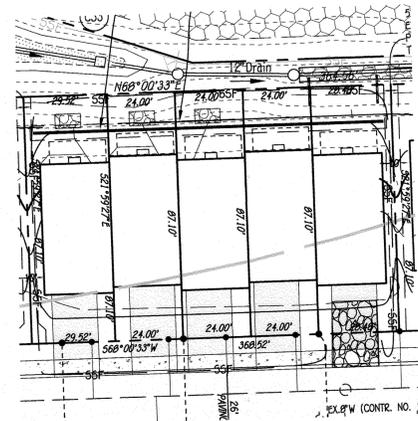
PREVIOUS HOWARD COUNTY FILES: 5-89-014, P-89-040, F-89-158, F-05-129, F-09-074, ZB1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129

TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO: 260  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
SHEET 4 OF 10

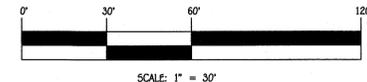
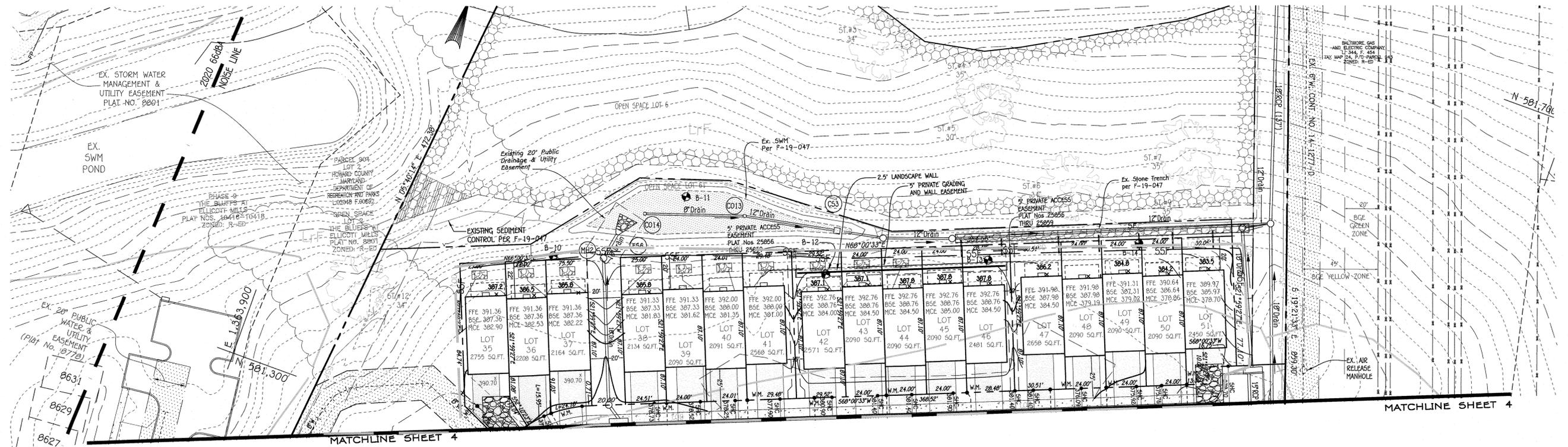


LEGEND	
SYMBOL	DESCRIPTION
	EXISTING 2' CONTOURS
	EXISTING 10' CONTOURS
	PROPOSED CONTOUR
	SPOT ELEVATION
	HIGH POINT
	SOILS LINES AND TYPE
	PROPOSED TREELINE
	EXISTING TREELINE
	EXISTING TREES & SHRUBS
	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
	LANDSCAPING PER SDP-21-036
	LANDSCAPING PER SDP-20-039
	PROPOSED LANDSCAPING PER THIS SDP
	TO BE REMOVED OR RELOCATED
	EXISTING FENCE LINE
	EXISTING PAVING
	SIDEWALKS PROPOSED PER THIS SDP
	EXISTING SIDEWALKS PER F-19-047
	PUBLIC WATER AND SEWER EASEMENT
	DRAINAGE AND UTILITY EASEMENT
	LIMITS OF DISTURBANCE

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
Co	Codorus and Hatboro silt loams, 0 to 3 percent slopes	C	0.37
LoB	Legore silt loam, 3 to 8 percent slopes, stony	C	0.28
LoC	Legore-Montalto-Urban land complex, 0 to 8 percent slopes	B	0.32
LoC	Legore-Montalto-Urban land complex, 8 to 15 percent slopes	B	0.32
LrF	Legore-Relay gravelly loams, 25 to 65 percent slopes, very stony	B/C	0.32
MAC	Manor loam, 8 to 15 percent slopes	B	0.24



TYPICAL SEDIMENT & EROSION CONTROL FOR TOWNHOUSE CONSTRUCTION  
SCALE: 1" = 30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 10/21/21 Date

Chief, Development Engineering Division *[Signature]* 11-9-21 Date

Director - Department of Planning and Zoning *[Signature]* 11-15-21 Date



**PROFESSIONAL CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 10/21/21 DATE  
SIGNATURE OF LICENSED PROFESSIONAL FRANK JOHN MANALANSAN II

**BUILDER/DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 10/21/21 DATE  
SIGNATURE OF DEVELOPER BRENT HANAUER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*[Signature]* 10/27/21 DATE  
HOWARD SOIL CONSERVATION DISTRICT

**OWNER/DEVELOPER**  
DORSEY'S RIDGE, LLC  
C/O DAVE WOODS/NER  
9172 WILLOW WALK  
ESTERO, FL 34135  
410-461-0837

**BUILDER**  
NVR, INC.  
C/O BRENT HANAUER  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
443-832-9102

NO.	REVISION	DATE
1	SECTION/AREA	LOT Nos.
SUBDIVISION		LOT Nos.
DORSEY'S RIDGE		LOTS 9 THRU 60
PLAT NO.	GRID NO.	ZONE
25896-25899	18	CEF-R
TAX/ZONE	ELEC. DIST.	CENSUS TR.
24	2	601101

SEDIMENT & EROSION CONTROL PLAN

**DORSEY'S RIDGE**  
PHASE-II  
LOTS 9 THRU 60  
ZONED: CEF-R

PREVIOUS HOWARD COUNTY FILES: 5-89-014, P-89-040, F-89-158, F-05-129, F-09-074, ZB1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129  
TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO: 260  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
SHEET 5 OF 10

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2899

**SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)**

- A. Soil Preparation**
- Temporary Stabilization
  - Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it is to be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  - Apply fertilizer and lime as prescribed on the plans.
  - Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
  - Permanent Stabilization
    - A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
      - Soil pH between 6.0 and 7.0.
      - Soluble salts less than 500 parts per million (ppm).
      - Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if loesslike soils are present, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
      - Soil contains 1.5 percent minimum organic matter by weight.
      - Soil contains sufficient pore space to permit adequate root penetration.
    - Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
    - Graded areas must be maintained in a true and even grade as specified on the approved plan, then seeded or otherwise loosened to a depth of 3 to 5 inches.
    - Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
    - Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rate lawn areas to amount the surface, remove large objects like stones and branches, and reduce the area for seed application. Loosen surface soil by disking or other equipment to roughen the surface where site conditions will not permit normal seeded preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seeded loosening may be unnecessary on newly disturbed areas.

- B. Topsoiling**
- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable surface for vegetative growth. Soils of various types low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil texture.
  - Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
  - Topsoiling is limited to areas having 2:1 or flatter slopes where:
    - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
    - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
    - The original soil to be vegetated contains material toxic to plant growth.
    - The soil is so acidic that treatment with limestone is not feasible.
    - Areas having slopes steeper than 2:1 require special consideration and design.
  - Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
    - Topsoil must be a loam, sandy loam, clay loam, silty loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
    - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, oat sedge, poison ivy, thistle, or others as specified.
    - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
  - Topsoil Application
    - Erosion and sediment control practices must be maintained when applying topsoil.
    - Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
    - Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

**Permanent Seeding Summary**

Hardness Zone (from Figure B.3):	Fertilizer Rate (10-20-20)	Lime Rate					
No. Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	Seeds per Acre	P <sub>2</sub> O <sub>5</sub> (lb/ac)	N (lb/ac)	K (lb/ac)
8 TALL FESCUE	100	Mar. 1 - May 15 Aug. - Oct. 15	1 1/4 - 1 1/2 in.	45 lbs. (2 lb./1,000 sq. ft.)	90 lb./ac (2 lb./1,000 sq. ft.)	90 lb./ac (2 lb./1,000 sq. ft.)	2 tons/ac (10000 lb.)
8 HILLET FOXTAIL	50	May 15 - June 15	1 1/4 - 1 1/2 in.	1,000 lb./ac	1,000 lb./ac	1,000 lb./ac	1,000 lb./ac
8 SOD	100	Mar. 1 - May 15 May 15 - Sep. 15 Sep. 15 - Nov. 15	1 1/4 - 1 1/2 in.	1,000 lb./ac	1,000 lb./ac	1,000 lb./ac	1,000 lb./ac
8 SWITCH GRASS (LEGUMES)	10	June 1 - July 31	4 - 7 in. Max.	---	---	---	---

- C. Soil Amendments (Fertilizer and Lime Specifications)**
- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
  - Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Material may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
  - Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydrous) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 90 to 100 percent will pass through a #20 mesh sieve.
  - Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
  - When the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (2000-4000 pounds per 1,000 square feet) prior to the placement of topsoil.

**TEMPORARY SEEDING NOTES (B-4-4)**

- Definition**  
To stabilize disturbed soils with vegetation for up to 6 months.
- Purpose**  
To use fast growing vegetation that provides cover on disturbed soils.
- Conditions Where Practice Applies**  
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.
- Criteria**
- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
  - For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
  - When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3A.1.b and maintain until the next seeding season.

**Temporary Seeding Summary**

Hardness Zone (from Figure B.3):	Fertilizer Rate (10-20-20)	Lime Rate					
Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth	Seeds per Acre	P <sub>2</sub> O <sub>5</sub> (lb/ac)	N (lb/ac)	K (lb/ac)
BARLEY	96	3/1 - 5/15, 8/15 - 10/15	1"	436 lb/ac (10 lb./1000 sq. ft.)	2 tons/ac (10000 lb.)	---	---
OATS	72	3/1 - 5/15, 8/15 - 10/15	1"	---	---	---	---
RYE	112	3/1 - 5/15, 8/15 - 10/15	1"	---	---	---	---
FOXTAIL MILLET	30	6/1 - 7/31	0.50"	---	---	---	---

**PERMANENT SEEDING NOTES (B-4-5)**

- A. Seed Mixtures**
- General Use
    - Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixtures, application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
    - Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
    - For sites having disturbed areas over 5 acres, use and show the rates recommended by the soil testing agency; or, for areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (100 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
  - Turfgrass Mixtures
    - Areas where turfgrasses may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
    - Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
      - Kentucky Bluegrass/Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
      - Kentucky Bluegrass/Partial Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 30 percent of the total mixture by weight.
      - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
      - Kentucky Bluegrass/Free Fescue: Shade Mixture: For use in areas with shade in bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Free Fescue 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

**Notes:**  
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Culture Recommendations for Maryland".

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.

- Notes:**
- Ideal Times of Seeding for Turf Grass Mixtures Western MD: March 15 to June 1, August 1 to October 1 (Hardness Zones: 5b, 6a) Central MD: March 1 to May 15, August 15 to October 15 (Hardness Zone: 6b) Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 6c, 7a)
  - Turf areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such a condition that future mowing of grass will pose no difficulty.
  - If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

**Incremental Stabilization - Fill**

**STANDARD STABILIZATION NOTE**

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

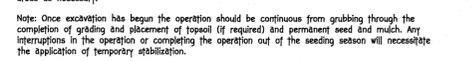
(A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND

(B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

- STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)**
- Definition**  
The application of seed and mulch to establish vegetative cover.
- Purpose**  
To protect disturbed soils from erosion during and out of the construction.
- Conditions Where Practice Applies**  
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.
- Criteria**
- Seeding
    - Specifications
      - All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tests must be available upon request to the inspector to verify type of seed and seeding rate.
      - Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
      - The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydrous seeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
      - Seed or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weedcontrol until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
    - Application
      - Dry Seeding: This includes use of conventional drop or broadcast spreaders.
        - Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, permanent Seeding Table B.3, or site-specific seeding summaries.
        - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with weighted roller to provide good seed to soil contact.
      - Drill or Outdragger Seeding: Mechanized seeders that apply and cover seed with soil.
        - Outdragger seeders are required to seed the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
        - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
      - Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
        - If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorus), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.
        - Lime: Use only ground agricultural limestone (up to 3 tons per acre) may be applied by hydroseeding. Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
        - Mix seed and fertilizer on site and seed immediately and without interruption.
        - When hydroseeding do not incorporate seed into the soil.
    - Mulching
      - Mulch Materials (in order of preference)
        - Straw consisting of thoroughly threshed, clean, dry, cut, or baled and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not moist, moldy, coated, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
        - Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into uniform fibrous physical structure.
          - WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
          - WCFM, including dye, must contain no germination or growth inhibiting factors.
      - WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
      - WCFM material must not contain elements or compounds at concentration levels that will be phytotoxic.
      - WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

**B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION**

- Definition**  
Establishment of vegetative cover on cut and fill slopes.
- Purpose**  
To provide timely vegetative cover on cut and fill slopes as work progresses.
- Conditions Where Practice Applies**  
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.
- Criteria**
- Incremental Stabilization - Cut Slopes
    - Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
    - Construction sequence example (Refer to Figure B.1):
      - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
      - Perform Phase 1 excavation, prepare seedbed, and stabilize.
      - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
      - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.
  - Incremental Stabilization - Fill Slopes
    - Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
    - Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
    - At the end of each day, install temporary water conveyance practices, as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
    - Place Phase 1 fill, prepare seedbed, and stabilize.
    - Place Phase 2 fill, prepare seedbed, and stabilize.
    - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.



**STANDARD STABILIZATION NOTE**

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

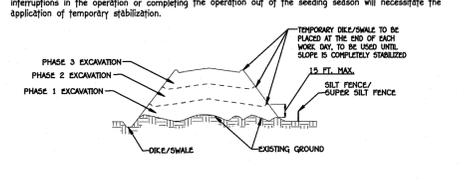
(A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND

(B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

- STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)**
- Definition**  
The application of seed and mulch to establish vegetative cover.
- Purpose**  
To protect disturbed soils from erosion during and out of the construction.
- Conditions Where Practice Applies**  
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.
- Criteria**
- Seeding
    - Specifications
      - All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tests must be available upon request to the inspector to verify type of seed and seeding rate.
      - Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
      - The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydrous seeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
      - Seed or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weedcontrol until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
    - Application
      - Dry Seeding: This includes use of conventional drop or broadcast spreaders.
        - Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, permanent Seeding Table B.3, or site-specific seeding summaries.
        - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with weighted roller to provide good seed to soil contact.
      - Drill or Outdragger Seeding: Mechanized seeders that apply and cover seed with soil.
        - Outdragger seeders are required to seed the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
        - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
      - Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
        - If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorus), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.
        - Lime: Use only ground agricultural limestone (up to 3 tons per acre) may be applied by hydroseeding. Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
        - Mix seed and fertilizer on site and seed immediately and without interruption.
        - When hydroseeding do not incorporate seed into the soil.
    - Mulching
      - Mulch Materials (in order of preference)
        - Straw consisting of thoroughly threshed, clean, dry, cut, or baled and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not moist, moldy, coated, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
        - Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into uniform fibrous physical structure.
          - WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
          - WCFM, including dye, must contain no germination or growth inhibiting factors.
      - WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
      - WCFM material must not contain elements or compounds at concentration levels that will be phytotoxic.
      - WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

- Anchoring
  - Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
    - A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter areas where equipment can operate safely. If used on sloping land, this practice should follow the contour.
    - Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
    - Synthetic binders such as Acrylic DLR (Agra-Tack), DCA-70, Petrosol, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
    - Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4-15 feet wide and 300 to 3,000 feet long.

**STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA (B-4-8)**



**STANDARD STABILIZATION NOTE**

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

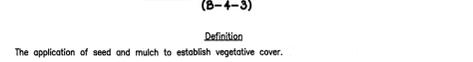
(A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND

(B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

- STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)**
- Definition**  
The application of seed and mulch to establish vegetative cover.
- Purpose**  
To protect disturbed soils from erosion during and out of the construction.
- Conditions Where Practice Applies**  
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.
- Criteria**
- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
  - The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
  - Runoff from the stockpile area must drain to a suitable sediment control practice.
  - Access the stockpile area from the upgrade side.
  - Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth levee, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
  - Where runoff concentrates along the toe of the stockpile, an appropriate erosion/sediment control practice must be used to intercept the discharge.
  - Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
  - If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

**Maintenance**

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4-Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.



**STANDARD SYMBOL**

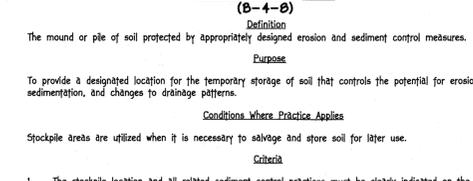
**CONSTRUCTION SPECIFICATIONS**

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SOE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SOE WITH A MOUNTABLE BERM WITH 3:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVERT, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 4 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SOE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, AID STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT FROM THE ENTRANCE. TRACKING ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASHING WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

**MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL**

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**STANDARDS AND SPECIFICATIONS FOR SUPER SILT FENCE (B-4-9)**



**STANDARD SYMBOL**

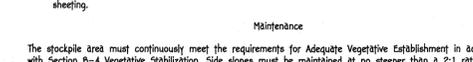
**CONSTRUCTION SPECIFICATIONS**

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 60RS NICH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% NICH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSIDE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 6 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF THE HORIZONTAL FEET UPSTREAM AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTOR/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USES MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BUILDS DEVELOP IN FENCE OR WHEN SEDIMENT REACHES SIZE OF FENCE HEIGHT AND REPLACE GEOTEXTILE IF TORN, IF UNWORKING COOLERS, REINSTATE CHAIN LINK FENCING AND GEOTEXTILE.

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth levee, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

**Maintenance**

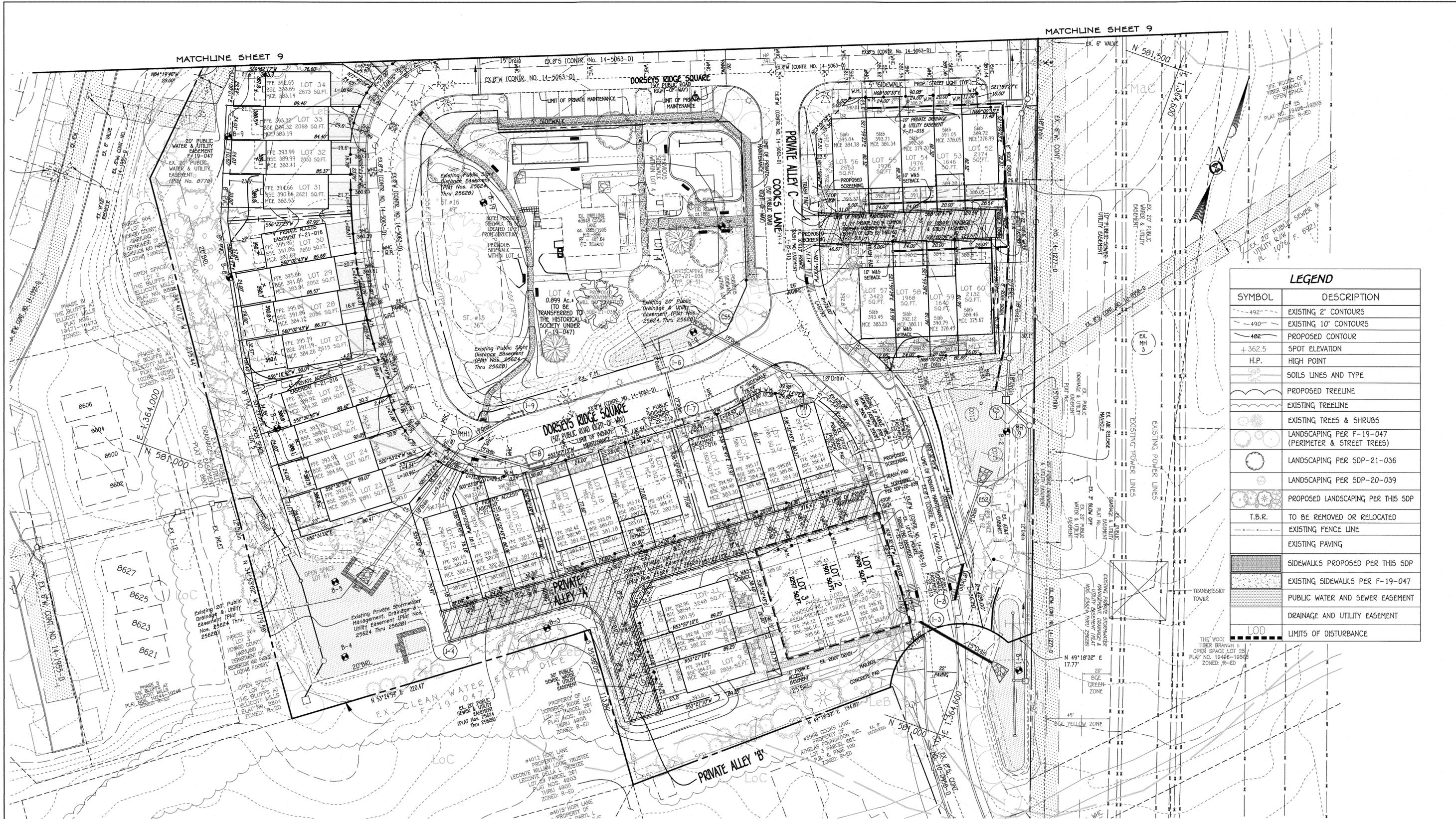
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4-Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.



**STANDARD SYMBOL**

**CONSTRUCTION SPECIFICATIONS**

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SOE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SOE WITH A MOUNTABLE BERM WITH 3:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVERT, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 4 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SOE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, AID STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT FROM THE



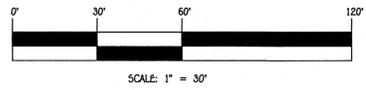
LEGEND	
SYMBOL	DESCRIPTION
---492---	EXISTING 2' CONTOURS
---490---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
---	PROPOSED TREELINE
---	EXISTING TREELINE
---	EXISTING TREES & SHRUBS
---	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
---	LANDSCAPING PER SDP-21-036
---	LANDSCAPING PER SDP-20-039
---	PROPOSED LANDSCAPING PER THIS SDP
T.B.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	SIDEWALKS PROPOSED PER THIS SDP
---	EXISTING SIDEWALKS PER F-19-047
---	PUBLIC WATER AND SEWER EASEMENT
---	DRAINAGE AND UTILITY EASEMENT
---	LIMITS OF DISTURBANCE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 11/21/21 Date  
 Chief, Development Engineering Division *[Signature]* 11-9-21 Date  
 Director - Department of Planning and Zoning *[Signature]* 11-15-21 Date



**PROFESSIONAL CERTIFICATION**  
 "PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE, 7/14/23."  
*Howard J. Parham II* NAME 10/21/21 DATE



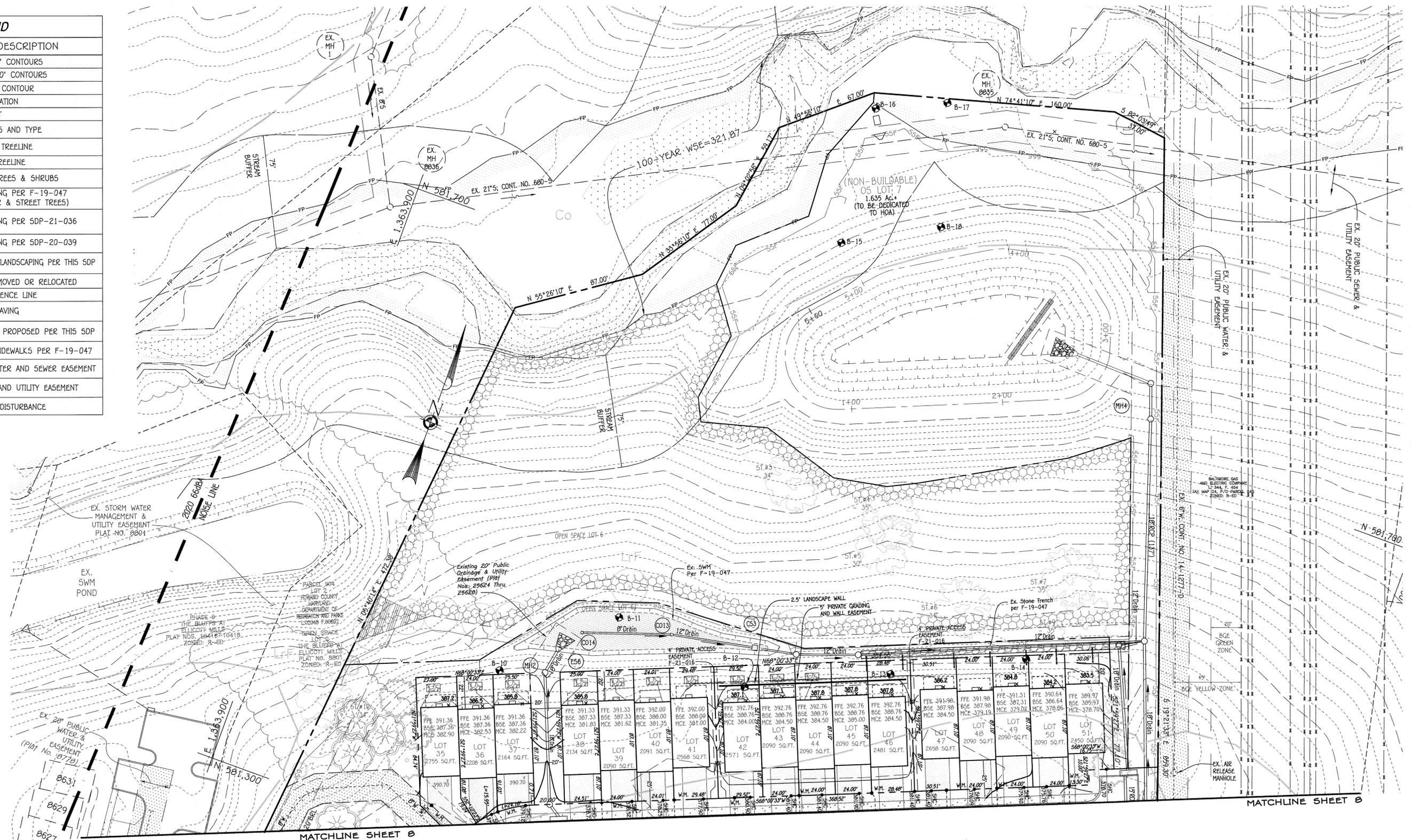
**OWNER/DEVELOPER**  
 DORSEY'S RIDGE, LLC  
 C/O DAVE WOIWESNER  
 9172 WILLOW WALK  
 ESTERO, FL 34135  
 410-461-0837

**BUILDER**  
 NVR, INC.  
 C/O BRENT HANAUER  
 9172 WILLOW WALK  
 COLUMBIA, MD 21046  
 443-832-9102

NO.	REVISION	SECTION/AREA	DATE
1		SECTION 2	

**LANDSCAPE PLAN**  
**DORSEY'S RIDGE**  
**PHASE-II**  
**LOTS 9 THRU 60**  
 ZONED: CEF-R  
 PREVIOUS HOWARD COUNTY FILES: 5-09-014, P-09-040, F-09-150, F-05-129, F-09-074, ZB1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129  
 TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO.: 260  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
 SHEET 7 OF 10

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING 2' CONTOURS
	EXISTING 10' CONTOURS
	PROPOSED CONTOUR
	SPOT ELEVATION
	H.P.
	SOILS LINES AND TYPE
	PROPOSED TREELINE
	EXISTING TREELINE
	EXISTING TREES & SHRUBS
	LANDSCAPING PER F-19-047 (PERIMETER & STREET TREES)
	LANDSCAPING PER 50P-21-036
	LANDSCAPING PER 50P-20-039
	PROPOSED LANDSCAPING PER THIS 50P
	TO BE REMOVED OR RELOCATED
	EXISTING FENCE LINE
	EXISTING PAVING
	SIDEWALKS PROPOSED PER THIS 50P
	EXISTING SIDEWALKS PER F-19-047
	PUBLIC WATER AND SEWER EASEMENT
	DRAINAGE AND UTILITY EASEMENT
	LIMITS OF DISTURBANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 11/21/21 Date

Chief, Development Engineering Division *[Signature]* 11-9-21 Date

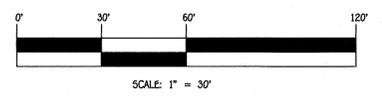
Director - Department of Planning and Zoning *[Signature]* 11-15-21 Date



**PROFESSIONAL CERTIFICATION**

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*[Signature]* NAME 10/21/21 DATE



**OWNER/DEVELOPER**  
DORSEY'S RIDGE, LLC  
C/O DAVE WOODS/ENR  
9172 WILLOW WALK  
ESTERO, FL 34135  
410-461-0837

**BUILDER**  
NVR, INC.  
C/O BRENT HANAUER  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
443-832-9102

SUBDIVISION		REVISION		DATE	
DORSEY'S RIDGE	SECTION/AREA	LOT Nos.			
159516-59	PHASE 2	LOTS 9 THRU 60			
PLAT NO.	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
159516-59	18	CEF-R	24	2	601101

**LANDSCAPE PLAN**  
**DORSEY'S RIDGE**  
**PHASE-II**  
**LOTS 9 THRU 60**  
ZONED: CEF-R

PREVIOUS HOWARD COUNTY FILES: 5-09-014, P-09-040, F-09-158, F-05-129, F-09-074, 2B1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129

TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO: 260  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
SHEET 8 OF 10

LANDSCAPING PLANT LIST			
QTY.	KEY	NAME	SIZE
11		ZELKOVA SERRATA (JAPANESE ZELKOVA)	2 1/2" - 3" CALIPER FULL CROWN, B&B
8		WILLOW OAK QUERCUS PHELLOS	2 1/2" - 3" CALIPER FULL CROWN, B&B
32		PRUNUS SARGENTII (SARGENT CHERRY)	2.5" - 3" CAL. FULL CROWN, B&B
9		CORNUS FLORIDA (DOGWOOD)	8"-10" HT. B&B
30		ILEX GLABRA (HOLLEBERRY)	2-1/2" - 3" HT.

TOTAL: 92 SHADE TREES, 9 ORNAMENTAL TREES, 30 SHRUBS

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	31
NUMBER OF TREES REQUIRED	3 (1:10)
NUMBER OF TREES PROVIDED	3 (1:10)
SHADE TREES	3 (1:10)
OTHER TREES (2:1 SUBSTITUTION)	+6 (2:1) (ORNAMENTAL)

• 3 ORNAMENTAL TREES PROVIDED UNDER SOP-21-036

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	52
NUMBER OF TREES REQUIRED (1:100 SFA)	52
NUMBER OF TREES PROVIDED	52
SHADE TREES	52
SHRUBS	0 (2:1)

TRASH PAD ENCLOSURE LANDSCAPE PLANT LIST			
QTY.	KEY	NAME	SIZE
20		THUJA STANDISHII X PLUCATA (GREEN GIANT ARBOVITAE)	5' - 6' HT. B&B

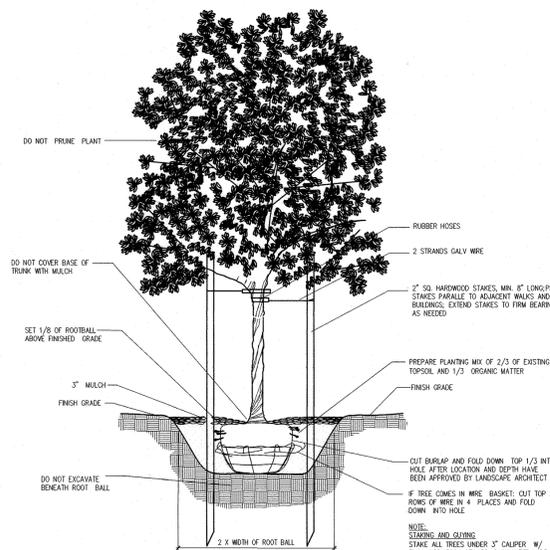
### NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE LANDSCAPING SURETY FOR PARKING AND RESIDENTIAL TREES IS \$18,450.00 FOR 52 SHADE TREES (\$1,600.00), 9 ORNAMENTAL TREES (\$1,050.00) AND 30 SHRUBS (\$1,500.00) WILL BE PAID WITH THE GRADING PERMIT FOR THIS PLAN (SOP-21-002).
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWIT LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED MAINTENANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE MAINTAINED MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE OPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- A MINIMUM OF 20 FT SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ON THE APPROACH SIDE OF A STOP SIGN, NO STREET TREE SHALL BE PLANTED WITHIN 30 FT OF THE STOP SIGN.
- LOTS 14-19 DO NOT COMPLY WITH THE LANDSCAPE MANUAL'S MINIMUM 15' WIDE LANDSCAPE AREA BETWEEN THE COMMON PARKING AREA AND THE RESIDENTIAL STRUCTURE. THE DEPARTMENT OF PLANNING AND ZONING APPROVED A LANDSCAPE ALTERNATIVE COMPLIANCE REQUEST TO REDUCE THE 15' WIDE REQUIREMENT, SUBJECT TO LOTS 12-19, PROVIDING LANDSCAPING AND A PHYSICAL BARRIER AS SHOWN ON THE LANDSCAPE PLANS.

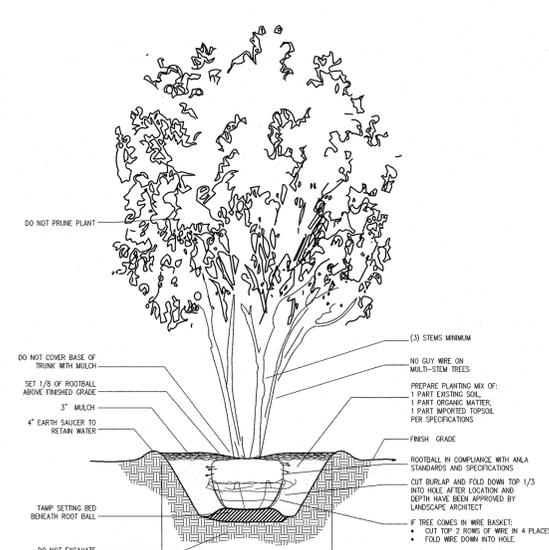
### LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*[Signature]* 10/21/2021  
Date  
This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the grading permit.



DECIDUOUS TREE - TYPICAL PLANTING DETAIL



MULTISTEM TREE - TYPICAL PLANTING DETAIL

### PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A WIDESPREAD ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHOOT SHOWN ON THE PLANS LIST AND THE MINIMUM REQUIREMENT OF UNIFORMITY (AND) STAMENS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISEASE, DEFORMING ROOTS, SUN SCALD INJURIES, ABSCISIONS OF THE BARK, PLANT DAMAGE, INSECT PEST EGGS, BOSSIES AND ALL FORMS OF INSECT INFESTATIONS OR DISEASES/WEATHER DAMAGE. PLANT MATERIAL THAT IS WEAKE OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE PRESERVED IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL AMENDMENTS.

CONTRACTOR SHALL BE RESPONSIBLE TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND THEIR UTILITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF 4 FOOT HIGH SHAW FENCE OR BUZE ORANGE SAFETY FENCE AT THE DIRT LINE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

BD SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE COMMENCEMENT OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN TAKE PRECEDENCE.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-BOTTED COM OR HONEY MANURE, ADD 3 LBS. OF SLOW RELEASE FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUIUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF OVERZEEN (AZULEX) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

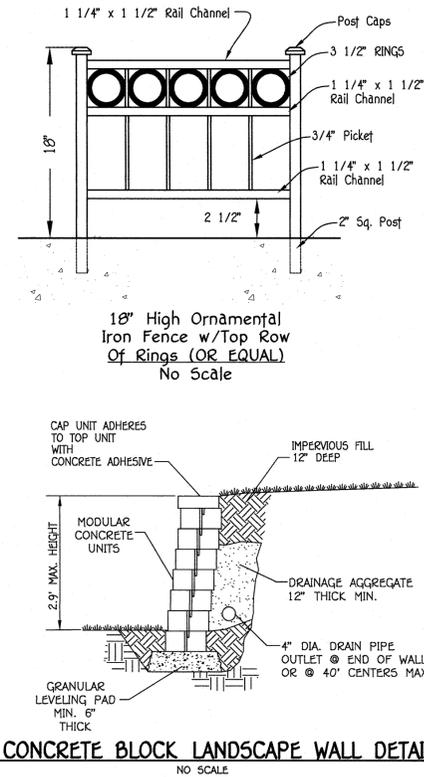
WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GRASS COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEEDMENT CONTROL, LAYOUT, ETC.

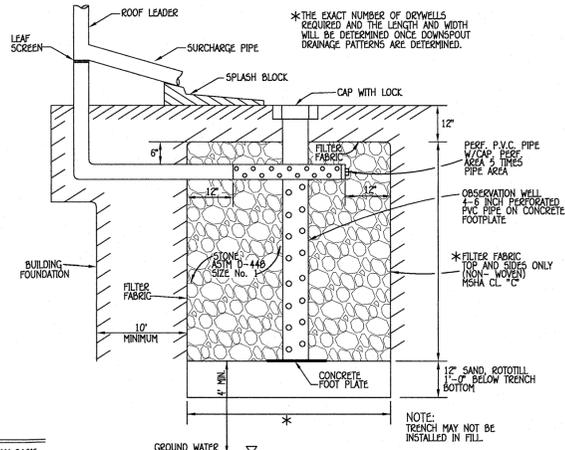
COMPONENTS	QUANTITY	LENGTH
Post Cap (Pyramid, Flat, or Crown)	1	
5" x 5" Post	1	100"
4" x 4" Top Rail	1	91"
1"x1.75" Interlocking Picket	19	67"
1" x 5.75" Bottom Rail Cover	2	91"
Aluminum Bottom Rail	1	90 1/2"
Fence Bracket	4	
1.58" (Typ) Exterior Wood Screws	24	

160 EXETER DR., WINCHESTER VA, 22603  
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CONCRETE BLOCK LANDSCAPE WALL DETAIL  
NO SCALE

DRY WELL CHART									
LOT NO.	DRYWELL NUMBER	NO. OF DOWNSPOUTS	AREA OF ROOF	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	DIMENSIONS OF DRYWELLS
35	M-5 (35)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
36	M-5 (36)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
37	M-5 (37)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
38	M-5 (38)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
39	M-5 (39)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
40	M-5 (40)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
41	M-5 (41)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
42	M-5 (42)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
43	M-5 (43)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'
44	M-5 (44)	2	600 SqFt	86 CuFt	90 CuFt	100%	100%	1	9' X 5' X 5'



DRY WELL DETAIL  
NOT TO SCALE



GUTTER DRAIN FILTER DETAIL  
NOT TO SCALE

### OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLICOTT CITY, MARYLAND 21042  
(410) 461-2855

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development  
Date: 11-9-21

Chief, Development Engineering Division  
Date: 11-15-21

Director, Department of Planning and Zoning  
Date: 11-15-21



PROFESSIONAL CERTIFICATION

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE, 7/14/23.

NAME: *[Signature]* DATE: 10/21/21

OWNER/DEVELOPER: DORSEY'S RIDGE, LLC  
C/O DAVE WOODS/GENE 9172 WILLOW WALK ESTERO, FL 34135 410-461-0837

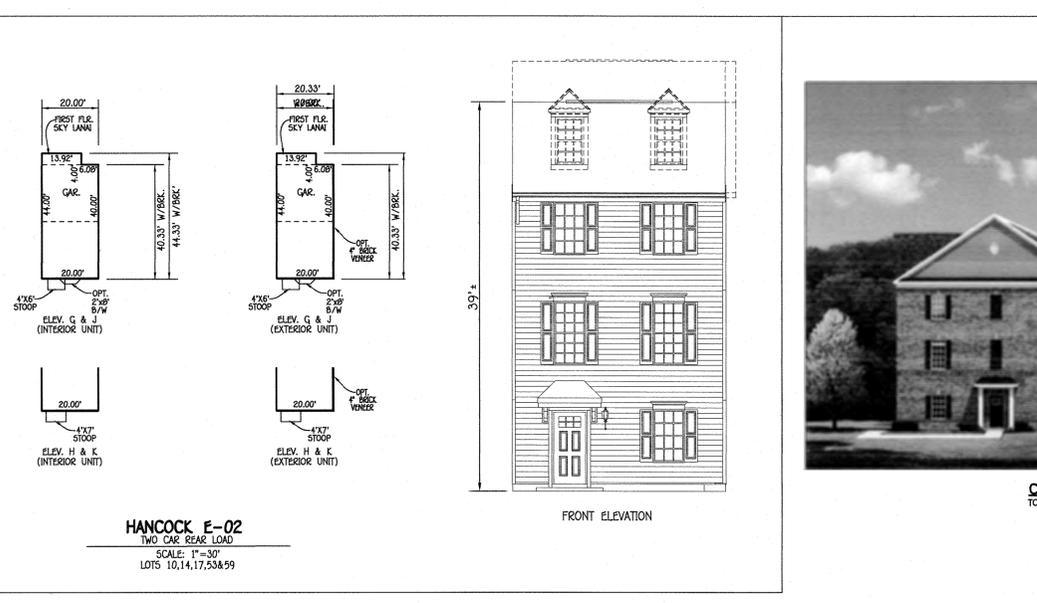
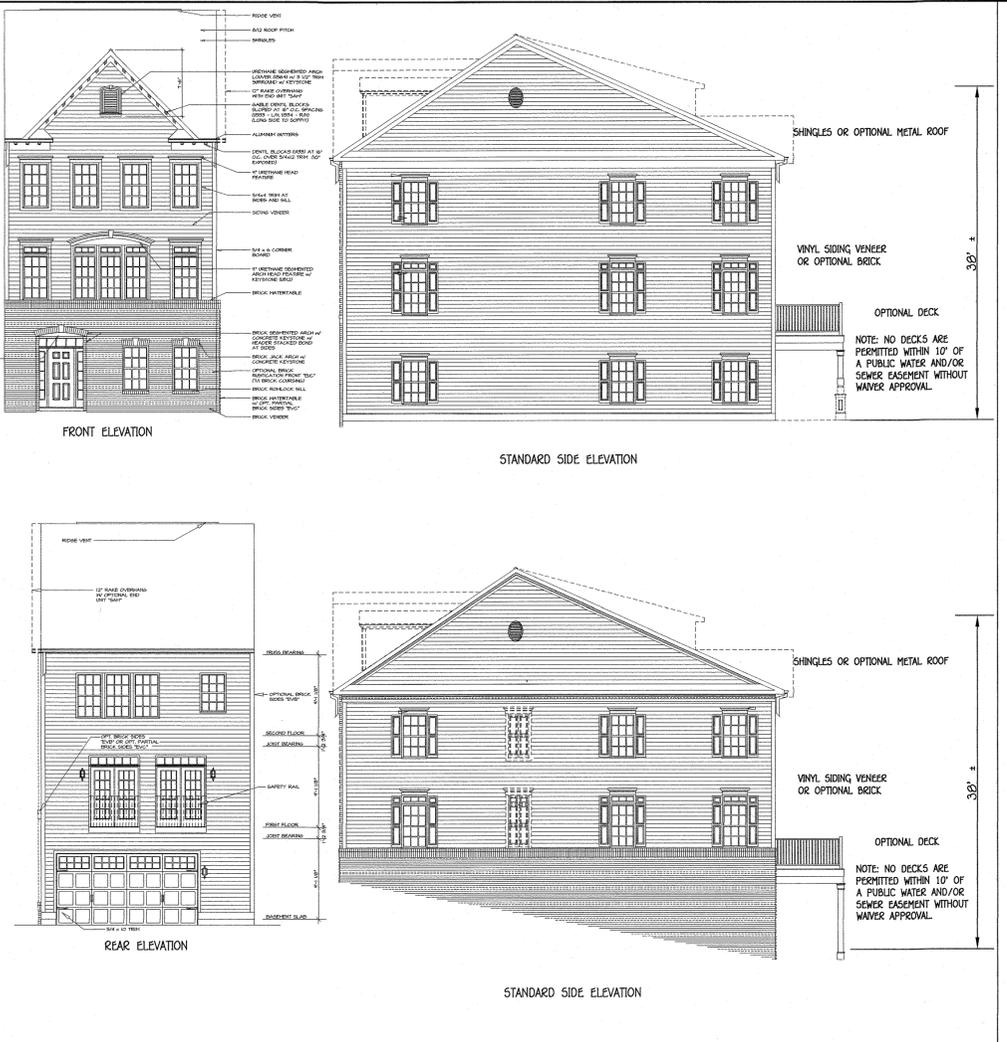
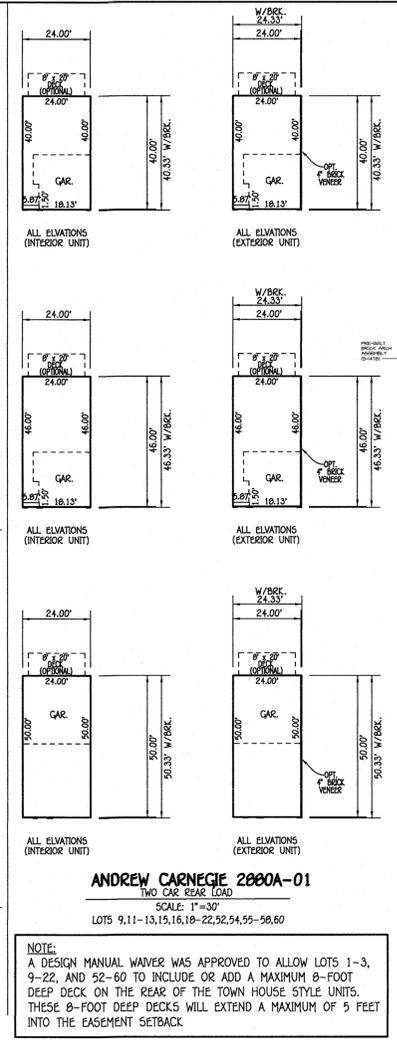
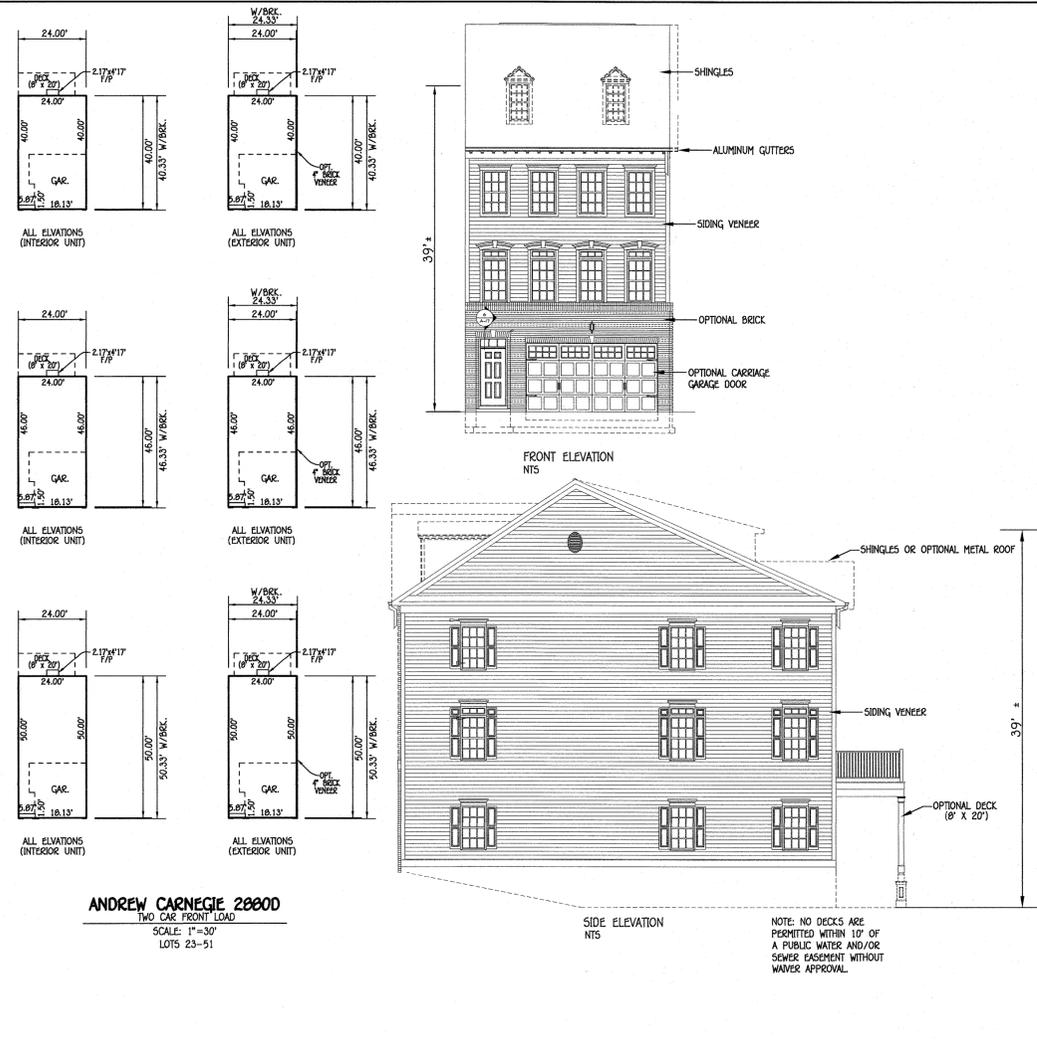
BUILDER: NVR, INC.  
C/O BRENT HANAUER 9720 PATUXENT WOODS DRIVE COLUMBIA, MD 21046 443-832-9102

NO.	REVISION	DATE
1	SECTION/AREA	LOT Nos.
DORSEY'S RIDGE PHASE 2		LOTS 9 THRU 60
PLAT NO. 25856-25859	GRID NO. 18	ZONE CEF-R
TAX/ZONE 24	ELEC. DIST. 2	CENSUS TR. 601101

LANDSCAPE DETAILS  
**DORSEY'S RIDGE**  
PHASE-II  
LOTS 9 THRU 60  
ZONED: CEF-R

PREVIOUS HOWARD COUNTY FILES: 5-89-014, P-89-040, F-89-158, F-05-129, F-09-074, ZB1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129

TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO.: 260  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2021  
SHEET 9 OF 10



**PROPOSED DEVELOPMENT STANDARDS**

**A. USES PERMITTED AS A MATTER OF RIGHT**

- Single-family attached dwelling units, and similar uses.
- Conservation areas, including wildlife and forest preserves, environmental areas, and similar uses.
- Underground pipelines; electric transmission and distribution lines; telephone, telegraph and CATV lines; mobile transformer units; telephone equipment boxes; and other similar public utility uses not requiring a Conditional Use.
- Community meeting facility, interactive exhibits, and apartments located in a historic structure listed on the Howard County Inventory of Historic Sites.

**B. ACCESSORY USES**

The following are permitted accessory uses in the Dorsey's Ridge community. More than one accessory use shall be permitted on a lot, provided that the combination of accessory uses remains secondary, incidental and subordinate to the principal use.

- Any use normally and customarily incidental to any use permitted as a matter of right in the R-ED zoning District. Accessory structures are subject to the requirements for Section 12B.0.A.
- The housing by a resident family of:
  - Not more than four non-familial roomers or boarders; or
  - Not more than eight mentally and/or physically disabled persons or persons 62 years of age or older, provided the use is registered, licensed or certified by the State of Maryland; or
  - A combination of a and b above, provided that the total number of persons housed in addition to the resident family does not exceed eight.
- Home occupations, subject to the requirements of Section 12B.0.C.
- Home care, provided that if home care is combined with housing of mentally or physically disabled persons or persons 62 years of age or older as allowed by subsection 4.b above, the total number of persons receiving home care at any one time plus the number of persons being housed shall not exceed eight.
- Small Wind Energy System, building mounted, on single family detached and non-residential structures only, subject to the requirements of Section 12B.0.L.
- Accessory Solar Collectors.

**C. BULK REGULATIONS (Also see Section 12B.0.A. Supplementary Bulk Regulations)**

- The following maximum limitations shall apply:
  - Height
 

(1) Single Family Attached	40 feet
(2) Accessory structures	15 feet
  - Density
 

(a) Maximum units per structure	6.0 units per gross acre
(b) Single-family attached dwelling units	6 units per structure
(c) Building length - single-family attached	164 feet
  - Minimum setback requirements:
    - From internal street and alley regardless of the classification of street and alley, as measured from face of curb or edge of roadway, in the absence of a curb:
 

(1) Single Family Attached	15 feet
(2) Front	18 feet
(3) Rear	5 feet
(4) Side	10 feet
    - From visual properties:
 

(1) Structure setback from residential uses zoned R-ED and R-20	25 feet
(2) Structure setback from Open Space Lot and BQE right-of-way	20 feet
    - Minimum distance between buildings:
 

(1) Face to Face	25 feet
(2) Face to side	25 feet
(3) Rear to Rear	25 feet
(4) Side to side	10 feet
(5) Rear to side	10 feet
(6) Rear to face	30 feet

**A. MODERATE INCOME HOUSING UNITS**

At least 10% of the dwelling in the development shall be Moderate Income Housing Units.

**B. CONDITIONAL USES**

Conditional Uses in the Dorsey's Ridge community are subject to the detailed requirements for Conditional Uses given in Section 131.0 for R-ED zoned properties for the listed of permitted Conditional Uses, refer to the chart in Section 131.0.

**C. OPEN SPACE AND ACTIVE RECREATION**

Forty percent (40%) of the gross acres of the site will be designated as Open Space. The active recreation needs of the community will be met by the playground, common area around the Pae-Fulton House, the on-site gathering places and mews and, Pathways on-site and linking to off-site pedestrian and bicycle connection.

**G. PARKING**

Dorsey's Ridge will comply with the off-street parking requirements of Section 133.0 Off-Street Parking and Loading Facilities for all uses.

**COMMUNITY ENHANCEMENTS**

- RESTORATION OF HISTORIC PAE-FULTON HOUSE AND SMOKE HOUSE
- COOKS LANE IMPROVEMENTS
- SIDEWALK, CROSSWALK AND PATHWAY CONNECTION BETWEEN SEVERAL NEIGHBORHOODS AND THROUGH THE BQE RIGHT-OF-WAY TO SCHOOLS AND SHOPPING

**NEIGHBORHOOD DESIGN**

- HISTORIC BUILDING AS THE CENTRAL FOCUS:
  - Restoration of the Pae-Fulton homestead and smoke house
  - Apartment and community exhibit space
  - Presentation of an environmental setting around the historic house
- CREATE COMMUNITY GATHERING SPACES:
  - Central public green space around the Pae-Fulton House with sidewalks, seating areas and play space
  - Gateway green spaces and residential mews with seating and landscape improvements
  - Network of pedestrian-friendly streets throughout the community
- PROTECT ENVIRONMENTAL FEATURES:
  - Additional floodplain, stream and wetland buffers
  - Tree preservation of many of the significant trees around Pae-Fulton house
  - Forest retention
  - Steep slope avoidance

**ARCHITECTURAL DESIGN GUIDANCE**

**A. DESIGN INTENT:**

- The residential architecture shall establish a harmonious and common neighborhood character, while being respectful of the distinctive and historic architectural heritage of the Pae-Fulton House.
- Buildings shall activate and frame pedestrian-oriented neighborhood spaces, such as streets, greens, mews and courts. The architecture orients facades with primary entrances, stoops and porches providing visual interest around these spaces.
- Where possible, visually distracting building elements such as, garage openings, parking areas and mechanical equipment shall not be located within view from streets and public spaces.

**B. GENERAL ARCHITECTURAL ELEMENTS:**

- Townhouse entrances should orient to and address the street or public open space.
- Townhouses shall be designed to be stylistically and materially distinctive from the historic Pae-Fulton house.
- Facades oriented toward streets and public open spaces shall be designed to create visual interest by incorporating higher quality materials, such as masonry and fiber-cement siding, and higher quality of detailing.

**C. CORNER TOWNHOUSES:**

- Corner townhouses have two facades oriented towards important public spaces: open spaces and streets. These units shall have primary building entrances placed on the side elevation towards the street to give the impression of a detached home when viewed from the side. Both public oriented sides shall be designed to incorporate higher quality materials, more fenestration and a higher quality of detailing.
- Corner townhouses shall be designed to minimize views into the alley from the street. Wing walls, trellises, landscape and building extensions shall be used to screen the alley. Screen structures shall connect to and be designed as an extension of the corner house using similar details and materials.

**D. FRONT GARAGE TOWNHOUSES:**

- Front garage townhouses shall provide architectural design elements to reduce the visual prominence of garage openings from the street. These elements may include the following:
  - Doors constructed with neutral materials and color.
  - Narrow garage openings or the use of two narrower garage doors.
  - Recessed garage doors beyond the front entrance and facade of the townhouse, and
  - Roof eaves or facade details to cast shadows over garage opening.
- Front garage townhouse driveways shall be designed to the narrowest useable width.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 11/15/21 Date

Chief, Development Engineering Division *[Signature]* 11-9-21 Date

Director of Department of Planning and Zoning *[Signature]* 11-15-21 Date

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE  
 ELLENTON CITY, MARYLAND 21042  
 (410) 461-2959

**PROFESSIONAL CERTIFICATION**

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE, 7/14/23.

*[Signature]* NAME: *[Signature]* DATE: 10/31/21

OWNER/DEVELOPER: DORSEY'S RIDGE, LLC  
 C/O DAVE WOODS/ENER 9172 WILLOW WALK ESTERO, FL 34135 410-461-0837

BUILDER: NVR, INC.  
 C/O BRENT HANAUER 9720 PATUXENT WOODS DRIVE COLUMBIA, MD 21046 443-832-9102

NO.		REVISION		DATE	
SUBDIVISION		SECTION/AREA		LOT Nos.	
DORSEY'S RIDGE		PHASE 2		LOTS 9 THRU 60	
PLAT NO.	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
28056-28059	18	CEF-R	24	2	601101

**ARCHITECTURAL ELEVATIONS AND DEVELOPMENT STANDARDS**

**DORSEY'S RIDGE**

**PHASE-II**

**LOTS 9 THRU 60**

ZONED: CEF-R

PREVIOUS HOWARD COUNTY FILES: 5-89-014, P-89-040, F-89-158, F-05-129, F-09-074, ZB1106M, 5-17-006, WP-17-084, WP-18-038, WP-18-136, WP-20-053, F-19-047, F-21-016, F-22-013, AND WP-21-129

TAX MAP NO.: 24 GRID NO.: 18 PARCEL NO.: 260

SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: SEPTEMBER, 2021

SHEET 110 OF 110