

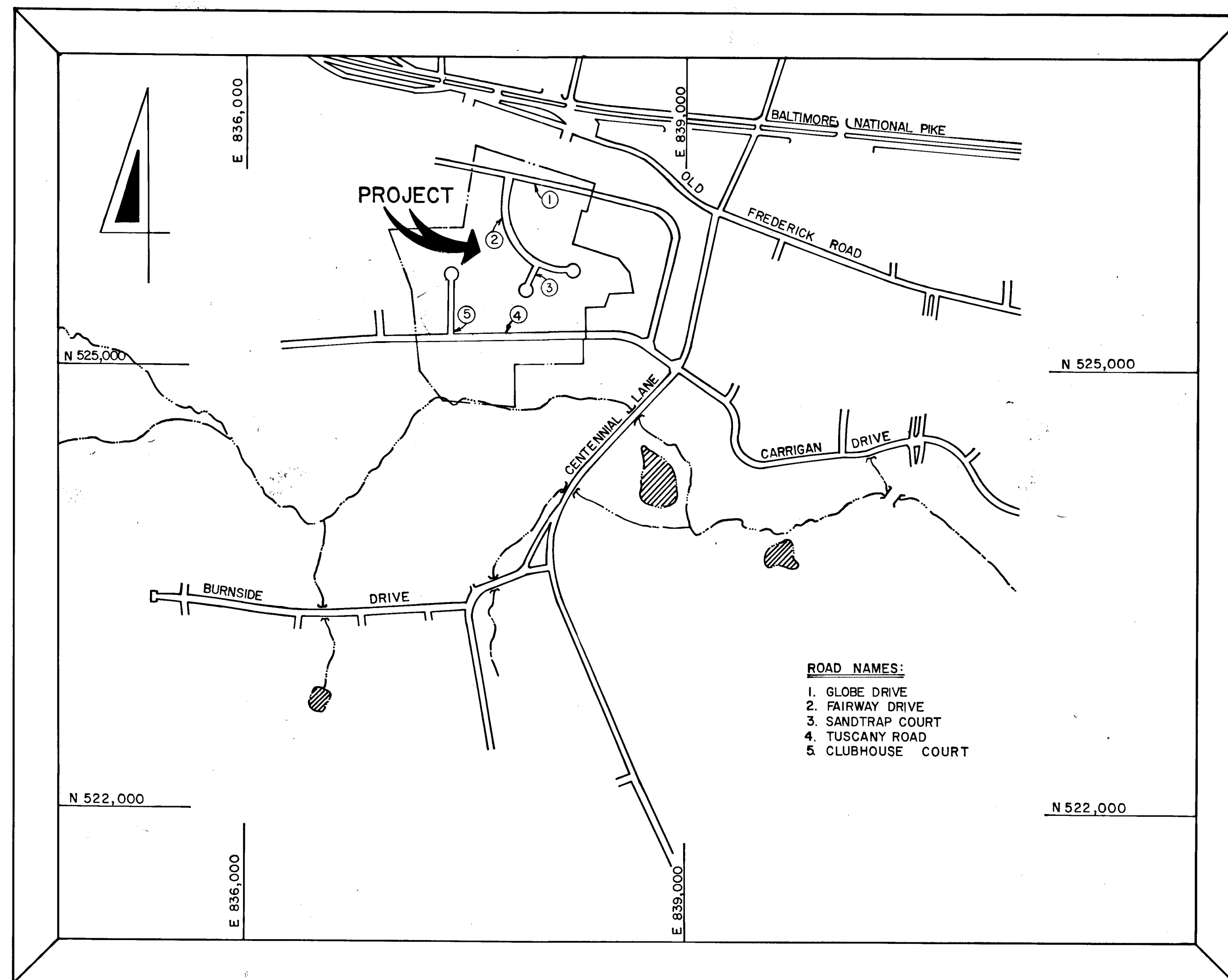
# THE FAIRWAYS

## SECTION ONE AREA TWO

### SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

APPROVED  
DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 2-12-87  
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED  
OFFICE OF PLANNING AND ZONING  
*[Signature]* 2-12-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE



VICINITY MAP  
SCALE: 1"=600'

#### INDEX OF SHEETS

1. TITLE SHEET
2. TUSCANY ROAD - PLAN AND PROFILE
3. TUSCANY ROAD AND CLUBHOUSE COURT - PLAN AND PROFILE
4. GLOBE DRIVE AND FAIRWAY DRIVE - PLAN AND PROFILE
5. FAIRWAY DRIVE AND SANDTRAP COURT - PLAN AND PROFILE
6. ROAD SECTIONS, DETAILS AND STORM DRAIN PROFILES
7. DRAINAGE AREA MAP AND SEDIMENT CONTROL DETAILS
8. STREET TREE, GRADING AND SEDIMENT CONTROL PLAN
9. STREET TREE, GRADING AND SEDIMENT CONTROL PLAN
10. STORM DRAIN PROFILES
11. PARABOLIC CHANNEL PROFILES AND DESIGN DATA, STORM DRAIN AND SEDIMENT BASIN NOTES AND DETAILS.

THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL STATIONS  
N 52438.195 N 524615.577  
E 839503.866 E 838351.344



#### OWNER AND DEVELOPER

FONT HILL GOLF CLUB, INC.  
C/O GORDON GREENSPUN SUITE 275  
COMMERCECENTRE EAST  
1777 REISTERSTOWN ROAD  
BALTIMORE, MARYLAND 21208

1221  
FISHER, COLLINS AND CARTER, INC.  
CONSULTING ENGINEERS AND LAND SURVEYORS  
8388 COURT AVENUE  
ELLCOTT CITY, MARYLAND 21043  
TELEPHONE: (301) 461-2855

**EMPLOYER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REGULATORY REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

*Charles J. Crovo SR.* 10/10/86  
 CHARLES J. CROVO SR.  
 PROFESSIONAL ENGINEER

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

*Gordon Greenstein* 10/10/86  
 GORDON GREENSTEIN  
 DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*J. Helms* 2/13/87  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
*Stephen R. Huber* 2/13/87  
 HOWARD COUNTY SOIL CONSERVATION DISTRICT

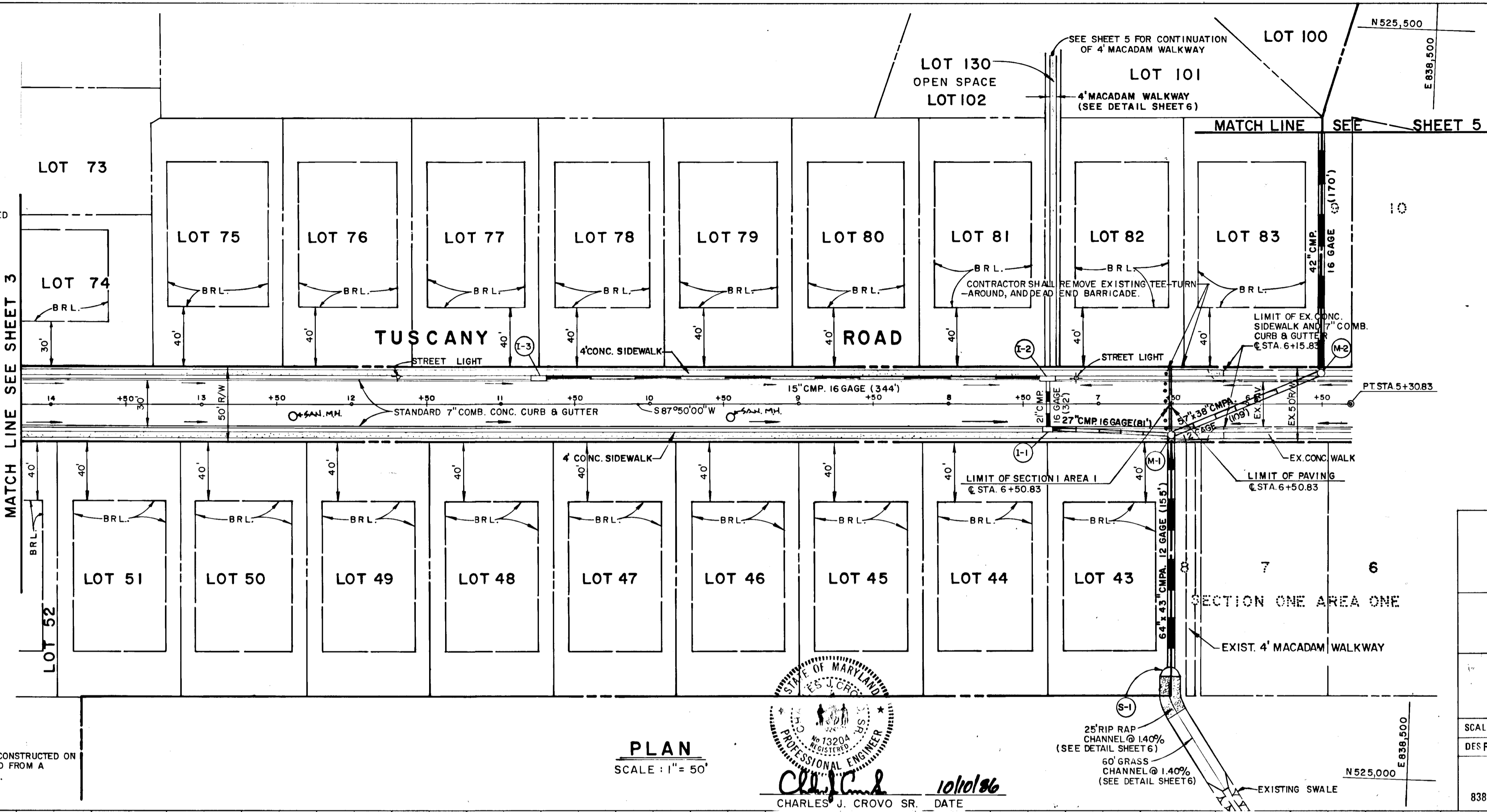
**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARDS, SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED 24 HRS IN ADVANCE OF ANY CONSTRUCTION.
- STORM DRAINAGE TRENCHES WITHIN ROAD RIGHT-OF-WAYS SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH HOWARD COUNTY ROAD CODE.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO NOTIFY THE HOWARD COUNTY INSPECTION AND SURVEY DIVISION AT LEAST 3 DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. TELEPHONE 792-7272.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 1978 EDITION.

APPROVED  
 DEPARTMENT OF PUBLIC WORKS  
*William R. ...* 2-11-87  
 CHIEF, BUREAU OF ENGINEERING

APPROVED  
 OFFICE OF PLANNING AND ZONING  
*John W. ...* 2-25-87  
 AND ZONING ADMINISTRATION

**NOTE:** STORM WATER MANAGEMENT FACILITIES FOR THIS SUBDIVISION WERE CONSTRUCTED ON LOTS 26 AND 27 IN SECTION 1 AREA 1, F86-155. THE FACILITY WAS DESIGNED FROM A HYDROLOGY STUDY PREPARED WITH THE CENTENNIAL MANOR SUBDIVISION.



**BENCH MARKS**  
 B.M. #1 ELEV. 414.33  
 "+ CUT" ON RIM OF SANITARY MANHOLE #3033  
 B.M. #2 ELEV. 376.25  
 "+ CUT" ON RIM OF SANITARY MANHOLE #3030  
 (SEE VICINITY MAP FOR LOCATIONS).

NOTE: THE 57"x38" AND 64"x43" CMP'S SHALL HAVE A 2-2 3/4" x 1/2" CORRUGATION PATTERN.

**THE FAIRWAYS**  
 SECTION ONE AREA TWO  
 LOTS 43-130  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

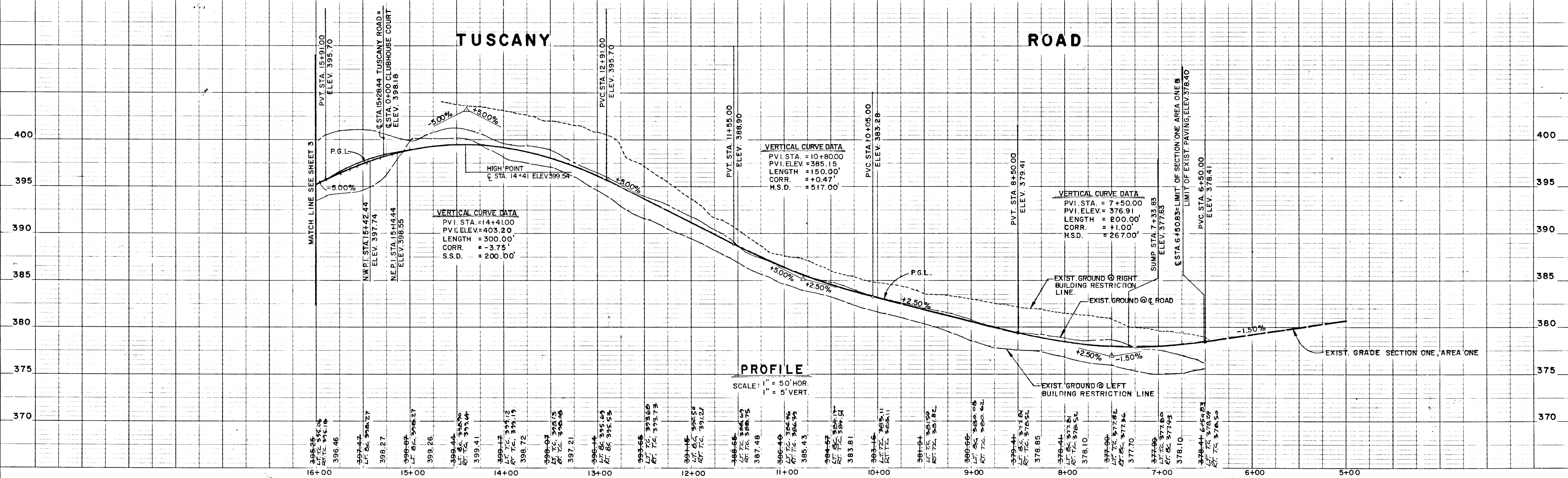
**TUSCANY ROAD**  
 PLAN & PROFILE

OWNER AND DEVELOPER  
 POINT HILL GOLF CLUB, INC.  
 C/O GORDON GREENSTEIN, SUITE 275  
 COMMERCIAL CENTER EAST  
 1777 REISTERSTOWN ROAD  
 BALTIMORE, MARYLAND 21208

SCALE AS SHOWN DATE: OCT. 7 1986 DWG. NO. 2 OF 11  
 DESIGNED BY: DR. A. STEINBERG CHK. C. CROVO SR.  
 FISHER, COLLINS AND CARTER, INC.  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

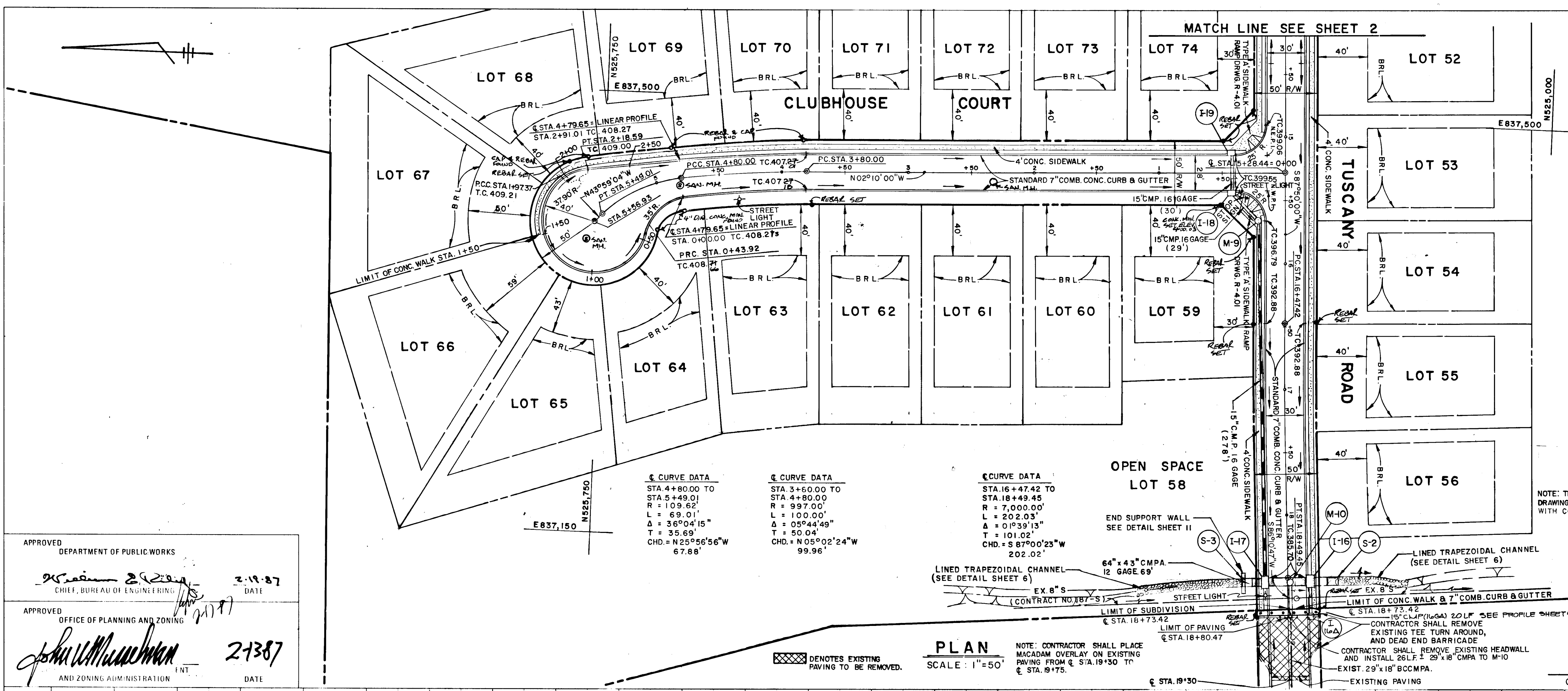
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DATE	BY	REVISION



1221

DATE	
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SURVEYED	
PLOTTED	
CHECKED	
NOTE BOOK	
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APPROVED DEPARTMENT OF PUBLIC WORKS  
 [Signature] 2-19-87  
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED OFFICE OF PLANNING AND ZONING  
 [Signature] 2-18-87  
 AND ZONING ADMINISTRATION DATE

**THE FAIRWAYS**  
 SECTION ONE AREA TWO  
 LOTS 45-130  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**TUSCANY ROAD & CLUBHOUSE COURT  
 PLAN & PROFILE**

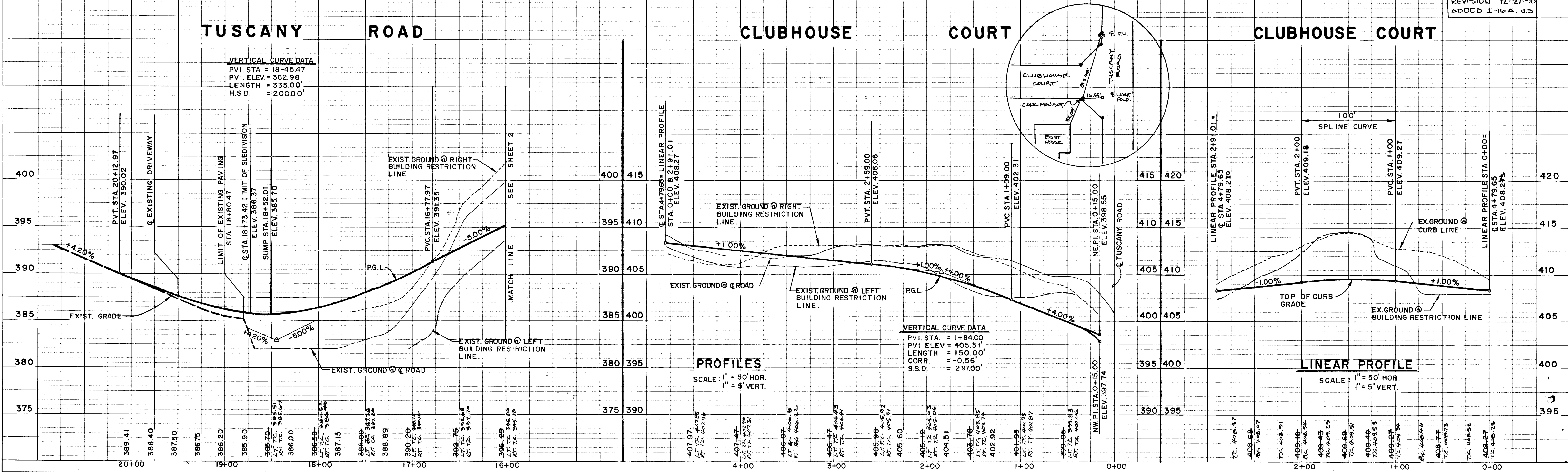
OWNER AND DEVELOPER  
 FONT HILL GOLF CLUB, INC.  
 670 GORDON GREENSPUN SUITE 275  
 COMMERCE CENTRE EAST  
 1777 REGISTER TOWN ROAD  
 BALTIMORE, MARYLAND 21208

SCALE AS SHOWN DATE OCT. 7, 1986 DWG. NO. 3 OF 11  
 DESIGNED BY R.C. SHUMAKER DRAWN BY A. STEINBERG CHECKED BY C. CROVO SR.

FISHER, COLLINS AND CARTER, INC.  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 ELLICOTT CITY, MARYLAND 21043  
 8388 COURT AVE.

REVISION 12-27-90  
 ADDED I-16A, J-5

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NOTE BOOK	
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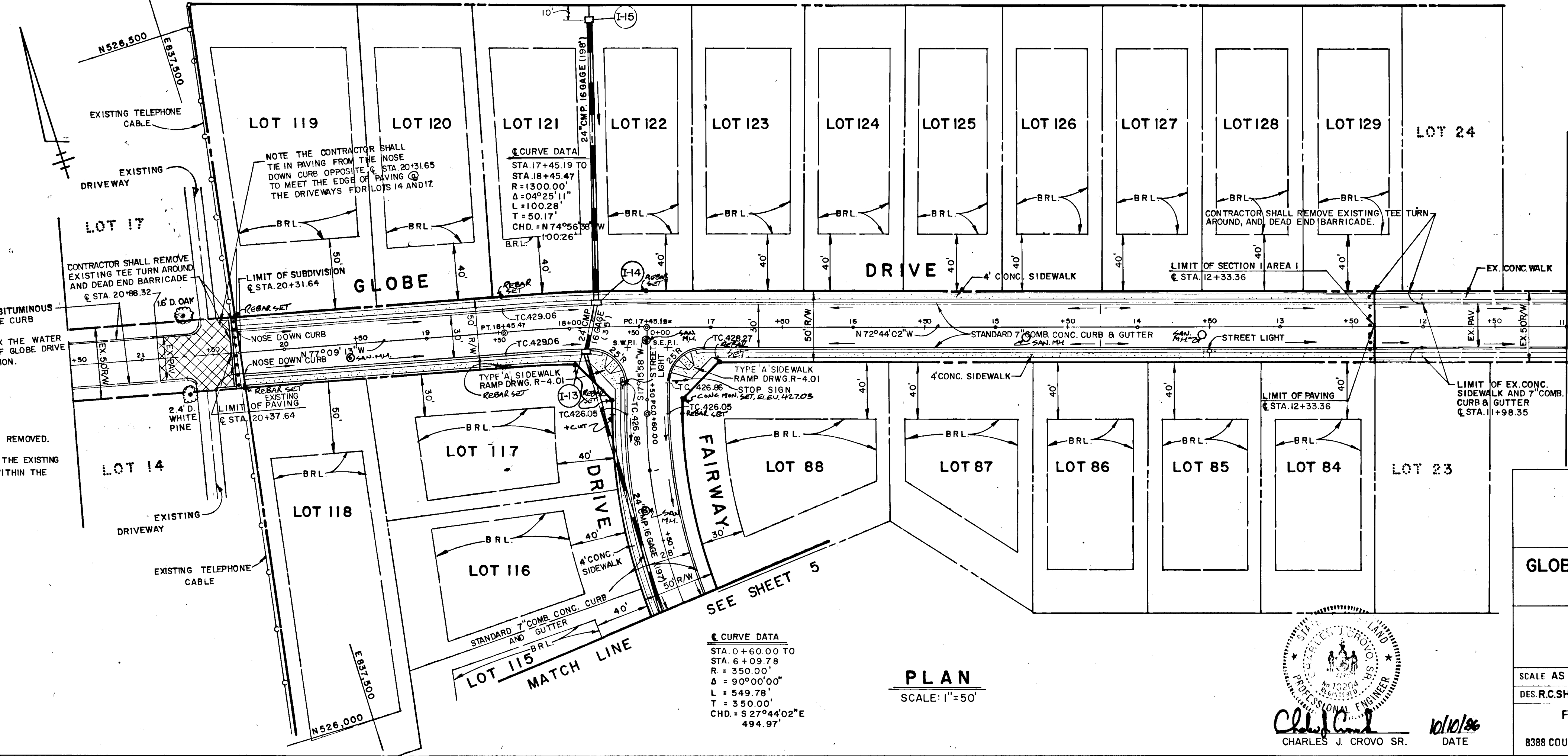
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GRADES CHECKED	
NO. OF BOOK	
NO. OF SHEETS	
NO. OF WAY CHECKED	
NO.	

APPROVED  
DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 2-19-87  
DATE

APPROVED  
OFFICE OF PLANNING AND ZONING  
*[Signature]* 2-18-87  
DATE

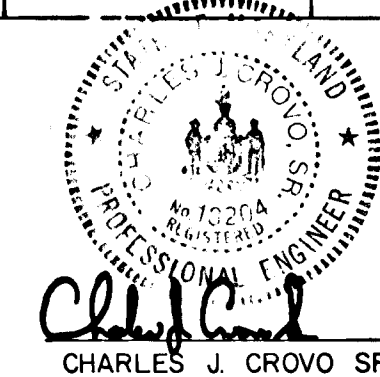
XXXX DENOTES EXISTING PAVING TO BE REMOVED.  
NOTE: DUE TO THE ROAD GRADE REVISION, THE EXISTING TELEPHONE CABLE SHALL BE RELOCATED WITHIN THE RIGHT OF WAY LIMITS OF GLOBE DRIVE.

NOTE: THE CONTRACTOR SHALL CHECK THE WATER AND SEWER DRAWINGS AT THE END OF GLOBE DRIVE BEFORE PROCEEDING WITH CONSTRUCTION.  
CONTRACTOR SHALL REMOVE EXISTING TEE TURN AROUND AND DEAD END BARRICADE @ STA. 20+08.32  
CONTRACTOR SHALL REMOVE EXISTING TEE TURN AROUND AND DEAD END BARRICADE @ STA. 12+33.36



§ CURVE DATA  
STA. 0+60.00 TO  
STA. 6+03.78  
R = 350.00'  
Δ = 90°00'00"  
L = 549.78'  
T = 350.00'  
CHD. = S 27°44'02"E  
494.97'

PLAN  
SCALE: 1" = 50'



**THE FAIRWAYS**  
SECTION ONE AREA TWO  
LOTS 43-130  
SECOND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

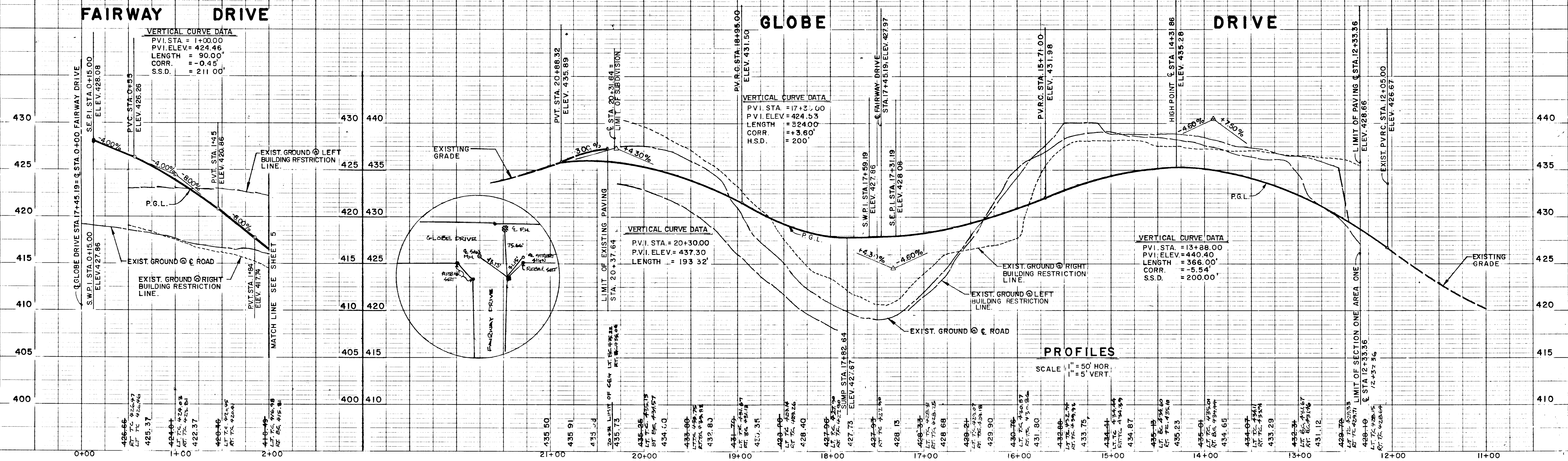
**GLOBE DRIVE & FAIRWAY DRIVE  
PLAN & PROFILE**

OWNER AND DEVELOPER  
FONT HILL GOLF CLUB, INC.  
C/O GORDON GREENSPUN, SUITE 275  
COMMERCENTRE EAST  
1777 REGISTER TOWN ROAD  
BALTIMORE, MARYLAND 21208

SCALE AS SHOWN DATE OCT. 7, 1986 DWG. NO. 4 OF 11  
DES. R.C. SHUMAKER DRN. A. STEINBERG CHK. C. CROVO SR.

FISHER, COLLINS AND CARTER, INC.  
CIVIL ENGINEERS AND LAND SURVEYORS  
8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

DATE	
BY	
SURVEYED	
GRADES CHECKED	
NO. OF BOOK	
NO. OF SHEETS	
NO. OF WAY CHECKED	
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1221

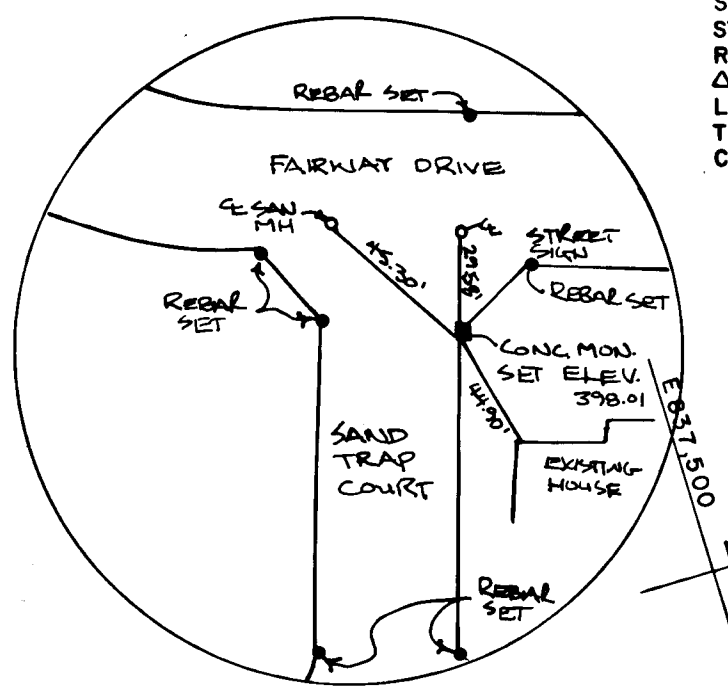
PLAN	SURVEYED	DATE
	PLOTTED	
	CHECKED	
	BY	
	NOTE BOOK NO.	
	DATE	

THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL STATIONS:  
 3240004 N 526638.195  
 E 239503.866  
 3240005 N 526615.577  
 E 238351.344

Revised 7/31/90 By M.Y.  
 Added Sidewalk to Sand Trap Court

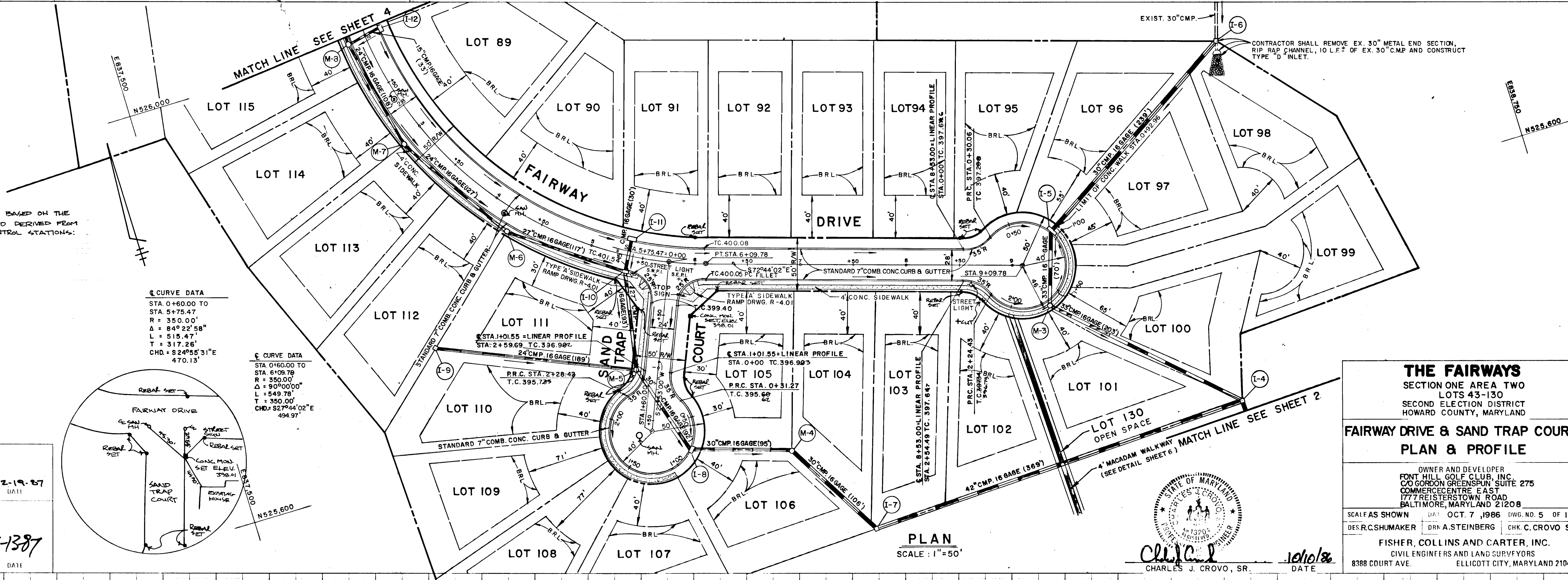
APPROVED DEPARTMENT OF PUBLIC WORKS  
 [Signature] 2-19-87  
 CHIEF, BUREAU OF ENGINEERING (DA1)

APPROVED OFFICE OF PLANNING AND ZONING  
 [Signature] 2-13-87  
 AND ZONING ADMINISTRATION (DA1)

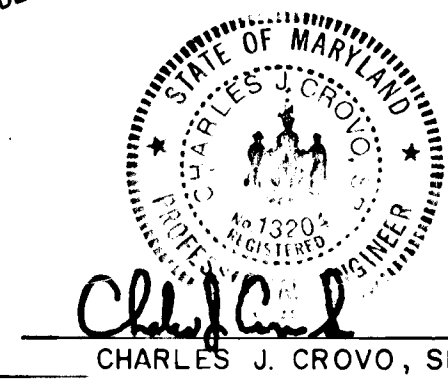


☉ CURVE DATA  
 STA. 0+60.00 TO STA. 5+75.47  
 R = 350.00'  
 Δ = 84° 22' 58"  
 L = 515.47'  
 T = 317.26'  
 T = 350.00'  
 CHD = S 24° 55' 31" E 470.13'

☉ CURVE DATA  
 STA. 0+160.00 TO STA. 6+09.78  
 R = 350.00'  
 Δ = 90° 00' 00"  
 L = 549.78'  
 T = 350.00'  
 CHD = S 27° 44' 02" E 494.97'



PLAN  
 SCALE: 1" = 50'



**THE FAIRWAYS**  
 SECTION ONE AREA TWO  
 LOTS 43-130  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

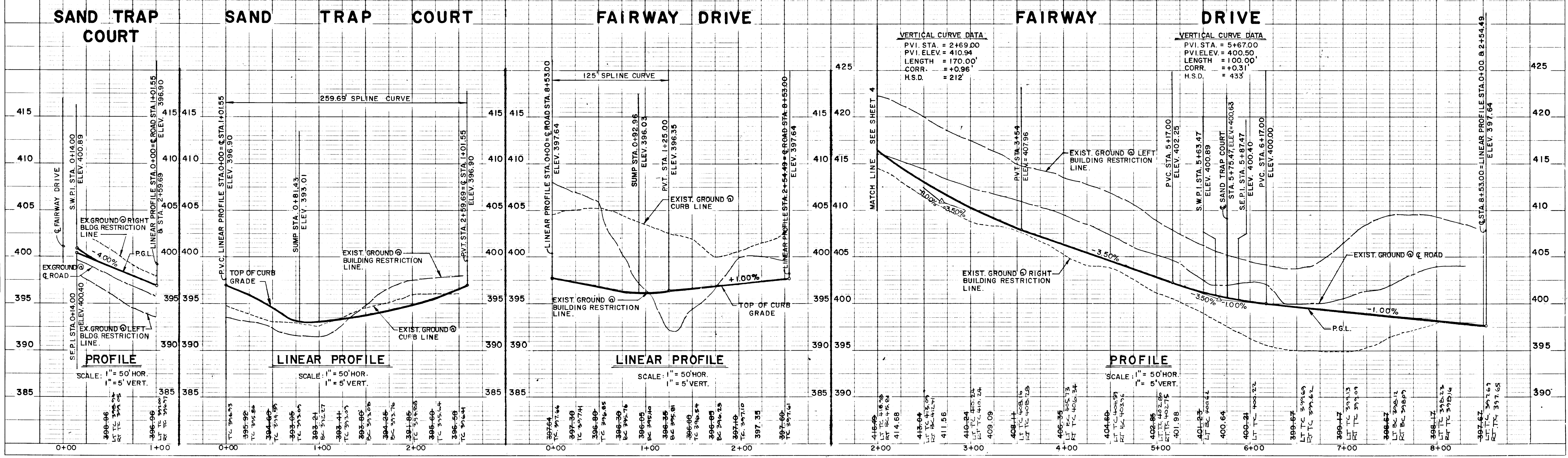
**FAIRWAY DRIVE & SAND TRAP COURT  
 PLAN & PROFILE**

OWNER AND DEVELOPER  
 FONT HILL GOLF CLUB, INC.  
 CO. GORDON GREENSPIN, SUITE 275  
 COMMERCENTRE EAST  
 1777 REISTERSTOWN ROAD  
 BALTIMORE, MARYLAND 21208

SCALE AS SHOWN DATE: OCT. 7, 1986 DWG. NO. 5 OF 11  
 DES. R.C. SHUMAKER DRN. A. STEINBERG CHK. C. CROVO SR.

FISHER, COLLINS AND CARTER, INC.  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

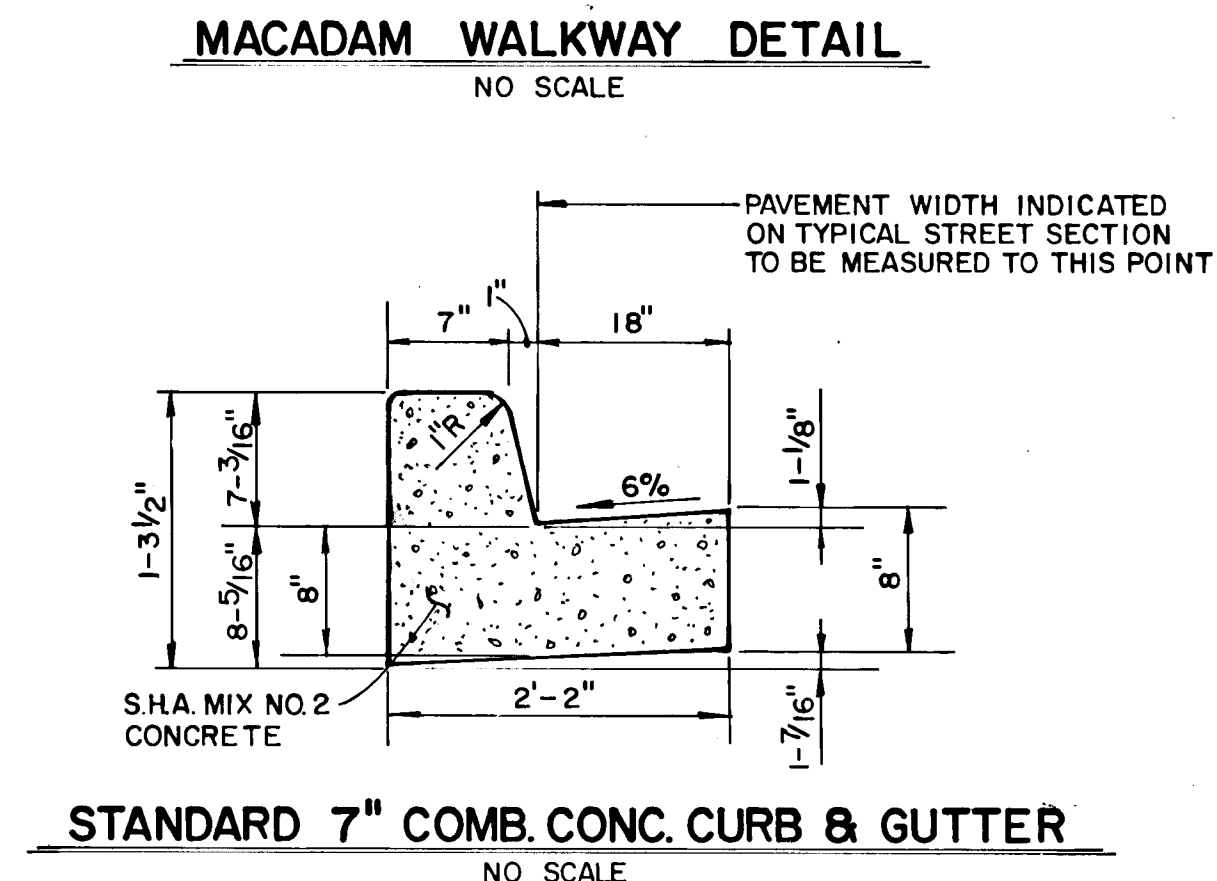
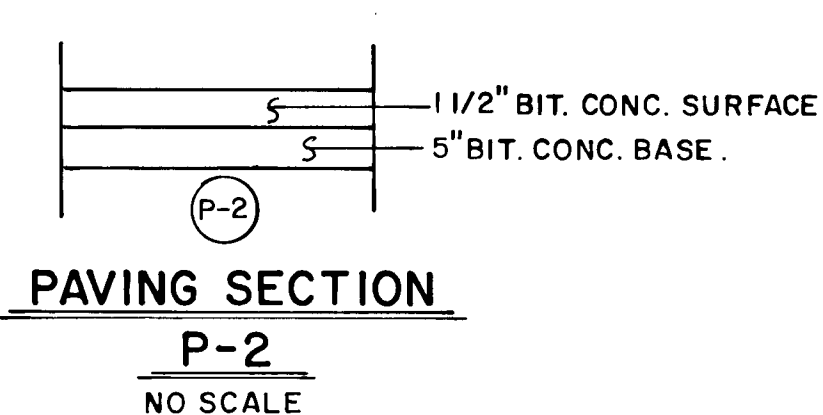
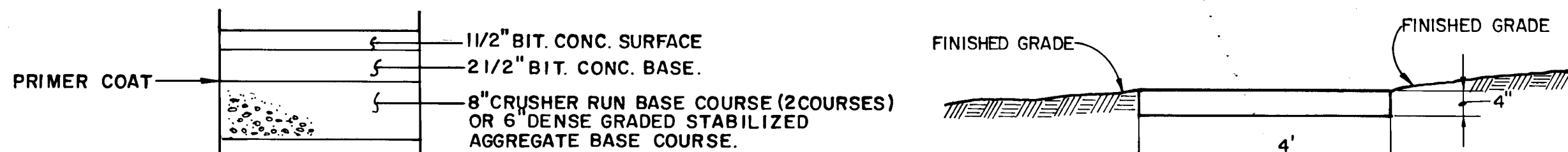
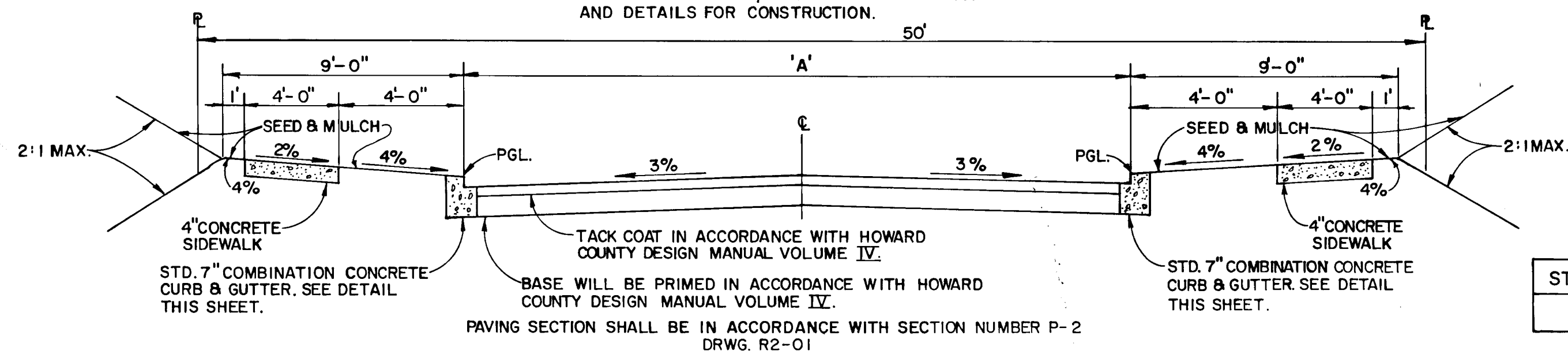
PROFILE	SURVEYED	DATE
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	BY	
	NOTE BOOK NO.	
	DATE	



1221

**TYPICAL ROADWAY SECTION**

ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.



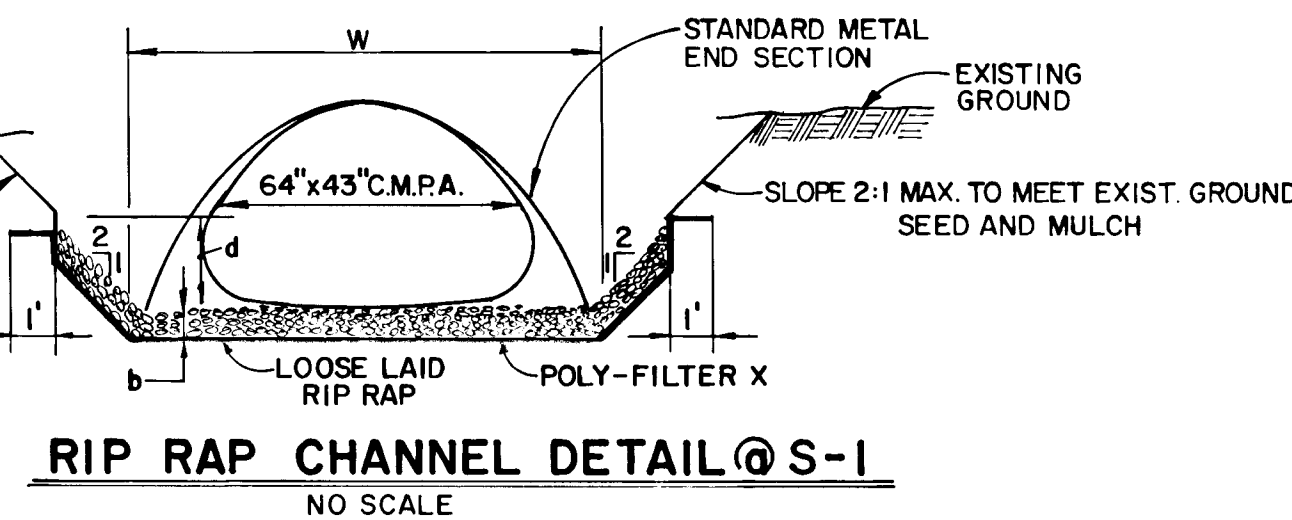
**GRASS CHANNEL DESIGN DATA**

STRUCTURE	A <sup>01</sup>	P <sup>1</sup>	R	R2/3	S%	S1/2	n	Q <sub>cfs.</sub>	V <sub>fps.</sub>	D <sub>ft.</sub>	W <sub>ft.</sub>
S-1	17.50	17.09	1.02	1.016	1.40%	0.118	0.03	104.13	5.95	1.25	11.50

**RIP RAP CHANNEL DESIGN DATA**

Struct.	A <sup>01</sup>	P <sup>1</sup>	R <sup>1</sup>	R2/3	S%	n	Q <sub>cfs.</sub>	V <sub>fps.</sub>	W <sub>ft.</sub>	D <sub>ft.</sub>	Rip Rap Size d50/dmax in	b.in.
S-2	28.65	17.82	1.61	1.37	1	0.04	146.40*	5.11	7.00	2.42	9 14	20
S-3	13.34	13.13	1.02	1.02	5	0.04	112.34*	8.42	7.00	1.37	9 14	20

\*DENOTES Q<sub>100</sub>



**RIP RAP CHANNEL DESIGN DATA**

Struct.	A <sup>01</sup>	P <sup>1</sup>	R	R2/3	S%	S1/2	n	Q <sub>cfs.</sub>	V <sub>fps.</sub>	d <sub>ft.</sub>	w <sub>ft.</sub>	Rip Rap Size d50/dmax	b.in.
S-1	21.40	18.12	1.181	1.118	1.40%	0.118	.04	105.07	4.91	1.48	11.50	9" 14"	20

ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	Q STA. LIMITS	"A"
TUSCANY ROAD	LOCAL	30 M.P.H.	R-20	6+15.83 TO 18+80.47	30'
GLOBE DRIVE	LOCAL	30 M.P.H.	R-20	11+98.35 TO 20+31.64	30'
CLUBHOUSE COURT	CUL-DE-SAC	25 M.P.H.	R-20	0+00 TO 4+79.65	28'
SANDTRAP COURT	CUL-DE-SAC	25 M.P.H.	R-20	0+00 TO 1+01.55	24'
FAIRWAY DRIVE	CUL-DE-SAC	30 M.P.H.	R-20	0+00 TO 8+53.00	28'

**THE FAIRWAYS**

SECTION ONE AREA TWO  
LOTS 43-130  
SECOND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**ROAD SECTIONS, DETAILS, AND  
STORM DRAIN PROFILES**

OWNER AND DEVELOPER  
FONT HILL GOLF CLUB, INC.  
C/O GORDON GREENSPUN SUITE 275  
COMMERCE CENTRE EAST  
1777 REISTERSTOWN ROAD  
BALTIMORE, MARYLAND 21208

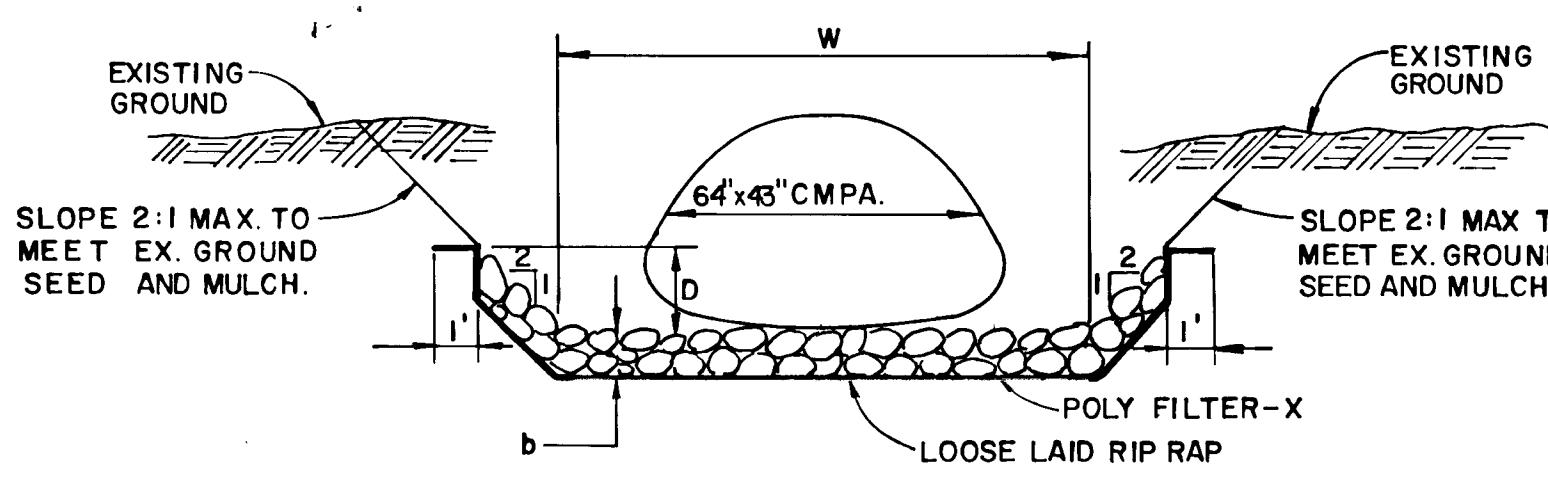
SCALE AS SHOWN DATE OCT. 7, 1986 DWG. NO. 6 OF 11

DES. R.C. SHUMAKER DRN. A. STEINBERG CHK. C. CROVO SR.

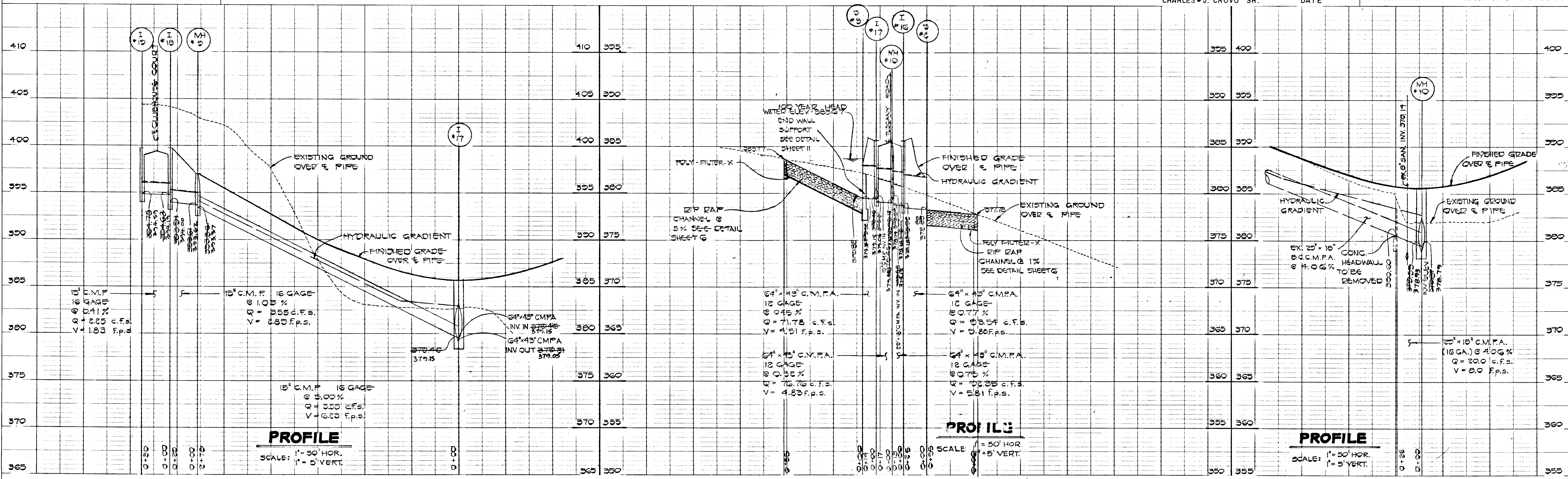
FISHER, COLLINS AND CARTER, INC.  
CIVIL ENGINEERS AND LAND SURVEYORS  
8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043



CHARLES J. CROVO SR.  
DATE 10/10/86



**LINED TRAPEZOIDAL RIP RAP CHANNEL DETAIL @ S-2 & S-3**  
NO SCALE



1221

**PERMANENT SEEDING NOTES:**  
 APPLY TO GRAD'D OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.  
 SEEDBED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.  
 SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAPFORM FERTILIZER (9 LBS/1000 SQ. FT.).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.

**SEEDING:** FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 50 LBS PER ACRE (14 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 29, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

**MULCHING:** APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

**MAINTENANCE:** INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

**TEMPORARY SEEDING NOTES:**  
 APPLY TO GRAD'D OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

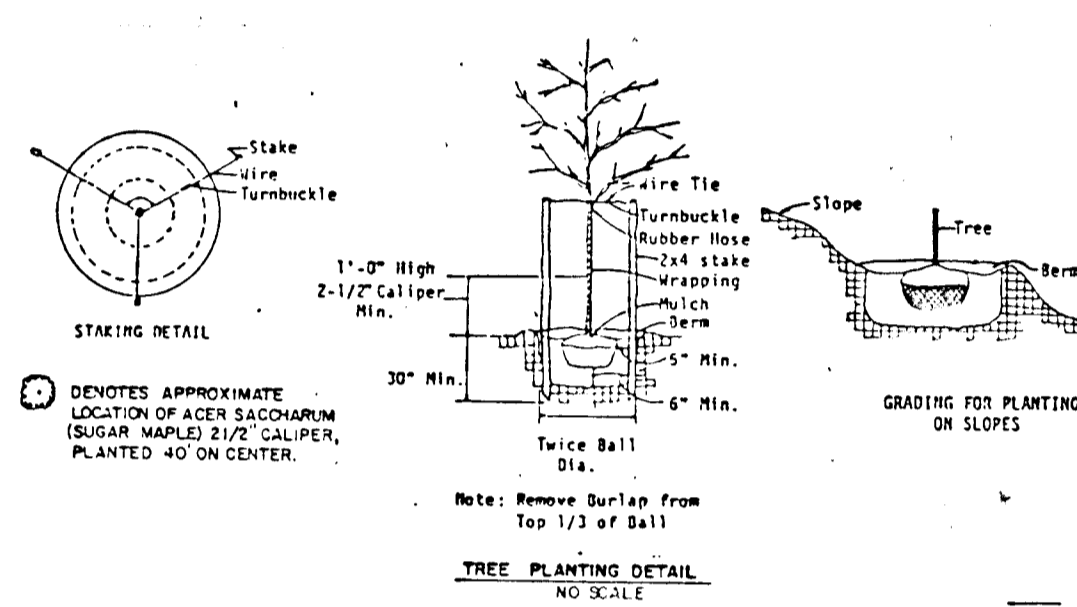
**SEEDBED PREPARATION:** LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

**SOIL AMENDMENTS:** APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.).

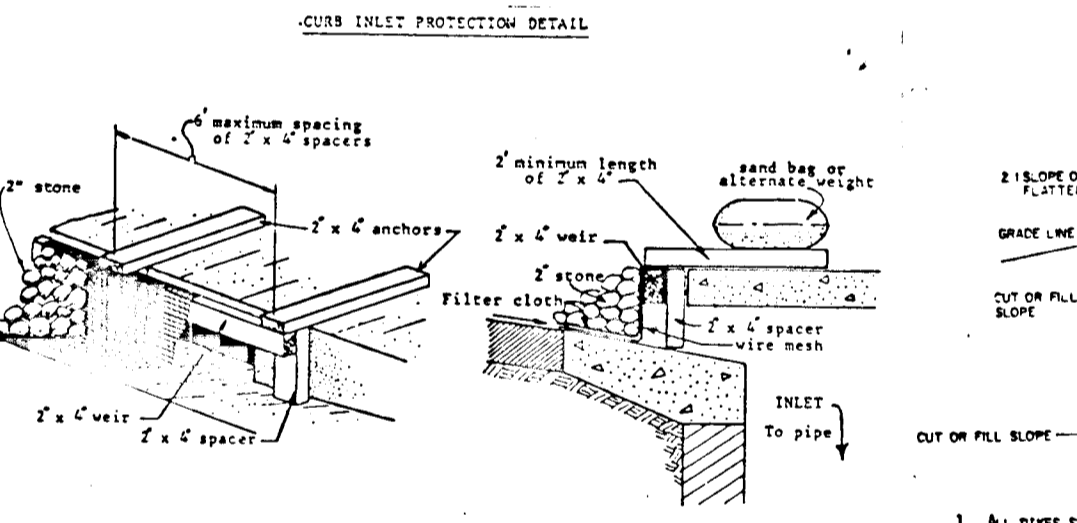
**SEEDING:** FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 29, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

**MULCHING:** APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

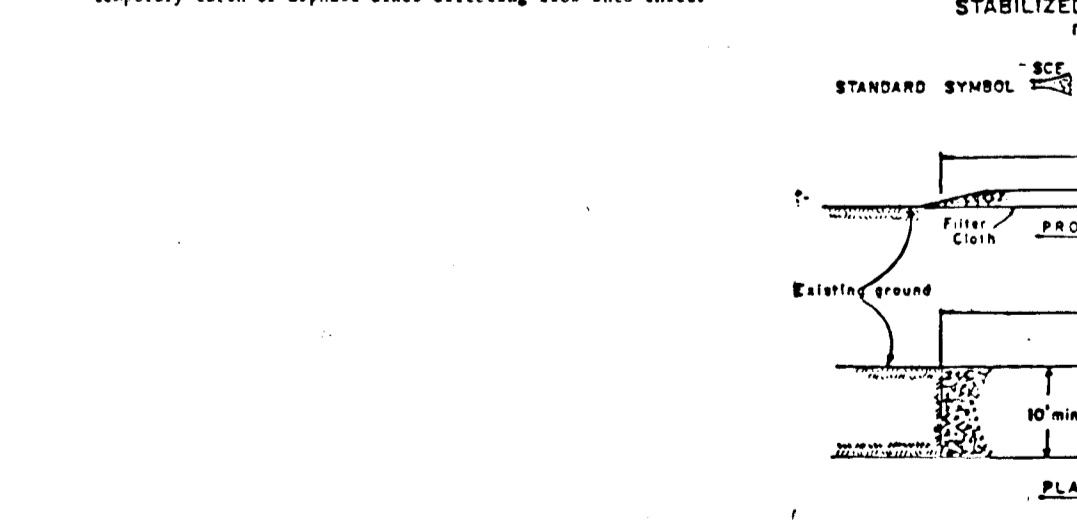
REFER TO THE 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



**NOTE:** CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATIONS OF TREES MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE FIELD CONDITIONS. PLANTING PROCEDURES SHALL COMPLY WITH "LANDSCAPE SPECIFICATIONS FOR BALTIMORE AND NEIGHBORING URBAN AREAS". SUBSTITUTIONS TO THE ABOVE SPECIES MAY BE PERMITTED PROVIDED THAT THE PLANTING IS IN ACCORDANCE WITH THE STREET TREE AND LANDSCAPE REQUIREMENTS AS SPECIFIED IN SECTION 16.131 OF THE HOWARD COUNTY SUBDIVISION REGULATIONS.



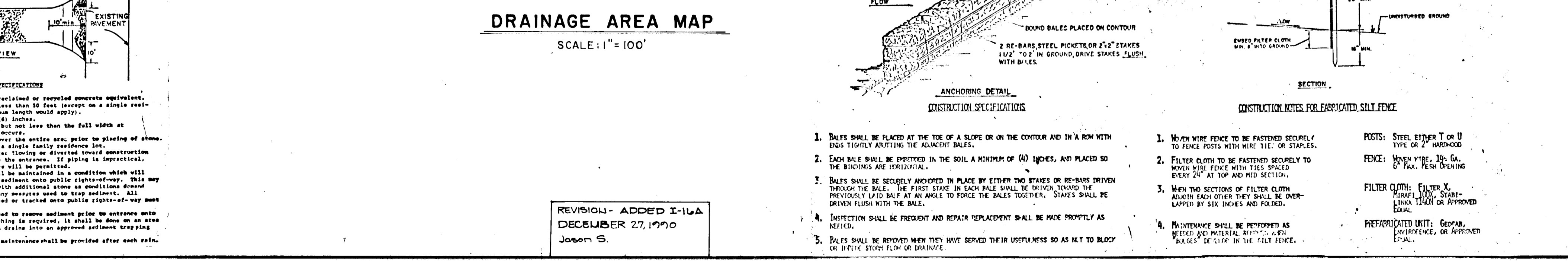
1. Attach a continuous piece of wire mesh (30" min. width by throat length plus 4") to the 2" x 4" weir (ensuring throat length plus 4" as shown on the standard drawing).
2. Place a piece of approved filter cloth (40-80 sieve) of the same dimension as the wire mesh over the wire mesh and securely attach to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to 8" long vertical anchors to be located between the weir and inlet face (max. 6' apart).
4. Place the assembly against the inlet throat and nail (minimum 2" length of 2" x 4" on top of the weir anchor locations. These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end anchors are a minimum 1' beyond both ends of the throat opening.
6. From the wire mesh and filter cloth to the concrete gutter and against the face of curb on both sides of the inlet. Place clean 3" stone over the wire mesh and filter fabric in such a manner as to prevent water from entering the inlet under or around the filter cloth.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assume that storm flow does not bypass inlet by installing temporary earth or asphalt dike directing flow into inlet.



**CONSTRUCTION SPECIFICATIONS:**

1. Stone Size - Use 3" stone, or equivalent or recycled concrete equivalent.
2. Length - As required, but not less than 30 feet (except on a single rest-stop lot where a 30 foot minimum length would apply).
3. Thickness - Not less than 6" (6) inches.
4. Width - 20' (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Must be placed over entire area, prior to placing of stone. Filter will not be required on a single family residential lot.
6. Surface Water - All surface water, diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a minimum 12" diameter 12' long pipe shall be provided.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or blowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and other measures used on steep embankments. All sediment applied, dropped, washed or tracked onto public right-of-way must be removed immediately.
8. Weighing - Weights shall be cleaned or removed sediment before use, unless they are disposable. When weights are required, they shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

FISHER, COLLINS AND CARTER, INC.  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 8388 COURT AVENUE  
 ELLICOTT CITY, MARYLAND 21043  
 TELEPHONE: (301) 461-2855



**DRAINAGE AREA MAP**  
 SCALE: 1" = 100'

**CONSTRUCTION SPECIFICATIONS:**

1. Stone Size - Use 3" stone, or equivalent or recycled concrete equivalent.
2. Length - As required, but not less than 30 feet (except on a single rest-stop lot where a 30 foot minimum length would apply).
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5. Filter Cloth - Must be placed over entire area, prior to placing of stone. Filter will not be required on a single family residential lot.
6. Surface Water - All surface water, diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a minimum 12" diameter 12' long pipe shall be provided.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or blowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and other measures used on steep embankments. All sediment applied, dropped, washed or tracked onto public right-of-way must be removed immediately.
8. Weighing - Weights shall be cleaned or removed sediment before use, unless they are disposable. When weights are required, they shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

**CONSTRUCTION NOTES FOR ELABORATED SILT FENCE:**

1. Bales shall be placed at the toe of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be supported in the soil a minimum of (6) inches, and placed so the binding and top surface are level.
3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
4. Inspection shall be frequent and repair replacement shall be made promptly as needed.
5. Bales shall be removed when they have served their usefulness so as not to block or create steps flow or drainage.

**SEDIMENT CONTROL NOTES:**

- 1) A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (892-2437).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMITTED SLOPES AND ALL SLOPES GREATER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE UNDER THE FOLLOWING CONDITIONS: a) SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 5) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 6) SITE ANALYSIS:
 

TOTAL AREA OF SITE	39.60 ACRES
AREA TO BE DISTURBED	20.88 ACRES
AREA TO BE ROOFED OR PAVED	4.53 ACRES
AREA TO BE VEGETATIVELY STABILIZED	16.34 ACRES
TOTAL CUT	CU. YDS.
TOTAL FILL	CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION	
- 7) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 8) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

*Charles J. Crovo Sr.* 10/10/86  
 SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

*Stephen J. Huber* 10/10/86  
 SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS.

*J. Huber* 2/13/87  
 U.S. SOIL CONSERVATION DISTRICT DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

APPROVED:

*Stephen J. Huber* 2/13/87  
 DISTRICT ENGINEER DATE

HOWARD COUNTY SOIL CONSERVATION DISTRICT  
 APPROVED: DEPARTMENT OF PUBLIC WORKS

CHIEF, BUREAU OF ENGINEERING - DATE

APPROVED: OFFICE OF PLANNING AND ZONING

*William W. Huchman* 2-13-87  
 DEPARTMENT OF PLANNING AND ZONING ADMINISTRATION DATE

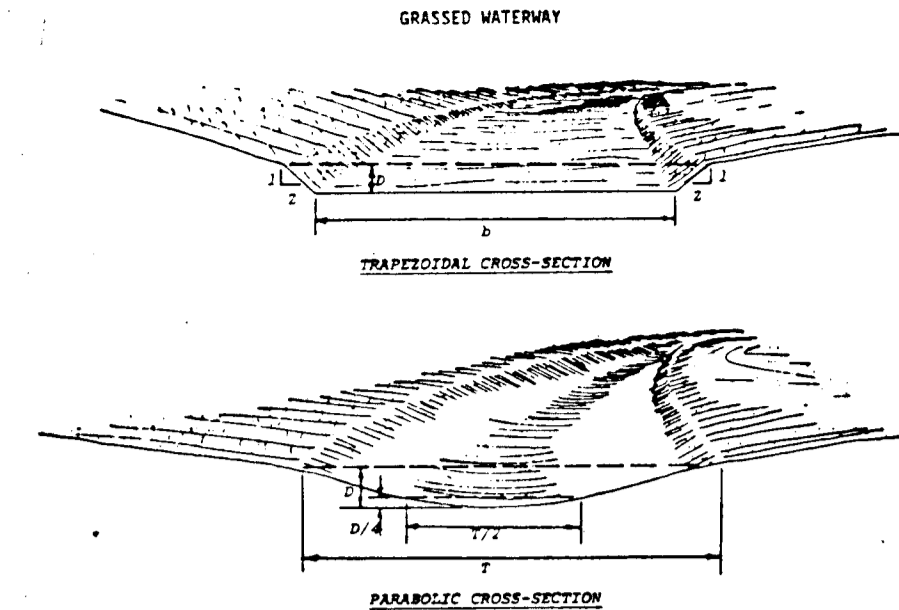
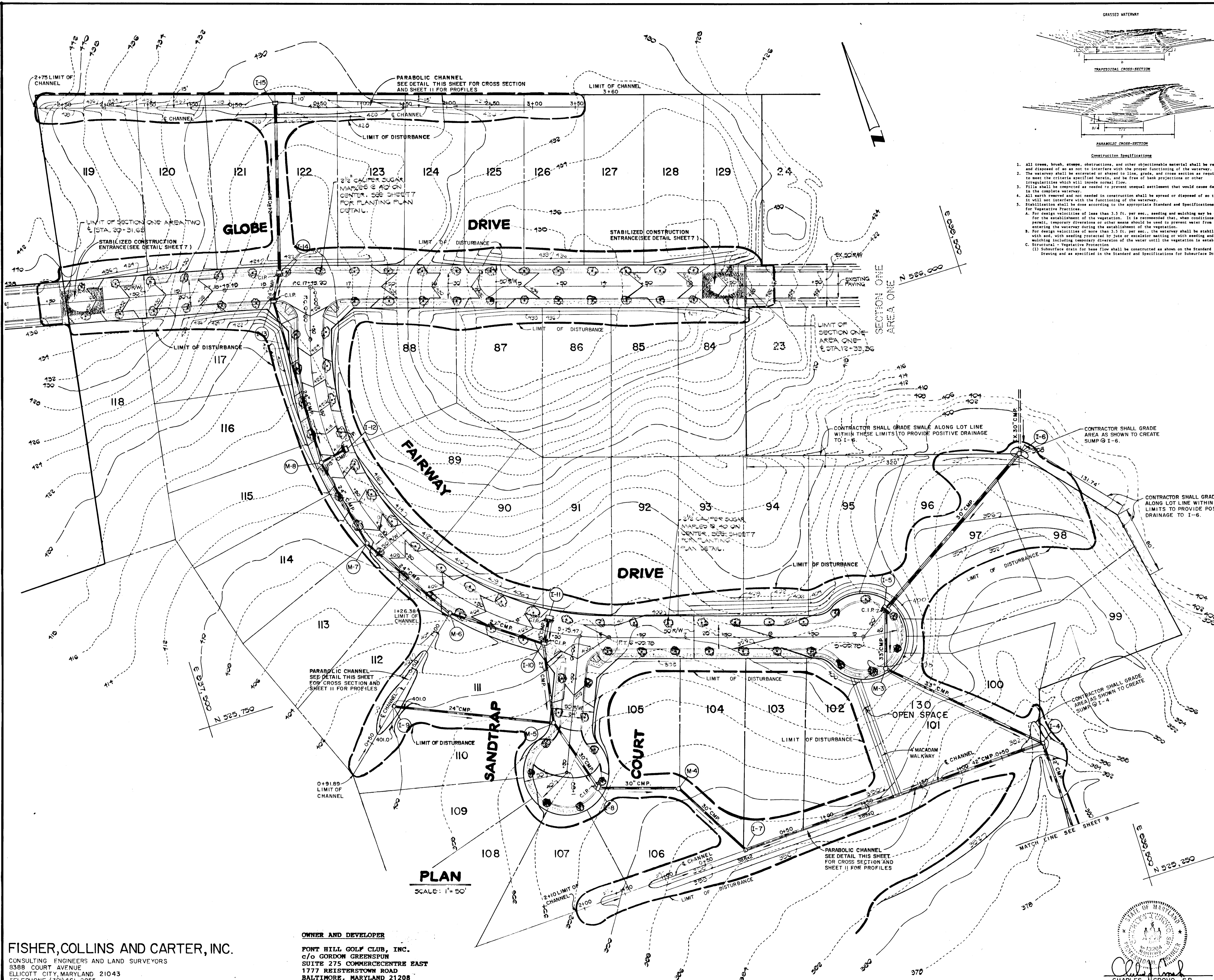
**OWNER & DEVELOPER**  
 FONT HILL GOLF CLUB, INC.  
 C/O GORDON GREENSPUN, SUITE 275  
 COMMERCIAL CENTER EAST  
 1777 REISTERSTOWN ROAD  
 BALTIMORE, MARYLAND 21208

*Charles J. Crovo Sr.* 10/10/86  
 SIGNATURE OF ENGINEER DATE

**DRAINAGE AREA MAP AND SEDIMENT CONTROL DETAILS**

**THE FAIRWAYS**

SECTION 1 AREA 2  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 100'  
 OCT. 7, 1986  
 SHEET 7 OF 11



- Construction Specifications**
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of as not to interfere with the proper functioning of the waterway.
  - The waterway shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein, and be free of bank projections or other irregularities which will impede normal flow.
  - Fills shall be compacted as needed to prevent unequal settlement that would cause damage in the complete waterway.
  - All earth removed and not needed in construction shall be spread or disposed of so that it will not interfere with the functioning of the waterway.
  - Stabilization shall be done according to the appropriate Standard and Specifications for Vegetative Practices.
    - For design velocities of less than 3.5 ft. per sec., seeding and mulching may be used for the establishment of the vegetation. It is recommended that, when conditions permit, temporary diversions or other means should be used to prevent water from entering the waterway during the establishment of the vegetation.
    - For design velocities of more than 3.5 ft. per sec., the waterway shall be stabilized with sod, with seeding protected by silt or excelsior matting or with seeding and mulching including temporary diversion of the water until the vegetation is established.
    - Structural - Vegetative Protection:
      - Subsurface drains for base flow shall be constructed as shown on the Standard Drawing and as specified in the Standard and Specifications for Subsurface Drains.

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Charles J. Crovo* 10/16/86  
SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

*John J. ...* 10/16/86  
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*J. ...* 2/13/87  
U.S. SOIL CONSERVATION DISTRICT DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED:

*Stephen L. ...* 2/13/87  
DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS

*William E. ...* 2-19-87  
CHIEF, BUREAU OF ENGINEERING DATE

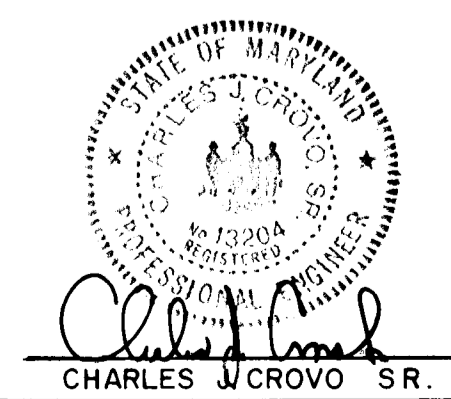
APPROVED: OFFICE OF PLANNING AND ZONING

*John Williams* 2-13-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

- CONSTRUCTION SEQUENCE:**
- OBTAIN GRADING PERMIT.
  - CONSTRUCT STONE CONSTRUCTION ENTRANCES.
  - CONSTRUCT SEDIMENT BASIN, SEDIMENT TRAPS, EARTH DIKES AND INSTALL STRAW BALE DIKE DOWNSTREAM OF THE EMERGENCY SPILLWAY.
  - CONSTRUCT STORM DRAIN SYSTEMS AND INSTALL INLET PROTECTION DEVICES.
  - GRADE PARABOLIC CHANNELS AS SHOWN ON SHEETS 8 AND 9.
  - GRADE ROADS TO SUBGRADE STABILIZING AREAS BETWEEN EXISTING GROUND AND BACK OF CURB USING PERMANENT SEEDING.
  - CONSTRUCT CONCRETE CURB AND LAY BASE COURSE.
  - UPON STABILIZATION OF GRADED AREAS, INLETS SHALL BE OPENED AND ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE STORM DRAIN SYSTEM.
  - DURING CONSTRUCTION, SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN AND SEDIMENT TRAPS WHEN THE CLEANOUT ELEVATIONS HAVE BEEN REACHED.
  - DURING CONSTRUCTION AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON.
  - THE SEDIMENT BASIN SHALL BE DETERMINED IN ACCORDANCE WITH THE DETAIL ON SHEET 9. THE SEDIMENT FROM THE BASIN SHALL BE PLACED UP-GRADE FROM THE SEDIMENT BASIN IN SUCH A MANNER AS NOT TO INTERFERE WITH CONSTRUCTION OPERATIONS OR CAUSE EROSION DOWNGRADE FROM THE SEDIMENT BASIN.
  - REMOVE STONE CONSTRUCTION ENTRANCES.
  - CLEAN BASE COURSE, APPLY FACK COAT TO BASE COURSE AND LAY SURFACE COURSE. STABILIZE ALL SHOULDERS USING PERMANENT SEEDING.
  - REMOVE SEDIMENT BASIN, TRAPS, AND EARTH DIKES ONCE DISTURBED AREAS HAVE BEEN STABILIZED.
  - ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED AND STABILIZED BY PERMANENT SEEDING. CONSTRUCT REMAINING STORM DRAIN SYSTEM DUE TO SEDIMENT BASIN LOCATION AND INSTALL RIP RAP CHANNELS. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEEDING.
  - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SHALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; b) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

**FISHER, COLLINS AND CARTER, INC.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
8388 COURT AVENUE  
ELLICOTT CITY, MARYLAND 21043  
TELEPHONE (301) 461-2855

**OWNER AND DEVELOPER**  
FONT HILL GOLF CLUB, INC.  
c/o GORDON GREENSPUN  
SUITE 275 COMMERCECENTRE EAST  
1777 REISTERSTOWN ROAD  
BALTIMORE, MARYLAND 21208

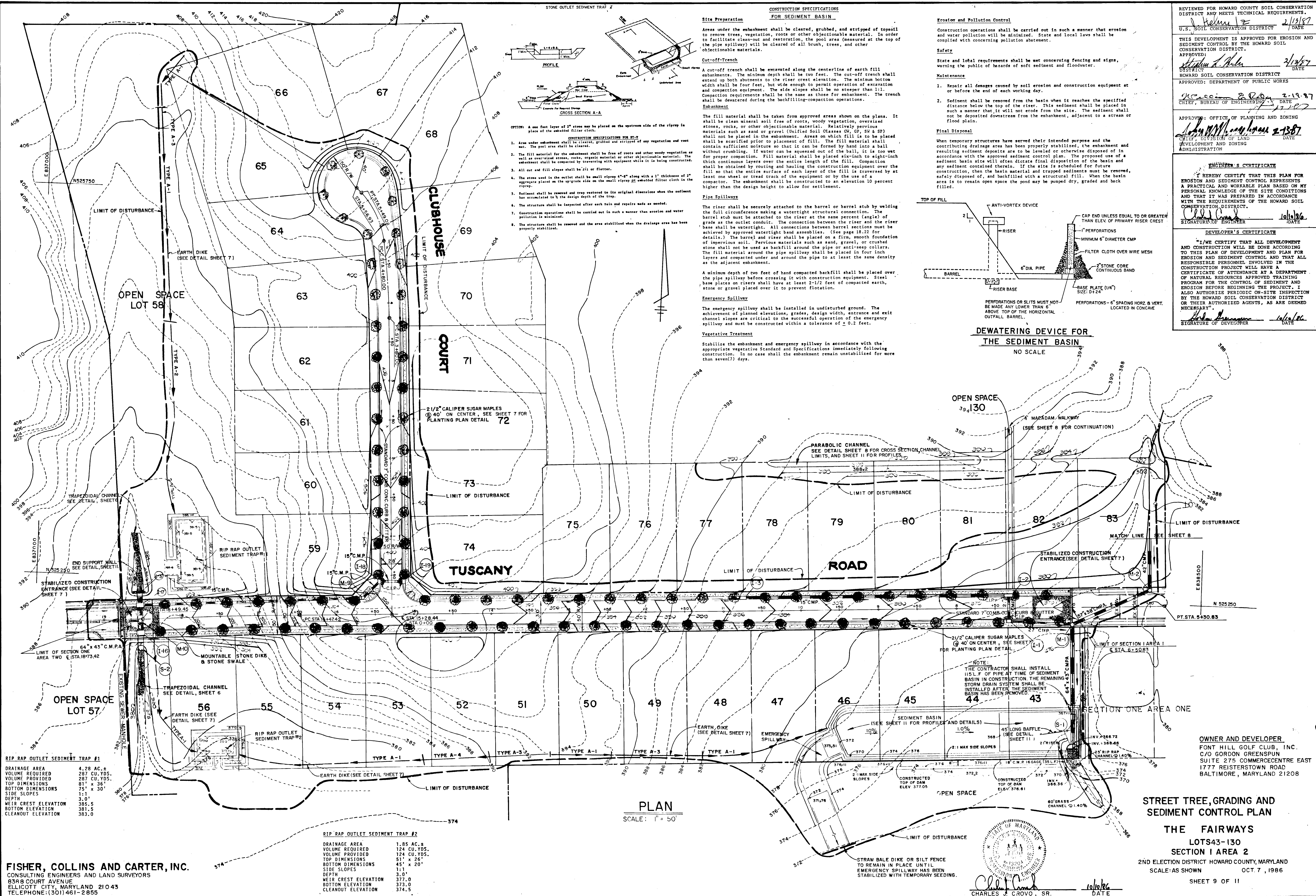


**STREET TREE, GRADING AND SEDIMENT CONTROL PLAN**

**THE FAIRWAYS**  
LOTS 43-130  
SECTION I AREA 2  
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN OCT. 7, 1986  
SHEET 8 OF 11

*Charles J. Crovo* 10/16/86  
DATE





**FISHER, COLLINS AND CARTER, INC.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 8398 COURT AVENUE  
 ELLICOTT CITY, MARYLAND 21043  
 TELEPHONE: (301) 461-2855

**RIP RAP OUTLET SEDIMENT TRAP #2**

DRAINAGE AREA	1.85 AC. ±
VOLUME REQUIRED	124 CU. YDS.
VOLUME PROVIDED	124 CU. YDS.
TOP DIMENSIONS	51' x 26'
BOTTOM DIMENSIONS	45' x 20'
SIDE SLOPES	1:1
DEPTH	3.0'
WEIR CREST ELEVATION	377.0
BOTTOM ELEVATION	373.0
CLEANOUT ELEVATION	374.5

**RIP RAP OUTLET SEDIMENT TRAP #1**

DRAINAGE AREA	4.28 AC. ±
VOLUME REQUIRED	287 CU. YDS.
VOLUME PROVIDED	287 CU. YDS.
TOP DIMENSIONS	81' x 36'
BOTTOM DIMENSIONS	75' x 30'
SIDE SLOPES	1:1
DEPTH	3.0'
WEIR CREST ELEVATION	385.5
BOTTOM ELEVATION	381.5
CLEANOUT ELEVATION	383.0

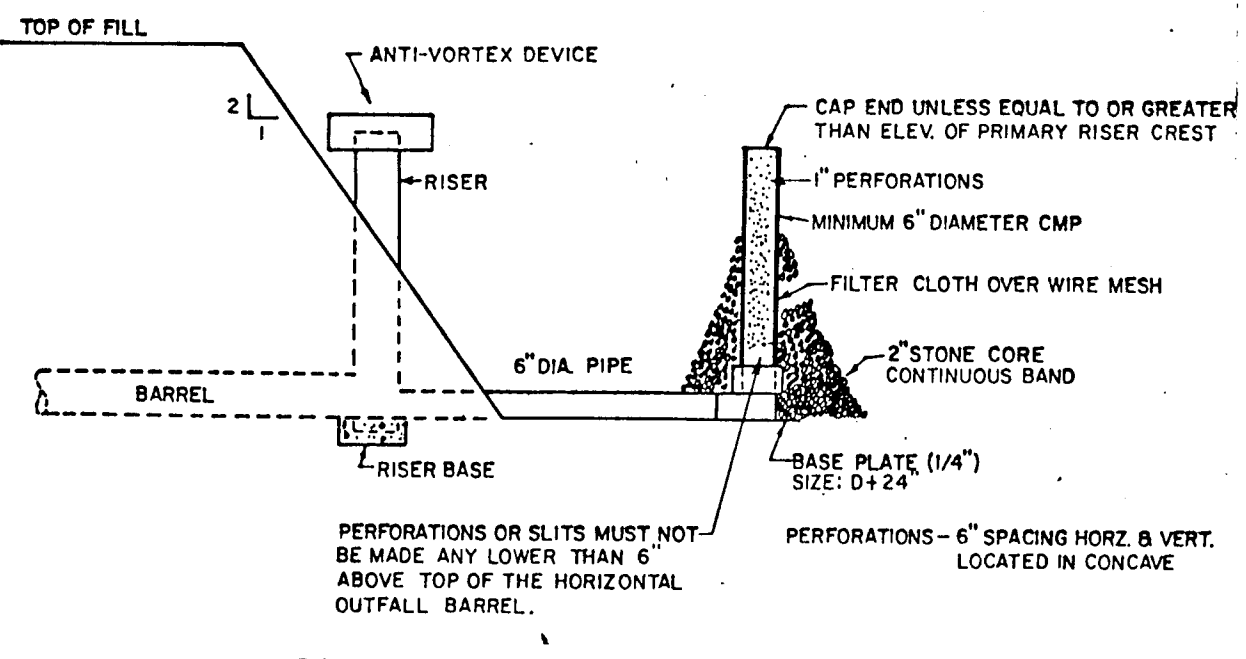
**PLAN**  
 SCALE: 1" = 50'

**CONSTRUCTION SPECIFICATIONS FOR SEDIMENT BASIN**

- Site Preparation**  
 Areas under the embankment shall be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material. In order to facilitate clear and restoration, the pool area (measured at the top of the pipe spillway) will be cleared of all brush, trees, and other objectionable materials.
- Cut-off Trench**  
 A cut-off trench shall be excavated along the centerline of earth fill embankments. The minimum depth shall be two feet. The cut-off trench shall extend up both abutments to the riser crest elevation. The minimum bottom width shall be four feet, but wide enough to permit operation of excavation and compaction equipment. The side slopes shall be no steeper than 1:1. Compaction requirements shall be the same as those for embankment. The trench shall be dewatered during the backfilling-compaction operations.
- Embankment**  
 The fill material shall be taken from approved areas shown on the plans. It shall be clean mineral soil free of roots, woody vegetation, over-size stones, rocks, or other objectionable material. Relatively pervious materials such as sand or gravel (Unified Soil Classes GW, GP, SW & SP) shall not be placed in the embankment. Areas on which fill is to be placed shall be scarified prior to placement of fill. The fill material shall contain sufficient moisture so that it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction. Fill material shall be placed six-inch to eight-inch thick continuous layers over the entire length of the fill. Compaction shall be obtained by routing and hauling the construction equipment over the fill so that the entire surface of each layer of the fill is traversed by at least one wheel or tread track of the equipment or by the use of a compactor. The embankment shall be constructed to an elevation 10 percent higher than the design height to allow for settlement.
- Pipe Spillways**  
 The riser shall be securely attached to the barrel or barrel stub by welding the full circumference making a watertight structural connection. The barrel stub must be attached to the riser at the same percent (angle) of grade as the outlet conduit. The connection between the riser and the riser base shall be watertight. All connections between barrel sections must be achieved by approved watertight band assemblies. (See page 18-27 for details.) The barrel and riser shall be placed on a firm, smooth foundation of impervious soil. Pervious materials such as sand, gravel, or crushed stone shall not be used as backfill around the pipe or anti-tee collars. The fill material around the pipe spillway shall be placed in four inch layers and compacted under and around the pipe to at least the same density as the adjacent embankment.
- Emergency Spillway**  
 The emergency spillway shall be installed in undisturbed ground. The achievement of planned elevations, grades, design width, entrance and exit channel slopes are critical to the successful operation of the emergency spillway and must be constructed within a tolerance of ± 0.2 feet.
- Vegetative Treatment**  
 Stabilize the embankment and emergency spillway in accordance with the appropriate vegetative Standard and Specifications immediately following construction. In no case shall the embankment remain unstabilized for more than seven(7) days.

**Erosion and Pollution Control**

- Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws shall be complied with concerning pollution abatement.
- Safety**  
 State and local requirements shall be met concerning fencing and signs, warning the public of hazards of soft sediment and floodwater.
- Maintenance**  
 1. Repair all damages caused by soil erosion and construction equipment at or before the end of each working day.  
 2. Sediment shall be removed from the basin when it reaches the specified distance below the top of the riser. This sediment shall be placed in such a manner that it will not erode from the site. The sediment shall not be deposited downstream from the embankment, adjacent to a stream or flood plain.
- Final Disposal**  
 When temporary structures have served their intended purpose and the contributing drainage area has been properly stabilized, the embankment and resulting sediment deposits are to be leveled or otherwise disposed of in accordance with the approved sediment control plan. The proposed use of a sediment basin site will often dictate final disposition of the basin and any sediment contained therein. If the site is scheduled for future construction, then the basin material and trapped sediments must be removed, safely disposed of, and backfilled with a structural fill. When the basin area is to remain open space the pond may be pumped dry, graded and back filled.



**DEWATERING DEVICE FOR THE SEDIMENT BASIN**  
 NO SCALE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
 U.S. SOIL CONSERVATION DISTRICT DATE 2/13/87  
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED: 2/13/87  
 DISTRICT HOWARD SOIL CONSERVATION DISTRICT  
 APPROVED: DEPARTMENT OF PUBLIC WORKS  
 APPROVED: 2-19-87  
 CHIEF, BUREAU OF ENGINEERING DATE  
 APPROVED: OFFICE OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING DATE 2-13-87  
 ADMINISTRATION

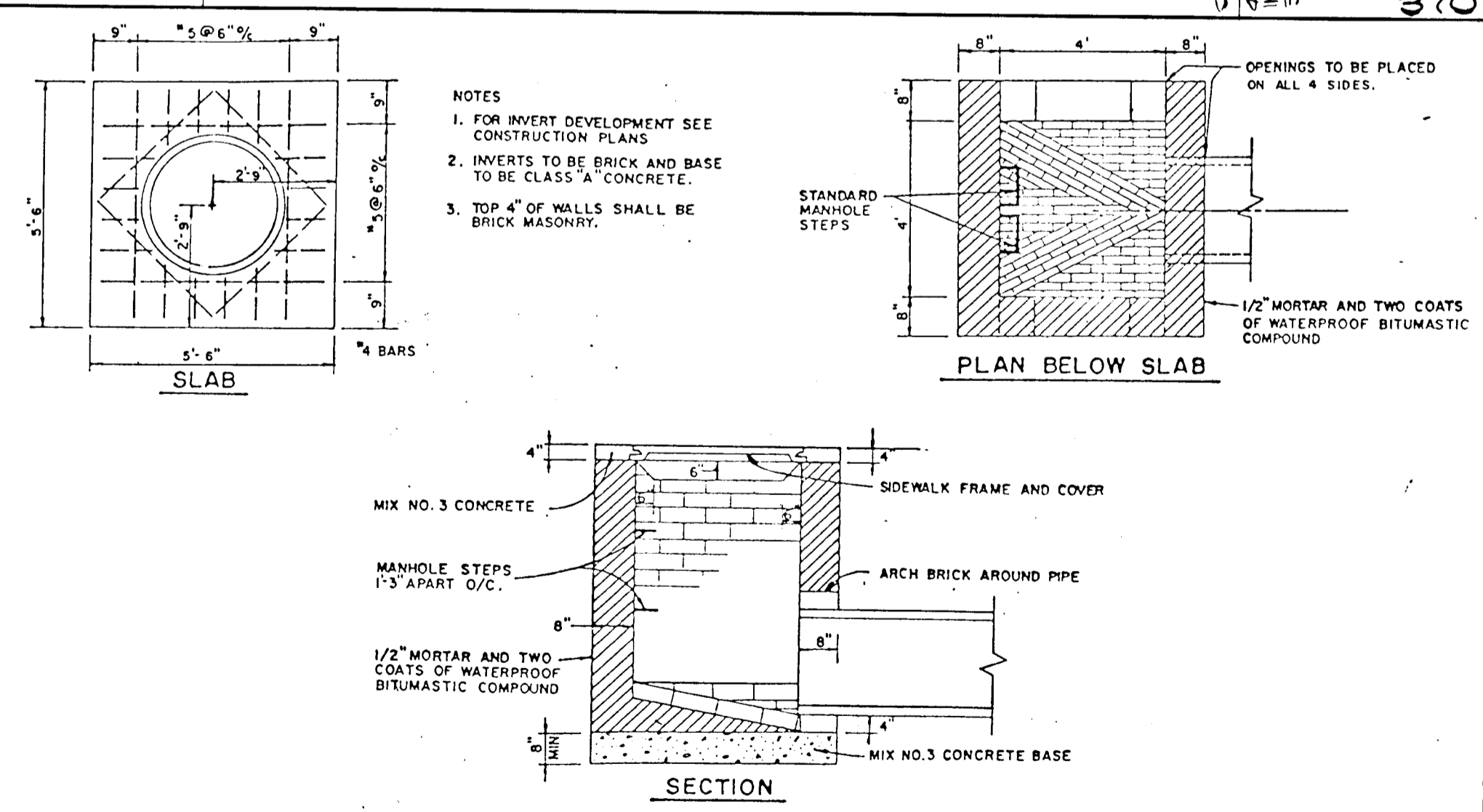
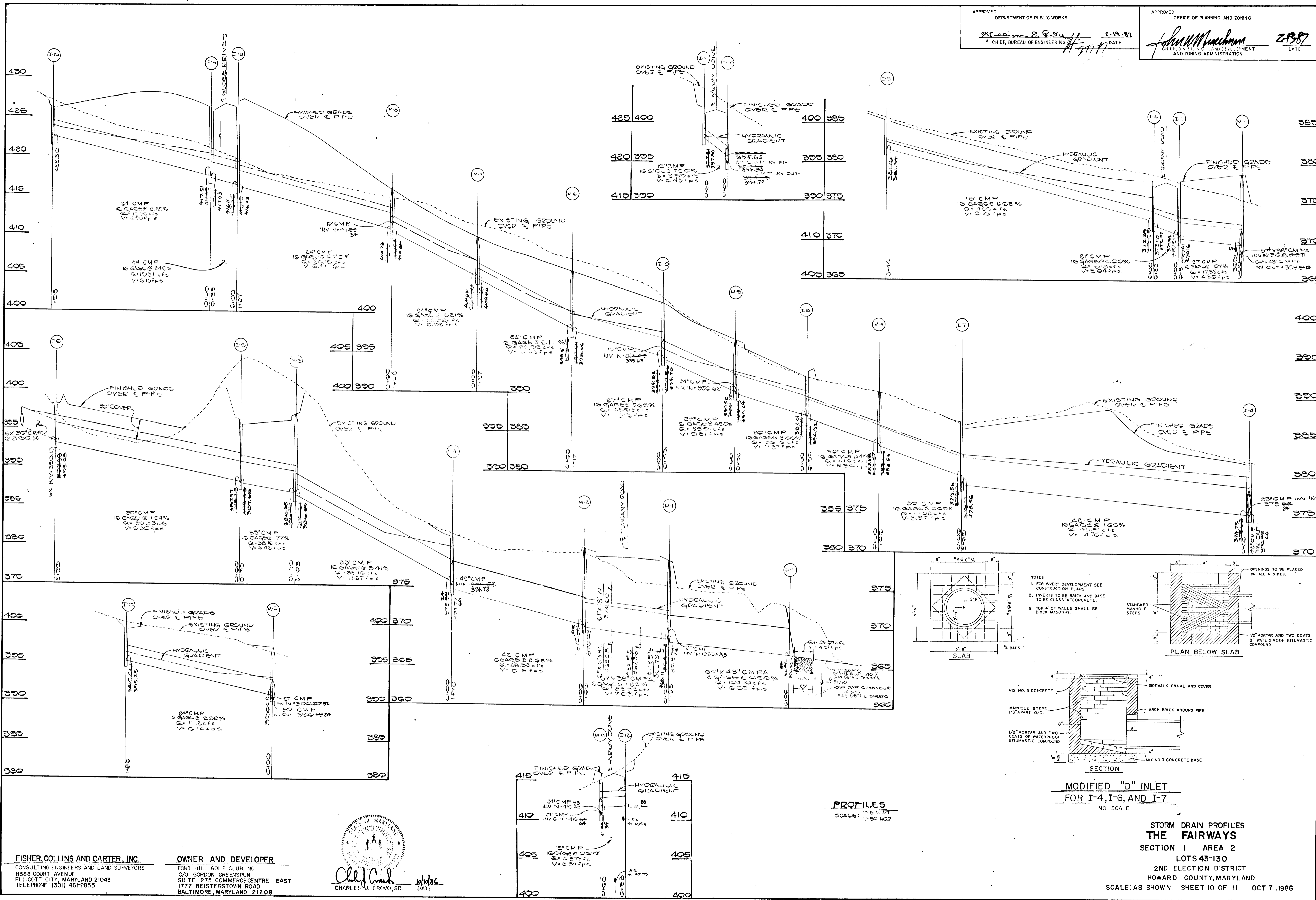
**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 SIGNATURE OF ENGINEER DATE 10/10/86

**DEVELOPER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
 SIGNATURE OF DEVELOPER DATE 10/10/86

**OWNER AND DEVELOPER**  
 FONT HILL GOLF CLUB, INC.  
 C/O GORDON GREENSPUN  
 SUITE 275 COMMERCENTRE EAST  
 1777 REISTERSTOWN ROAD  
 BALTIMORE, MARYLAND 21208

**STREET TREE, GRADING AND SEDIMENT CONTROL PLAN**  
**THE FAIRWAYS**  
 LOTS 43-130  
 SECTION 1 AREA 2  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN OCT. 7, 1986  
 SHEET 9 OF 11

CHARLES J. CROVO, SR.  
 DATE 10/10/86



PROFILES  
SCALE: 1\"/>

MODIFIED "D" INLET  
FOR I-4, I-6, AND I-7  
NO SCALE

STORM DRAIN PROFILES  
THE FAIRWAYS  
SECTION 1 AREA 2  
LOTS 43-130  
2ND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN. SHEET 10 OF 11 OCT. 7, 1986

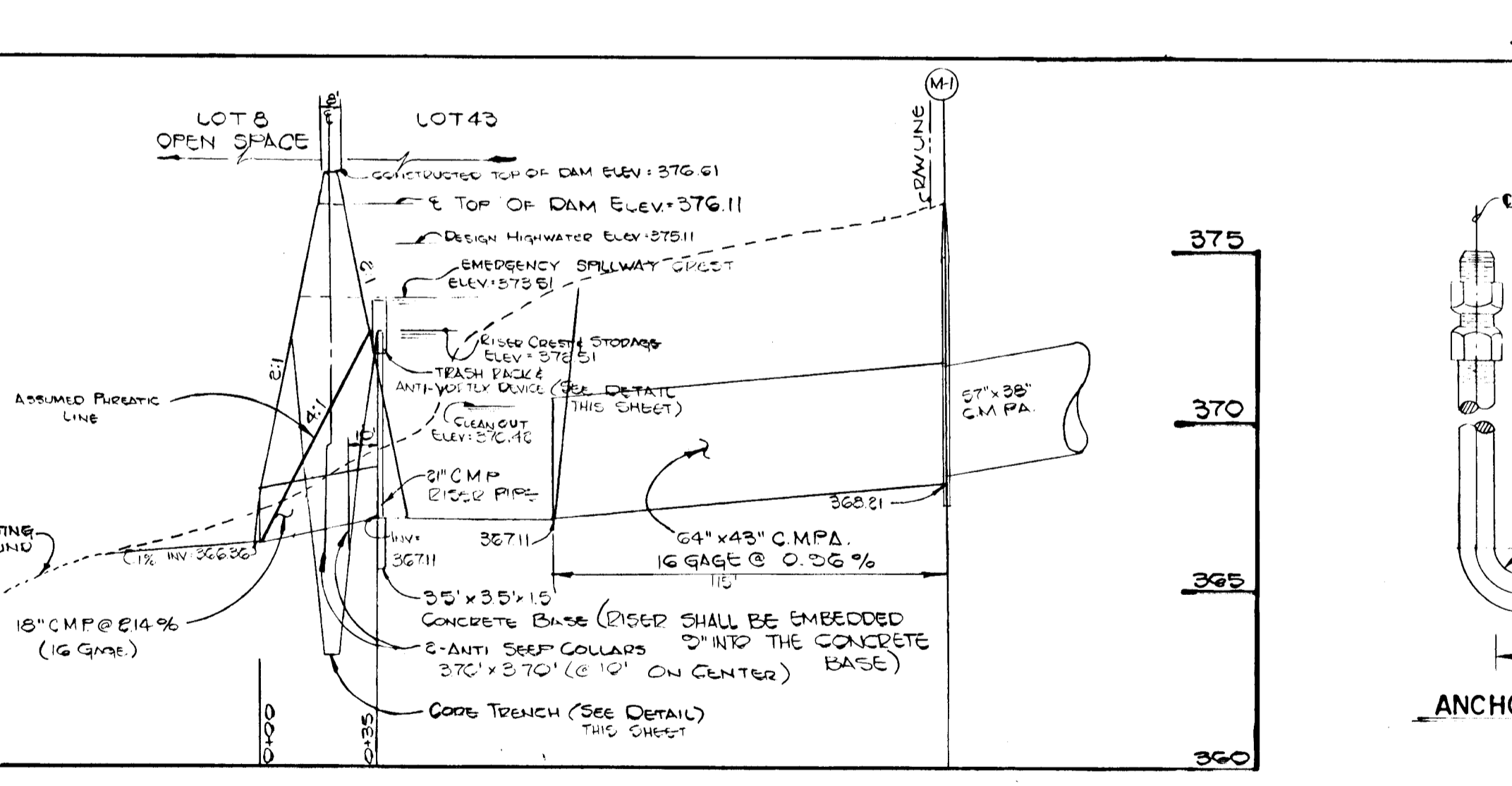
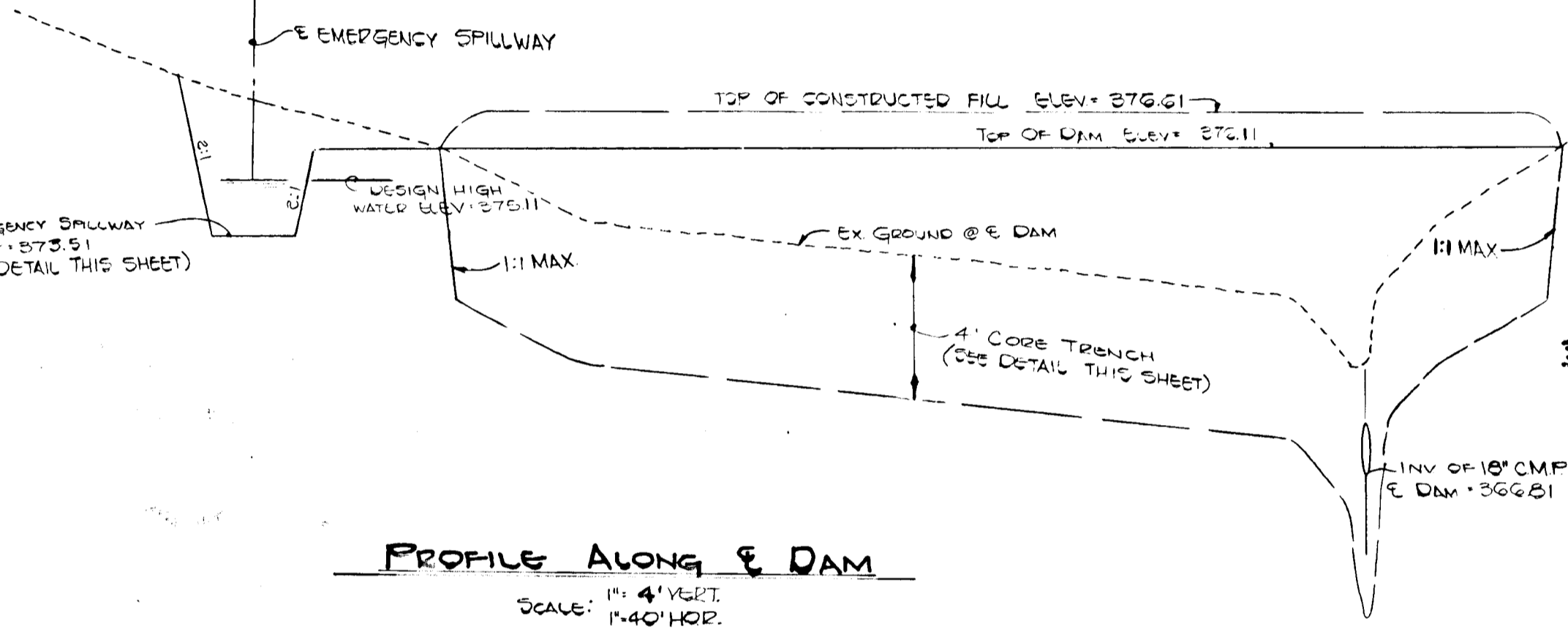
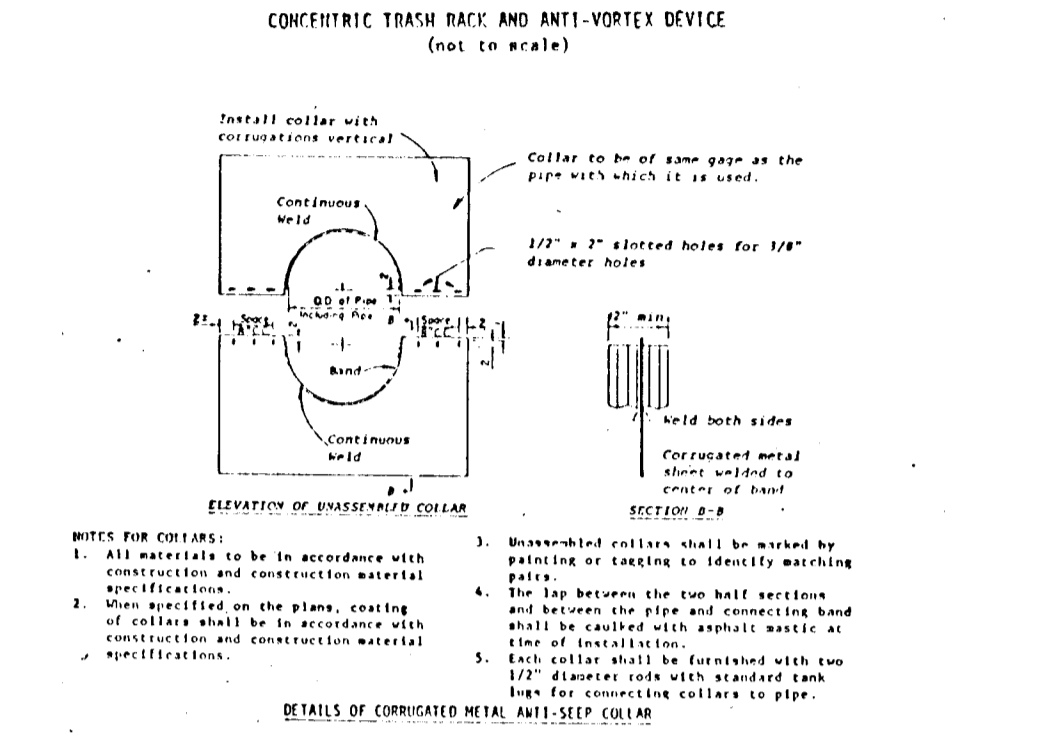
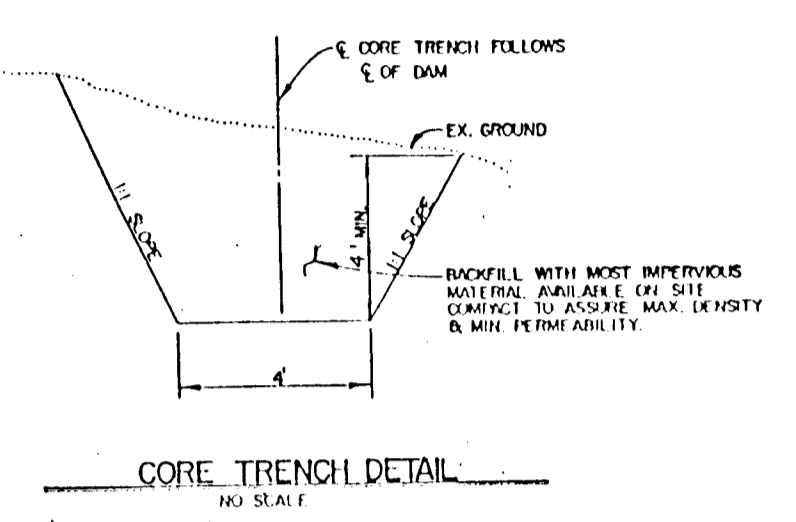
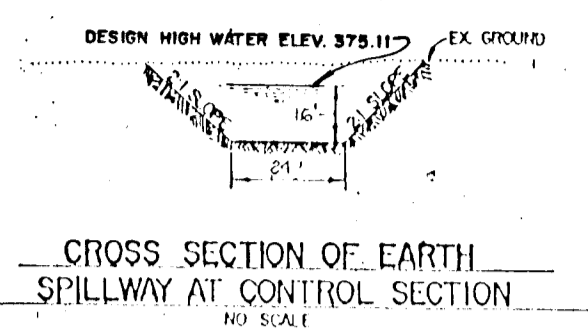
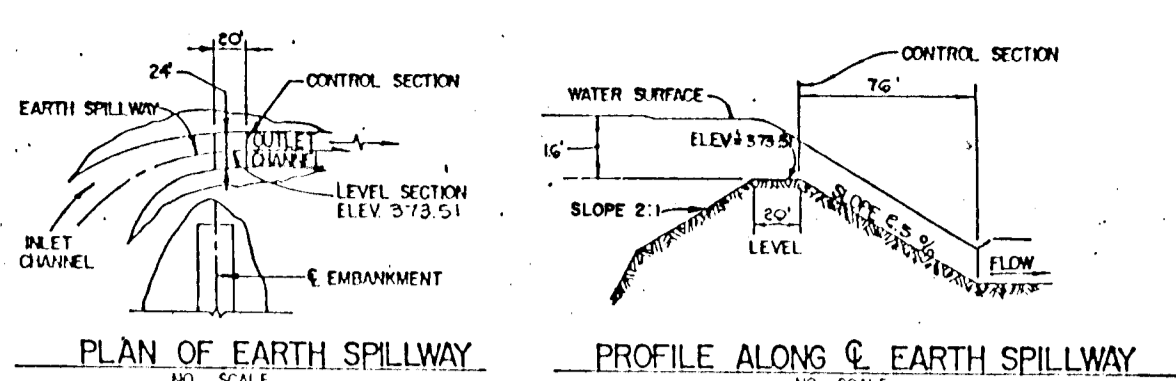
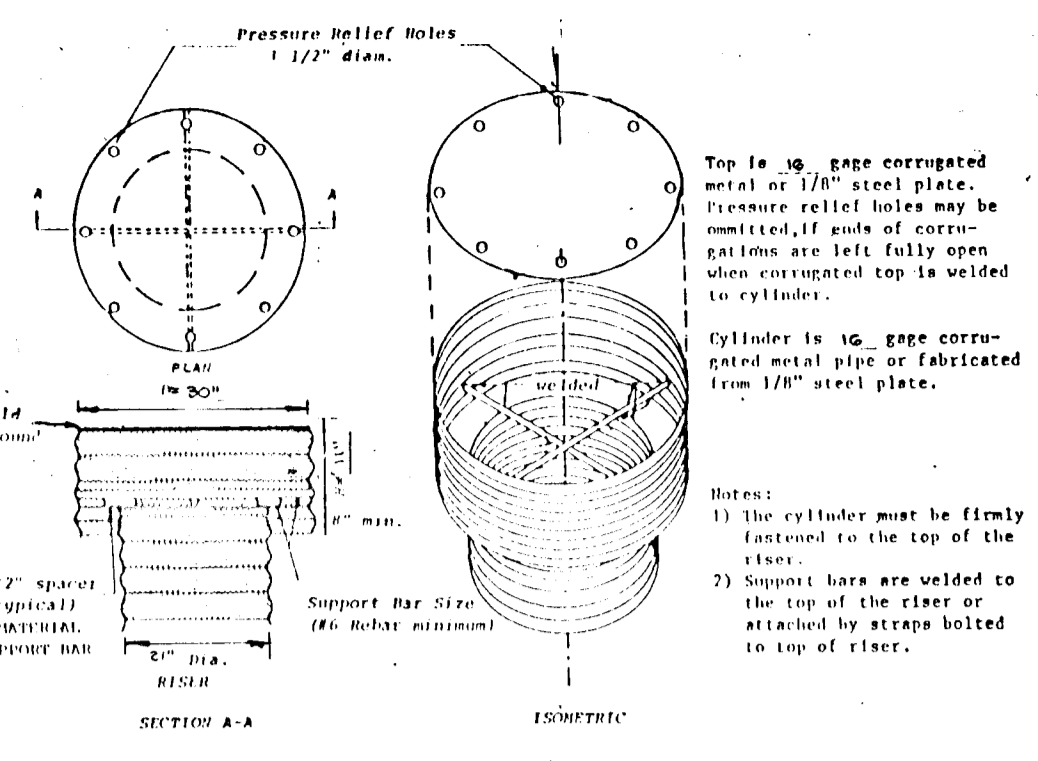
FISHER, COLLINS AND CARTER, INC.  
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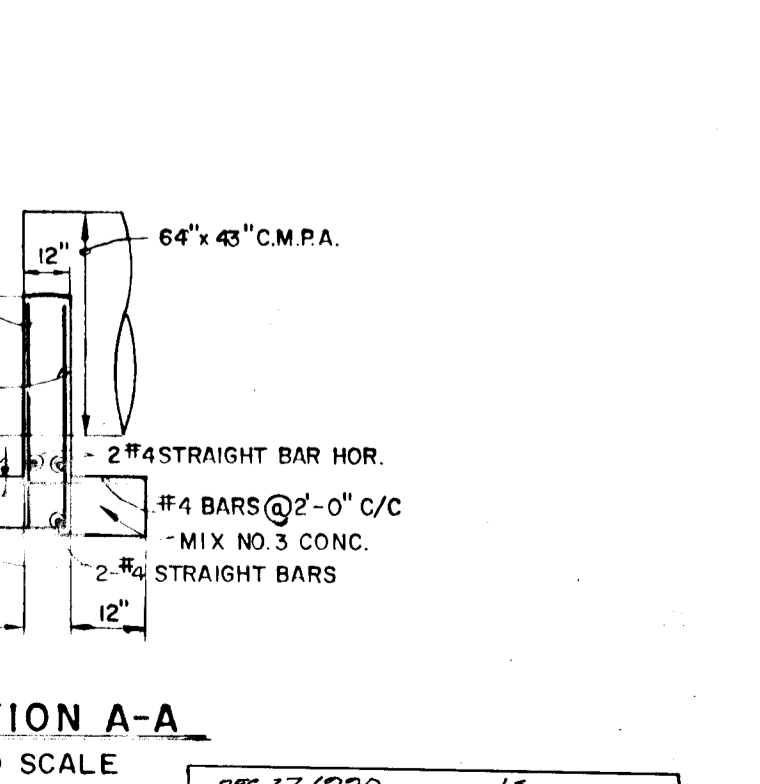
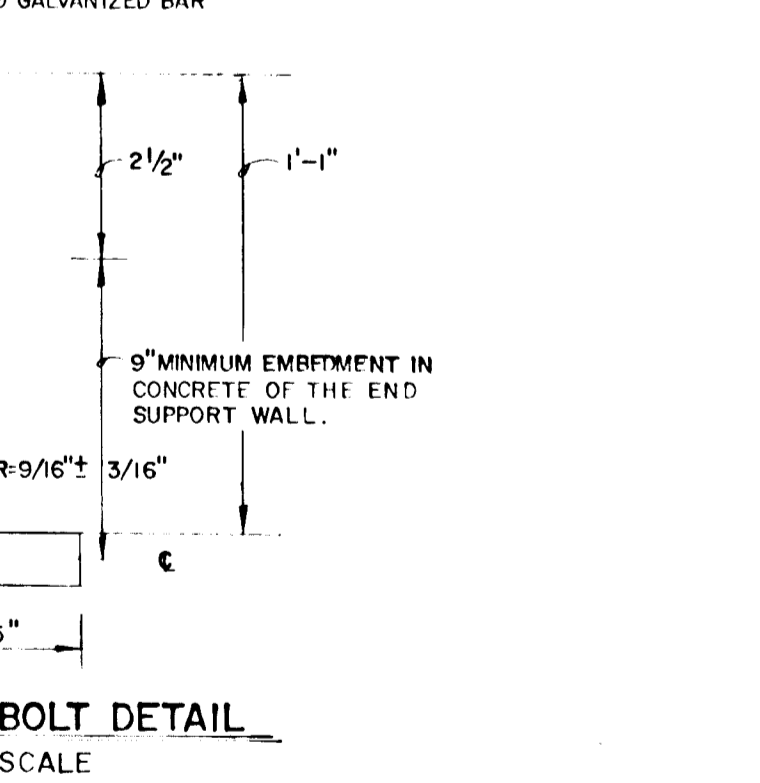
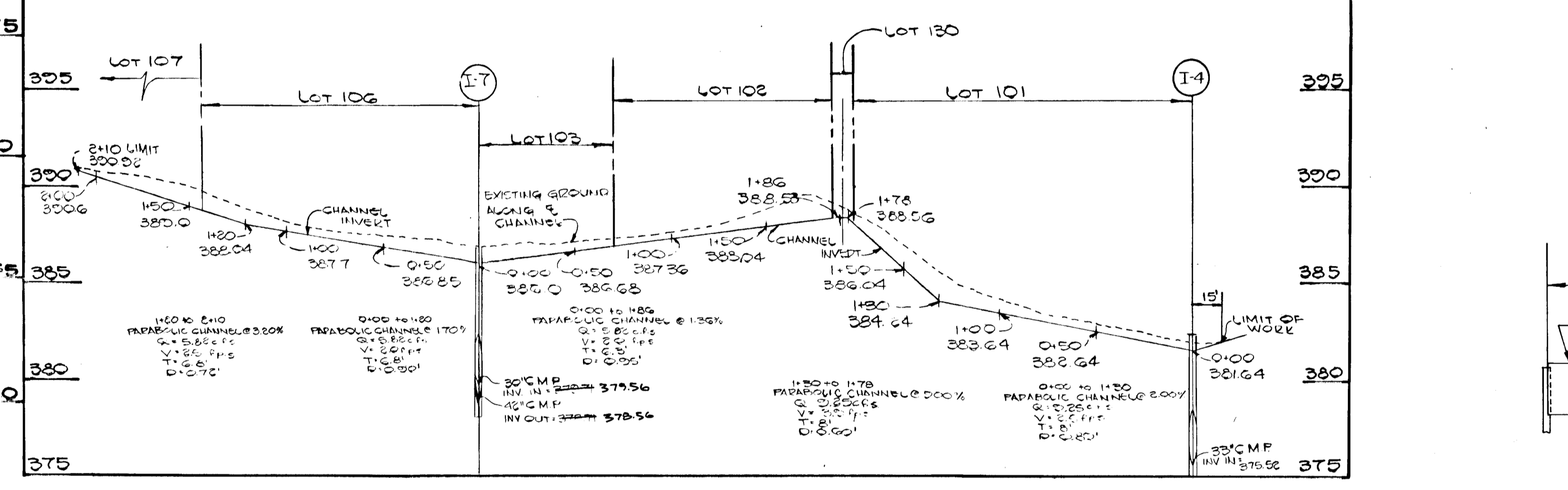
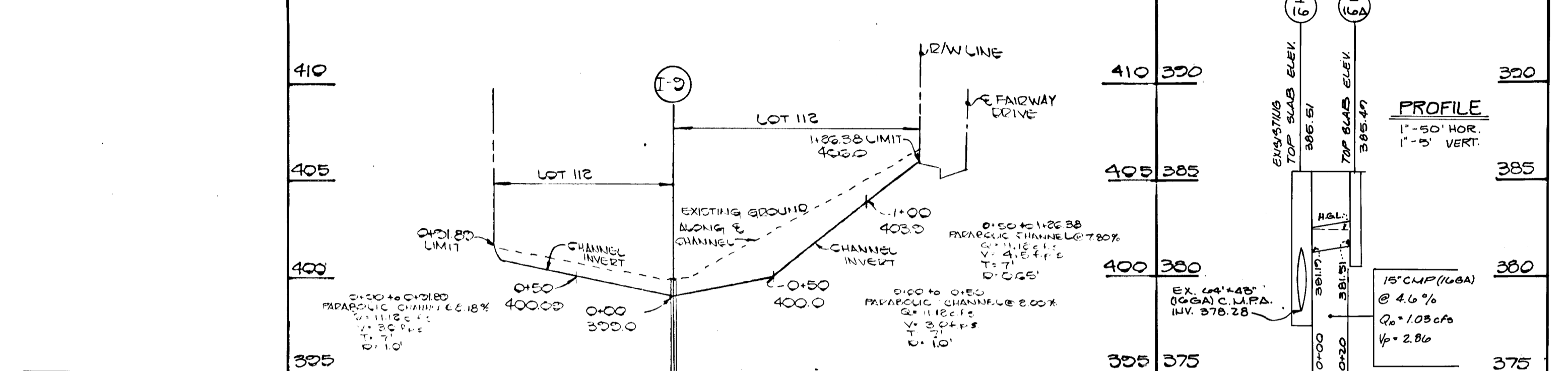
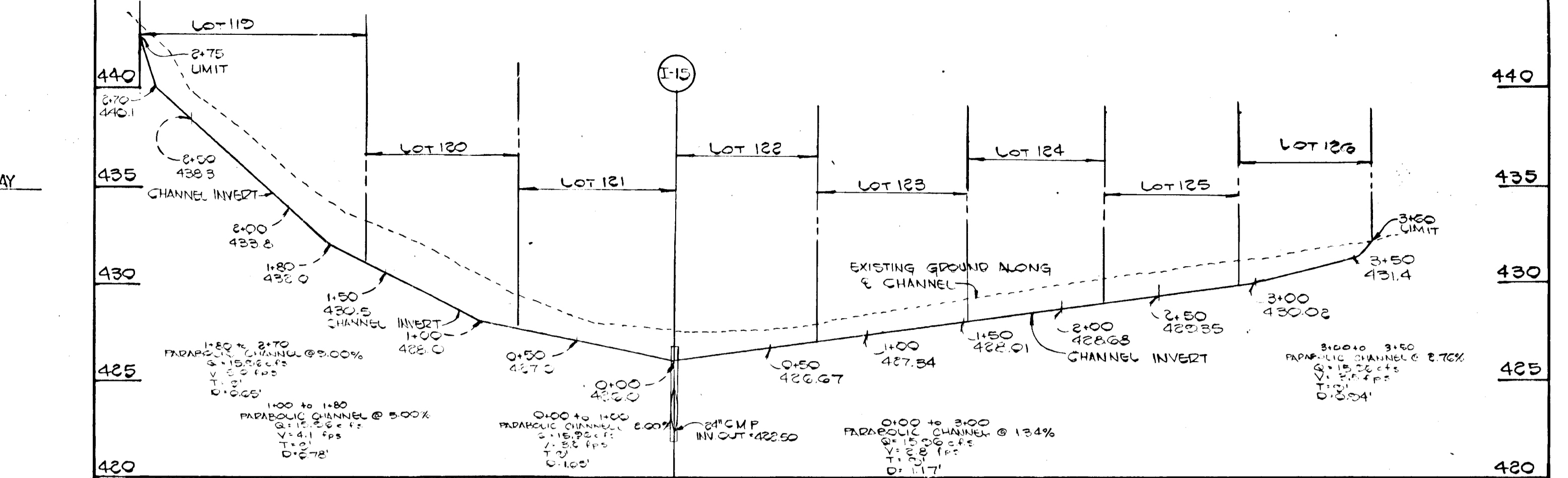
*Charles J. Crovo, Sr.*  
CHARLES J. CROVO, SR.  
DATE 1/14/86

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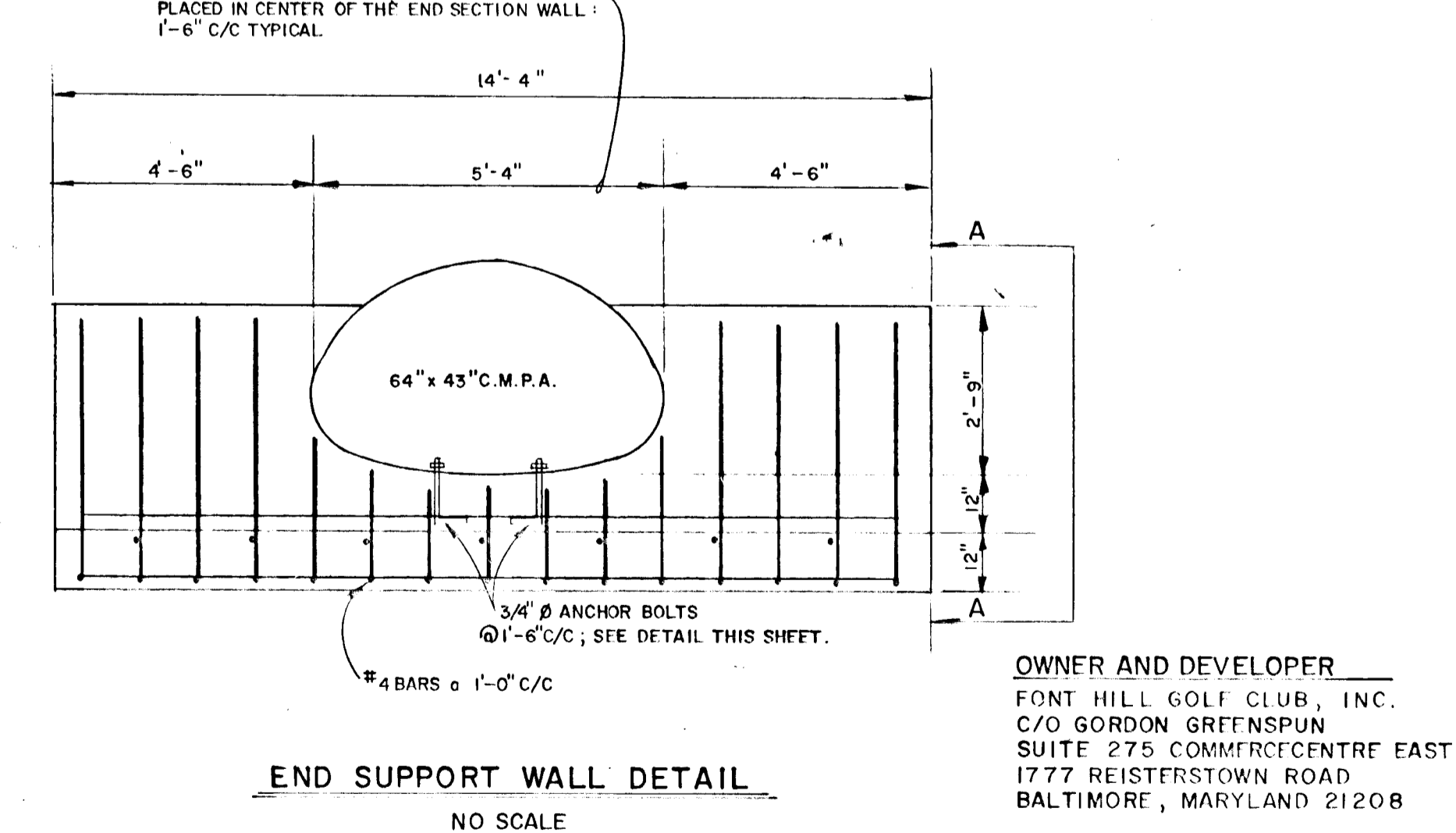
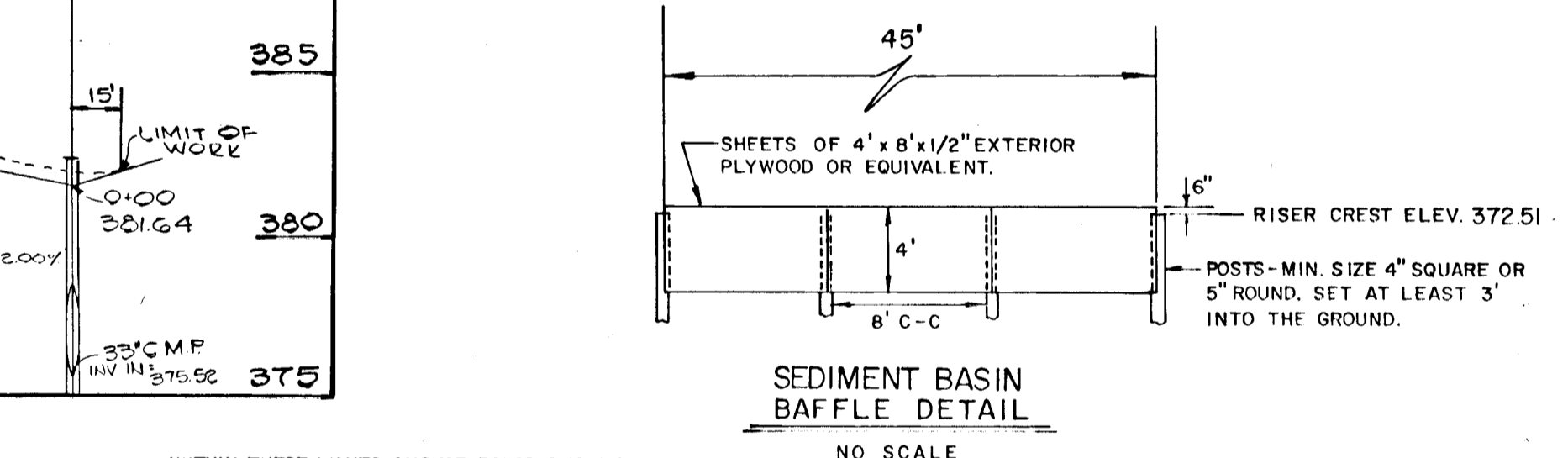


NOTES

- EXCAVATION, BEDDING, FOUNDATION PREPARATION & BACKFILL FOR THE C.M.P.A.'S SHALL BE IN ACCORDANCE WITH SECT. 602 OF THE STATE HIGHWAY ADMINISTRATION SPECIFICATIONS. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED & REPLACED WITH SAND TO PROVIDE A MINIMUM CUSHION OF 8 INCHES BELOW THE BOTTOM OF THE PIPE ARCH. SELECTED BACKFILL, IF REQUIRED, SHALL MEET THE REQUIREMENTS OF SECT. 601 OF THE S.H.A. SPECIFICATIONS.
- REINFORCING STEEL SHALL BE FREE FROM MUD, OIL OR OTHER NON-METALLIC COATINGS THAT ADVERSELY AFFECT BONDING CAPACITY.



STRUCTURE	TYPE	INVERT IN	INVERT OUT	TOP ELEV.	ROAD STATION	REMARKS
I-2	A-10	370.94	370.10	377.70	TUSCANY ROAD	S.D. 4.01
I-3	A-10 W/ DEFLECTORS	372.00	372.07	377.70	TUSCANY ROAD	S.D. 4.02
I-4	MODIFIED "D" INLET	375.64	374.74	375.30	TUSCANY ROAD	S.D. 4.02, S.D. 4.83
I-5	A-10	374.66	374.66	382.63	L.P. STA. 0192.96	S.D. 4.02
I-6	MODIFIED "D" INLET	375.64	374.74	400.78	FAIRWAY DRIVE	SEE SHEET TO *
I-7	MODIFIED "D" INLET	375.64	374.74	375.64	FAIRWAY DRIVE	SEE SHEET TO *
I-8	A-5	377.50	376.50	380.30	L.P. STA. 0181.43	S.D. 4.01
I-9	"D" INLET	377.50	376.50	392.94	SANDTRAP CT.	S.D. 4.01
I-10	A-5 W/ DEFLECTORS	379.63	379.05	395.66	FAIRWAY DRIVE	S.D. 4.01, S.D. 4.83
I-11	A-5 W/ DEFLECTORS	374.19	374.00	399.54	FAIRWAY DRIVE	S.D. 4.01, S.D. 4.83
I-12	A-5 W/ DEFLECTORS	374.19	374.00	401.51	FAIRWAY DRIVE	S.D. 4.01, S.D. 4.83
I-13	A-5	416.22	416.03	427.75	FAIRWAY DRIVE	S.D. 4.01
I-14	A-5	417.51	417.43	427.67	GLOBE DRIVE	S.D. 4.01
I-15	"D" INLET	422.50	422.50	426.84	GLOBE DRIVE	S.D. 4.11 *
I-16	A-10	578.58	578.28	585.91	18752.21	S.D. 4.02
I-17	A-10	370.44	370.23	380.30	18752.21	S.D. 4.02
I-18	A-5 W/ DEFLECTORS	379.15	379.05	385.66	0143.00	S.D. 4.01, S.D. 4.83
I-19	A-5 W/ DEFLECTORS	374.19	374.00	399.54	CLUBHOUSE COURT	S.D. 4.01, S.D. 4.83
MH-1	STANDARD MANHOLE	369.55	369.50	370.75	CLUBHOUSE COURT	S.D. 4.01, S.D. 4.83
MH-2	STANDARD MANHOLE	370.20	370.03	370.00	6+50.83	G.5.03
MH-3	STANDARD MANHOLE	370.05	370.00	370.00	TUSCANY ROAD @ 20+5	G.5.03
MH-4	SHALLOW MANHOLE	366.05	366.39	370.00	L.P. STA. 1465	G.5.02
MH-5	SHALLOW MANHOLE	366.35	366.36	370.00	FAIRWAY DRIVE	G.5.05
MH-6	STANDARD MANHOLE	370.62	370.24	371.17	SANDTRAP COURT @ 20+5	G.5.05
MH-7	STANDARD MANHOLE	370.15	370.00	371.40	FAIRWAY DRIVE @ 20+5	G.5.02
MH-8	SHALLOW MANHOLE	410.04	410.44	410.40	FAIRWAY DRIVE @ 16+33.5	G.5.05
MH-9	SHALLOW MANHOLE	411.34	411.69	411.64	FAIRWAY DRIVE @ 16+33.5	G.5.05
MH-10	STANDARD MANHOLE	378.61	378.37	377.40	TUSCANY ROAD	G.5.05
MH-11	STANDARD MANHOLE	378.61	378.37	377.40	TUSCANY ROAD	G.5.03
S-1	STANDARD METAL END SECTION	378.03	378.19	385.28	TUSCANY ROAD	S.D. 5.63
I-11a	A-5	381.91	381.45	385.48	TUSCANY RD. 16+72	S.D. 4.01



ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Charles J. Grovo* 10/10/86  
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Signature: *John J. Grovo* 10/10/86  
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS.

Signature: *J. Helms* 2/13/87  
U.S. SOIL CONSERVATION DISTRICT DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephen L. Hahn* 2/13/87  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS

Signature: *William E. Reedy* 2-13-87  
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: OFFICE OF PLANNING AND ZONING

Signature: *William E. Reedy* 2-13-87  
DEVELOPMENT AND ZONING ADMINISTRATION DATE

OWNER AND DEVELOPER  
FONT HILL GOLF CLUB, INC.  
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1777 REISTERSTOWN ROAD  
BALTIMORE, MARYLAND 21208

PARABOLIC CHANNEL PROFILES & DESIGN DATA, STORM DRAIN AND SEDIMENT BASIN NOTTS & DETAILS

THE FAIRWAYS  
LOTS 43-130  
SECTION I AREA 2  
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN OCT. 7, 1986  
SHEET II OF II

1221

FISHER, COLLINS AND CARTER, INC.  
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8388 COURT AVENUE  
ELICOTT CITY, MARYLAND 21043  
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REV. 11/77 U.S. REVISION - REVISED 1-10-80 AND 1-10-84 ALL STRUCTURE SCHEDULES ALSO ADDED PROFILE 2-10-82-10A

