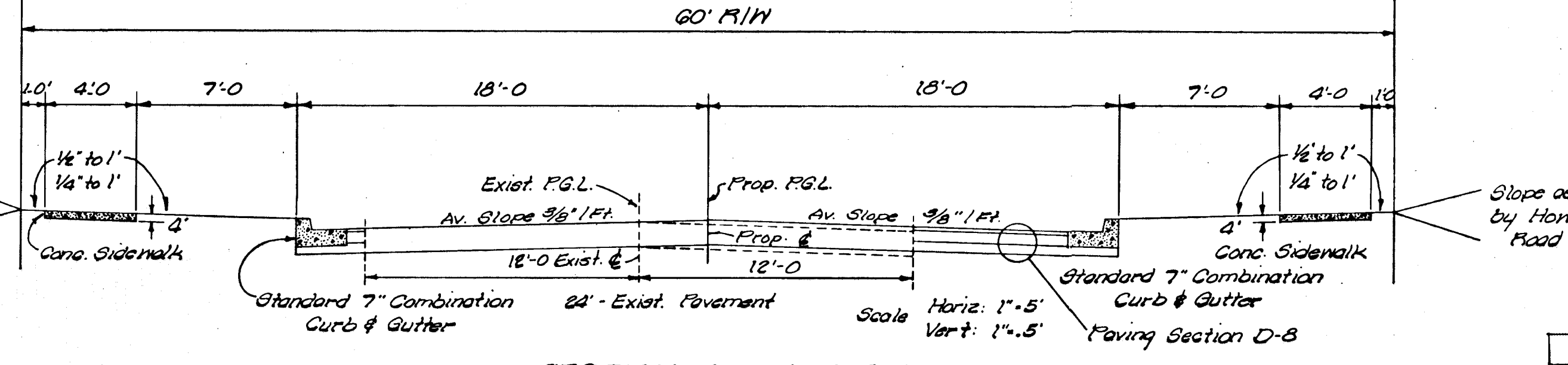
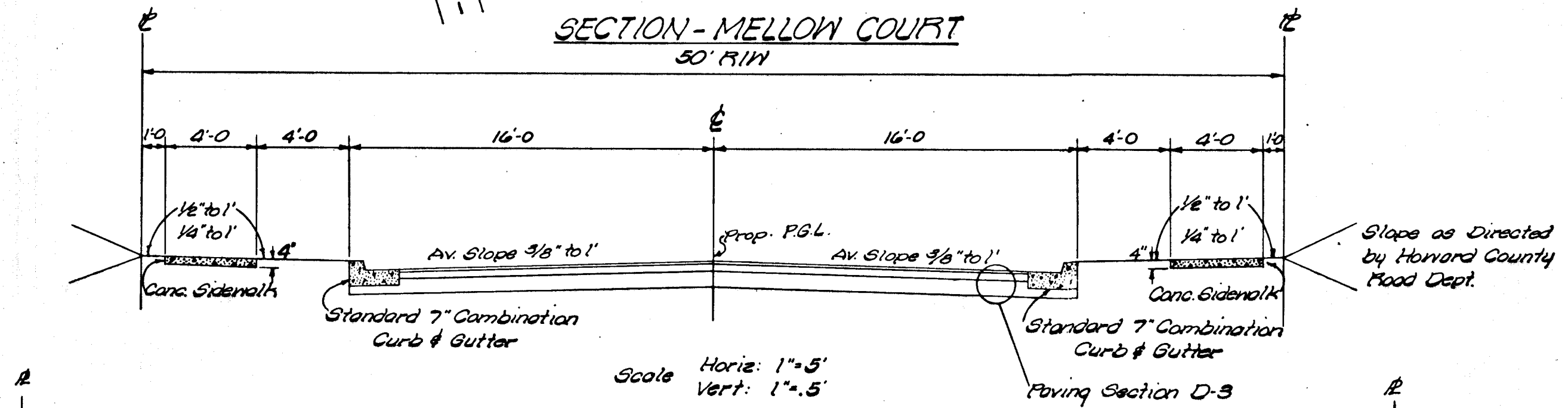


INTERSECTION DETAIL WHISKEY BOTTOM ROAD AND MELLOW COURT  
Scale 1"=50' Horiz. 1"=5' Vert.

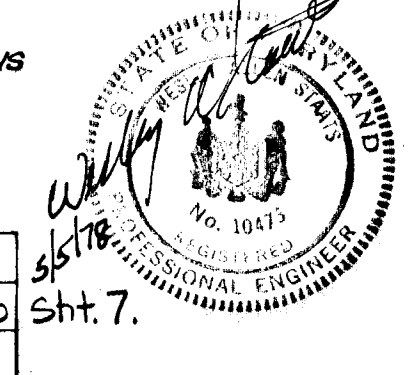
- INDEX**
1. For Sections & Profiles of Streets, see sheets of Whiskey Bottom North.
  2. For Sediment Control see sheets of Whiskey Bottom North.
  3. For Storm Drain see sheets of Whiskey Bottom North.
  4. For Water & Sewer see sheets of Whiskey Bottom North.
  5. For Grading Plan see sheets of Whiskey Bottom North.



**AS-BUILT CERTIFICATE**  
ALL IMPROVEMENTS IN PUBLIC SPACE HAVE BEEN INSTALLED AS SHOWN ON THIS PLAN EXCEPT AS MODIFIED AND SHOWN ON OTHER PLAN IN THIS AS-BUILT SET.  
LOTS HAVE BEEN IMPROVED AS FOLLOWS:  
(1) LOTS 1 TO 4 ARE UNIMPROVED.  
(2) LOTS 5 TO 8 - SITE DEVELOPMENT PLANS REVISED AND HOUSES BUILT OR UNDER CONSTRUCTION. LOTS 7 AND 8 HAVE BEEN RESUBDIVIDED INTO LOTS 25 AND 26.  
(3) LOTS 9 TO 16 - SITE DEVELOPMENT PLANS REVISED AND HOUSES BUILT ON LOTS 9 TO 12.  
(4) LOTS 17 TO 24 ARE UNIMPROVED.

ALL STREETS WILL BE PUBLIC AND ALL DRIVEWAYS OUTSIDE OF PUBLIC R/W'S WILL BE PRIVATE.  
**PRESENT OWNER:**  
1-36 ENTERPRISES, INC.  
1720 WISCONSIN AVE N.W.  
WASHINGTON, D.C. 20007  
**DEVELOPER:**  
THE HOLLADAY CORPORATION  
1720 WISCONSIN AVE N.W.  
WASHINGTON, D.C. 20007

Rev No	Date	Revision Description
10-3-83		Rev. 4'S.W. Margin (4' in Cut the size Adj) to Curb
5-24-79		Road elev. Rev. sed MH-20 to MH-21
		Revision Description



APPROVED: Howard County Office of Planning and Zoning  
Date: 6-20-78  
Chief, Division of Land Develop.

DEPARTMENT OF PUBLIC WORKS  
WOL/Port 6-12-78  
Chief, Bureau of Engineering

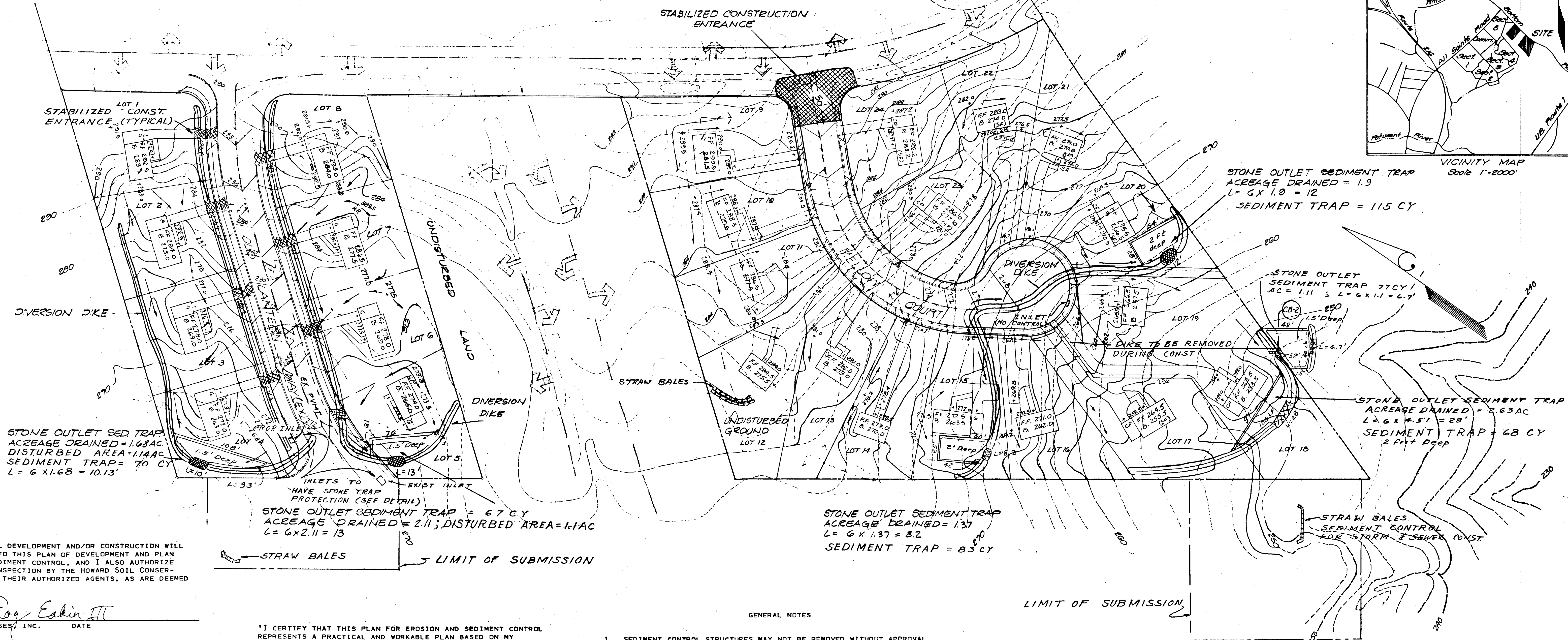
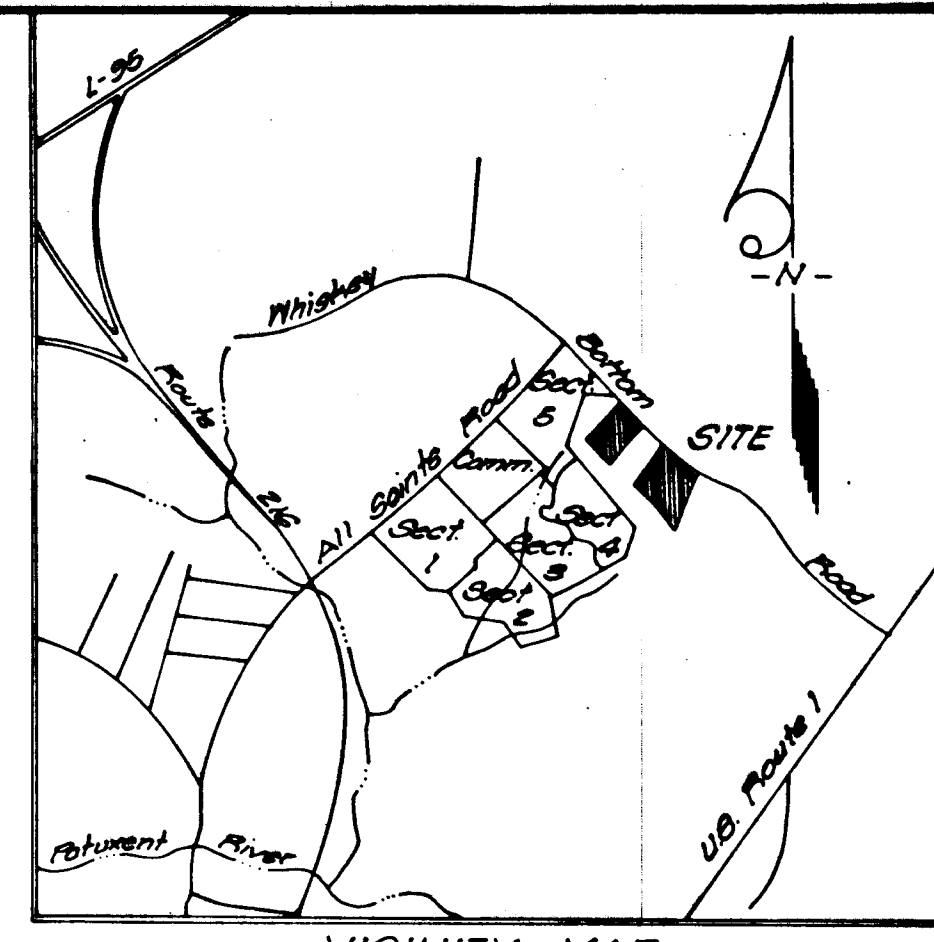
**WHISKEY BOTTOM NORTH**  
ELECTION (6th) DISTRICT  
HOWARD COUNTY, MARYLAND

**SITE DEVELOPMENT PLAN**

The Interprofessional (301) 585-5676  
**PLANNING & DESIGN STUDIO, LTD.**  
Engineers • Architects • Surveyors  
Planners & Landscape Architects  
808 SILVER AVENUE, SILVER SPRING, MD 20910

**SHEET 1 OF 7**  
Scale 1"=50'





I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*Lo Roy Eakin III*  
 I-95 ENTERPRISES, INC. DATE

DEVELOPER'S CERTIFICATION (FOR STREETS)

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND SEDIMENT CONTROL. ALL SURFACE RUN-OFF AND POTENTIAL SEDIMENT WILL BE DIRECTED TO PLANNED SEDIMENT CONTROL DEVICES AND RETAINED ON THE CONSTRUCTION SITE.

*Lo Roy Eakin III*  
 I-95 ENTERPRISES, INC. DATE

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS," DATED JULY, 1975.

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE "HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS INTERIM STORM DRAIN DESIGN CRITERIA."  
 SEED AREA 270,000 SF  
 PERVIOUS AREA 280,844 SF; IMPERVIOUS AREA 95,531 SF  
 TOTAL AREA TO BE DISTURBED 376,434 SQ. FT.  
 EXCAVATION 8486 CY  
 FILL 7,753 CY

NOTE: IMPROVEMENT TO BE STREET GRADING AND LOT IMPROVEMENTS.

*Wesley A. Ford* P.E. 5/5/78  
 REGISTRATION NO. 10475 DATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Wesley A. Ford* 5/5/78  
 SIGNATURE OF ENGINEER DATE

SEQUENCE OF CONSTRUCTION

1. CONSTRUCT SEDIMENT CONTROL DEVICES FOR STREETS . . . 1.5 WEEKS
2. GRADE STREETS . . . 1.5 WEEKS
3. BUILD STORM DRAIN SYSTEM, ETC. . . 4.0 WEEKS
4. PAVE STREET AND CONSTRUCT SHOULDERS, DRAINAGE DITCHES . . . 4.0 WEEKS
5. FINISH GRADE LOTS AND APPLY SEED AND MULCH, SOD OR GROUND COVER ON EXPOSED AREAS, PAVE DRIVEWAYS, AND DRIVEWAY CULVERTS . . . 1.0 WEEKS
6. AS LOTS ARE SOLD WAIT 6 WEEKS OR LONGER AS NECESSARY FOR SEEDS TO STABILIZE . . . 6.0 WEEKS
7. REMOVE SEDIMENT CONTROL DEVICES AND REPAIR AND PATCH DISTURBED AREAS OF LAWNS AND GROUND COVER . . . 1.0 WEEKS

TOTAL . . . . . 19 WEEKS

GENERAL NOTES

1. SEDIMENT CONTROL STRUCTURES MAY NOT BE REMOVED WITHOUT APPROVAL OF HOWARD COUNTY INSPECTIONS AND PERMITS.
2. THE BUILDER MUST OBTAIN A GRADING PERMIT PRIOR TO BEGINNING GRADING.

REVIEWED FOR Howard S.C.D. NAME  
 AND MEETS TECHNICAL REQUIREMENTS  
*R. Wayne Ray* DATE 6-5-78 SIGNATURE  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED *R. Wayne Ray* DATE 6-5-78  
 HOWARD S.C.D.

ALL STREETS WILL BE PUBLIC AND ALL DRIVEWAYS OUTSIDE OF PUBLIC R/W'S WILL BE PRIVATE

PRESENT OWNER  
 I-95 ENTERPRISES, INC.  
 1720 WISCONSIN AVE N.W.  
 WASHINGTON, D.C. 20007

DEVELOPER  
 THE HOLLADAY CORPORATION  
 1720 WISCONSIN AVE N.W.  
 WASHINGTON, D.C. 20007

AS-BUILT CERTIFICATE

SEDIMENT CONTROL DEVICES IN IMPROVED AREAS IN IMPROVED AREAS HAVE BEEN REMOVED. MOST UN-IMPROVED AREAS REMAIN UNDISTURBED. - E.J. SHEPHERD JR., MD. REG. LAND SURVEYOR

Rev No	Rev Date	Revision Description
1	5-24-79	Read elev. Revised MH20 to MH21

APPROVED: Howard County Office of Planning and Zoning  
 Planning Director Date  
*John W. Murchison* 6-20-78  
 Chief, Division of Land Develop. Date

DEPARTMENT OF PUBLIC WORKS  
*Wesley A. Ford* 6-12-78  
 Chief, Bureau of Engineering Date

WHISKEY BOTTOM NORTH  
 ELECTION (6th) DISTRICT  
 HOWARD COUNTY, MARYLAND

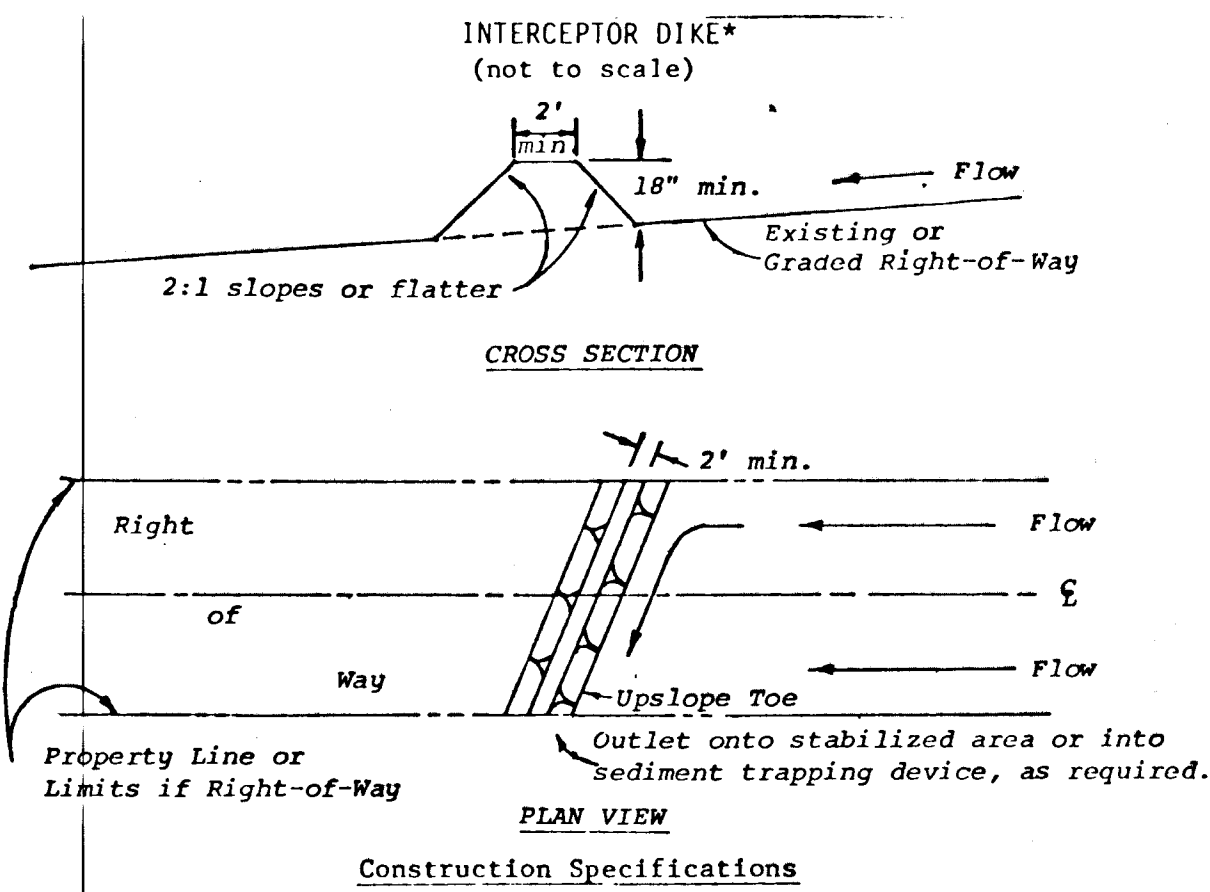
GRADING & SEDIMENT CONTROL PLAN

Revisions  
 11/28/77 HOUSE LOCATIONS  
 1/23/78 - COMMENTS - 11/1/78 WJS

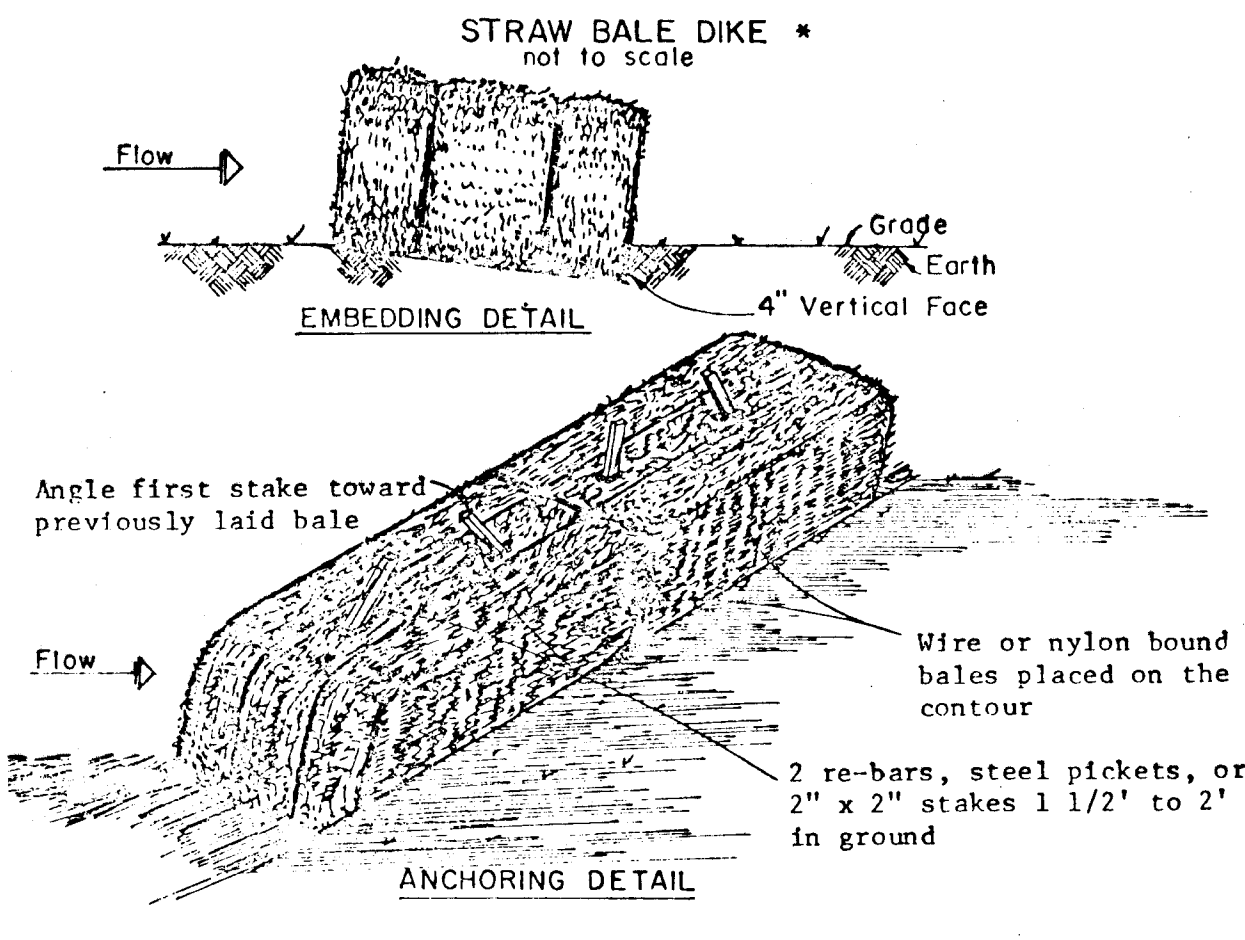
The Interprofessional (301) 585 5676  
 PLANNING & DESIGN STUDIO, LTD.  
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 Planners & Landscape Architects  
 802 SLIGO AVENUE, SILVER SPRING, MD 20910

SHEET 2 OF 7  
 Scale 1"=50'

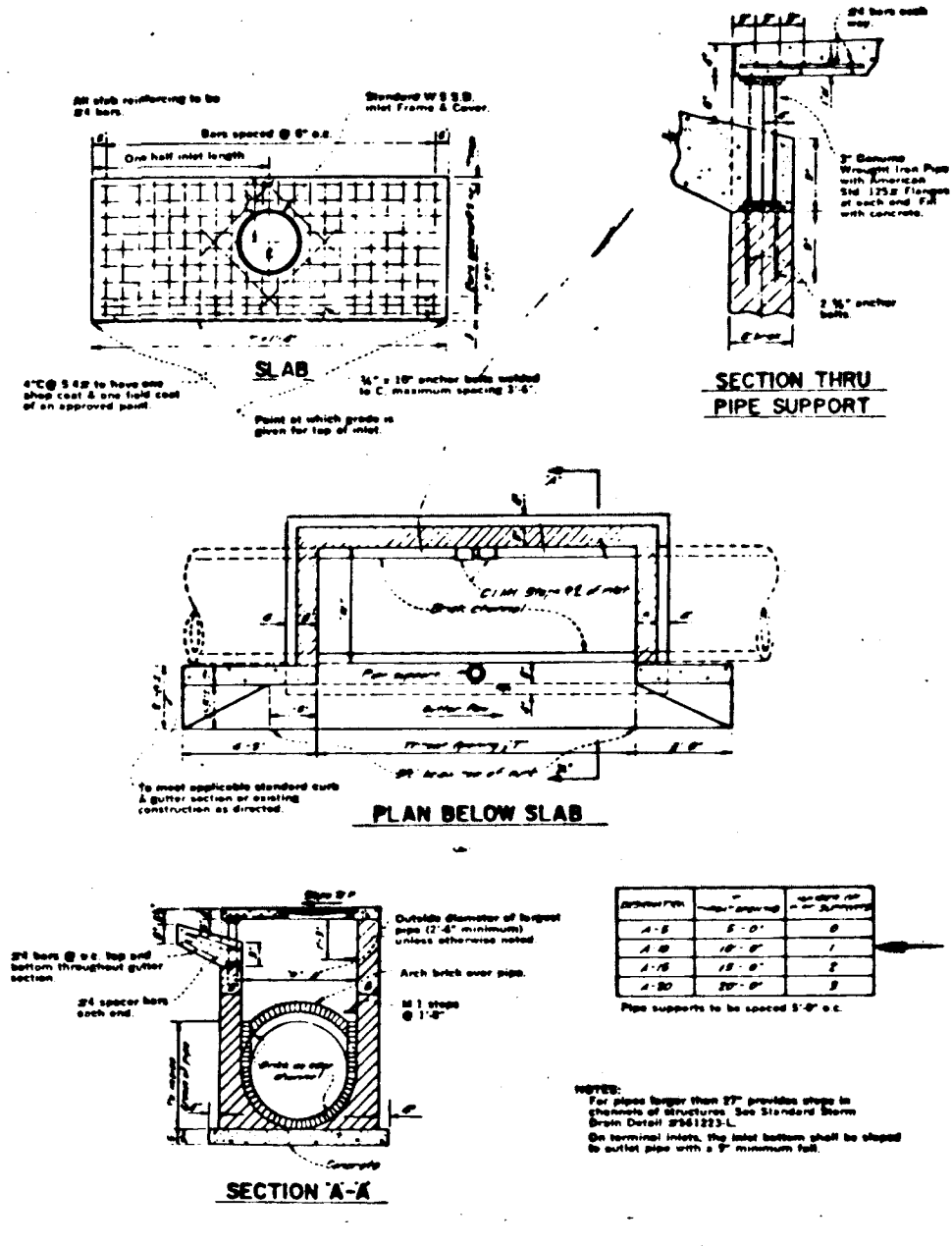




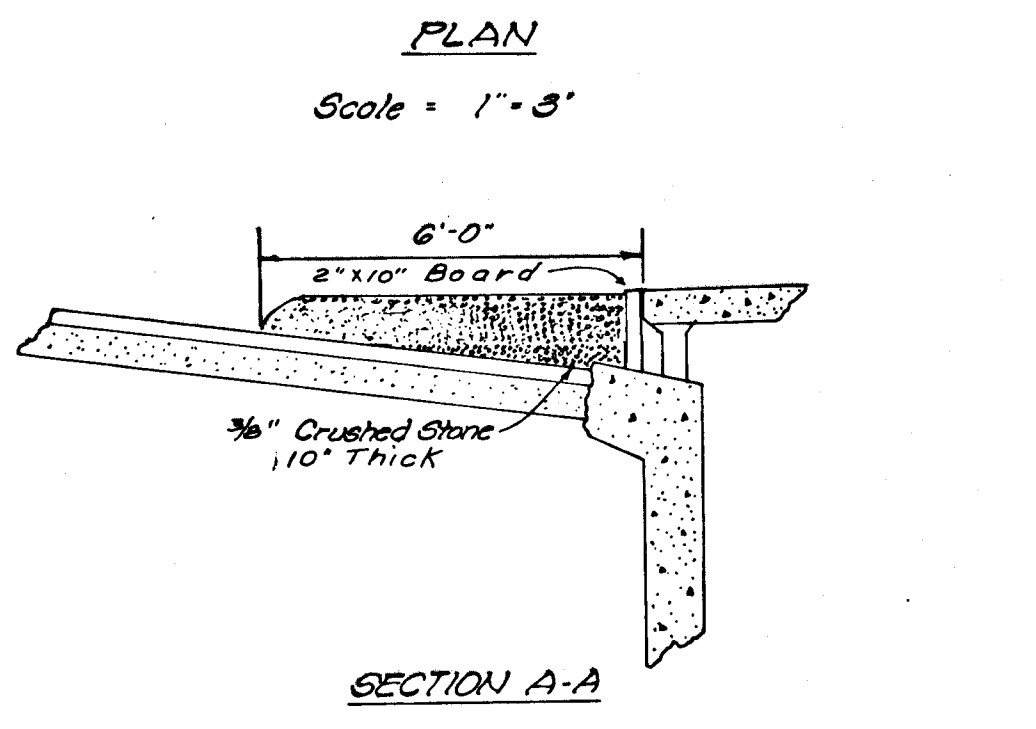
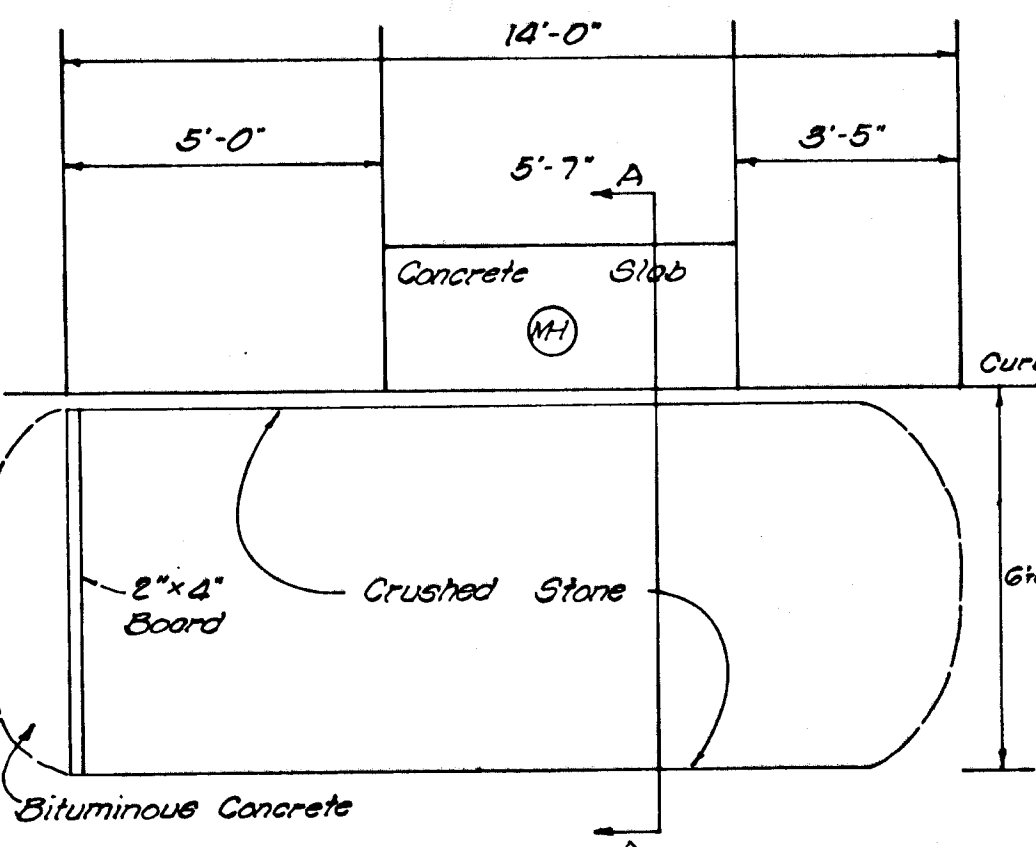
- Construction Specifications**
- All dikes shall be machine compacted.
  - All interceptor dikes shall have positive drainage to an outlet.
  - Top width may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
  - Field location should be adjusted as needed to utilize a stabilized safe outlet.
  - Interceptor dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin when either the interceptor dike channel or the drainage area above the dike are not adequately stabilized.
  - Stabilization, as specified by the plans, shall be: (1) in accordance with Standard Specifications for Grassed Waterway, and the area to be stabilized shall be the channel (flow area); or (2) the flow area shall be lined with stone that meets MSHA size No. 2 or AASHTO size No. 2 or 24 which is placed in a 3 inch thick layer and pressed into the soil. The area covered by the stone shall be as shown on Standard Drawing DD-1.
  - Periodic inspection and required maintenance must be provided.



- Construction Specifications**
- Bales shall be placed in a row with ends tightly abutting the adjacent bales.
  - Each bale shall be embedded in the soil a minimum of 4 inches on one side.
  - Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale shall be angled toward previously laid bale to force bales together.
  - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
  - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



HOWARD COUNTY STANDARD CLASS 'A' INLET



**SEEDING NOTES**

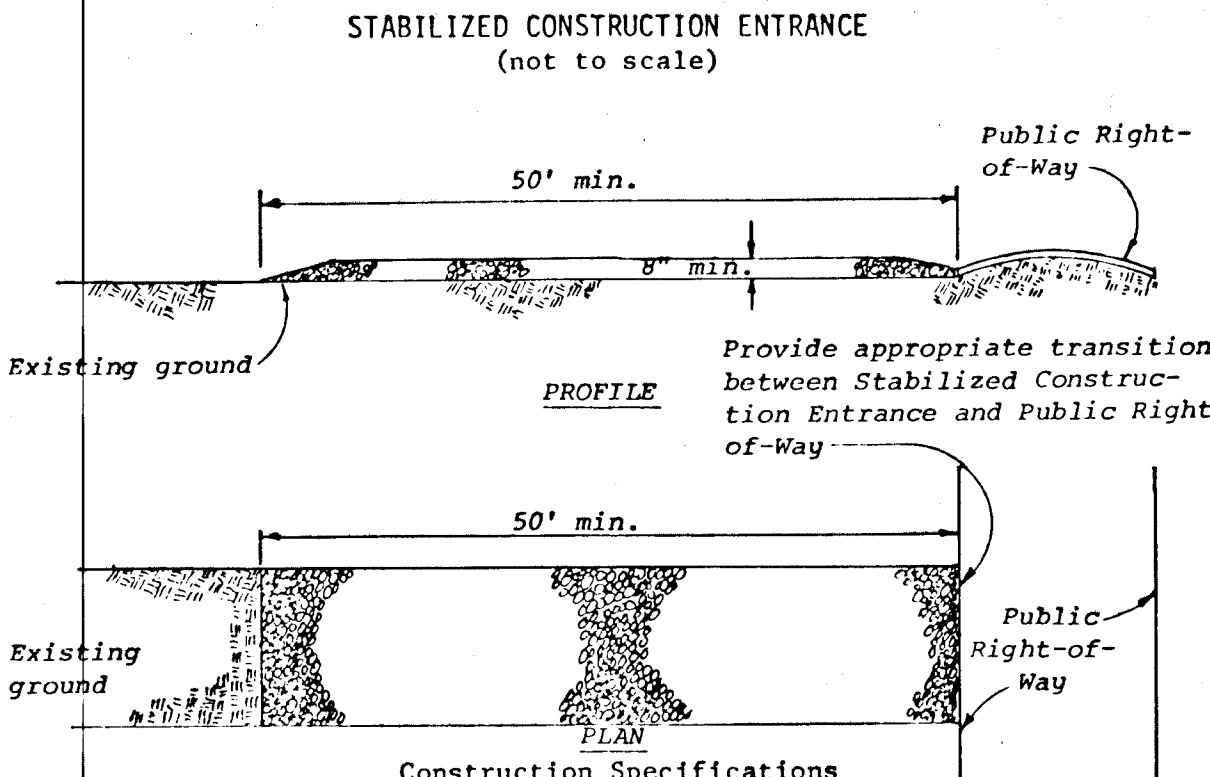
- EXCEPT WHERE OTHERWISE SHOWN ALL DISTURBED EARTH SHALL BE SEEDED AND MULCHED AS DIRECTED BELOW.
- DISCING OR HARROWING SHALL BE DONE ON CONTOUR.
- SEEDBED PREPARATION - APPLY 46 LBS. PER 1,000 SQ. FT. LIME AND 11.5 OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQ. FT. THOROUGHLY MIX INTO SOIL TO A DEPTH OF 3".
- SEEDING - USE KENTUCKY 31 - TALL FESCUE AT THE RATE OF 3 LBS. PER 1,000 SQ. FT.
- MULCHING - USE CLEAN, UNWEATHERED, UNCHOPPED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE.
- CERTIFIED SOD TO BE USED WHERE AND WHEN APPROVED BY THE ENGINEER.
- TEMPORARY SEEDING TO BE DONE DURING CONSTRUCTION. HOWARD SOIL CONSERVATION DISTRICT STANDARD SPECIFICATIONS TO APPLY.

- GENERAL NOTES FOR STORM DRAIN CONSTRUCTION**
- ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE GENERAL SPECIFICATIONS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY.
  - TYPES OF STRUCTURES REFER TO THE STANDARD STORM DRAINAGE DETAILS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY, UNLESS OTHERWISE NOTED.
  - WHERE THE DROP ON THE MAIN LINE THROUGH A STRUCTURE CAN BE ACCOMMODATED BY AN INVERT SLOPE OF 1 1/2: 1 OR FLATTER, A ROUNDED CHANNEL LINED WITH SEWER BRICK ON EDGE SHALL BE BUILT TO THE CROWN OF THE PIPE.
  - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS, WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR SIX (6) INCHES, WHICHEVER IS LESS, CONTACT:

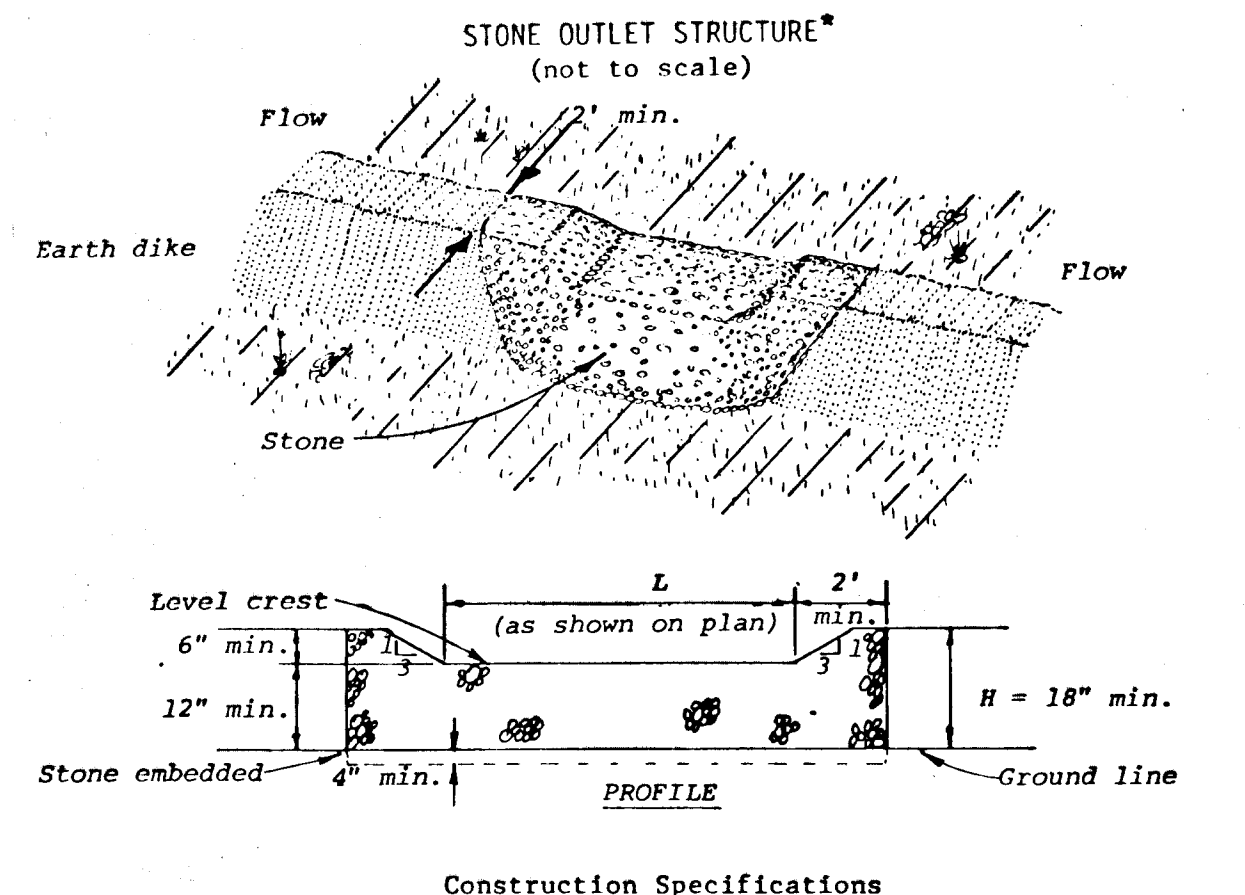
- GENERAL NOTES FOR PAVING CONSTRUCTION**
- ALL WORK IN PUBLIC RIGHT-OF-WAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE GENERAL SPECIFICATIONS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
  - NO WORK IN PUBLIC RIGHT-OF-WAYS SHALL BEGIN UNTIL ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
  - ALL UNPAVED AREAS WITHIN RIGHT-OF-WAYS AND ALL BACKSLOPES SHALL BE SEEDDED AND MULCHED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SEEDDED AND MULCHED AREAS UNTIL STREETS HAVE BEEN ACCEPTED BY HOWARD COUNTY.

\* Drainage area less than 5 acres. Standard Symbol ID

\* Drainage area less than 1/2 acre. Standard Symbol SBD

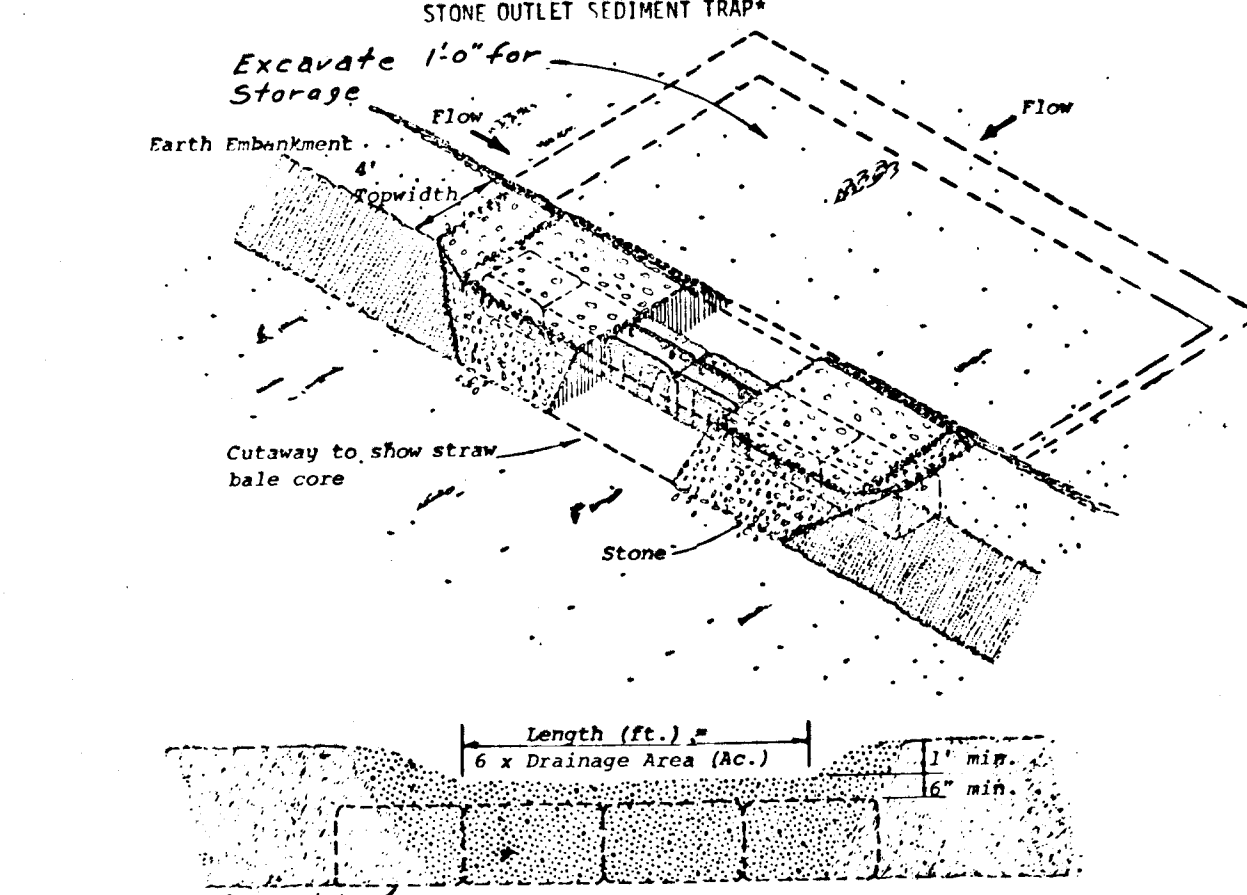


- Construction Specifications**
- Stone size - Use MSHA size No. 2 (2-1/2" to 1") or AASHTO designation M43, size No. 2 (2-1/2" to 1-1/2"). Use crushed stone.
  - Length - As effective, but not less than 50 feet.
  - Thickness - Not less than eight (8) inches.
  - Width - Not less than full width of all points of ingress or egress.
  - Washing - When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch, or watercourse through use of sand bags, gravel, boards or other approved methods.
  - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.

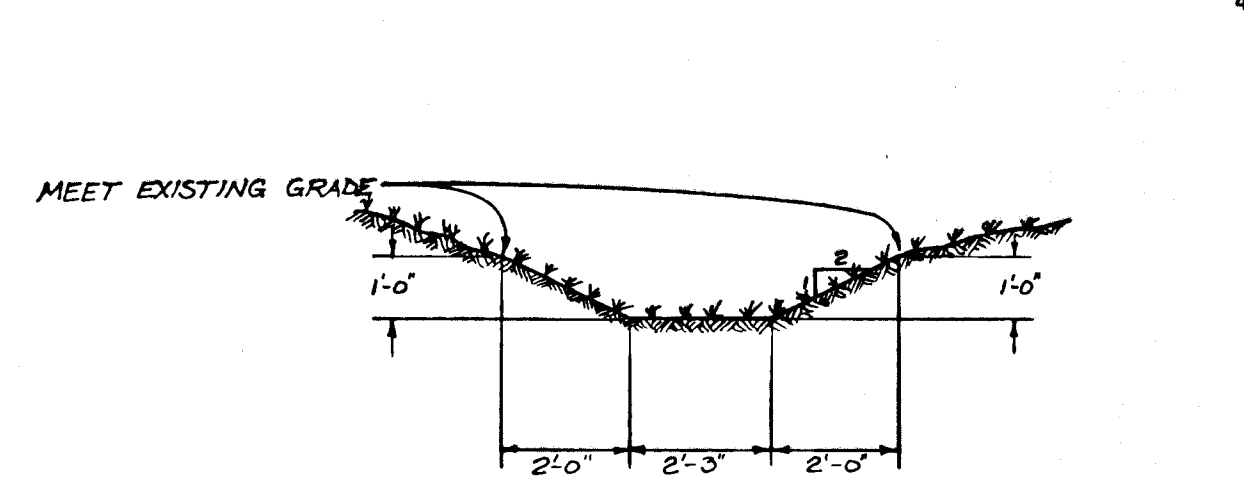
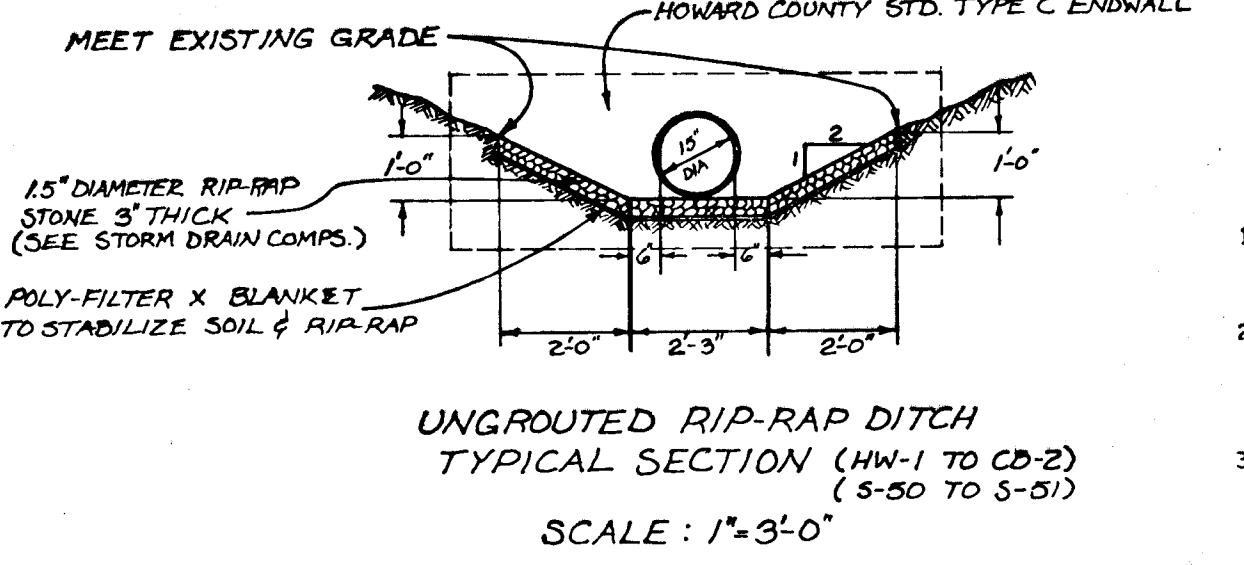


- Construction Specifications**
- The stone shall be crushed stone. Gravel may be used if crushed stone is not available. The stone shall meet MSHA size No. 2 or AASHTO designation M43 Size No. 2 or 24.
  - The crest of the stone dike shall be at least six inches lower than the lowest elevation of the top of the earth dike and shall be level.
  - The stone outlet structure shall be embedded into the soil a minimum of four inches.
  - The minimum length, in feet, of the crest of the stone outlet structure shall be equal to six times the number of acres of contributing drainage area.
  - The stone outlet structure shall be inspected after each rain, and the stone shall be replaced when the structure ceases to function as intended due to silt accumulation at the stone, washout, construction traffic damage, etc.

\* Drainage area less than 5 acres. Standard Symbol SOS



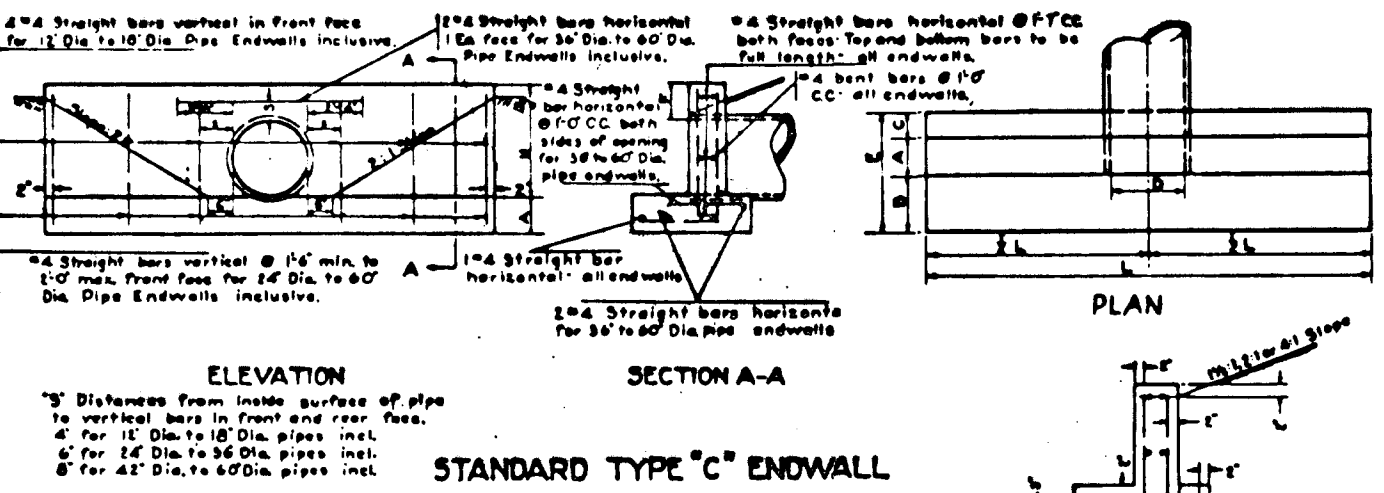
- Construction Specifications**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
  - The fill material for the embankment shall be free of roots or other woody vegetation as well as over sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
  - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
  - The structure shall be inspected after each rain and repairs made as needed.
  - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
  - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
  - All cut and fill slopes shall be 2:1 or flatter.
  - The crushed stone used in the outlet shall meet AASHTO designation M43, Size No. 2 or 24 or its equivalent such as MSHA No. 2. Gravel, meeting the above gradation, may be used if crushed stone is not available. Crusher run is not acceptable.



GRASSED DITCH TYPICAL SECTION (CD-2 TO CD-3) SCALE: 1"=3'-0"

- GENERAL NOTES FOR SEDIMENT CONTROL**
- SEDIMENT CONTROL STRUCTURES BELOW OUTFALLS TO BE STABILIZED AS SOON AS STORM DRAIN CONSTRUCTION IS COMPLETE.
  - SEDIMENT CONTROL STRUCTURES TO BE MAINTAINED THROUGHOUT CONSTRUCTION OF SUBDIVISION. BUILDER MUST PERFORM DAILY INSPECTION OF ALL SEDIMENT CONTROL.
  - HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS SHALL BE NOTIFIED 48 HOURS PRIOR TO GRADING STREETS. (ITEM 2 OF SEQUENCE OF CONSTRUCTION)
  - STORM DRAINAGE NOT TO BE CONSTRUCTED DURING GRADING.

- GENERAL NOTES**
- SEDIMENT CONTROL STRUCTURES MAY NOT BE REMOVED WITHOUT APPROVAL OF HOWARD COUNTY INSPECTIONS AND PERMITS.
  - THE BUILDER MUST OBTAIN A GRADING PERMIT PRIOR TO BEGINNING GRADING.



**STANDARD TYPE 'C' ENDWALL**

Dimensions	A	B	C	E	F	H	L	Volume (Cu Yd)	Steel (Lbs)
4' x 4'	4	4	4	4	4	4	4	0.00	0.00
4' x 6'	4	6	4	4	4	4	4	0.00	0.00
4' x 8'	4	8	4	4	4	4	4	0.00	0.00
4' x 10'	4	10	4	4	4	4	4	0.00	0.00
4' x 12'	4	12	4	4	4	4	4	0.00	0.00
4' x 14'	4	14	4	4	4	4	4	0.00	0.00
4' x 16'	4	16	4	4	4	4	4	0.00	0.00
4' x 18'	4	18	4	4	4	4	4	0.00	0.00
4' x 20'	4	20	4	4	4	4	4	0.00	0.00
4' x 22'	4	22	4	4	4	4	4	0.00	0.00
4' x 24'	4	24	4	4	4	4	4	0.00	0.00
4' x 26'	4	26	4	4	4	4	4	0.00	0.00
4' x 28'	4	28	4	4	4	4	4	0.00	0.00
4' x 30'	4	30	4	4	4	4	4	0.00	0.00

Reviewed for HOWARD S.C.D. Name  
and meets Technical Requirements  
C. Wayne Kay Date 6-5-78  
Signature  
U. S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Approved R. Zebrowski Date 6-5-78  
Howard S.C.D.

Rev. Date	Rev. No.	Revision Description
5-24-79	1	Road elev. Revised M1 20 to M1 21



APPROVED: Howard County Office of Planning and Zoning  
Planning Director Date  
6-20-78

DEPARTMENT OF PUBLIC WORKS  
W. O. Lambert  
Chief, Bureau of Engineering Date  
6-12-78

WHISKEY BOTTOM NORTH  
ELECTION (6th) DISTRICT  
HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL  
DETAILS

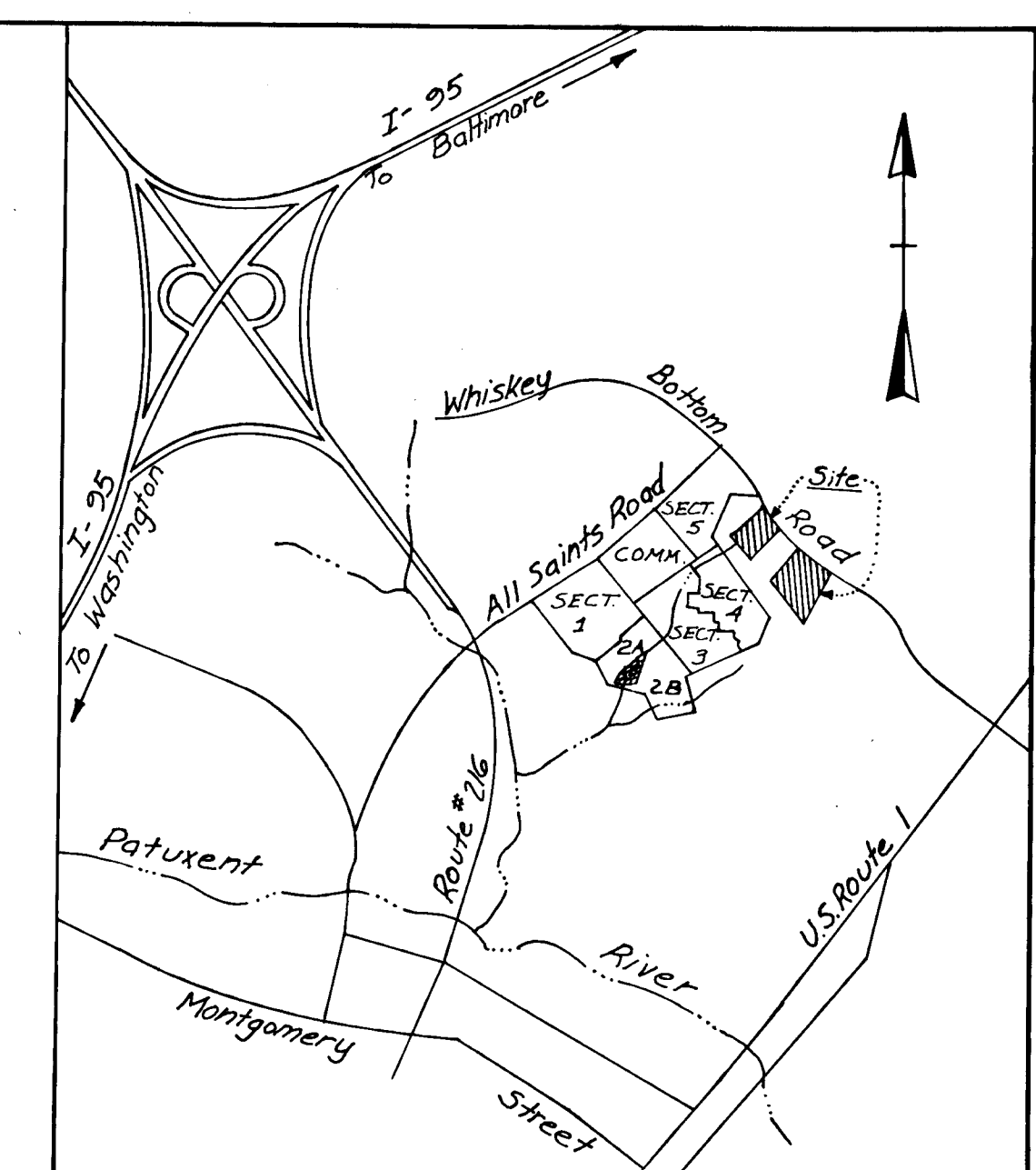
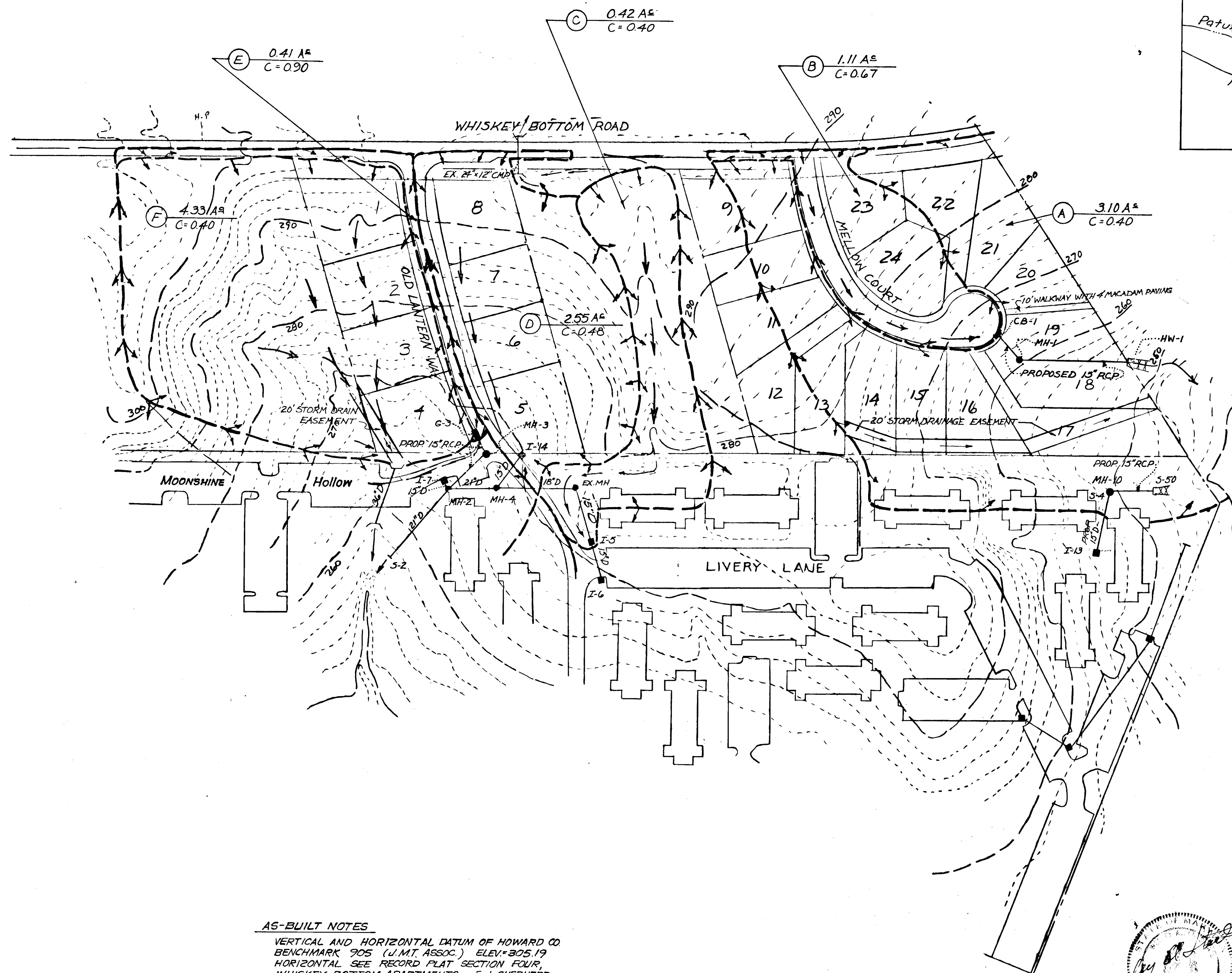
Revisions  
11/22/78 Inlet & Sediment Control  
11/22/78  
The Interprofessional (301) 585-5676  
PLANNING & DESIGN STUDIO, LTD.  
Engineers • Architects • Surveyors  
Planners & Landscape Architects  
SHEET 3 OF 7



STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS (SEE NOTE)
CB-1	A-10	-	-262.00- 260.75	266.30	PAGE 119-A
MH-1	4' DIA. MH	258.53- 258.05	254.79- 254.83	262.00- 262.13	PAGE 158
HW-1	C.E.W.	245.00	245.00 244.99	247.25 247.03	PAGE 107
HW-1	RIP-RAP	245.00- 244.99	244.80	-	20' RIP-RAP
G-3	A-10	-	-266.00- 266.04	271.20- 271.39	PAGE 119-A
MH-3	4' DIA. MH	265.01- 264.62	261.29- 261.22	269.30- 269.72	PAGE 158
MH-2	4' DIA. MH w/ PREF. COVER	(2) 258.54 (1) 258.86	258.30- 258.11	262.00- 261.91	EXISTING
S-2	C.E.W.	255.36	255.36	258.15	EXISTING
I-13	"C"	-	249.25	253.00	PAGE 119-C EXISTING
S-4	C.E.W.	248.59	-	-	EXISTING
I-10	"C"	-	247.21- 248.39	253.00- 252.84	EXISTING 2" INLET PAGE 119-C w/ 1/4" x 1/4" DPG. 4 SIDES
MH-10	4' DIA. MH	246.52- 247.35	246.02- 247.15	253.00- 251.80	PAGE 158
S-50	C.E.W.	245.66- 246.44	245.66- 246.52	248.00- 249.42	PAGE 107
S-50	RIP-RAP	245.66	245.66- 246.52	-	10' RIP-RAP
I-14	A-10	-	264.00	270.20	(PAGE 119-A) A-10 INLET w/ DEFLECTORS SEE STORM DRAIN PLAN
MH-4	4' DIA. MH (2)	260.36	260.16	266.00	EXISTING
I-7	A-10	-	260.37	266.70	EXISTING

NOTE: STORM DRAINAGE STRUCTURES TO BE ACCORDING TO HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.



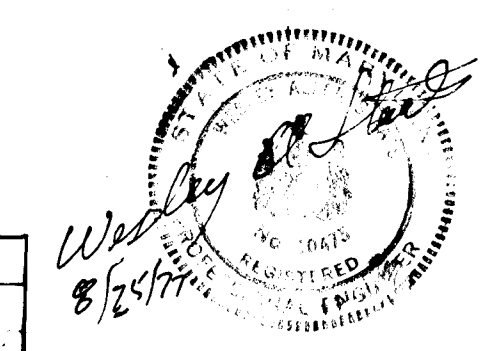
VICINITY MAP  
SCALE 1"=2000'

**AS-BUILT NOTES**  
VERTICAL AND HORIZONTAL DATUM OF HOWARD CO BENCHMARK 905 (J.M.T. ASSOC.) ELEV=305.19  
HORIZONTAL SEE RECORD PLAT SECTION FOUR, WHISKEY BOTTOM APARTMENTS - E.J. SHEPHERD, MD REG. LAND SURVEYOR No. 2539 - CERTIFICATION DATE SEPT. 27, 1982

Reviewed for Howard S.C.D. Name  
and meets Technical Requirements  
P. Wayne Ray Date 6-5-78 Signature  
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Approved R. Zehm Date 6-5-78  
Howard S.C.D.

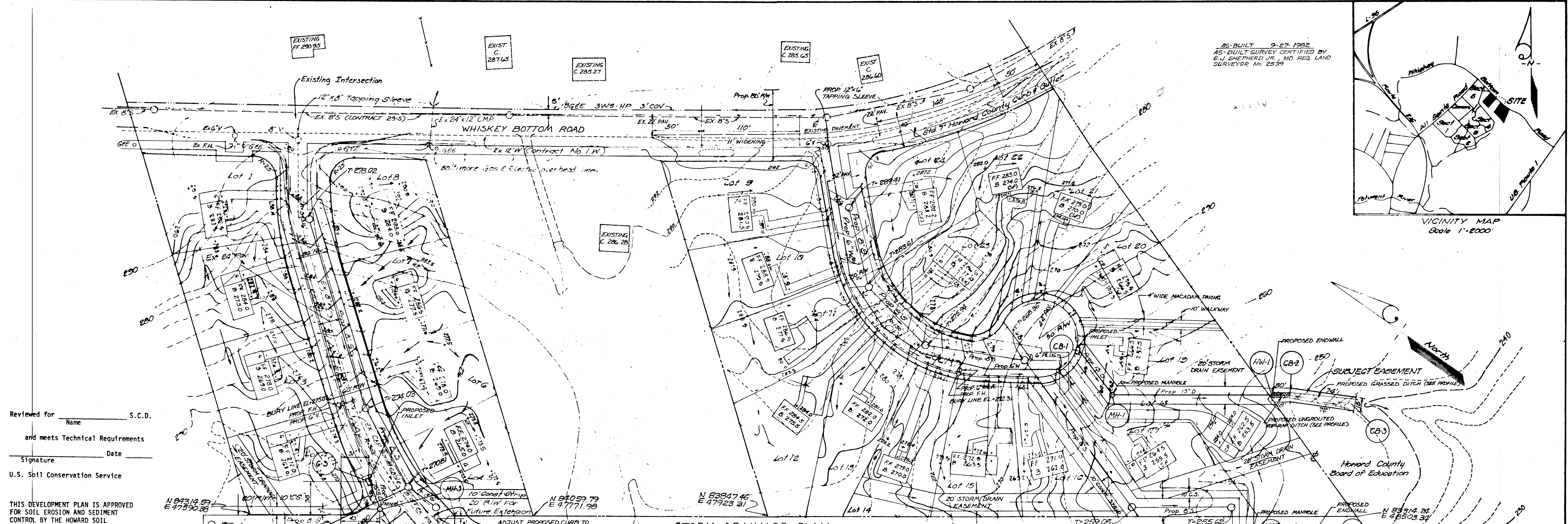
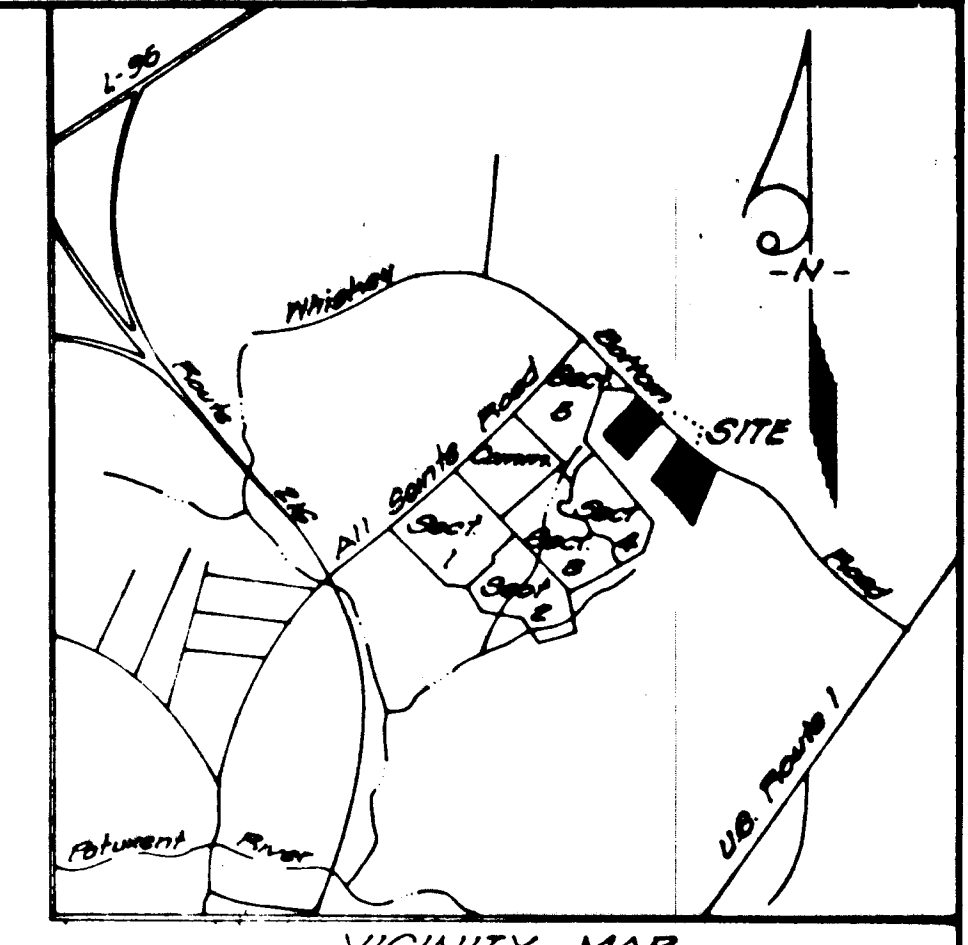
Rev. Date	Rev. No.	Revision Description
5-24-79	Δ	Road elev. Revised MH 20 to MH 21



APPROVED: Howard County Office of Planning and Zoning		DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND		I.P.D.S. LTD. 802 Silgo Avenue Silver Spring, Md. 20910 585-5676		DRAINAGE AREA PLAN		WHISKEY BOTTOM NORTH SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND		DRAWING NO. 4 OF 7	SCALE 1"=100'	5-23-77
Planning Director	Date	Chief, Division of Land Develop.	Date	Chief, Bureau of Engineering	Date							



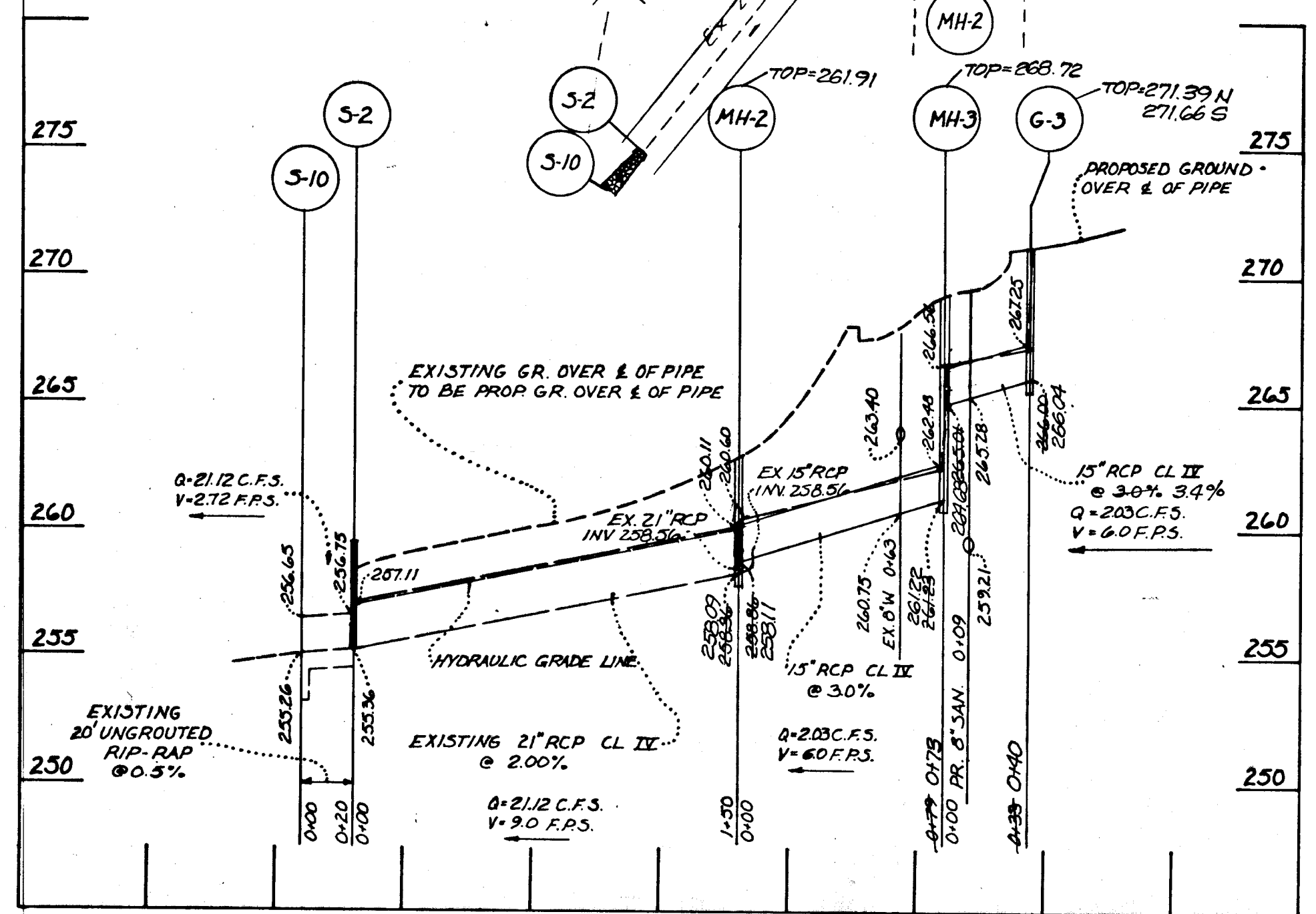
AS-BUILT 9-27-1982  
 AS-BUILT SURVEY CERTIFIED BY  
 E.J. SHEPHERD JR., MD. RES. LAND  
 SURVEYOR NO. 2559



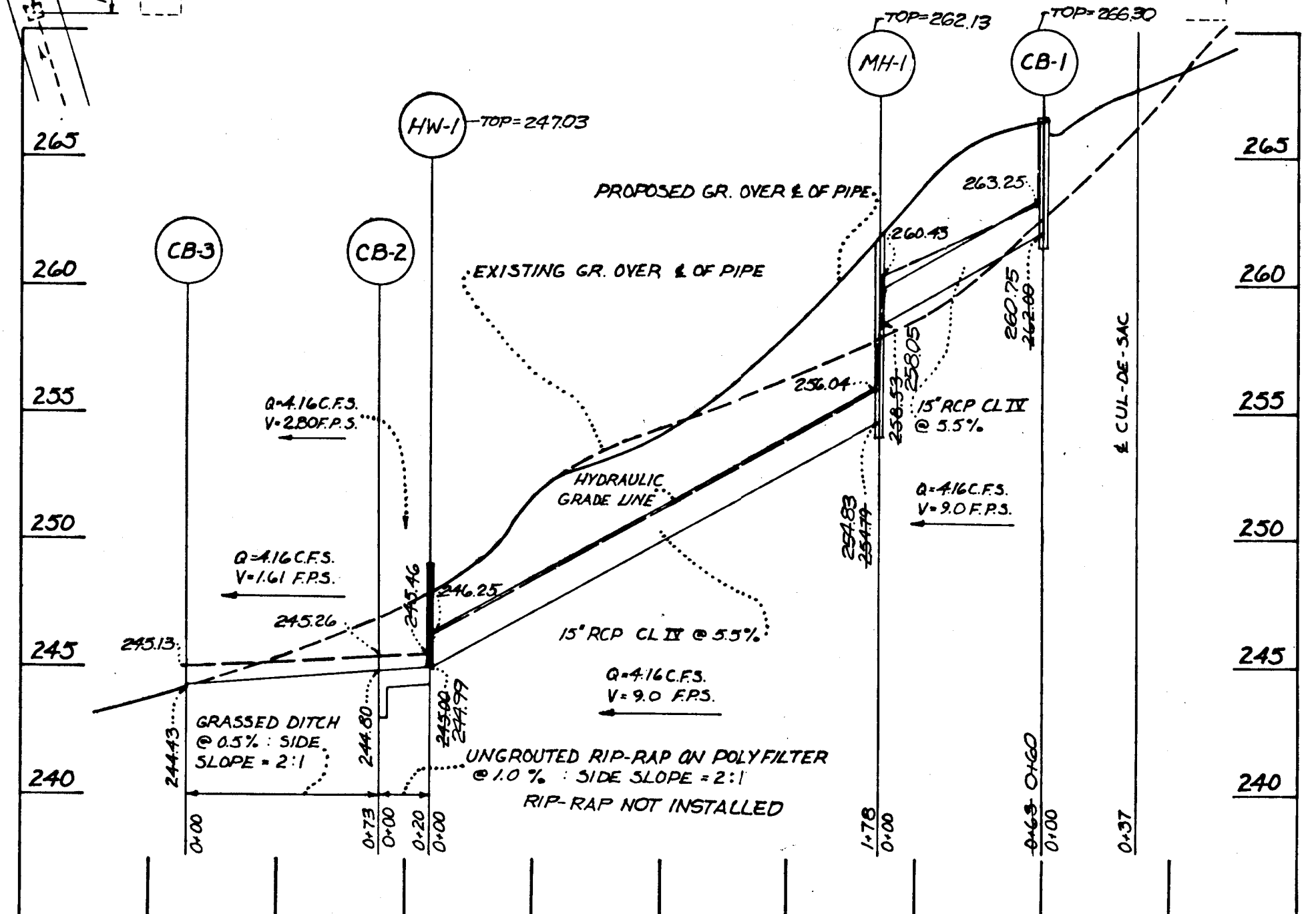
Reviewed for \_\_\_\_\_ S.C.D.  
 Name \_\_\_\_\_  
 and meets Technical Requirements  
 Date \_\_\_\_\_  
 Signature \_\_\_\_\_  
 U.S. Soil Conservation Service  
 THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT.  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Howard S.C.D.

**STORM DRAINAGE PLAN**

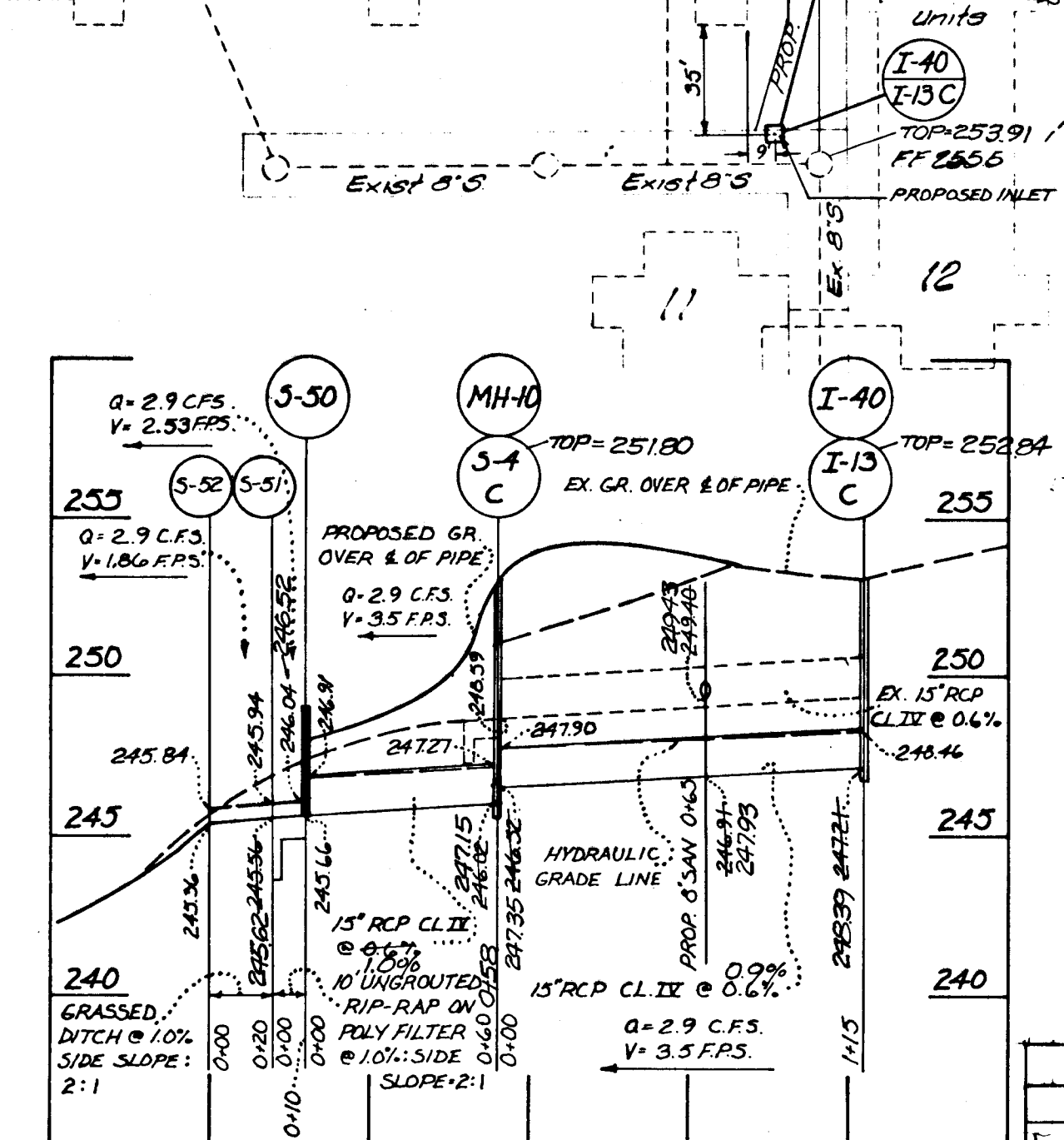
SCALE: 1" = 50'



**STORM DRAIN PROFILE  
 MOONSHINE HOLLOW AND OLD LANTERN WAY**  
 SCALE: 1" = 5' VERT. 1" = 30' HORIZ.



**STORM DRAIN PROFILE  
 MELLOW COURT**  
 SCALE: 1" = 5' VERT. 1" = 30' HORIZ.



**\* STORM DRAIN PROFILE  
 BETWEEN BUILDINGS 12 & 13**  
 SCALE: 1" = 5' VERT. 1" = 30' HORIZ.



ALL STREETS WILL BE PUBLIC AND ALL  
 DRIVEWAYS OUTSIDE OF PUBLIC  
 R/W'S WILL BE PRIVATE

PRESENT OWNER  
 P-95 ENTERPRISES, INC  
 1720 WISCONSIN AVE NW  
 WASHINGTON, DC 20007

DEVELOPER  
 THE HOLLADAY CORPORATION  
 1720 WISCONSIN AVE NW  
 WASHINGTON, DC 20007

Rev. No.	Rev. Date	Revision Description
5-24-79		Road elev Revised M4 20 to M4 21

\* NOTE: RELOCATION OF EXISTING 15-INCH STORM DRAIN IS REQUIRED.  
 THE REMOVAL OF THE CONCRETE SIDEWALKS AND THE STEPS TO  
 APARTMENT #9245 FF 13 IS ALSO REQUIRED. TO BE REPLACED AFTER RELOCATION

APPROVED: Howard County Office of Planning and Zoning  
 DEPARTMENT OF PUBLIC WORKS  
 Planning Director Date \_\_\_\_\_ Chief, Division of Land Develop. Date \_\_\_\_\_  
 Chief, Bureau of Engineering Date \_\_\_\_\_

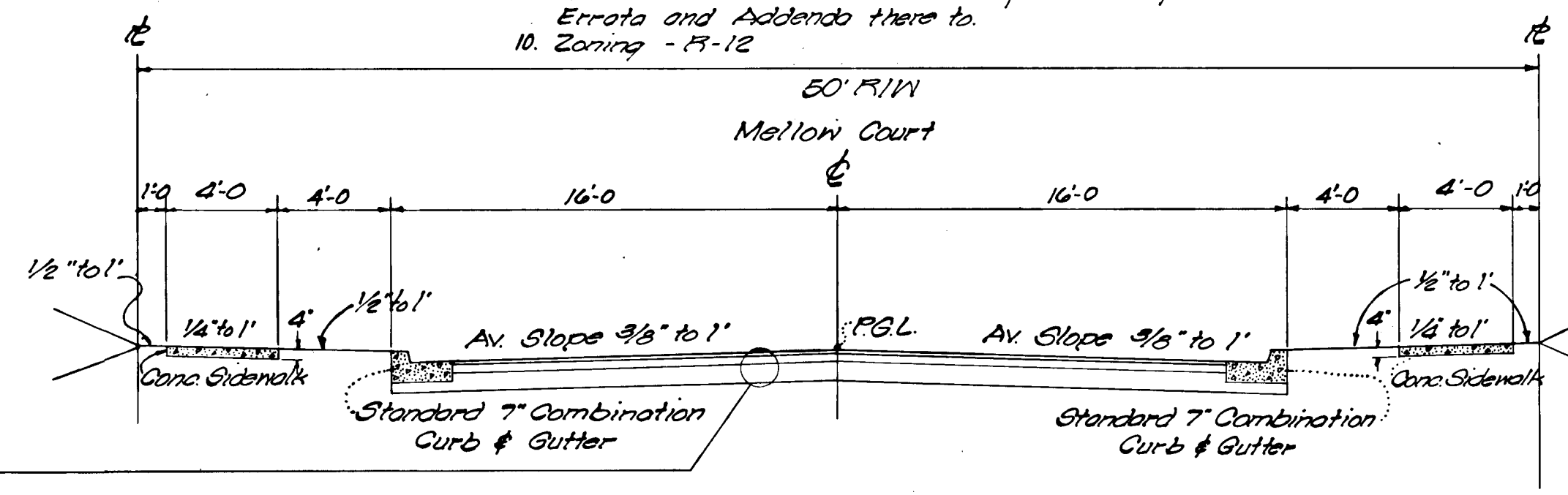
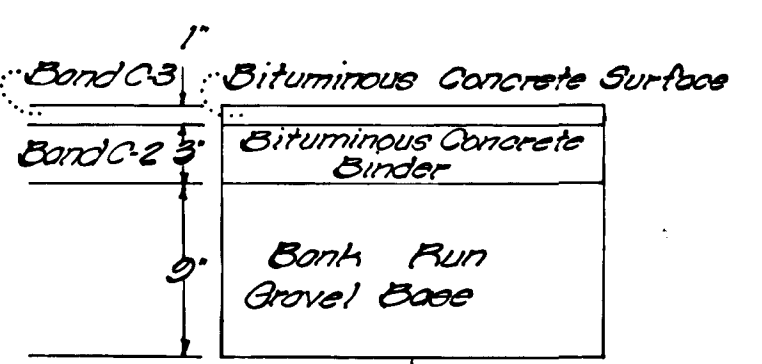
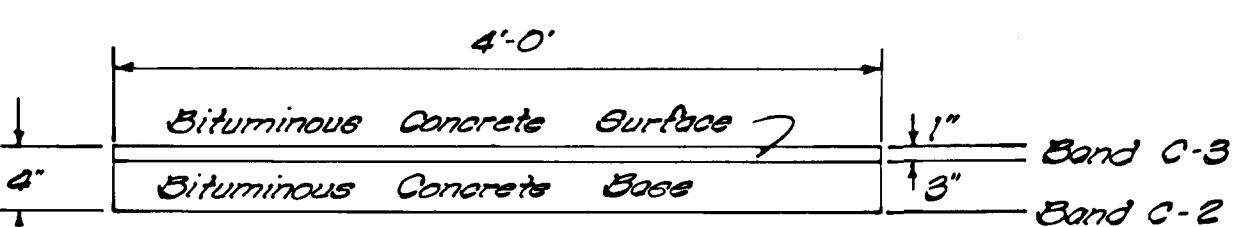
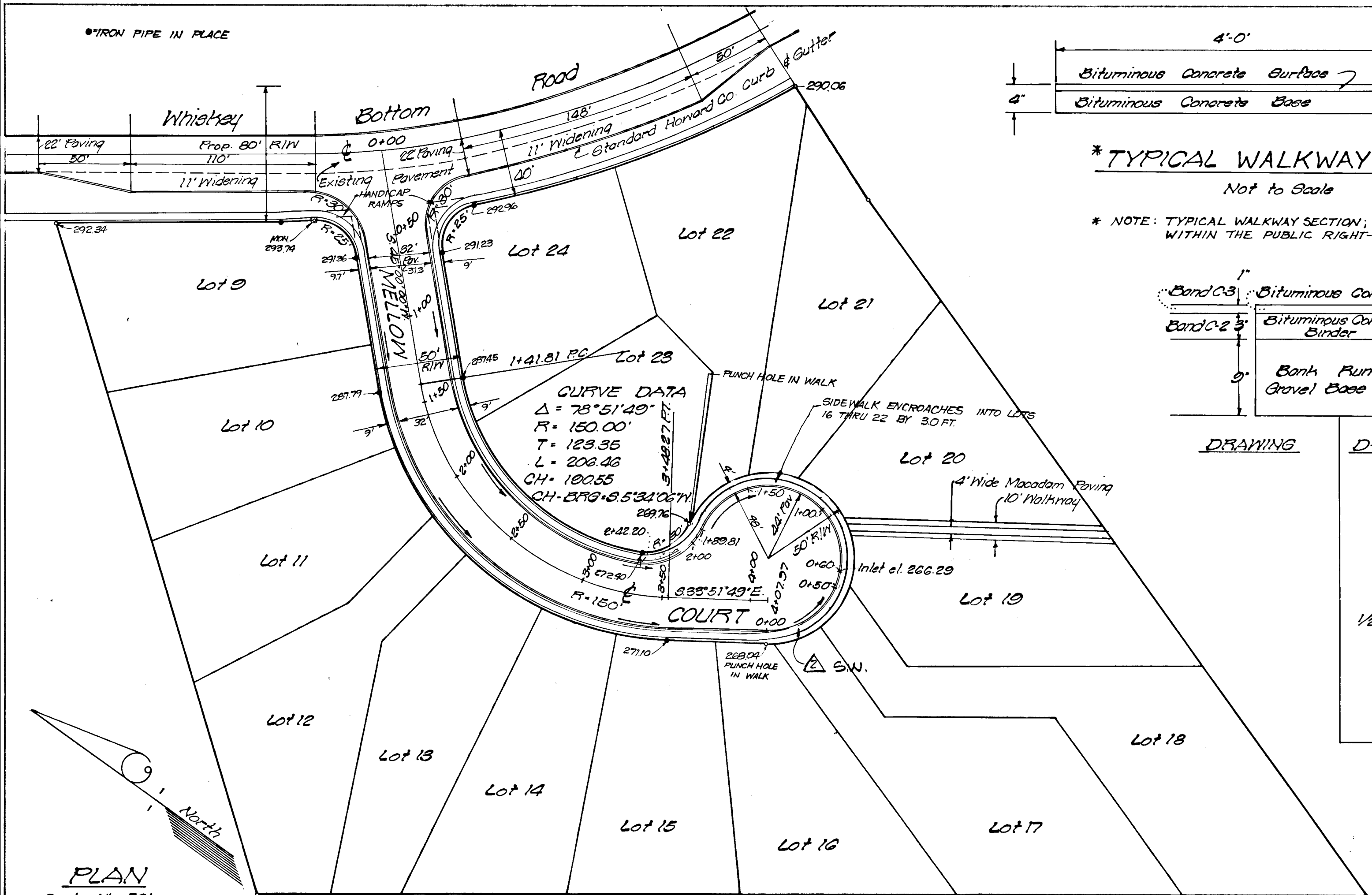
**WHISKEY BOTTOM NORTH**  
 ELECTION (6th) DISTRICT  
 HOWARD COUNTY, MARYLAND

**STORM DRAINAGE PLAN & PROFILES**  
 The Interprofessional (301) 585 5676  
 PLANNING & DESIGN STUDIO, LTD.  
 Engineers • Architects • Surveyors  
 Planners & Landscape Architects  
 808 SILVER AVENUE, SILVER SPRING, MD 20910  
 SHEET 5 OF 7  
 Scale 1" = 30'





PLAN  
 REVISIONS  
 DATE  
 BY  
 CHECKED  
 DATE  
 BY  
 NOTE BOOK  
 NO. OF WAY CHECKED  
 NO.



Department of Public Works  
W. O. Falbert 6-12-78  
 Chief, Bureau of Engineering Date

Office of Planning and Zoning  
Richard W. Mendenhall 6-20-78  
 Chief, Division of Land Development Date

Planning Director Date

- Notes:
- Mellon Court - Sta. 0+22 to Sta. 4+45
  - Type of Trafficway - Residential Street
  - Right of Way Width - 50'
  - Paving Width - 52'
  - Paving Section - D-3, PG. 53 as per Howard Co. Rd. Construction Code
  - Driveway entrances D-3, p. 53 as per Howard Co. Rd. Construction Code
  - P.G.L. - Proposed Grade Line - of Mellon Court
  - Design Speed - 30' M.P.H.
  - Construction shall be in strict accordance with the "Road Construction Code and Standard Specifications of Howard County" including all Errata and Addenda thereto.
  - Zoning - R-12

**MELLOW COURT**  
 Whiskey Bottom North  
 Election (6th) District  
 Howard County, Maryland

Scale: As Shown  
 Date: August 1st, 1977



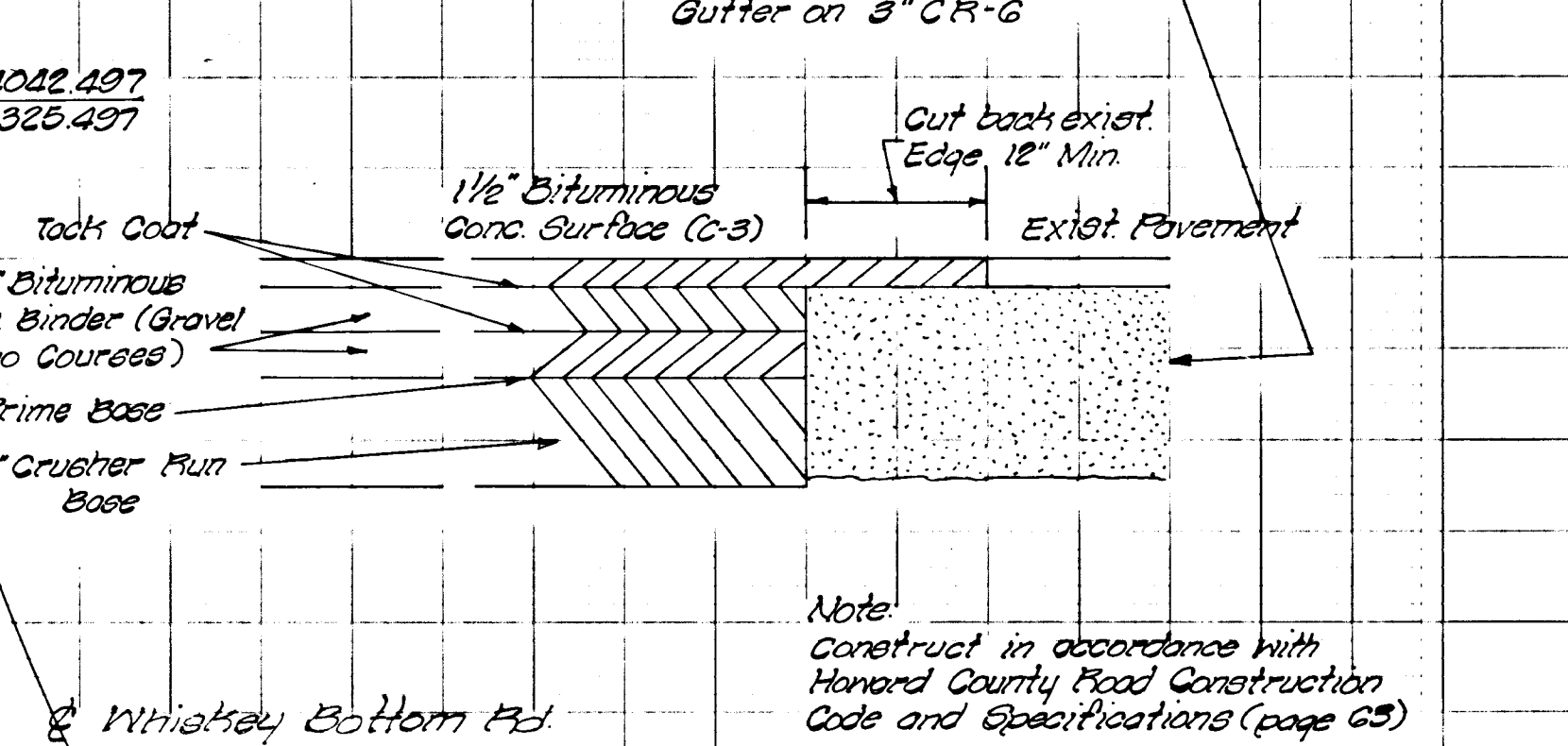
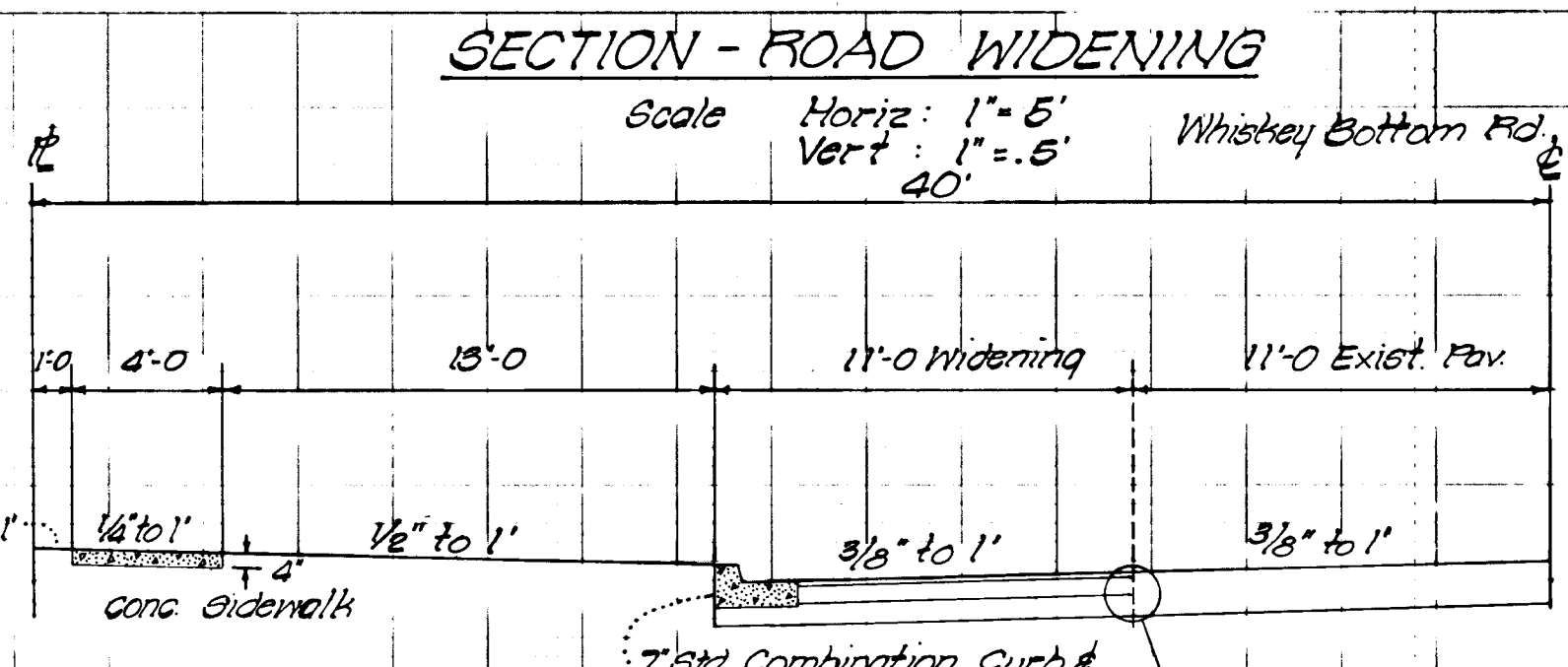
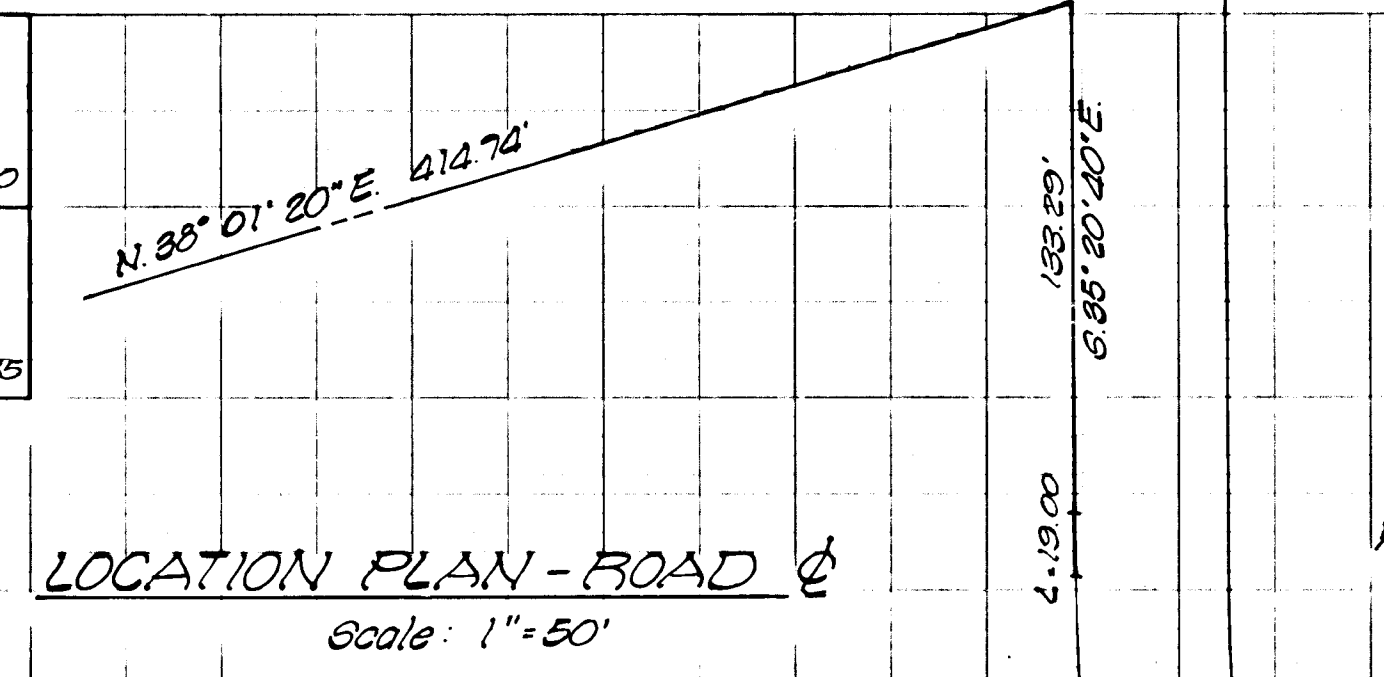
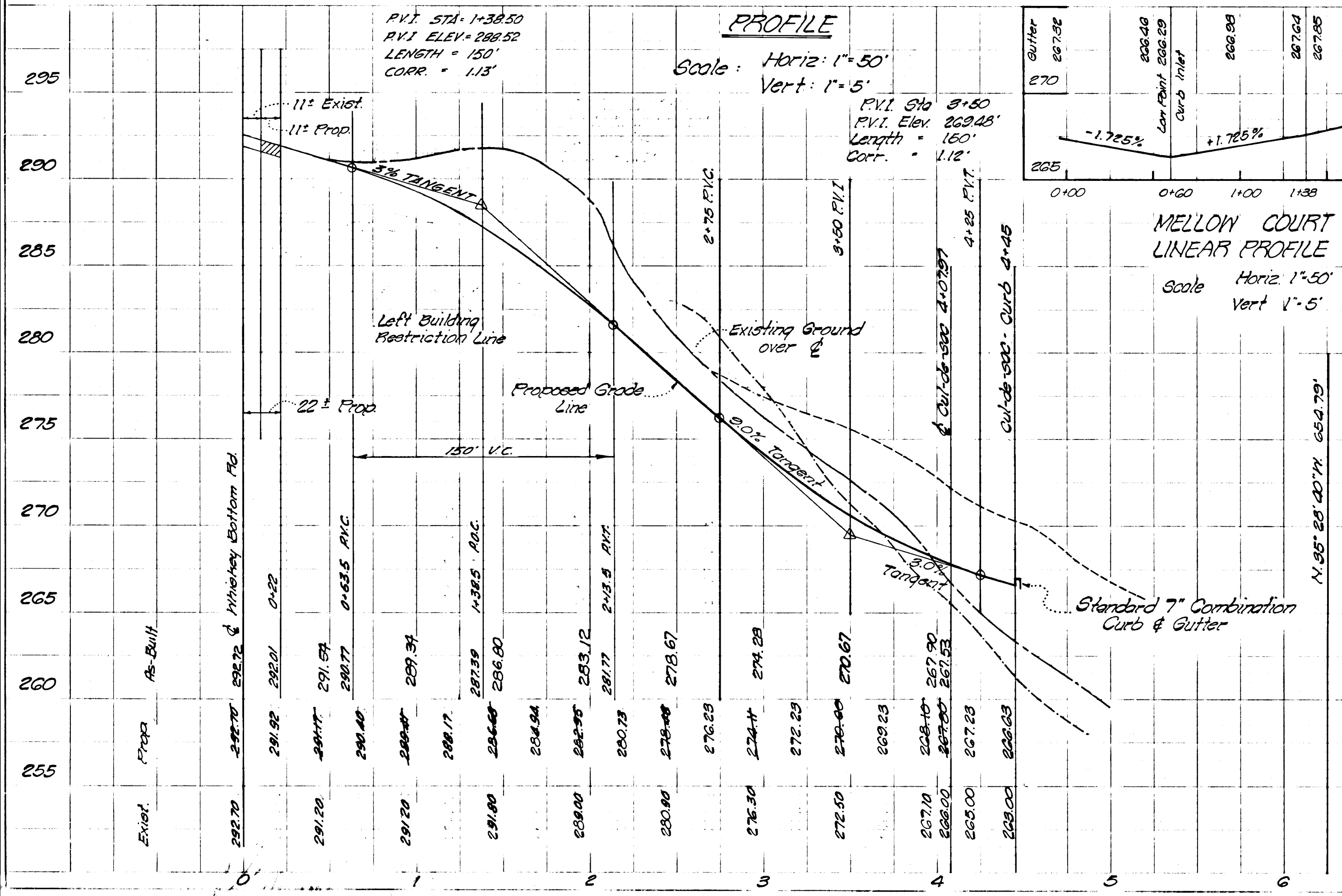
OWNER:  
 1-25 Enterprises Inc.  
 1720 Wisconsin Ave, N.W.  
 Washington, D.C. 20007

DEVELOPER:  
 The Holladay Corporation  
 1720 Wisconsin Ave, N.W.  
 Washington, D.C. 20007

AS-BUILT 9-9-82  
 AS-BUILT SURVEY CERTIFIED BY  
 E.J. SHEPHERD JR. MD. REG. LAND  
 SURVEYOR No. 2539

IPDS Ltd  
 802 Shigo Avenue  
 Silver Spring, Md. 20910  
 -585-5676-

PROFILE  
 REVISIONS  
 DATE  
 BY  
 CHECKED  
 DATE  
 BY  
 NOTE BOOK  
 NO. OF WAY CHECKED  
 NO.



Rev. No.	Rev. Date	Revision Description
10-3-83		Set S.W. in Curb & snc Adj. to Curb
5-24-79		Road elev. Revised MH 20 to MH 21

F-78-113  
 7-78-113

AS-BUILT  
 9-9-82