

SCALE: 1" = 400'

FLOW LINE ELEVATION TABLE FOR WESTMOUNT PARKWAY (THIS SHEET)

PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
(M)	68+15.15	MATCH EX.		
(NA)	68+51.44	13.00' LT	470.48	
(NB)	68+54.21	21.00' LT	470.70	
(NC)	69+05.10	21.00' LT	471.51	
(ND)	69+12.88	13.00' LT	471.67	
(NE)	69+54.39	13.00' LT	472.71	
(NF)	70+01.95	13.00' LT	474.12	
(NG)	70+11.71	13.00' LT	477.01	
(NH)	73+49.61	13.00' LT	487.02	
(NI)	75+13.81	13.00' LT	484.59	
(NJ)	76+41.62	13.00' LT	477.61	
(NK)	91+26.32	13.00' LT	480.20	
(NL)	71+30.75	13.00' RT	474.88	
(NM)	70+16.44	13.00' RT	474.67	
(NN)	69+54.39	13.00' RT	472.71	
(NO)	68+15.15	MATCH EX.		
(NS)	72+13.86	13.00' RT	482.66	
(NT)	73+49.61	13.00' RT	487.02	
(NU)	75+13.81	13.00' RT	484.59	
(NV)	76+41.62	13.00' RT	477.61	
(NW)	91+17.55	13.00' RT	480.04	

- NOTES:**
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 - FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 - FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 - FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
 - FOR TYPICAL SECTIONS, SECTION DIMENSIONS AND ROAD DETAILS, SEE SHEET 8.
 - FOR STORM DRAIN SIZING INFORMATION, SEE SHEETS 15-16.
 - ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE S.W.'S SERVING NUMBERED LOTS ARE 4".
 - ALL OF THE WATER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE W.W.'S SERVING NUMBERED LOTS ARE 1-1/2".
 - ALL CURB IS 1 1/2" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 - CONDUIT CROSSING FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 80 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH FULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERIZON, GAS, & CABLE.
 - ALL SIDEWALK RAMP TYPE 'B' PER HOWARD COUNTY STANDARD DETAIL R-4-03, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK 05/18/2023 Date

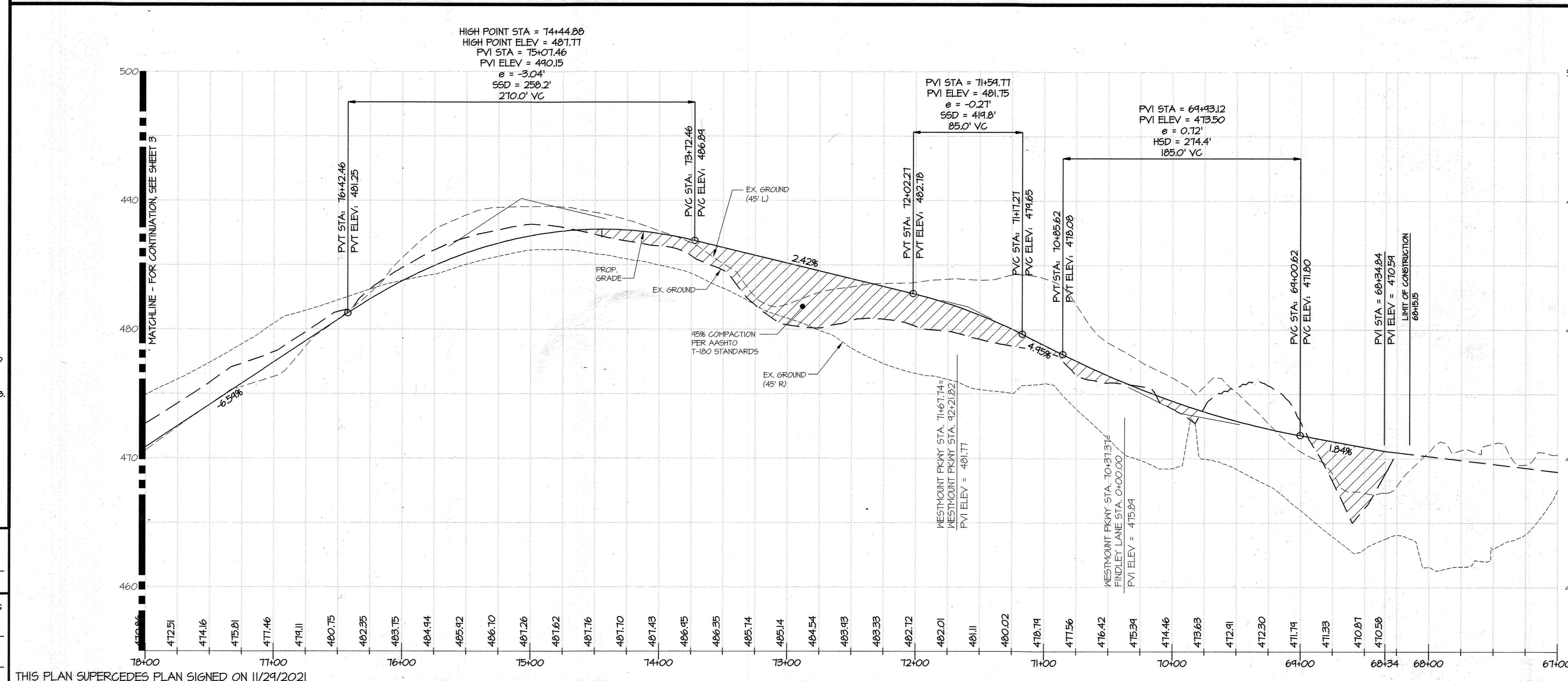
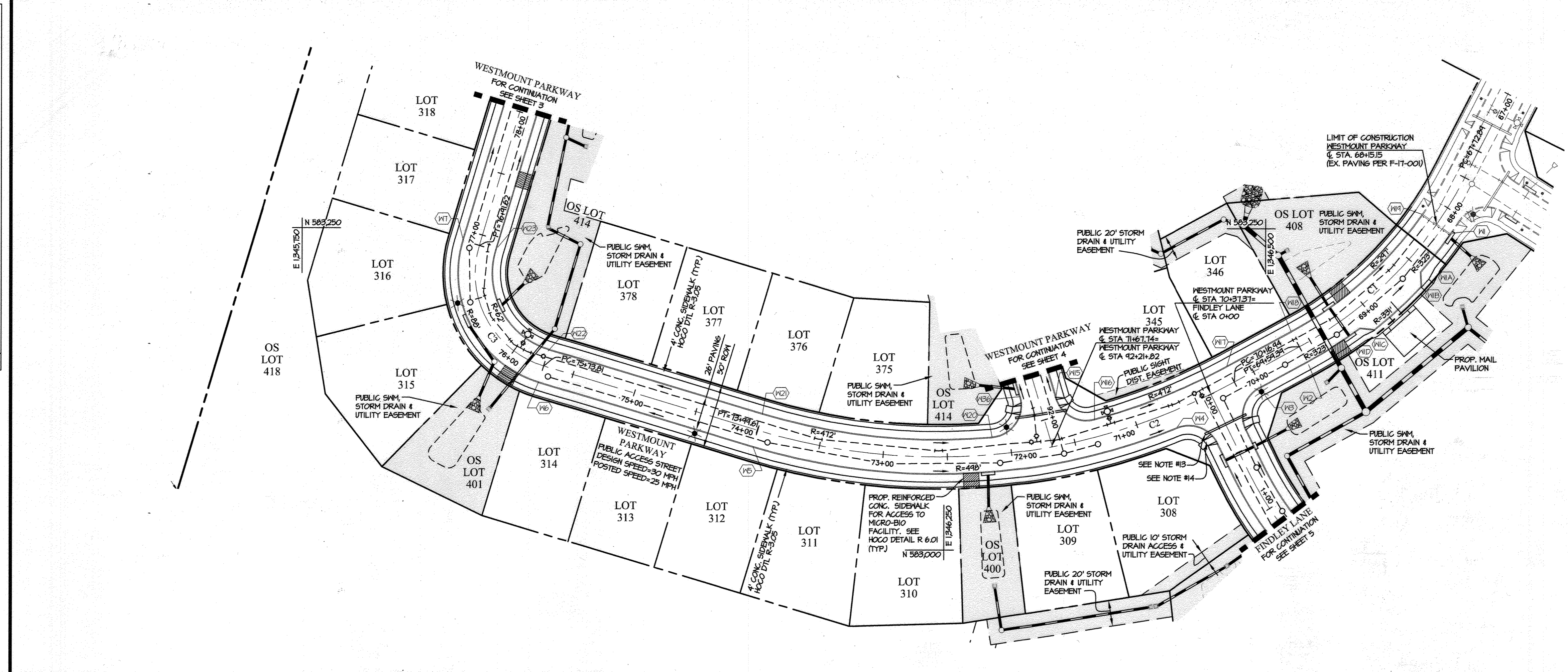
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development 6/1/23 Date

Chief, Development Engineering Division JP 6-5-23 Date

DESIGNED BY: AWL
 DRAWN BY: AWL
 CHECKED BY: DEV 03/06/2023
 DATE

REVISIONS

AWL DEV
 BY APPR



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

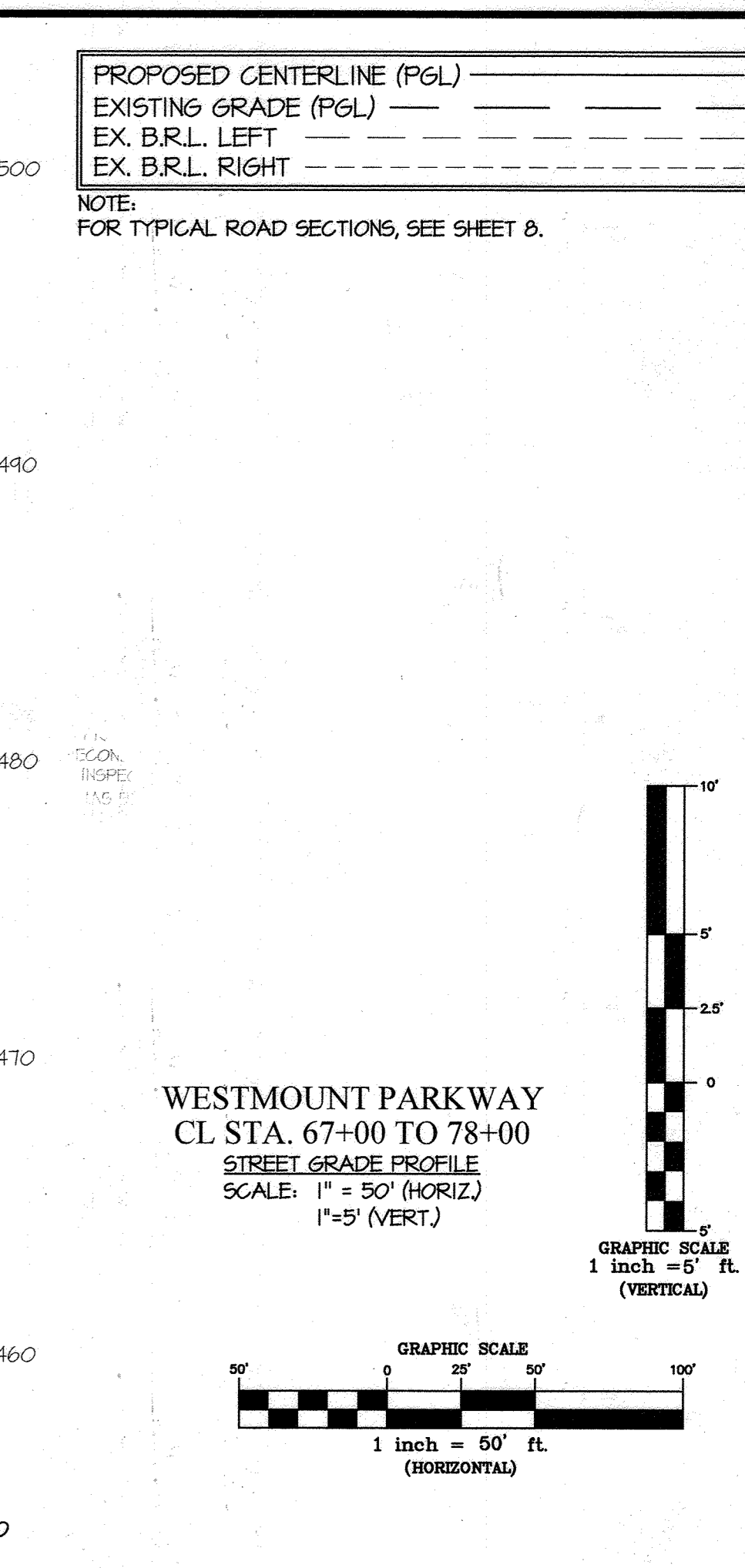
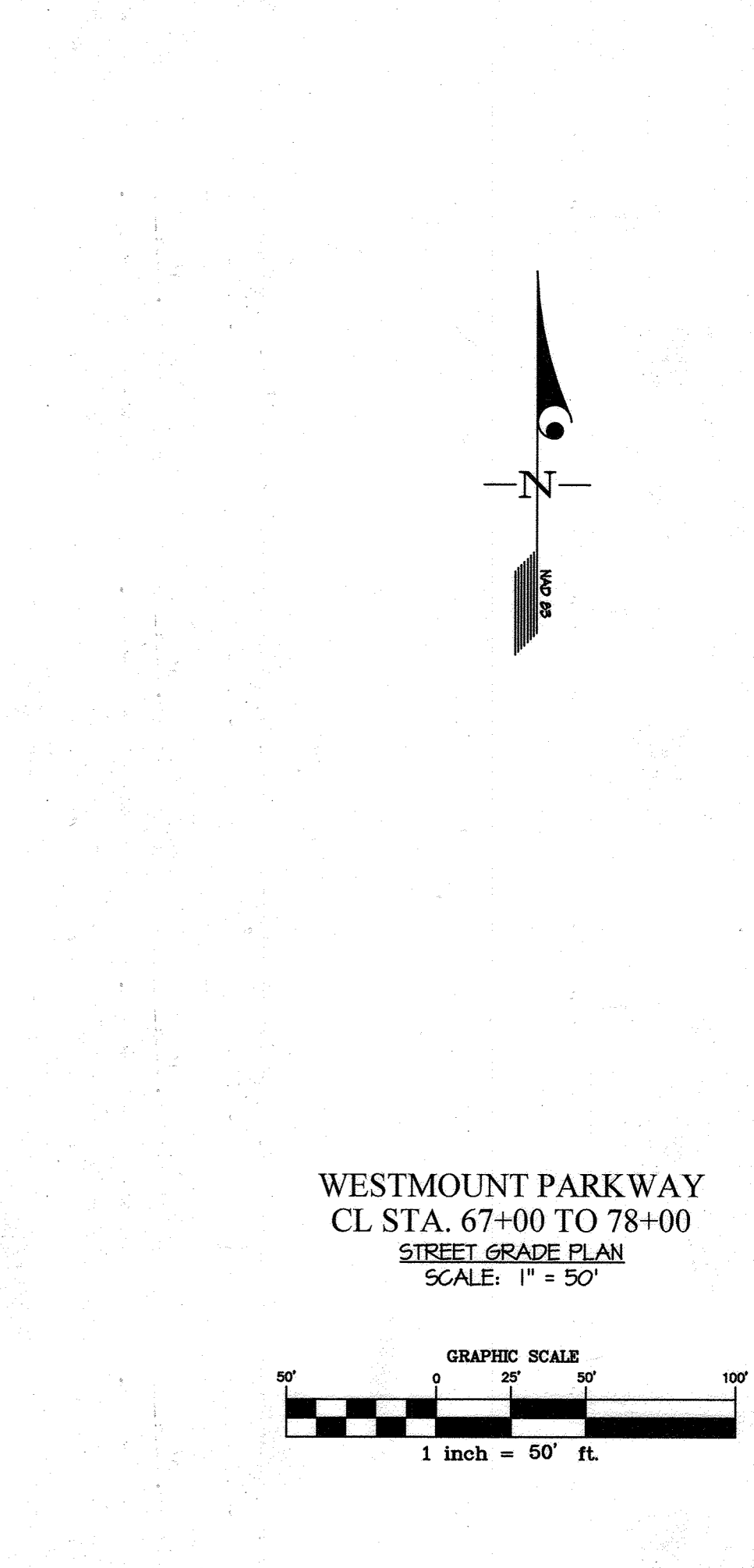
PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 72975, EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED ROAD CONSTRUCTION PLAN & PROFILE - WESTMOUNT PKWY (68+15 TO 78+00)

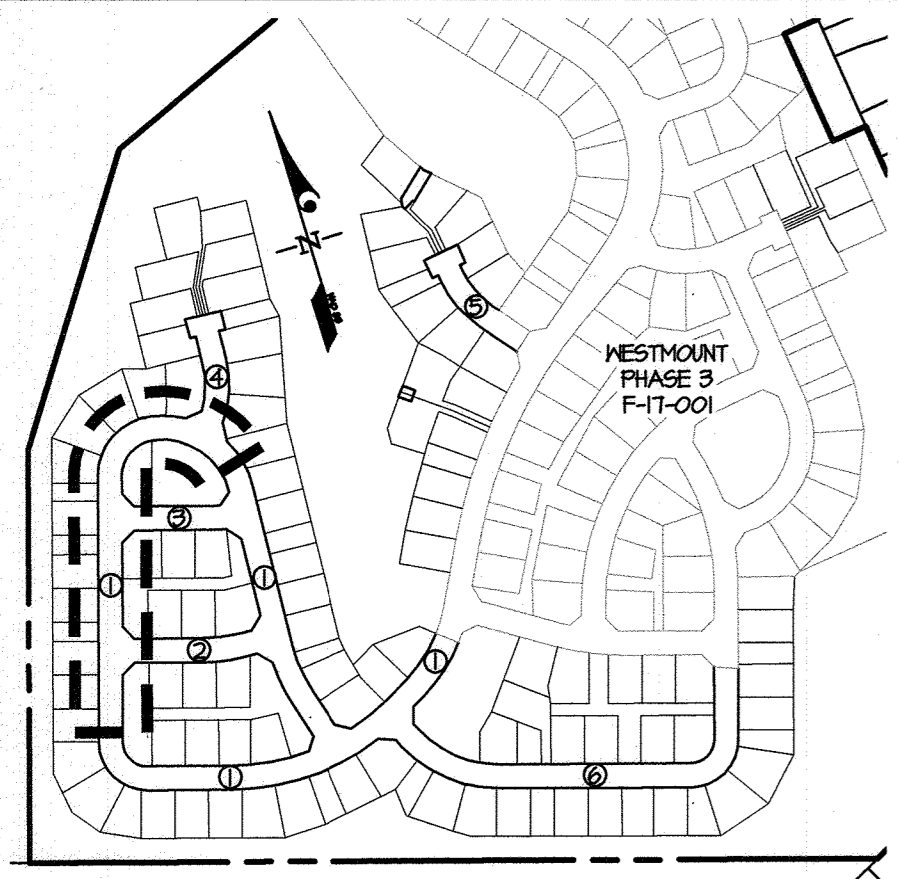
WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND



SCALE: AS SHOWN
 ZONING: R-ED
 G. L. W. FILE No.: 13-013

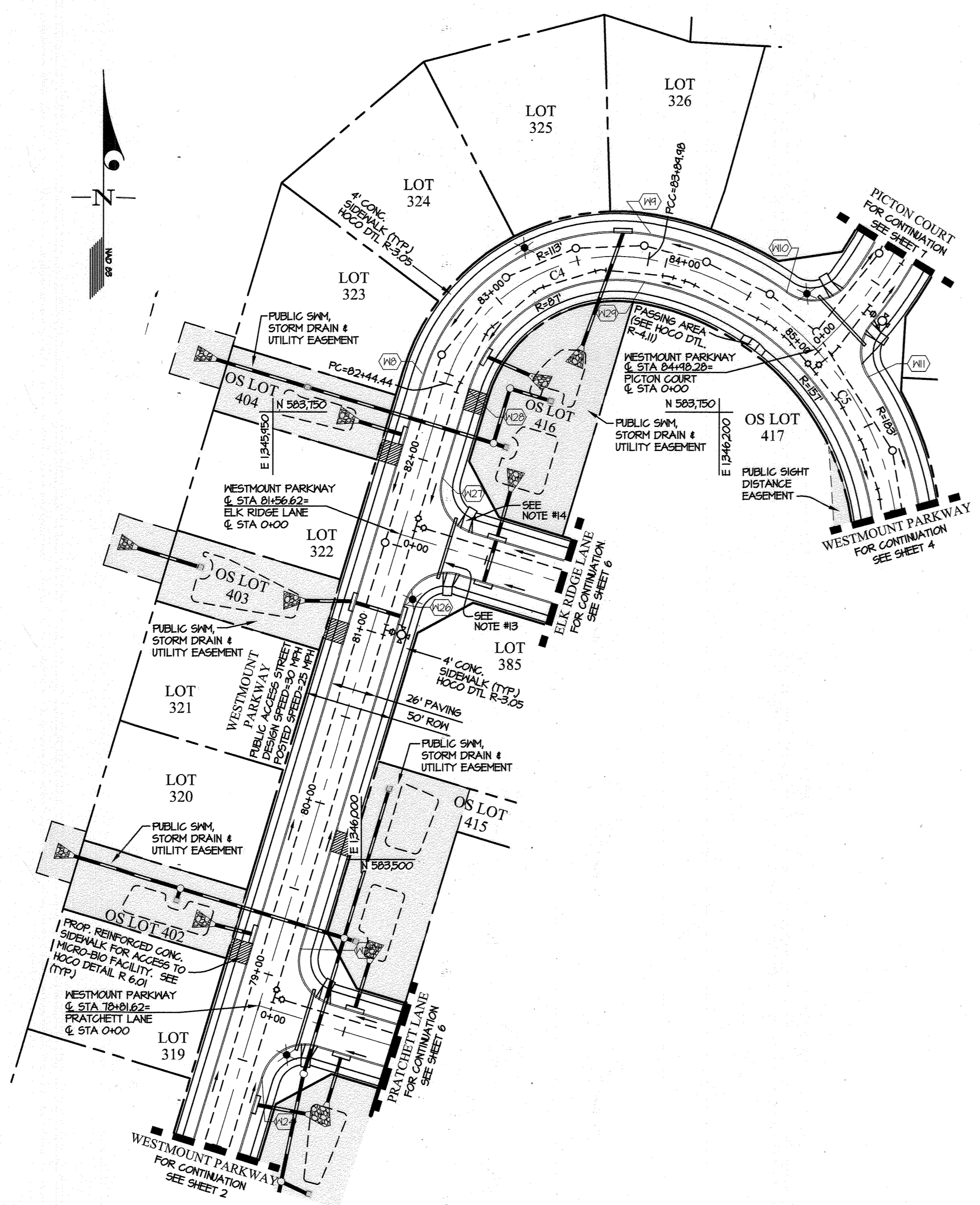
DATE: MARCH, 2023
 TAX MAP - GRID: 23-6&12
 SHEET: 2 OF 45



- ① WESTMOUNT PARKWAY
 - ② PRATCHETT LANE
 - ③ ELK RIDGE LANE
 - ④ PICTON COURT
 - ⑤ WAKEFIELD COURT
 - ⑥ FINDLEY LANE
- SCALE: 1" = 400'

FLOW LINE ELEVATION TABLE FOR WESTMOUNT PARKWAY (THIS SHEET)

PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
(N6)	02+44.44	13.00' LT	460.58	
(N8)	03+04.98	13.00' LT	465.18	
(N10)	04+06.04	13.00' LT	467.23	
(N11)	05+21.33	13.00' LT	467.75	
(N24)	78+44.62	13.00' RT	467.54	
(N25)	79+10.62	13.00' RT	463.41	
(N26)	81+19.62	13.00' RT	458.83	
(N27)	81+43.62	13.00' RT	459.44	
(N28)	82+44.44	13.00' RT	460.58	
(N29)	83+04.98	13.00' RT	465.18	



- NOTES:**
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 - FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 - FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 - FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
 - FOR TYPICAL SECTIONS, SECTION DIMENSIONS AND ROAD DETAILS, SEE SHEET 8.
 - FOR STORM DRAIN SIZING INFORMATION, SEE SHEETS 15-16.
 - ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE SW'S SERVING NUMBERED LOTS ARE 4".
 - ALL OF THE WATER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE HW'S SERVING NUMBERED LOTS ARE 1-1/2".
 - ALL CURB IS 7" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 - CONDUIT CROSSING FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 40 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH FULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERIZON, GAS, & CABLE.
 - ALL SIDEWALK RAMPS TYPE B PER HOWARD COUNTY STANDARD DETAIL R-403, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/1/23

Chief, Development Engineering Division JR
 Date: 6-5-23

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY: AWL

DRAWN BY: AWL

CHECKED BY: DEV

DATE: 03/06/2023

REVISION: REVISED ROAD GRADES

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2024

3/1/23

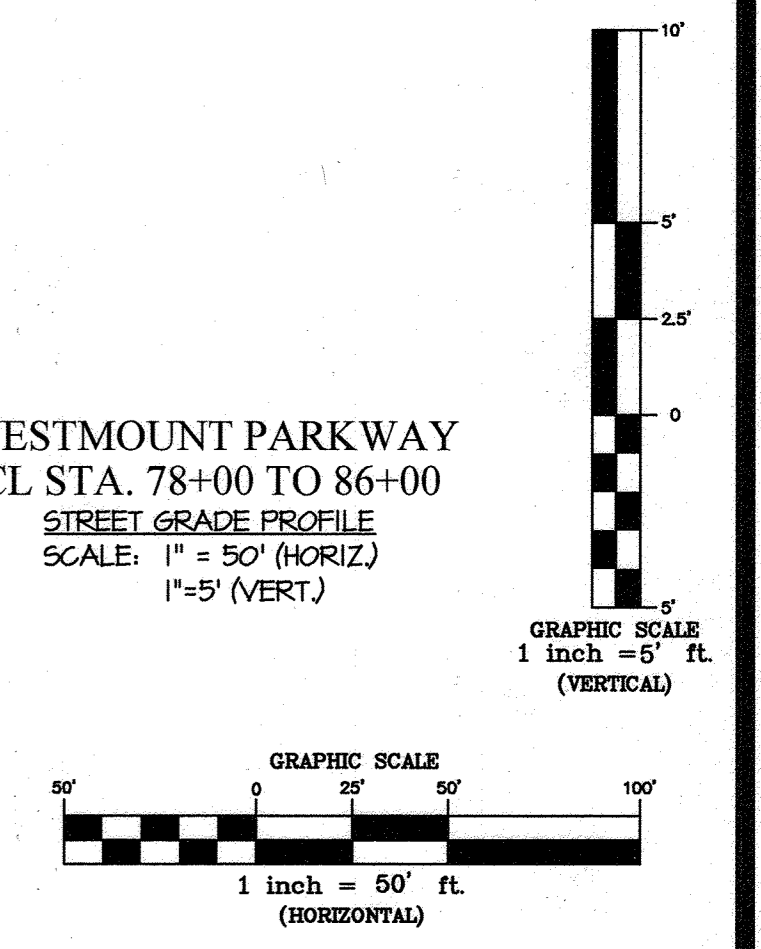
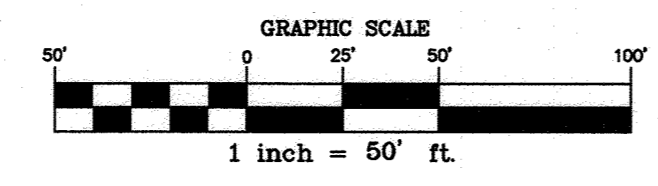
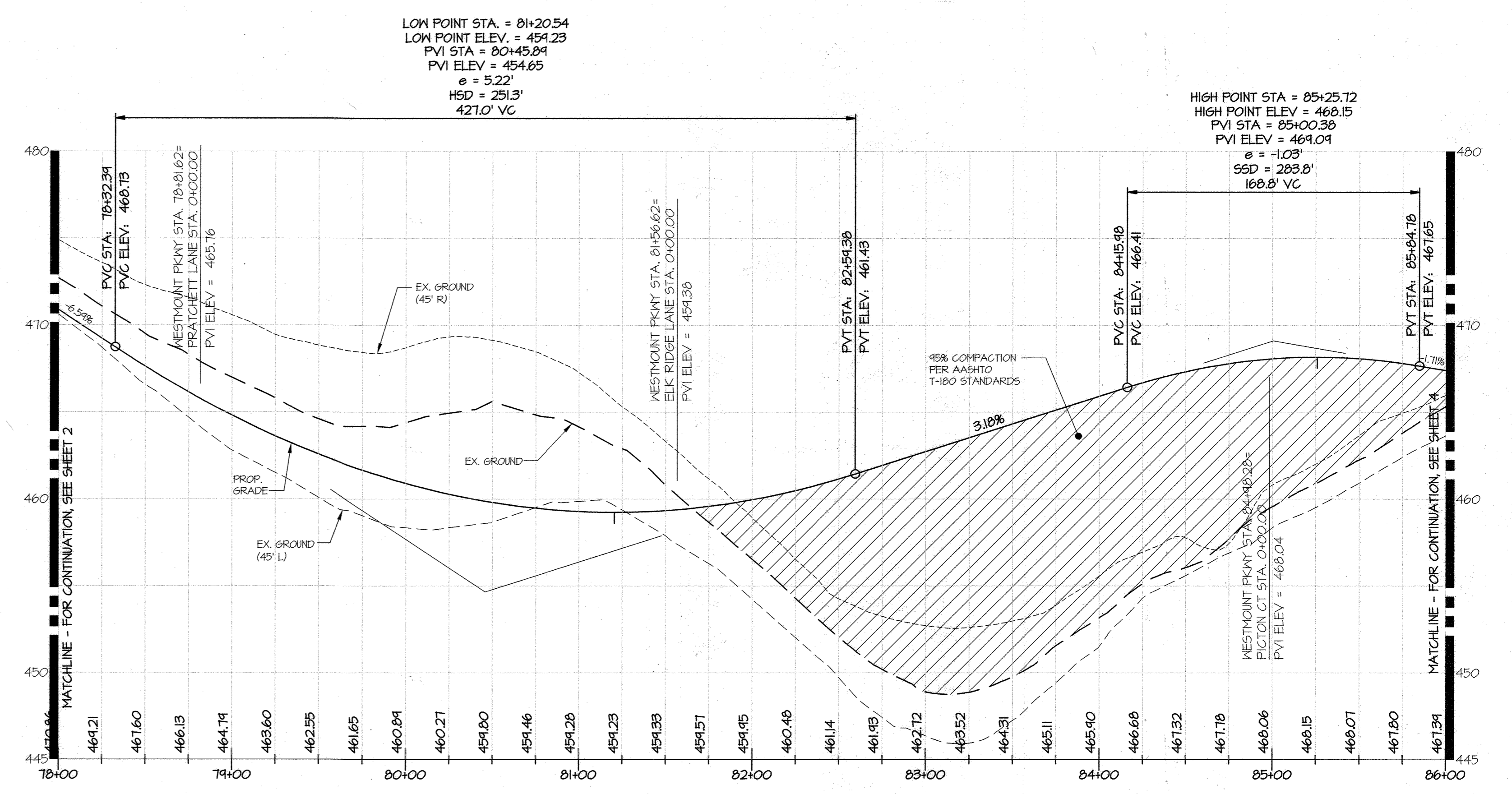
REVISED ROAD CONSTRUCTION PLAN & PROFILE - WESTMOUNT PKWY (78+00 TO 86+00)

WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418

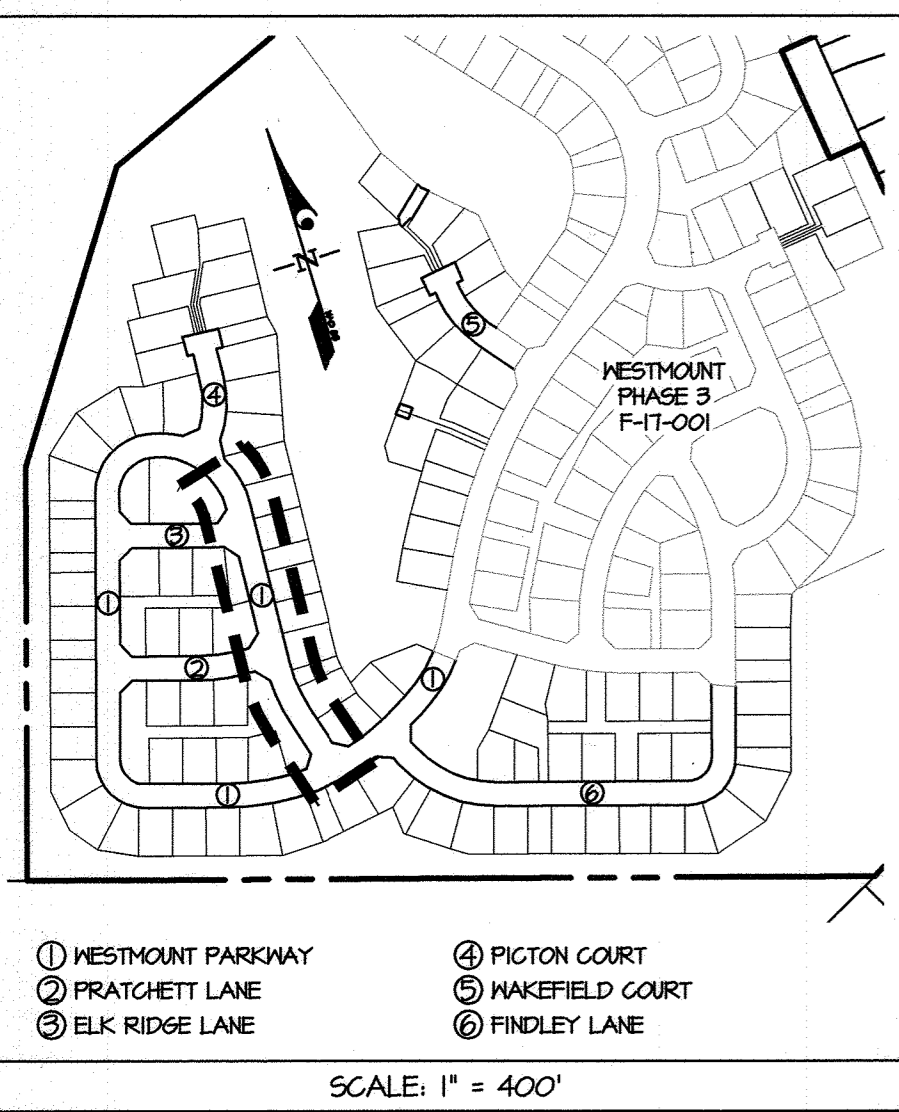
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	3 OF 45



L:\CADD\DRAWINGS\1301\PLANS BY GWP\ROADS\50 (PH4)\PHASE 4\02-OL-ROADS (WESTMOUNT PKWY).DWG



FLOW LINE ELEVATION TABLE FOR WESTMOUNT PARKWAY (THIS SHEET)

PT. NO	STATION	OFFSET	ELEV.	AGEULT
(N2)	86+35.40	13.00' LT	466.37	
(N3)	89+71.43	13.00' LT	471.26	
(N4)	90+41.82	13.00' LT	476.45	
(N5)	91+06.32	13.00' LT	480.20	
(N6)	71+30.75	13.00' RT	471.88	
(N7)	72+13.86	13.00' RT	482.66	
(N8)	86+35.40	13.00' RT	466.37	
(N9)	86+46.46	13.00' RT	466.18	
(N10)	87+21.28	13.00' RT	465.11	
(N11)	89+13.35	13.00' RT	468.75	
(N12)	89+85.80	13.00' RT	471.88	
(N13)	90+41.82	13.00' RT	476.45	
(N14)	91+17.55	13.00' RT	480.04	

- NOTES:**
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 - FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 - FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 - FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
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 - ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE SH-1'S SERVING NUMBERED LOTS ARE 4".
 - ALL OF THE WATER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE W-1'S SERVING NUMBERED LOTS ARE 1-1/2".
 - ALL CURB IS 7" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 - CONDUIT CROSSING FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 80 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH PULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERIZON, GAS, & CABLE.
 - ALL SIDEWALK RAMP TYPE 15' PER HOWARD COUNTY STANDARD DETAIL R-403, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK 05/18/2023 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development 6/6/23 Date

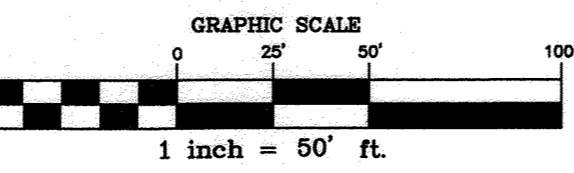
Chief, Development Engineering Division JR 6.5.23 Date

WESTMOUNT PARKWAY
 CL STA. 86+00 TO 92+21.82
 STREET GRADE PLAN
 SCALE: 1" = 50'

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	AWL	DEV	BY	APPR.
AWL	AWL	DEV	03/06/2023	REVISED ROAD GRADES				



PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.

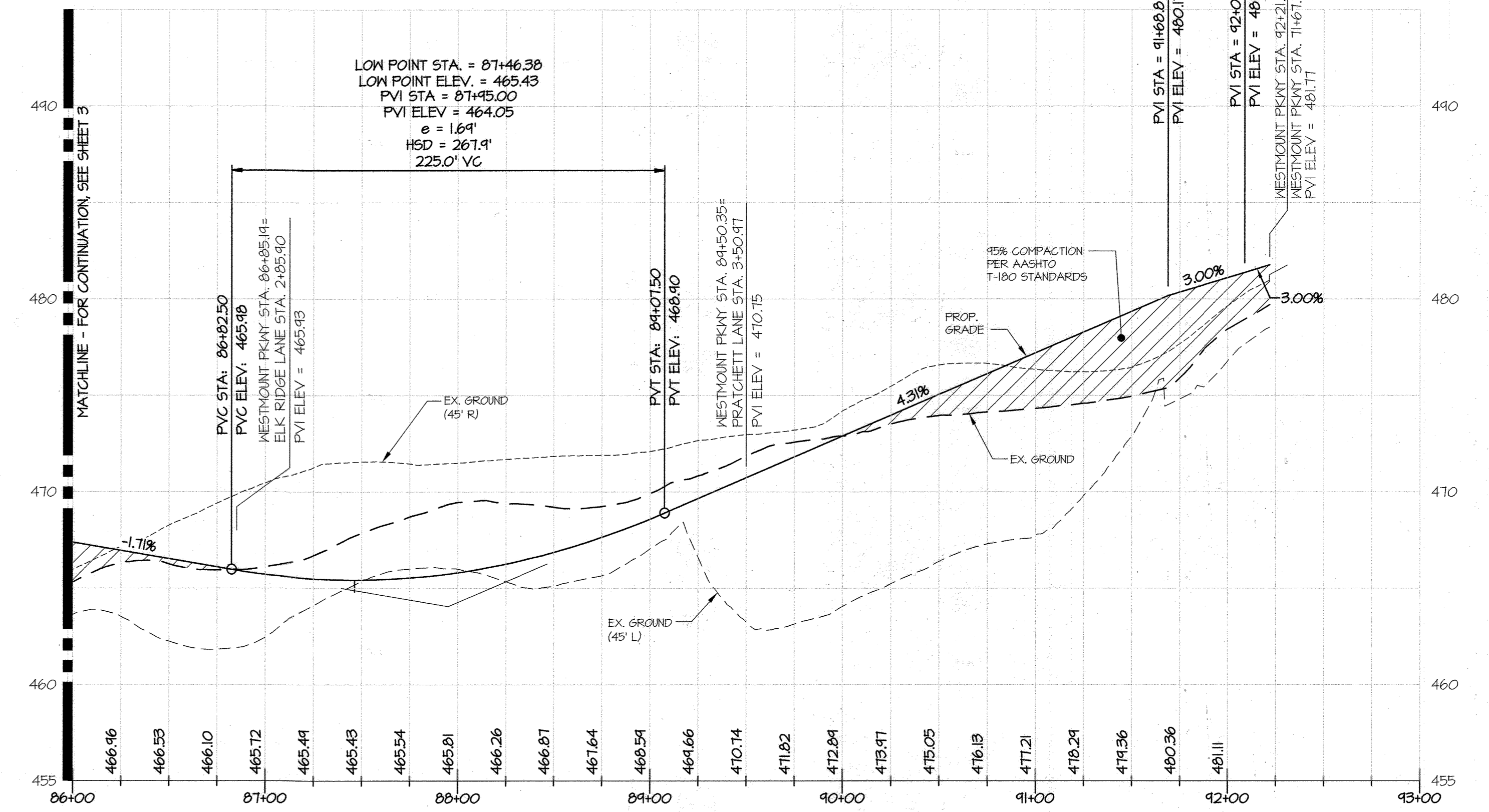
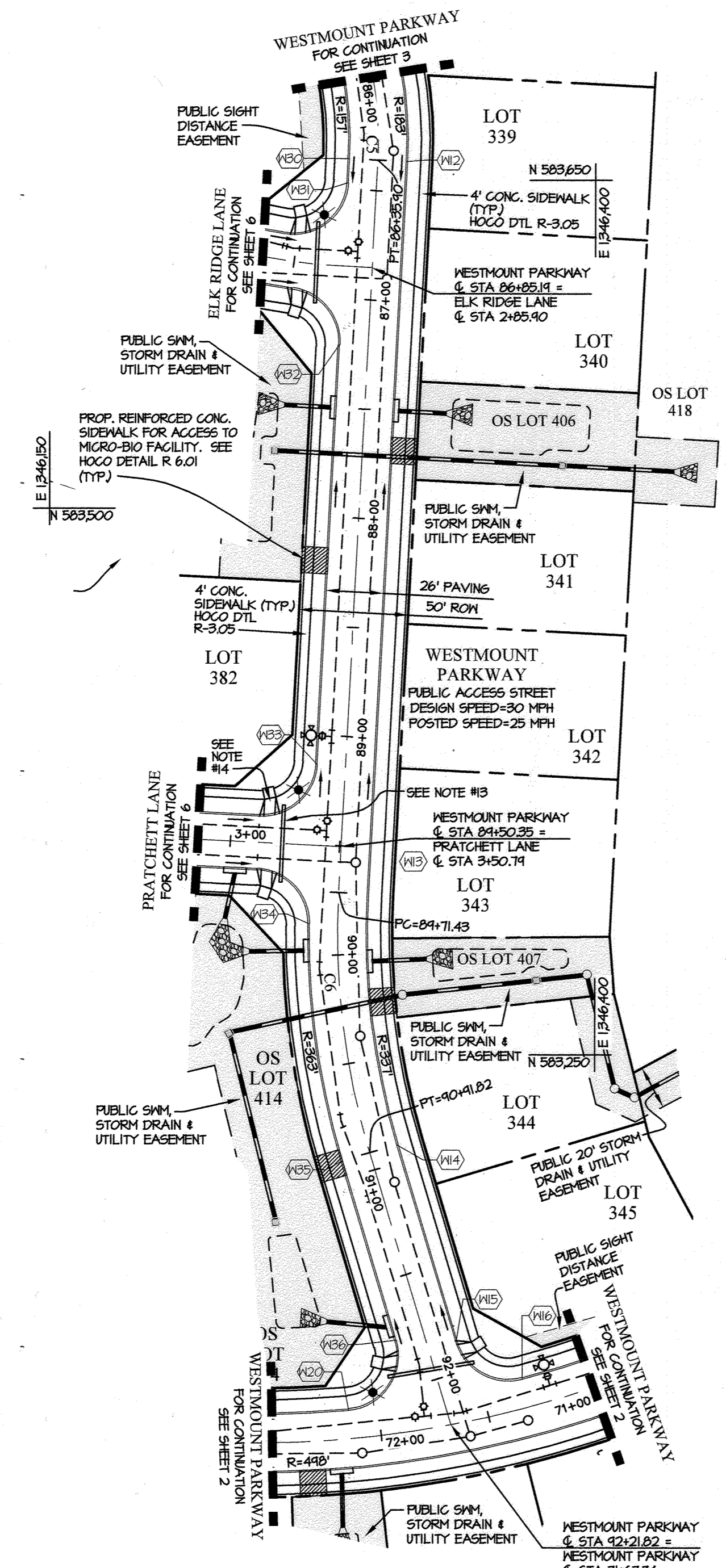
3/8/23

REVISED ROAD CONSTRUCTION PLAN & PROFILE - WESTMOUNT PKWY (86+00 TO 92+21.82)

WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

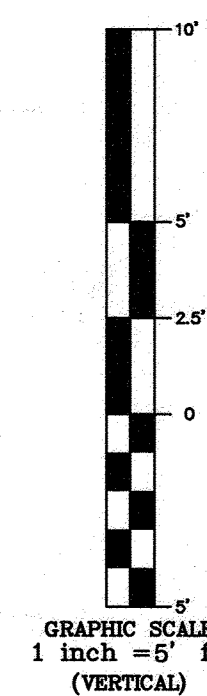
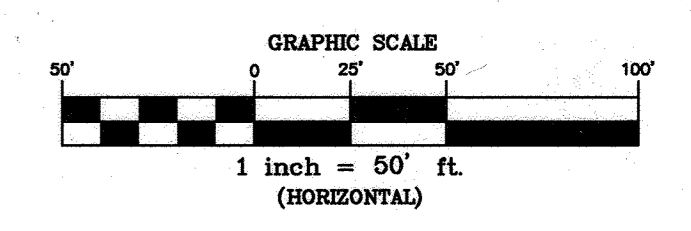
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	4 OF 45

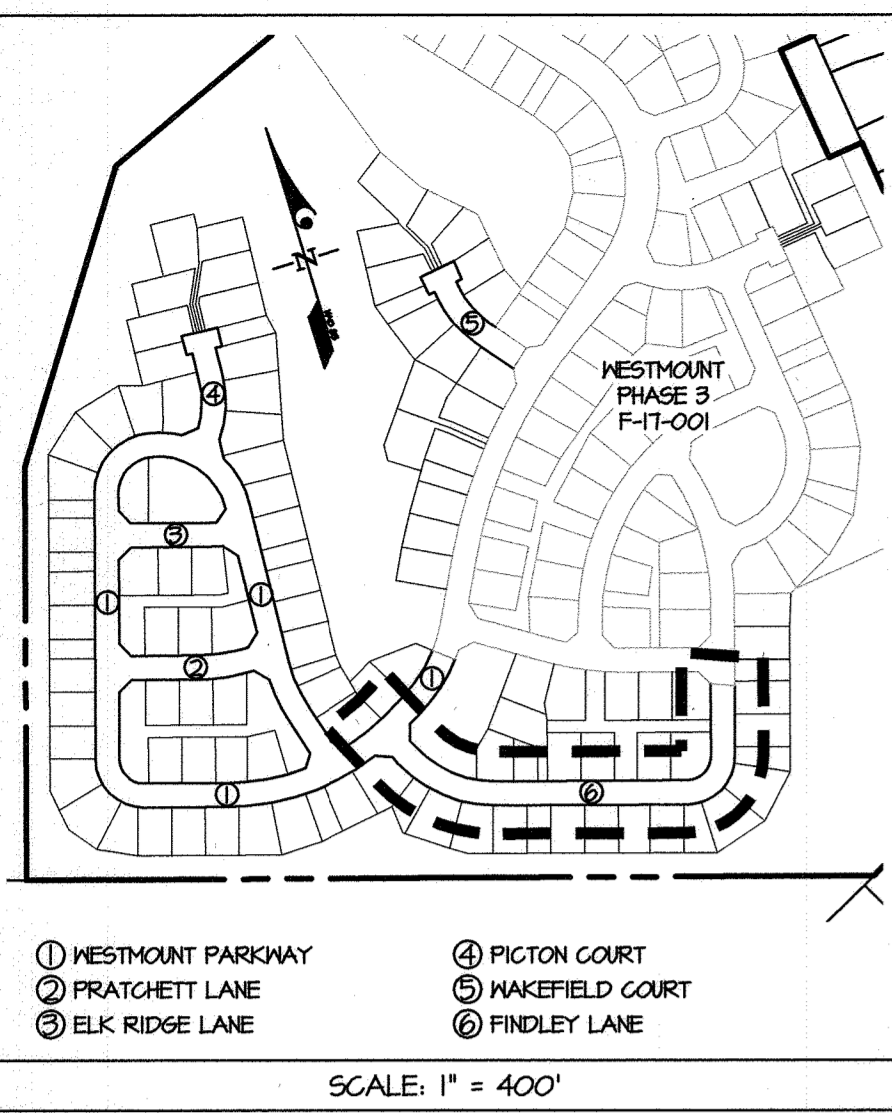


PROPOSED CENTERLINE (PGL) _____
 EXISTING GRADE (PGL) _____
 EX. B.R.L. LEFT _____
 EX. B.R.L. RIGHT _____

NOTE:
 FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.

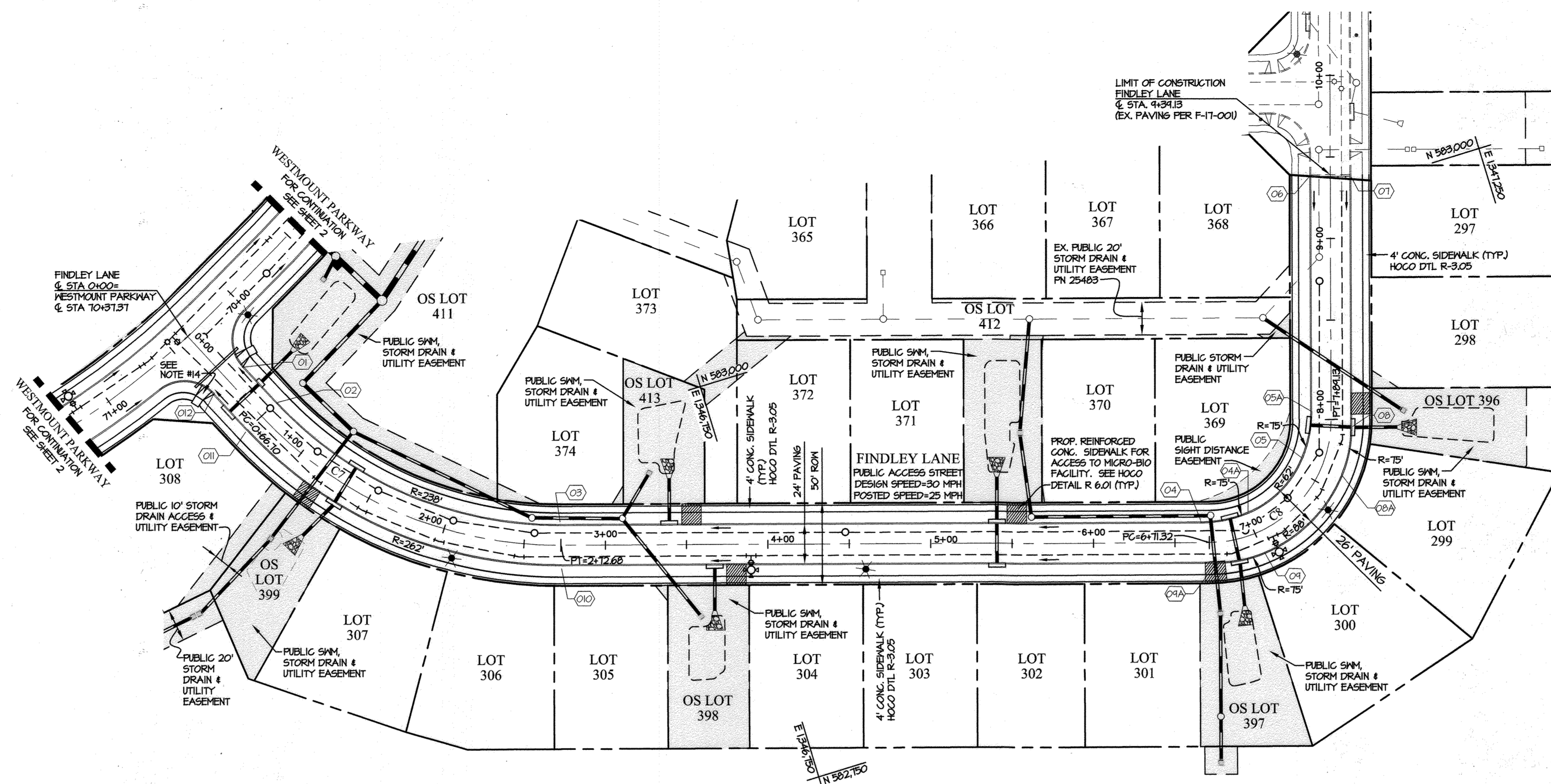
WESTMOUNT PARKWAY
 CL STA. 86+00 TO 92+21.82
 STREET GRADE PROFILE
 SCALE: 1" = 50' (HORIZ.)
 1" = 5' (VERT.)





FLOW LINE ELEVATION TABLE FOR FINDLEY LANE

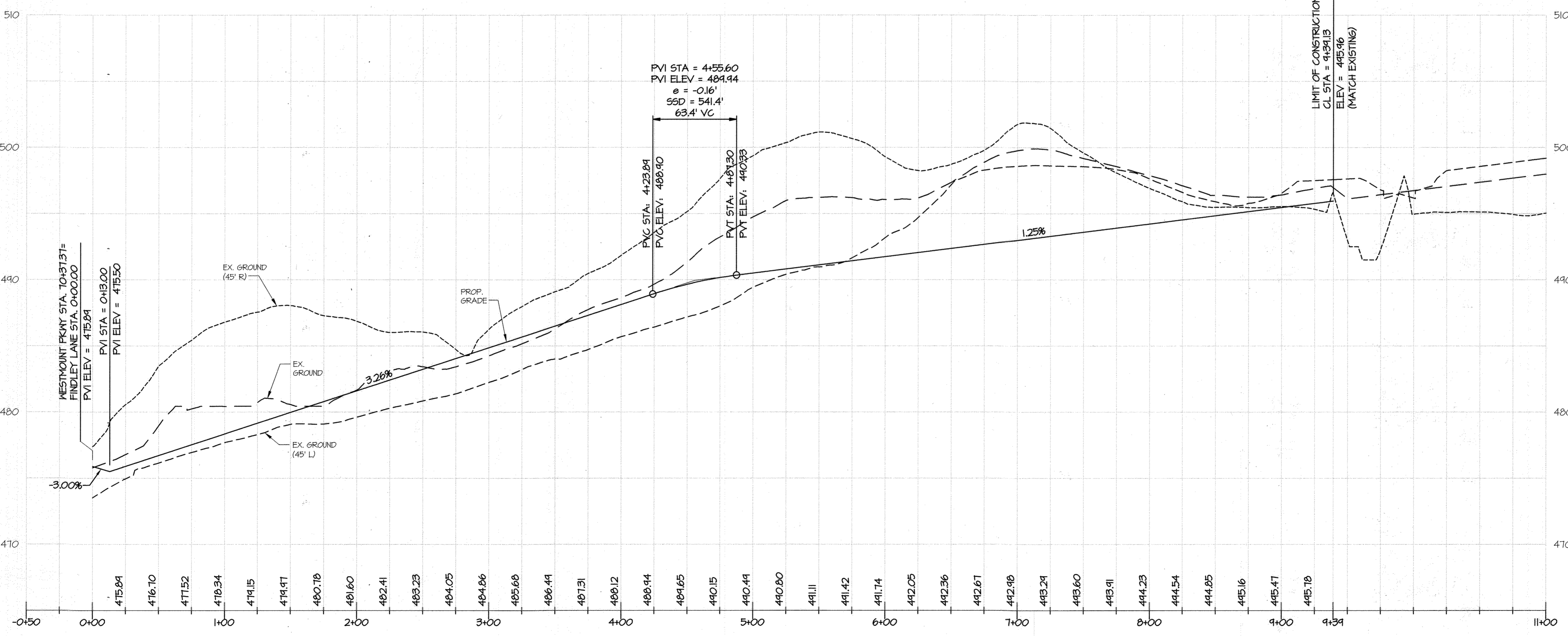
PT. NO	STATION	OFFSET	ELEV.	AGEULT
(01)	0+36.40	12.00' LT	415.91	
(02)	0+66.70	12.00' LT	416.88	
(03)	2+12.88	12.00' LT	403.60	
(04)	6+66.32	12.00' LT	442.14	
(04A)	7+00.82	13.00' LT	442.54	
(05)	7+54.62	13.00' LT	443.33	
(05A)	7+44.13	12.00' LT	443.74	
(06)	MATCH EXISTING			
(07)	MATCH EXISTING			
(08)	7+84.82	12.14' RT	443.67	
(08A)	7+54.52	13.00' RT	443.32	
(09)	7+00.43	13.00' RT	442.54	
(09A)	6+75.62	12.14' RT	442.30	
(10)	2+12.88	12.00' RT	403.60	
(10A)	0+66.70	12.00' RT	416.88	
(11)	0+36.40	12.00' RT	415.90	



FINDLEY LANE STREET GRADE PLAN
SCALE: 1" = 50'

PROPOSED CENTERLINE (PGL) ———
EXISTING GRADE (PGL) - - - - -
EX. B.R.L. LEFT - - - - -
EX. B.R.L. RIGHT - - - - -

NOTE:
FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.



- NOTES:
1. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 2. ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 3. FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 4. FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 5. FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
 6. FOR TYPICAL SECTIONS, SECTION DIMENSIONS AND ROAD DETAILS, SEE SHEET 8.
 7. FOR STORM DRAIN SIZING INFORMATION, SEE SHEETS 15-16.
 8. ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 9. ALL OF THE SAN'S SERVING NUMBERED LOTS ARE 4".
 10. ALL OF THE WATER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 11. ALL OF THE MW'S SERVING NUMBERED LOTS ARE 1-1/2".
 12. ALL CURB IS 7 1/2" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 13. CONDUIT CROSSING FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 80 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH FULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERIZON, GAS, & CABLE.
 14. ALL SIDEWALK RAMPERS TYPE 'B' PER HOWARD COUNTY STANDARD DETAIL R-4.03, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James 05/18/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul 6/4/23
 Chief, Division of Land Development Date

Paul 6-5-23
 Chief, Development Engineering Division Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-998-2524 | FAX: 301-421-4186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION
AWL	AWL	DEV	03/06/2023	REVISED FINDLEY ROAD STREET GRADE

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

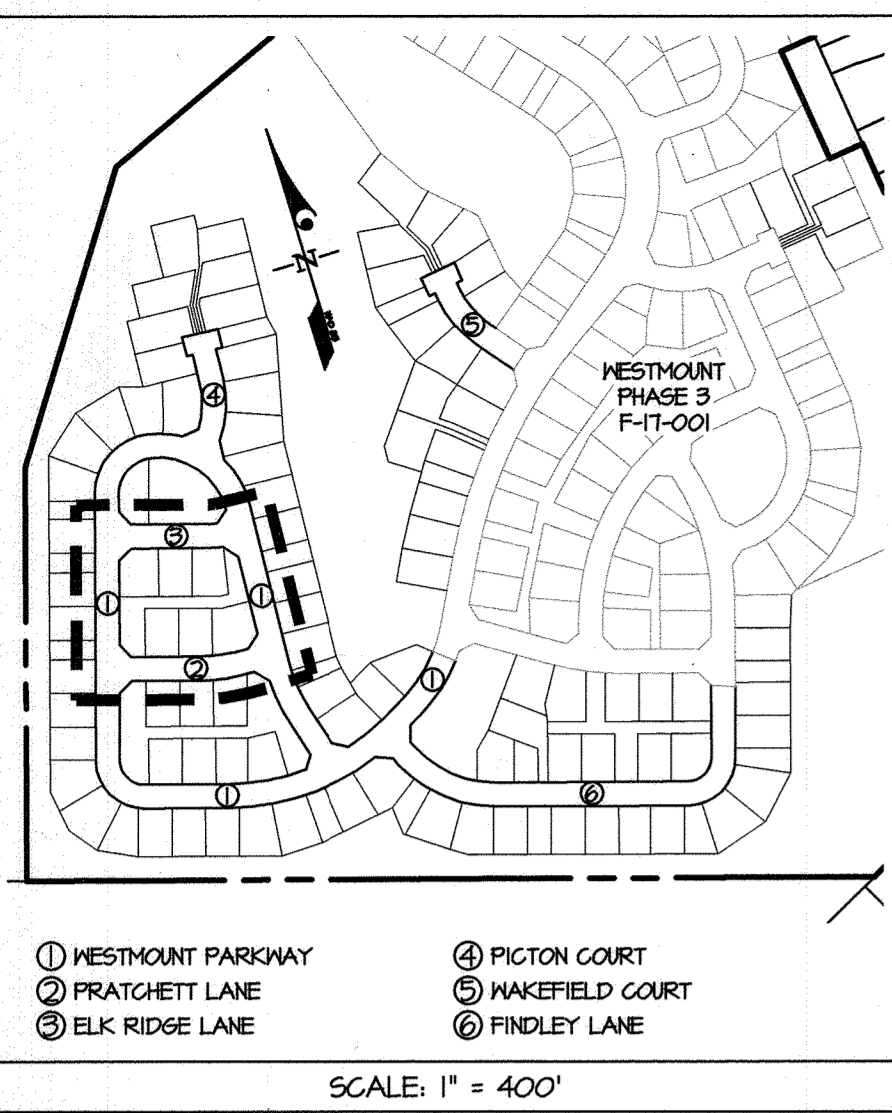
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 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED ROAD CONSTRUCTION PLAN & PROFILE - FINDLEY LANE

WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	5 OF 45

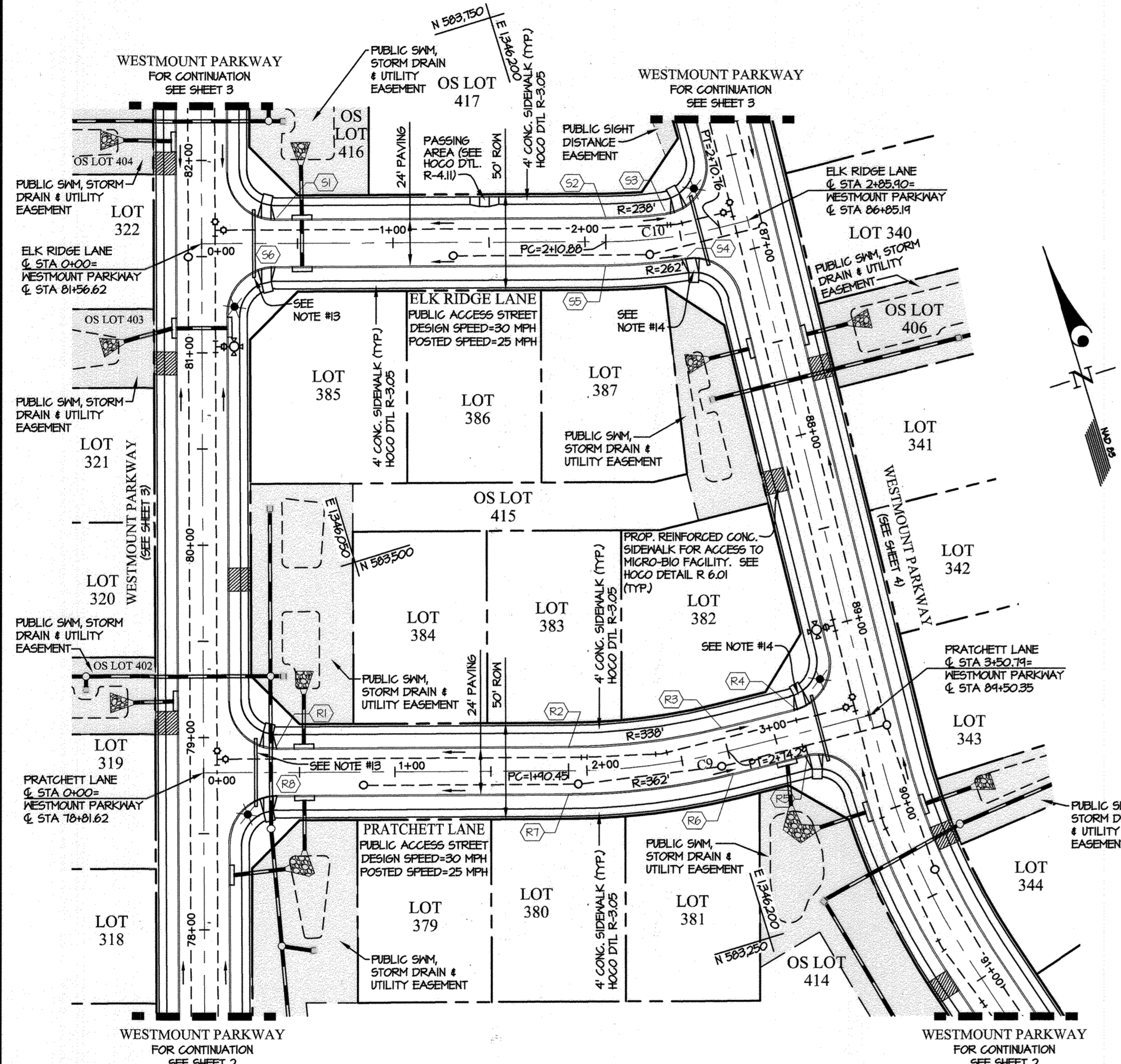


FLOW LINE ELEVATION TABLE FOR ELK RIDGE LANE

PT. NO	STATION	OFFSET	ELEV.	ASBUILT
(S1)	0+38.00	12.00' LT	459.61	
(S2)	2+10.88	12.00' LT	466.10	
(S3)	2+43.88	12.00' LT	465.91	
(S4)	2+50.82	12.00' RT	465.52	
(S5)	2+10.88	12.00' RT	465.88	
(S6)	0+38.00	12.00' RT	459.61	

FLOW LINE ELEVATION TABLE FOR PRATCHETT LANE

PT. NO	STATION	OFFSET	ELEV.	ASBUILT
(R1)	0+38.00	12.00' LT	466.00	
(R2)	1+40.45	12.00' LT	471.74	
(R3)	2+74.24	12.00' LT	471.83	
(R4)	3+12.74	12.00' LT	470.75	
(R5)	3+13.11	12.00' RT	470.75	
(R6)	2+74.24	12.00' RT	471.83	
(R7)	1+40.45	12.00' RT	471.74	
(R8)	0+38.00	12.00' RT	466.00	



ELK RIDGE LANE & PRATCHETT LANE
STREET GRADE PLAN
SCALE: 1" = 50'

- NOTES:**
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 - FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 - FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 - FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
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 - ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE SW'S SERVING NUMBERED LOTS ARE 4".
 - ALL OF THE WATER SHOWN IS 6" UNLESS OTHERWISE NOTED.
 - ALL OF THE W/S'S SERVING NUMBERED LOTS ARE 1-1/2".
 - ALL CURB IS 7" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 - CONDUIT CROSSINGS FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 80 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH PULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERIZON, GAS, & CABLE.
 - ALL SIDEWALK RAMP TYPE IS PER HOWARD COUNTY STANDARD DETAIL R-403, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways *MK* Date: 05/18/2023
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development *ML* Date: 6/16/23
 Chief, Development Engineering Division *JR* Date: 6.5.23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	AWL	DATE:	03/06/2023	REVISION:	AWL	DEV
DRAWN BY:	AWL					
CHECKED BY:	DEV					
DATE:						

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

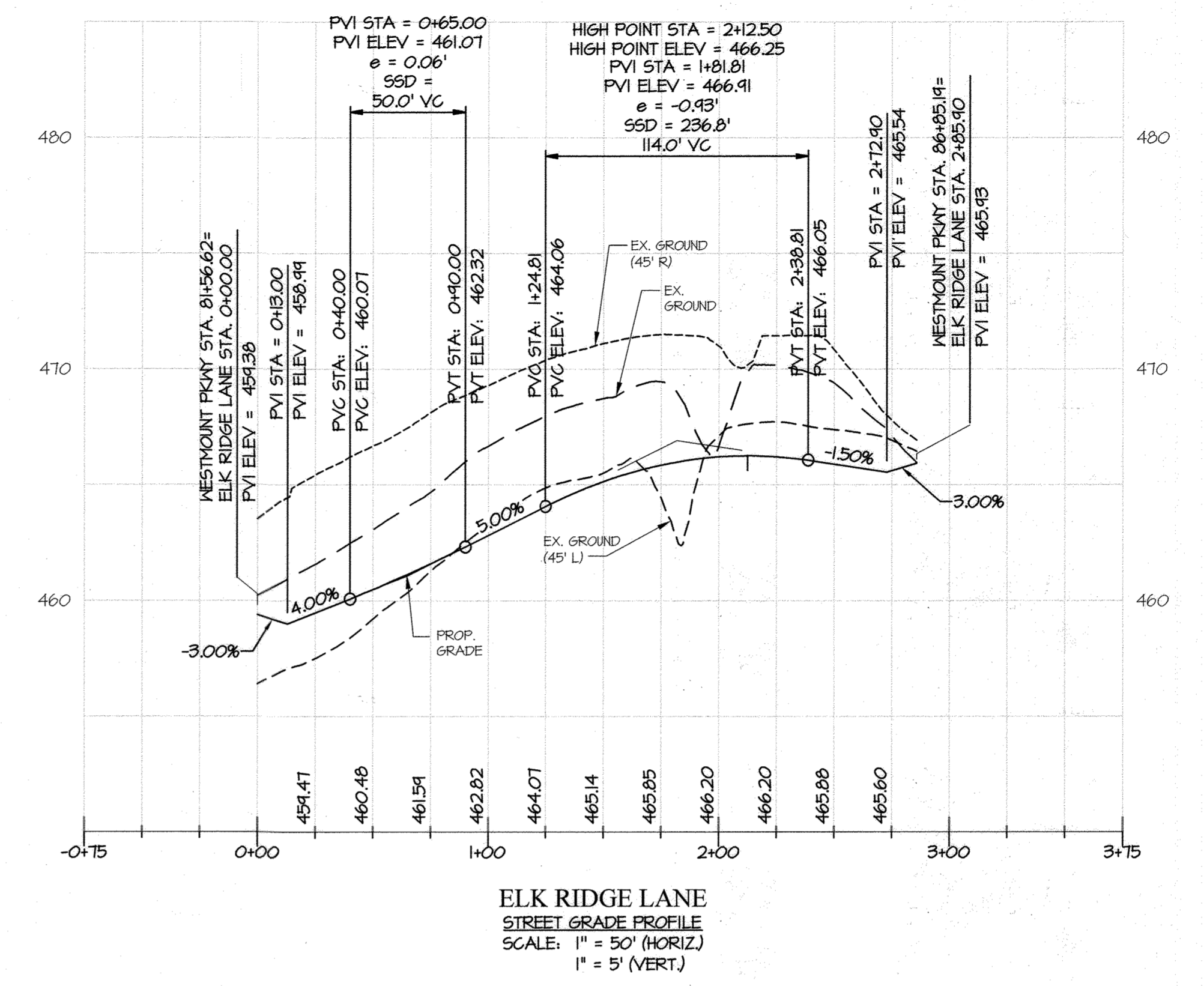
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 3/18/23 *[Signature]*

REVISED ROAD CONSTRUCTION PLAN & PROFILE - ELK RIDGE LN. & PRATCHETT LN.

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

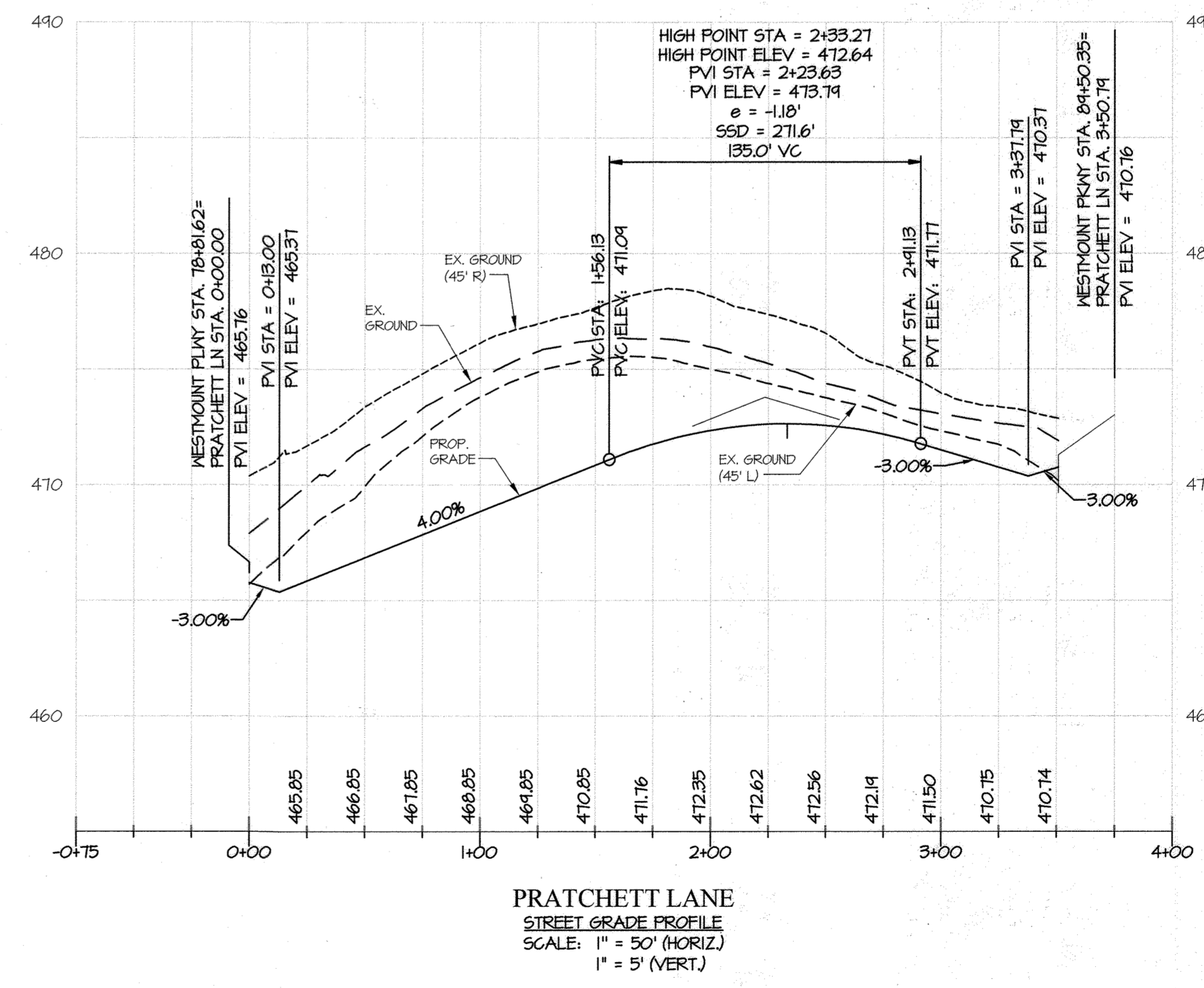
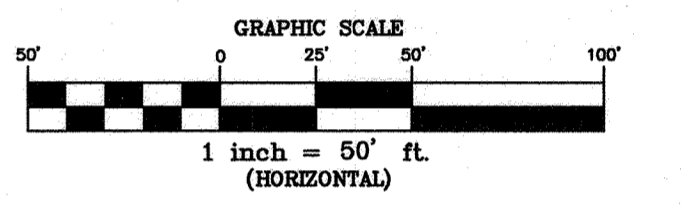
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	6 OF 45



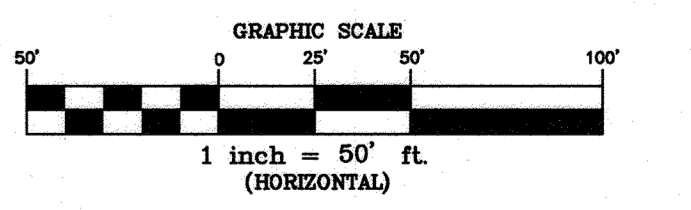
ELK RIDGE LANE
STREET GRADE PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

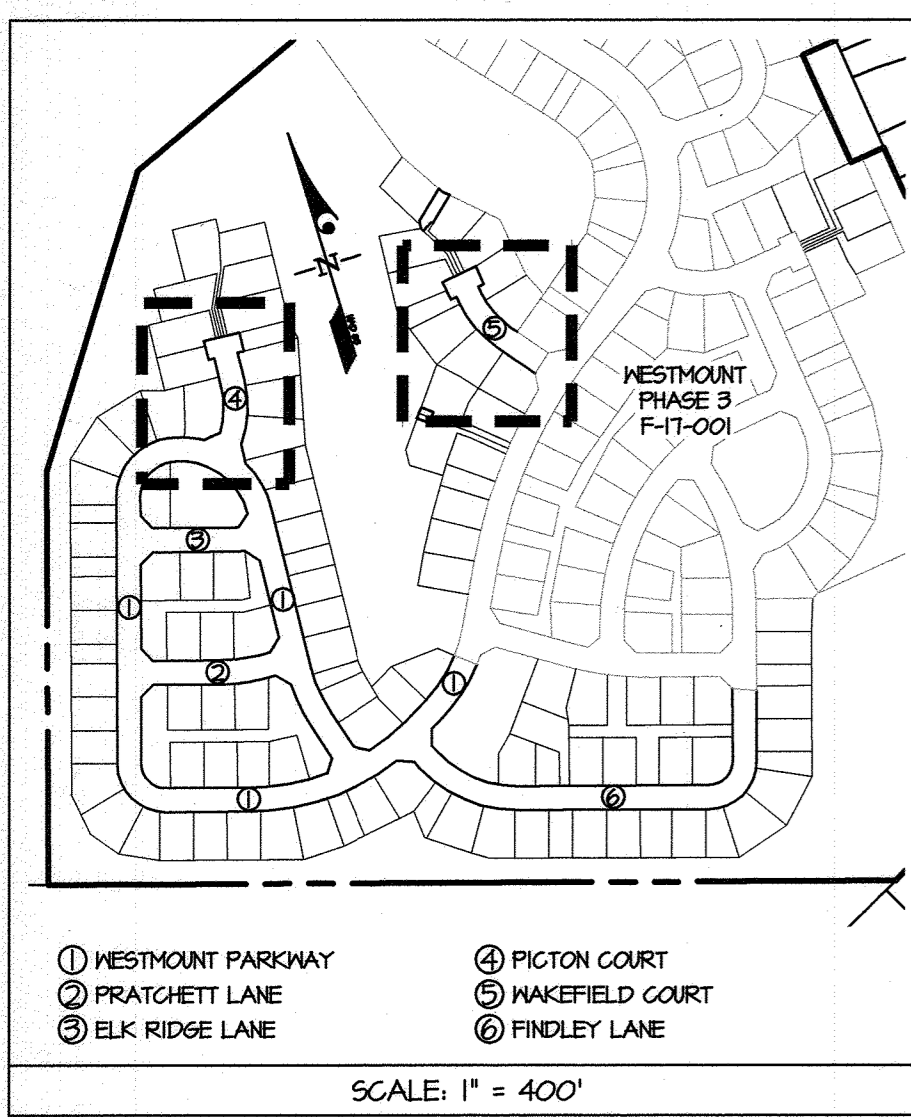
PROPOSED CENTERLINE (PGL) ———
 EXISTING GRADE (PGL) - - - - -
 EX. B.R.L. LEFT - - - - -
 EX. B.R.L. RIGHT - - - - -
 NOTE:
 FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.



PRATCHETT LANE
STREET GRADE PROFILE
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

PROPOSED CENTERLINE (PGL) ———
 EXISTING GRADE (PGL) - - - - -
 EX. B.R.L. LEFT - - - - -
 EX. B.R.L. RIGHT - - - - -
 NOTE:
 FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.





- ① WESTMOUNT PARKWAY
 - ② PRATCHEIT LANE
 - ③ ELK RIDGE LANE
 - ④ PICTON COURT
 - ⑤ WAKEFIELD COURT
 - ⑥ FINLEY LANE
- SCALE: 1" = 400'

FLOW LINE ELEVATION TABLE FOR PICTON COURT

PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
(T1)	0+40.31	12.00' LT	466.36	
(T2)	1+65.64	12.00' LT	459.97	
(T3)	2+20.04	12.00' LT	455.32	
(T4)	2+32.04	24.00' LT	454.44	
(T5)	2+32.04	30.00' LT	454.26	
(T6)	2+56.04	30.00' LT	454.30	
(T7)	2+56.04	30.00' RT	454.30	
(T8)	2+32.04	30.00' RT	454.26	
(T9)	2+32.04	24.00' RT	454.44	
(T10)	2+20.04	12.00' RT	455.32	
(T11)	1+65.64	12.00' RT	459.97	
(T12)	0+30.74	12.00' RT	466.64	

FLOW LINE ELEVATION TABLE FOR WAKEFIELD COURT

PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
(Q1)	MATCH EXISTING			
(Q2)	1+43.75	12.00' LT	462.05	
(Q3)	2+54.84	12.00' LT	456.80	
(Q4)	2+63.96	12.00' LT	456.50	
(Q5)	2+75.96	24.00' LT	455.78	
(Q6)	2+75.96	30.00' LT	455.60	
(Q7)	2+91.96	30.00' LT	455.84	
(Q8)	2+91.96	30.00' RT	455.84	
(Q9)	2+75.96	30.00' RT	455.60	
(Q10)	2+75.96	24.00' RT	455.78	
(Q11)	2+63.96	12.00' RT	456.50	
(Q12)	2+54.84	12.00' RT	456.80	
(Q13)	1+43.75	12.00' RT	462.05	
(Q14)	MATCH EXISTING			

- NOTES:
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL CURB RADII ARE 25' UNLESS OTHERWISE NOTED.
 - FOR SIGNAGE (INCLUDING NO PARKING SIGNS), STREET TREE, LANDSCAPING, AND BUFFERING REQUIREMENTS, SEE SHEETS 10-12.
 - FOR CENTERLINE CURVE DATA, SEE SHEET 8.
 - FOR STREET LIGHT SCHEDULE, SEE SHEET 12.
 - FOR TYPICAL SECTIONS, SECTION DIMENSIONS AND ROAD DETAILS, SEE SHEET 8.
 - FOR STORM DRAIN SIZING INFORMATION, SEE SHEETS 15-16.
 - ALL OF THE SEWER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE SH&S SERVING NUMBERED LOTS ARE 4".
 - ALL OF THE WATER SHOWN IS 8" UNLESS OTHERWISE NOTED.
 - ALL OF THE WAC'S SERVING NUMBERED LOTS ARE 1-1/2".
 - ALL CURB IS 1 1/2" HEIGHT UNLESS OTHERWISE NOTED. SEE SHEET 8 FOR CURB DETAILS.
 - CONDUIT CROSSING FOR STREET LIGHTS SHALL BE (4) 4" SCHEDULE 80 PVC, INSTALLED FLAT AT A DEPTH OF 36" WITH MARKERS ON BOTH SIDES AND WITH PULL STRINGS INSTALLED. ONE CONDUIT IS TO BE USED FOR EACH OF THE FOLLOWING: ELECTRIC, VERTICAL GAS, 4 CABLE.
 - ALL SIDEWALK RAMP SLOPES SHALL BE PER HOWARD COUNTY STANDARD DETAIL R-4.03, UNLESS OTHERWISE NOTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK 05/18/2023 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development 6/6/23 Date

Chief, Development Engineering Division JR Date 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DCVA: 301-989-2524 | FAX: 301-421-4188

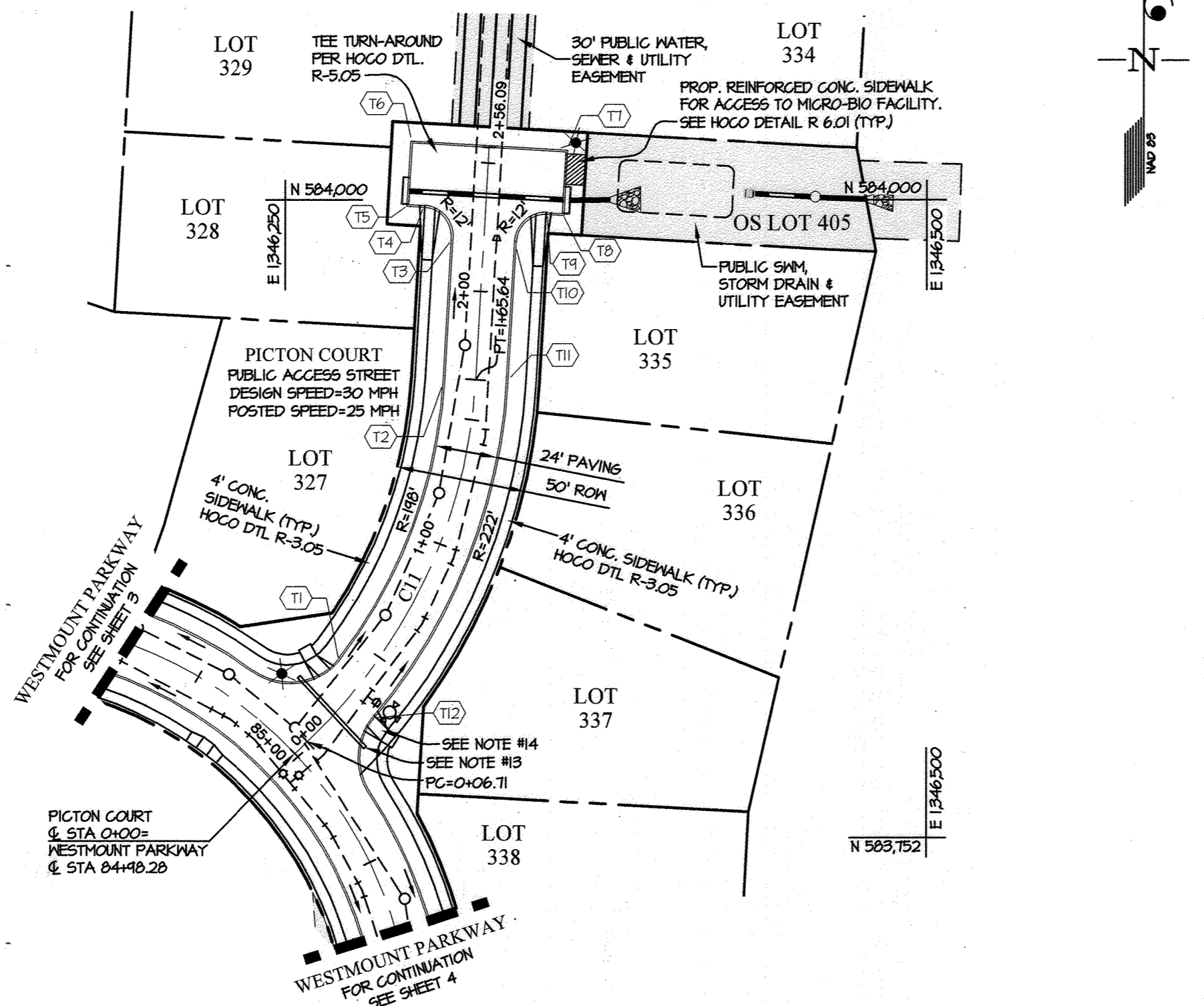
DESIGNED BY:	AWL	DATE:	03/06/2023	REVISION
DRAWN BY:	AWL			
CHECKED BY:	DEB			
DATE:				

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

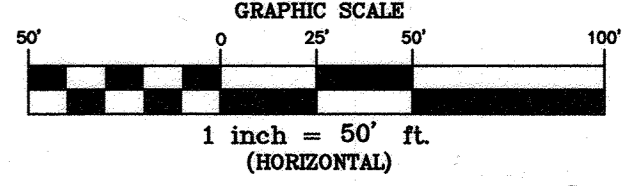
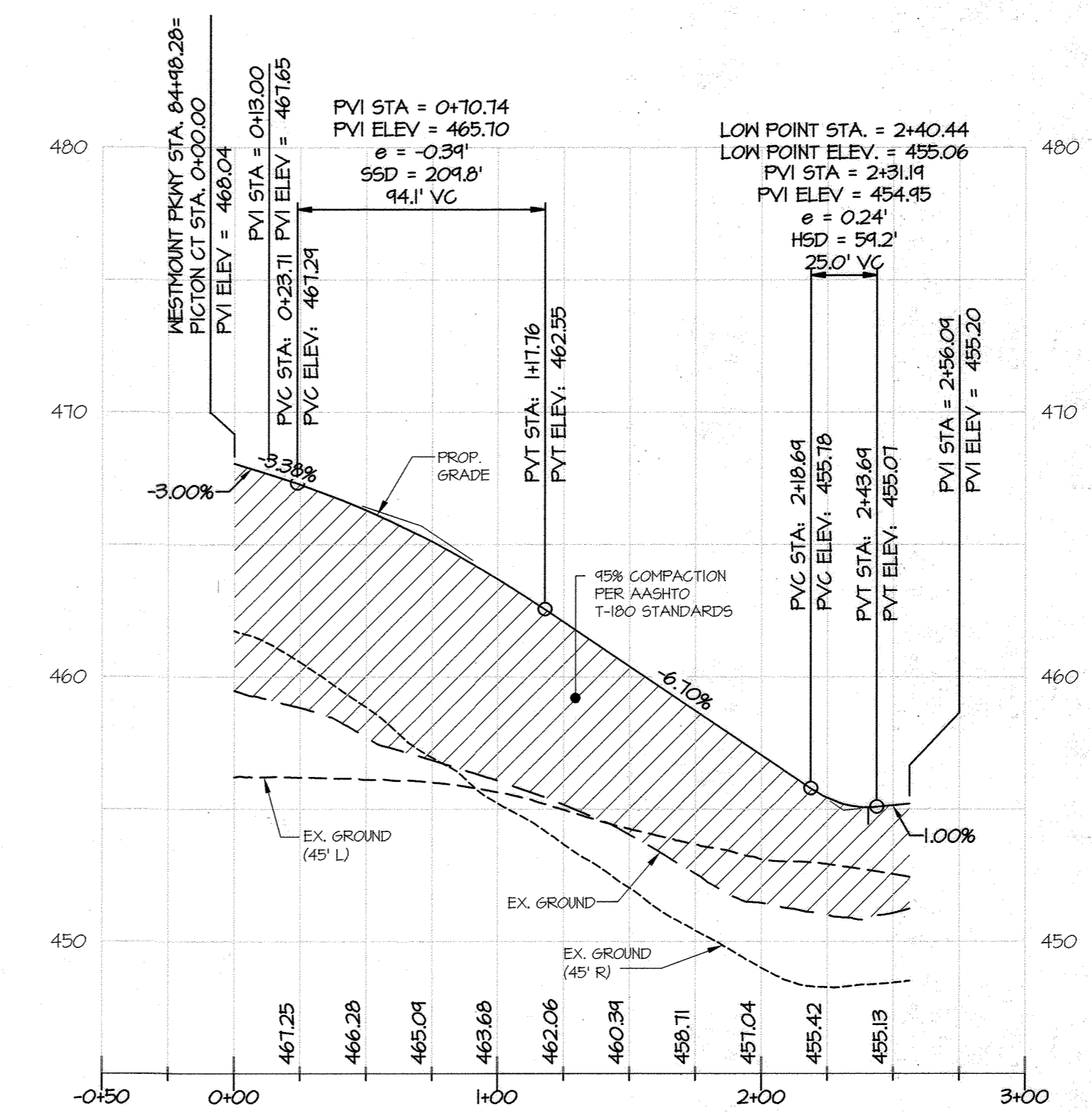
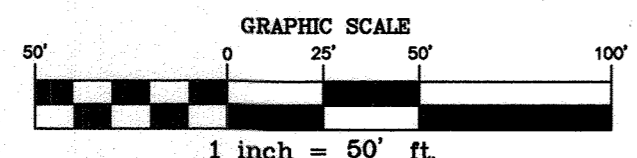
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED ROAD CONSTRUCTION PLAN & PROFILE - PICTON CT. & WAKEFIELD CT.
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

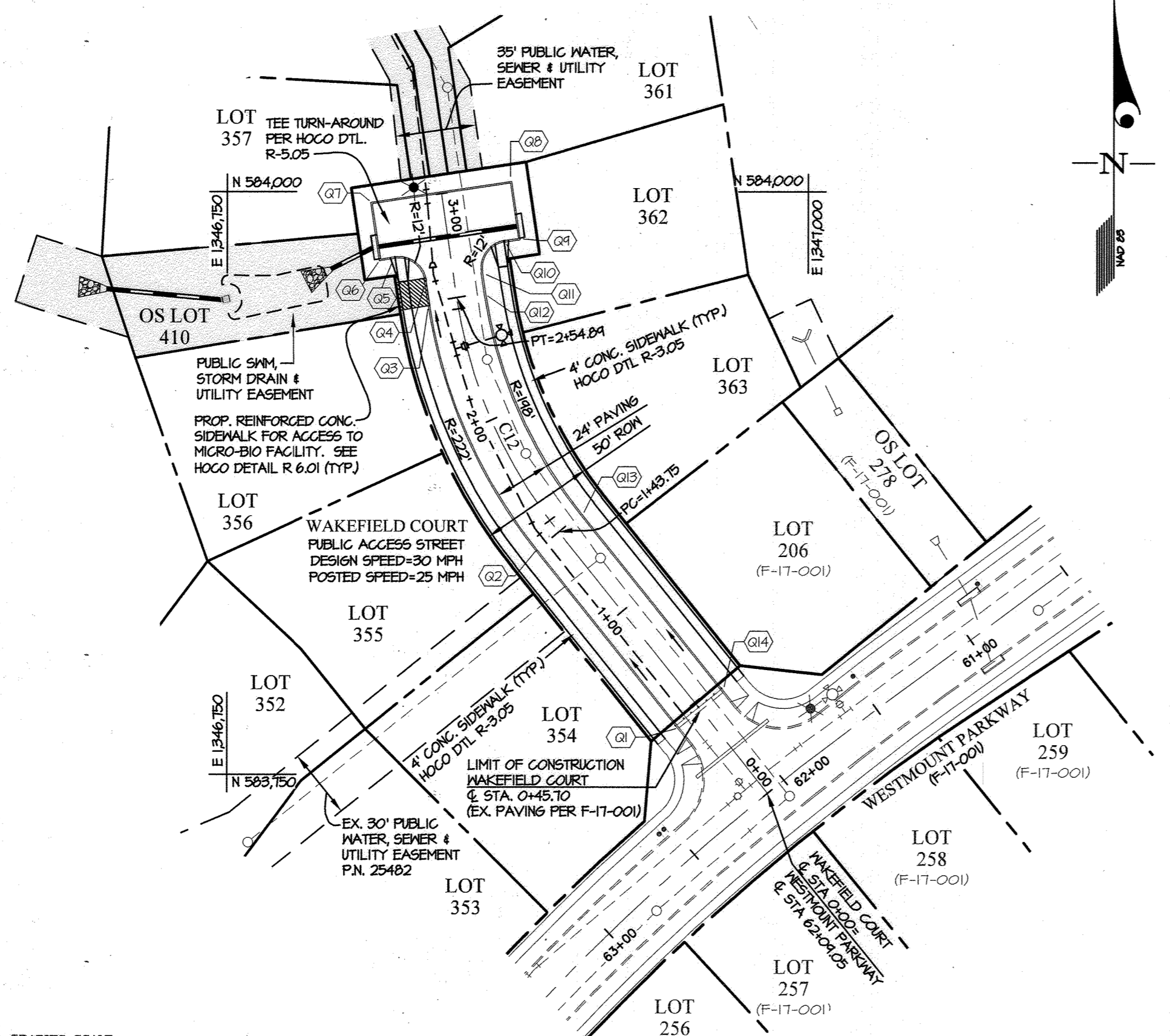
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	7 OF 45



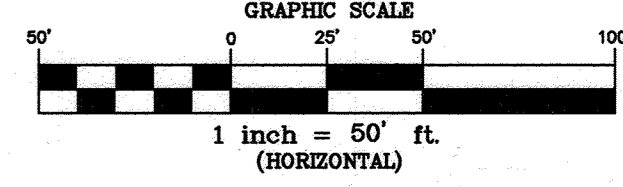
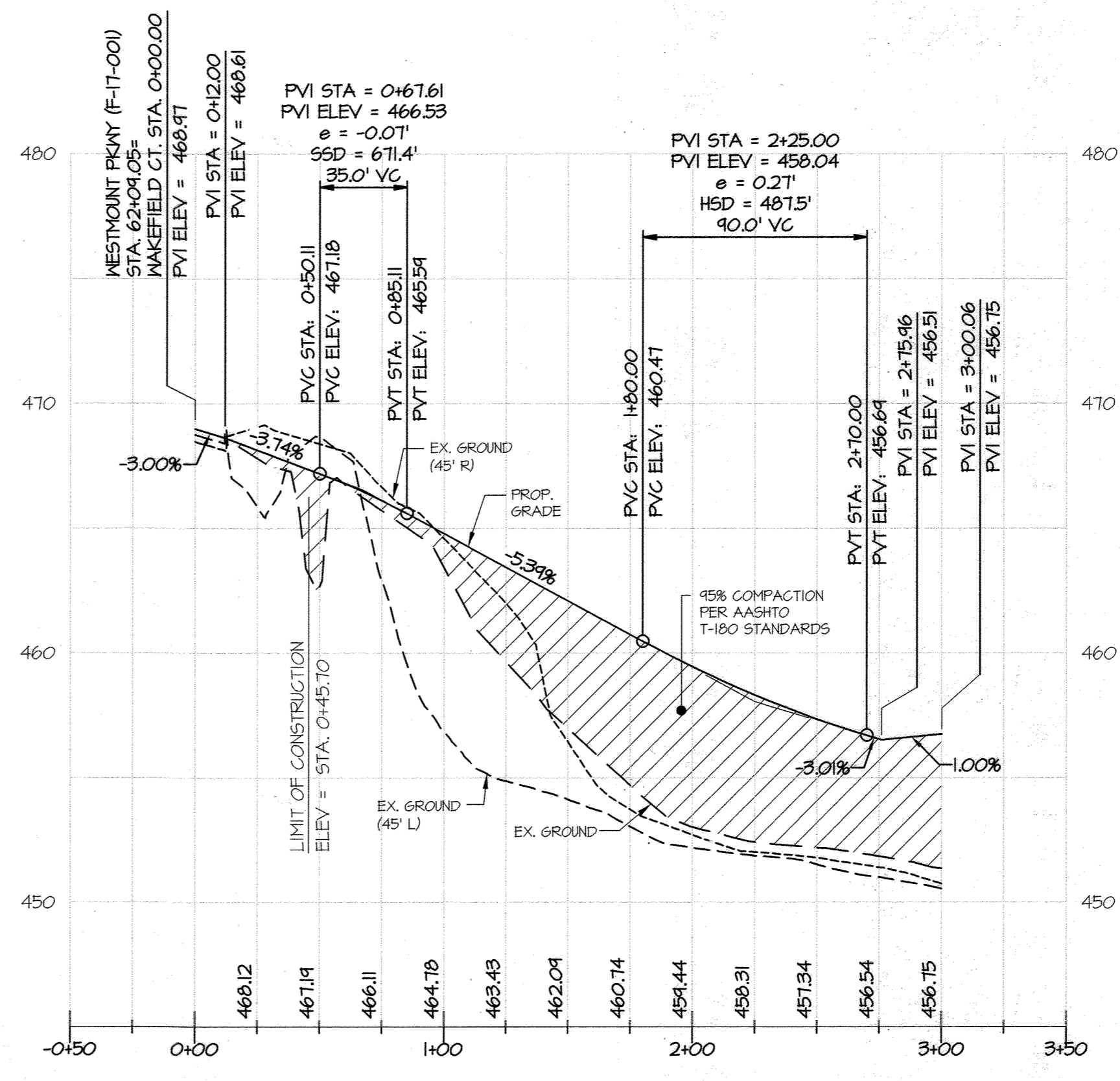
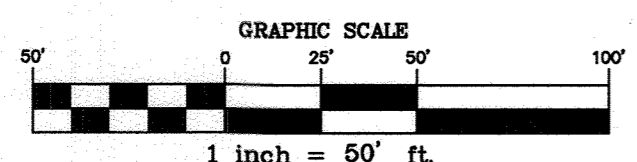
PICTON COURT
 STREET GRADE PLAN
 SCALE: 1" = 50'



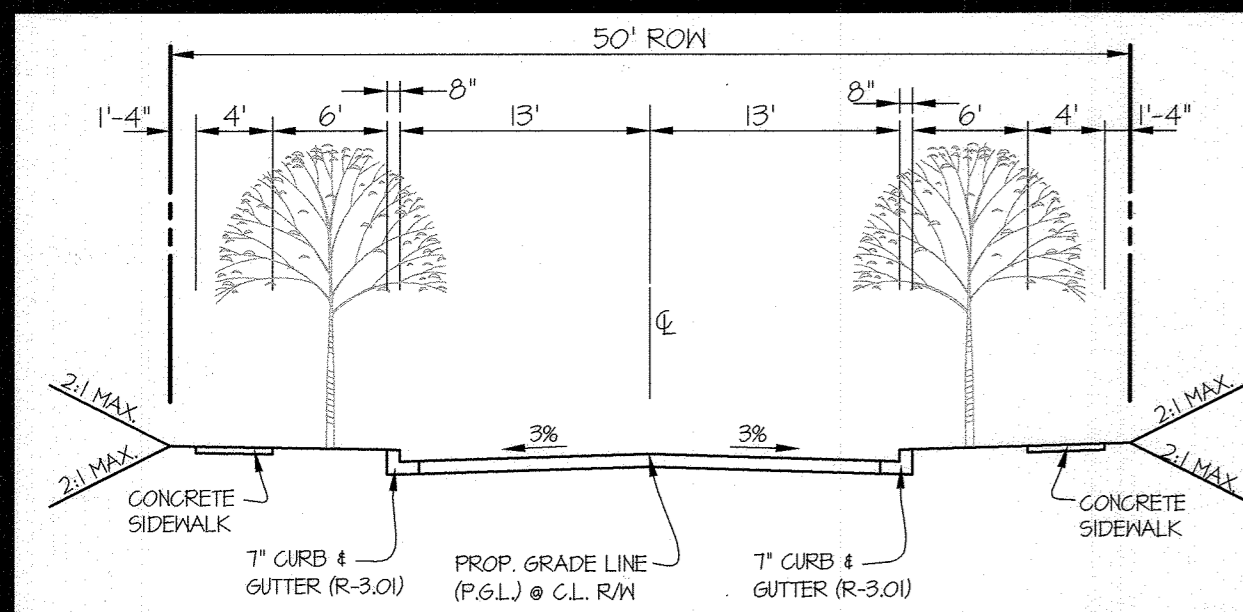
PROPOSED CENTERLINE (PGL) ———
 EXISTING GRADE (PGL) - - - - -
 EX. B.R.L. LEFT - - - - -
 EX. B.R.L. RIGHT - - - - -
 NOTE:
 FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.



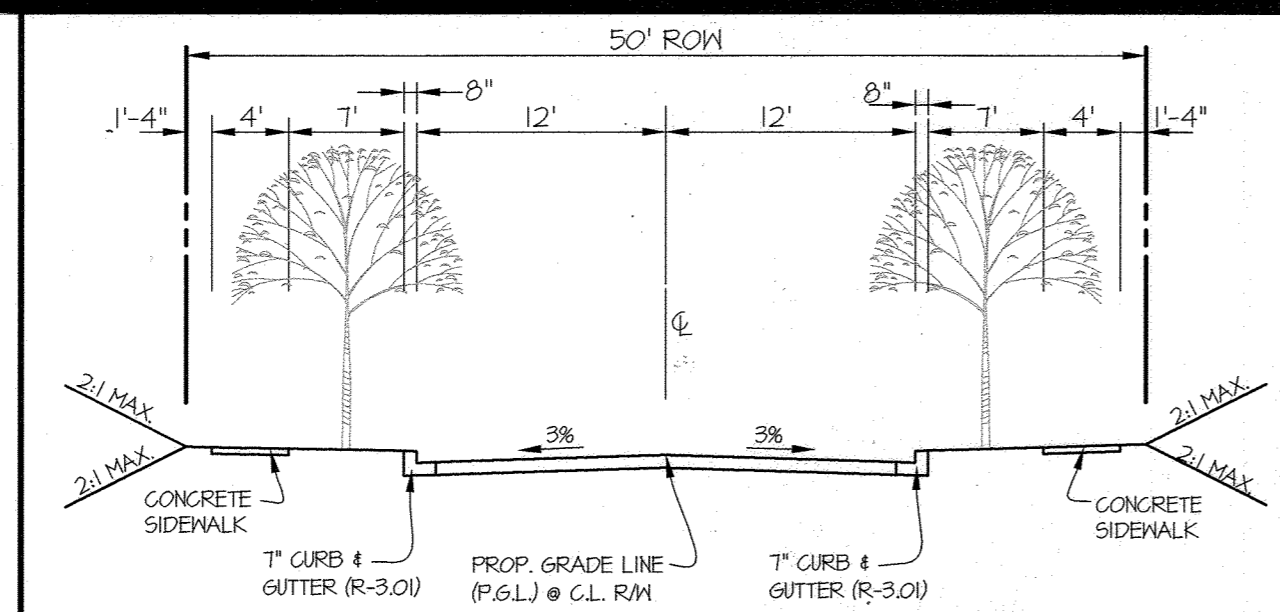
WAKEFIELD COURT
 STREET GRADE PLAN
 SCALE: 1" = 50'



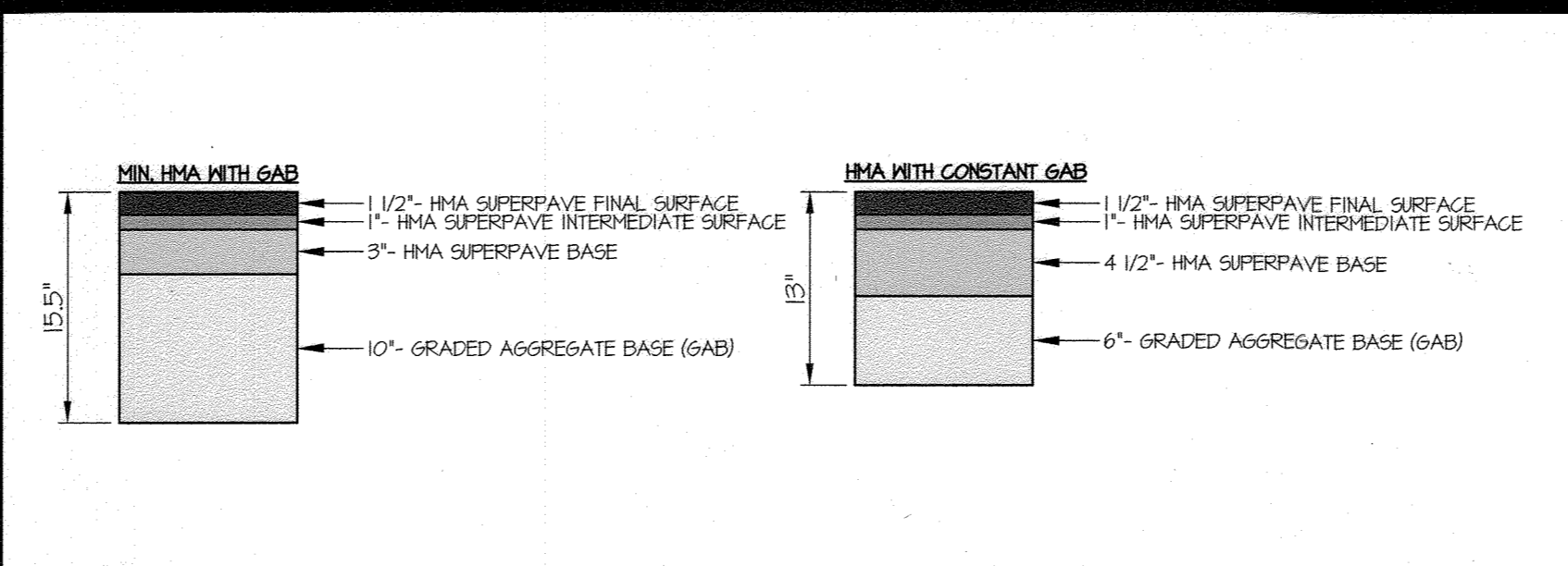
PROPOSED CENTERLINE (PGL) ———
 EXISTING GRADE (PGL) - - - - -
 EX. B.R.L. LEFT - - - - -
 EX. B.R.L. RIGHT - - - - -
 NOTE:
 FOR TYPICAL ROAD SECTIONS, SEE SHEET 8.



1 TYPICAL SECTION FOR 26' PAVING NO SCALE

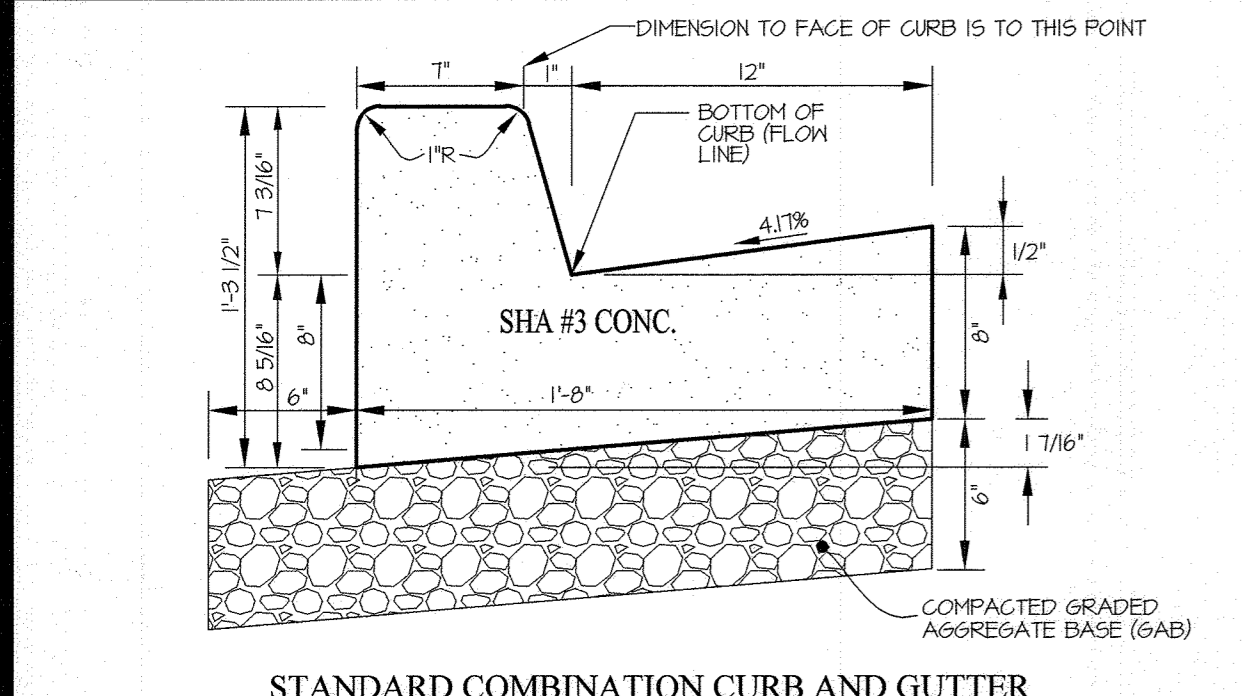


2 TYPICAL SECTION FOR 24' PAVING NO SCALE

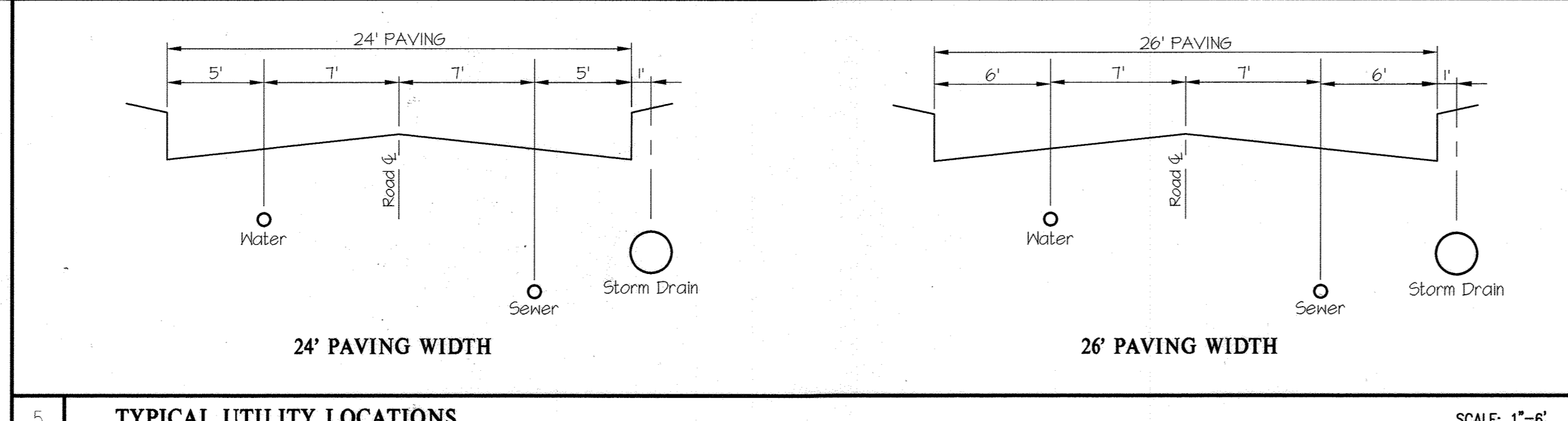


3 P-3 PAVING SECTIONS NO SCALE

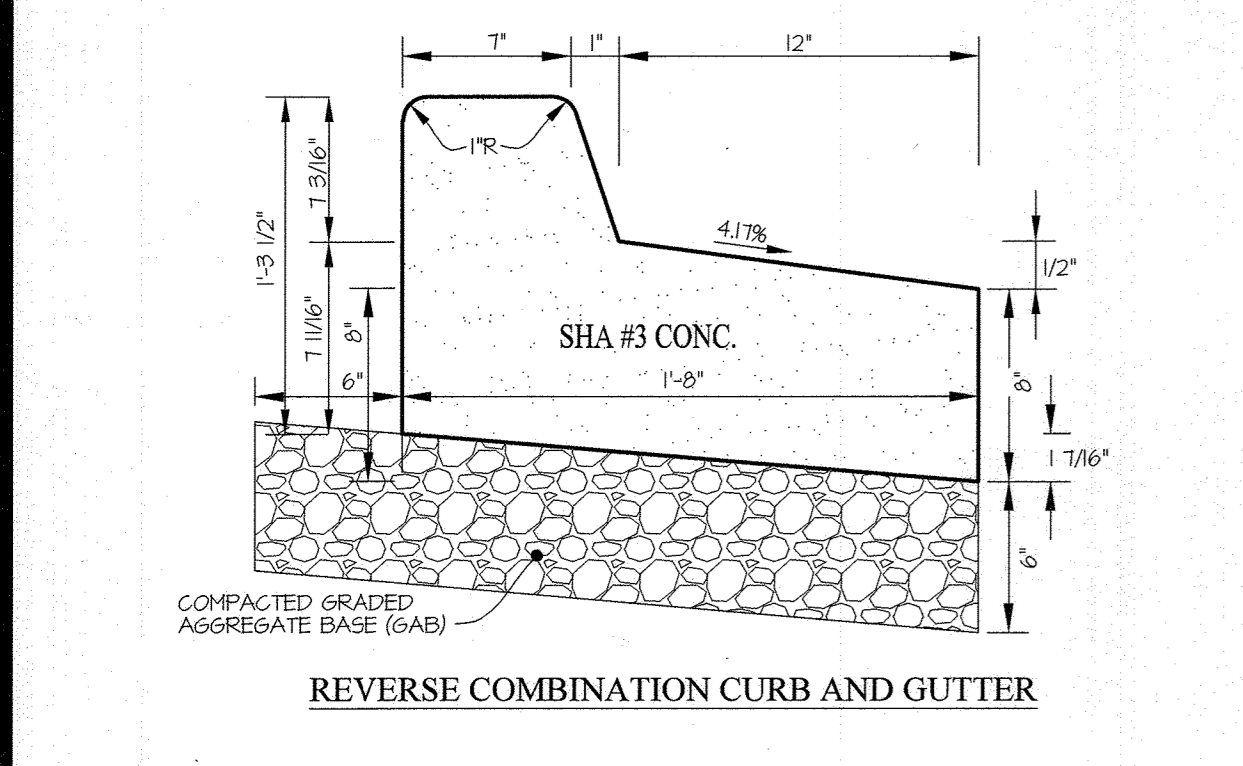
CURVE DATA CHART									
CURVE	STREET NAME	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
C1	WESTMOUNT PARKWAY	68+35.07	69+54.34	310.00'	63.01'	124.32'	123.44'	S50°01'40\"/>	



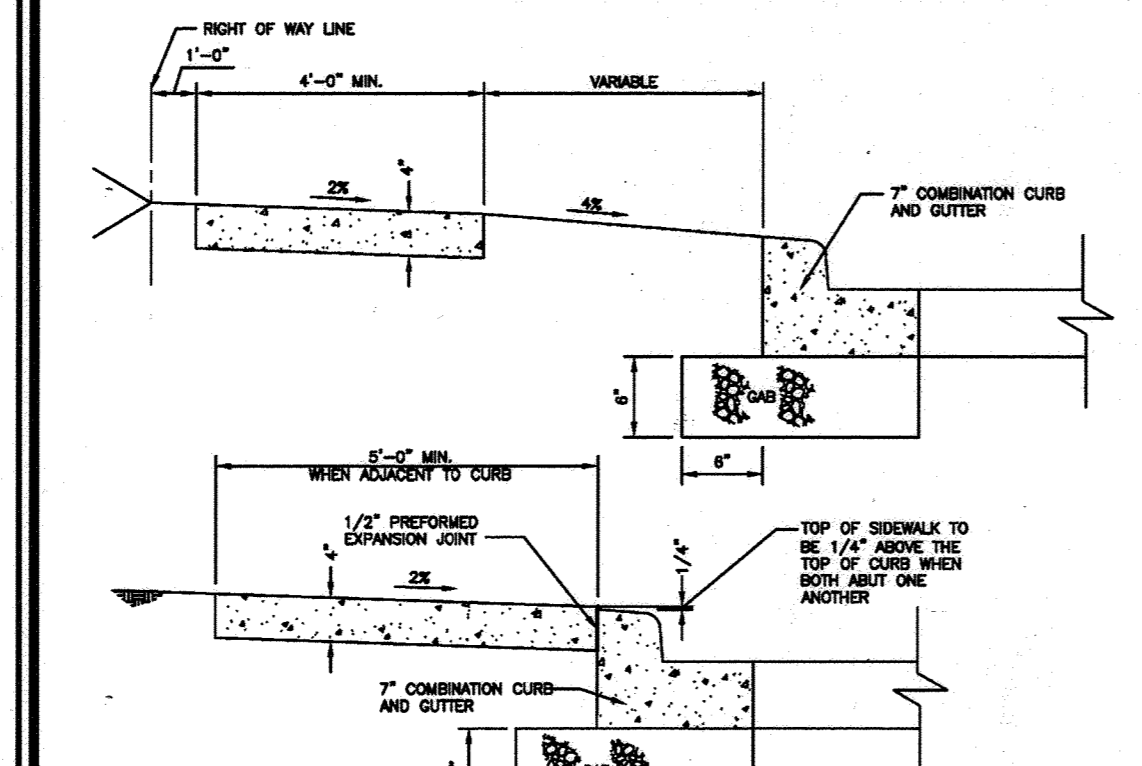
STANDARD COMBINATION CURB AND GUTTER



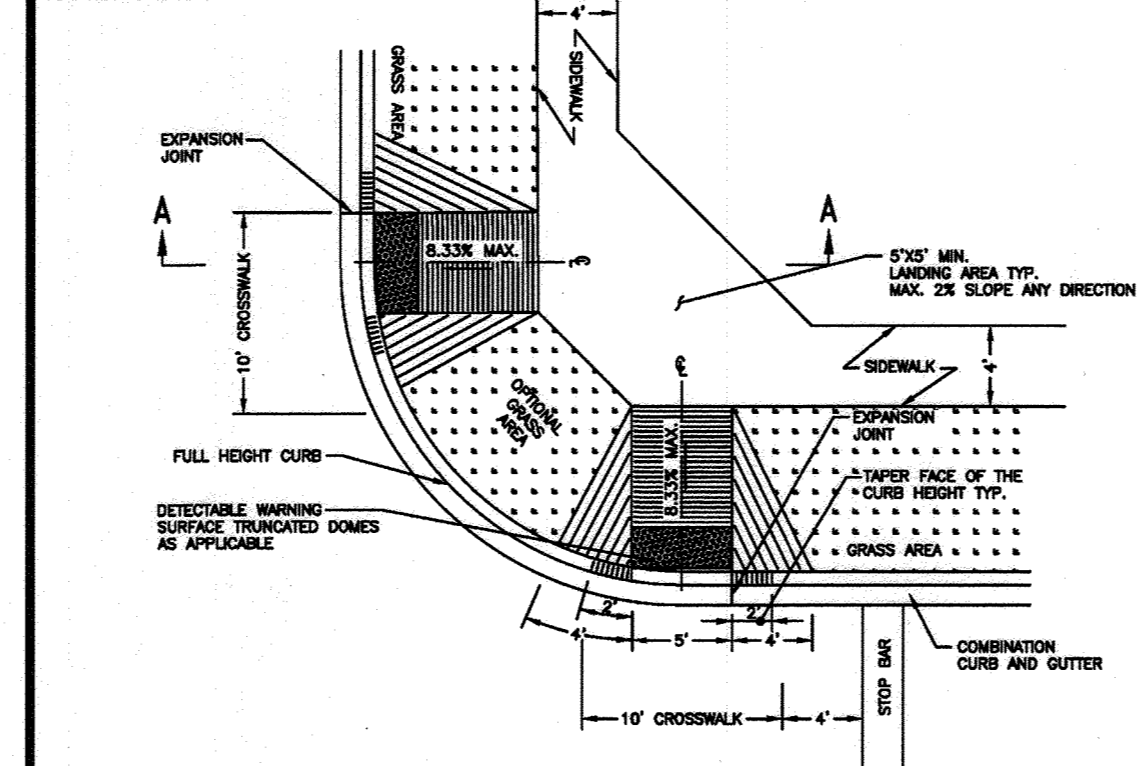
5 TYPICAL UTILITY LOCATIONS SCALE: 1\"/>



REVERSE COMBINATION CURB AND GUTTER



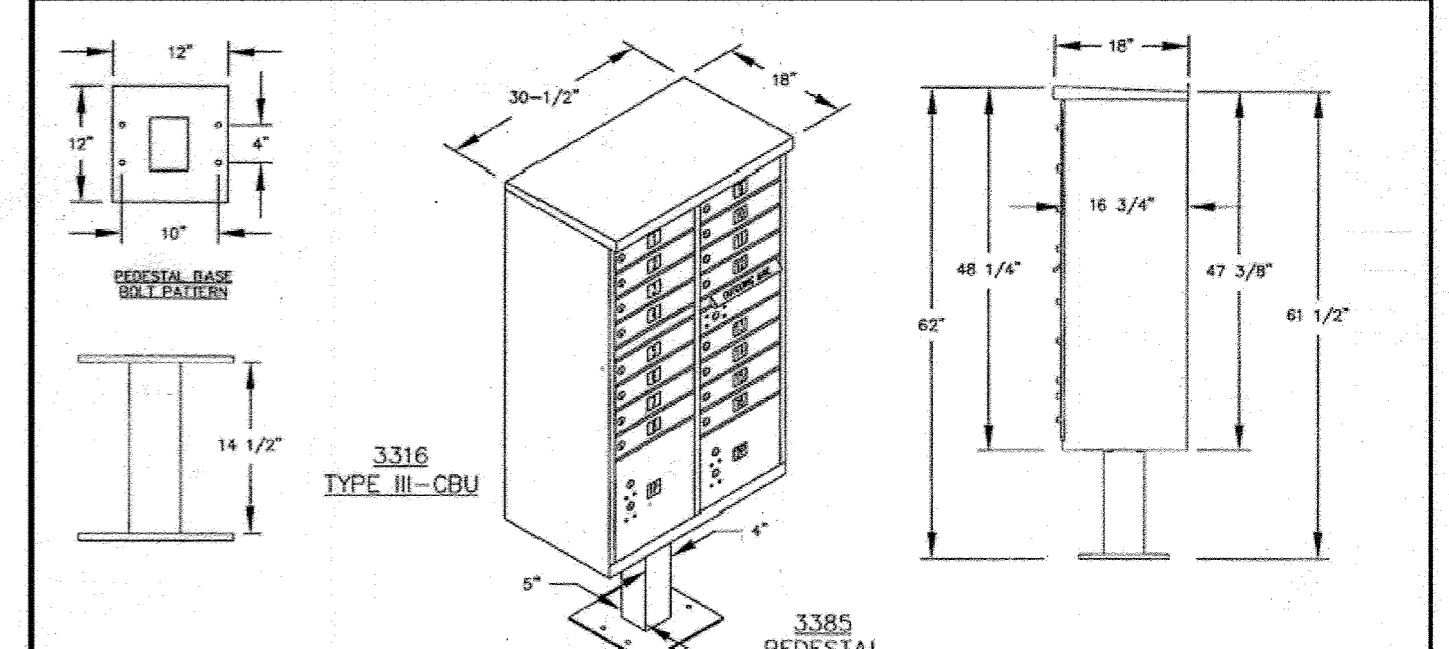
CONCRETE SIDEWALK Detail R-3.05



SIDEWALK RAMP Type B Dual Ramp Detail R-4.03

ROAD INFORMATION									
ROAD NAME	STATION	CLASSIFICATION	DESIGN SPEED	POSTED SPEED	R/W	PAVING WIDTH	PAVING SECTION	DETAIL	
WESTMOUNT PARKWAY	68+15 TO 92+22	ACCESS STREET	30 MPH	25 MPH	50'	26'	P-3	1	
FINDLEY LANE	0+00 TO 6+66	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	
FINDLEY LANE	6+66 TO 7+01	ACCESS STREET	30 MPH	25 MPH	50'	VARIES	P-3	2	
FINDLEY LANE	7+01 TO 7+60	ACCESS STREET	30 MPH	25 MPH	50'	26'	P-3	1	
FINDLEY LANE	7+60 TO 7+94	ACCESS STREET	30 MPH	25 MPH	50'	VARIES	P-3	2	
FINDLEY LANE	7+94 TO 9+34	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	
FRATCHETT LANE	0+00 TO 3+51	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	
ELK RIDGE LANE	0+00 TO 2+86	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	
PIGTON COURT	0+00 TO 2+56	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	
WAKEFIELD COURT	0+46 TO 3+00	ACCESS STREET	30 MPH	25 MPH	50'	24'	P-3	2	

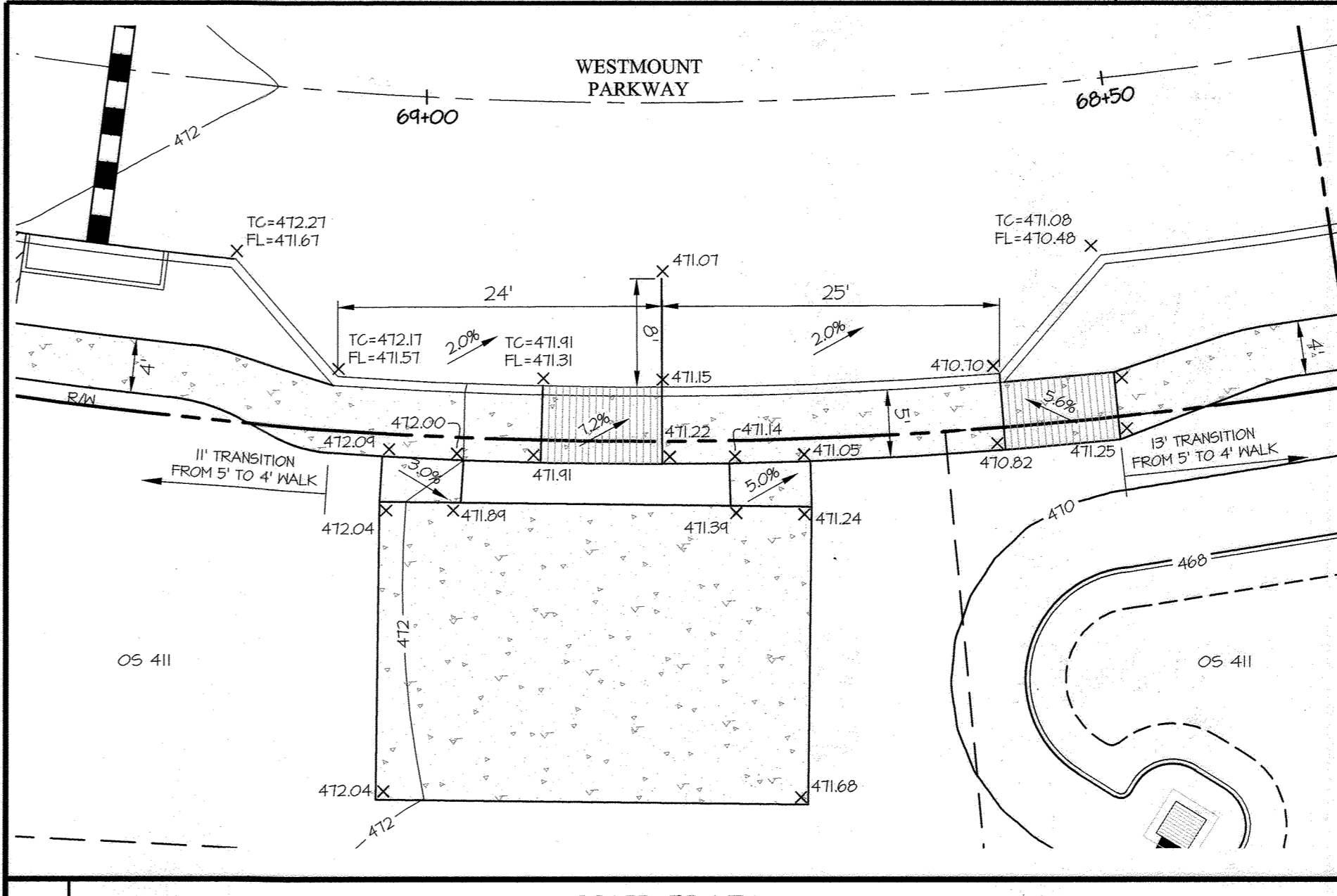
NOTES:
1. ALL TYPICAL SECTIONS ARE SHOWN LOOKING UP STATION.



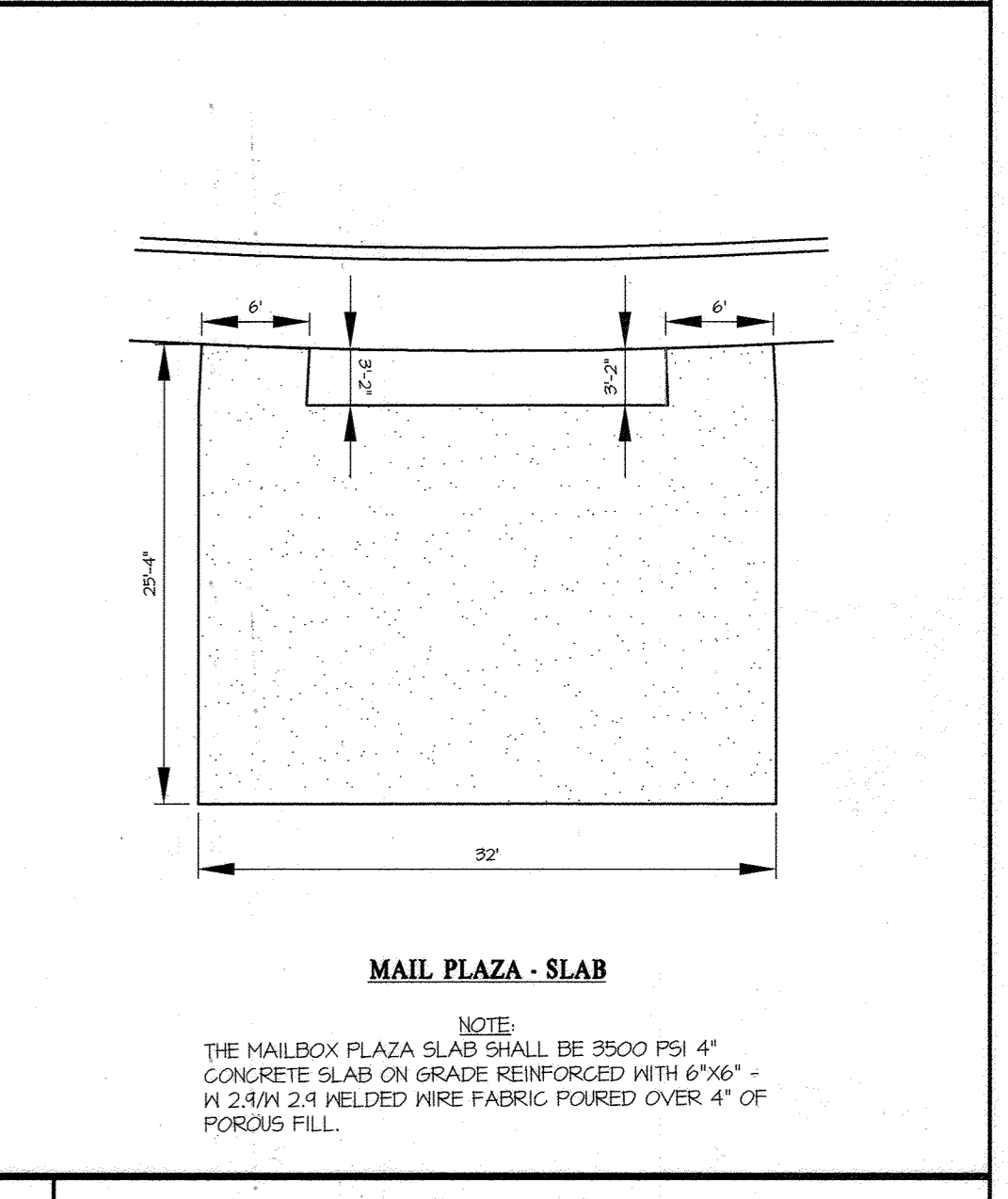
MAIL BOX DETAILS NO SCALE

NOTES:
1. STANDARD 7\"/>

4 7\"/>



7 MAIL PLAZA SCALE: 1\"/>



8 MAIL PLAZA SLAB DETAIL SCALE: 1\"/>

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK 05/19/2023 Date
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development MC 6/6/23 Date
 Chief, Development Engineering Division JR 6-5-23 Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

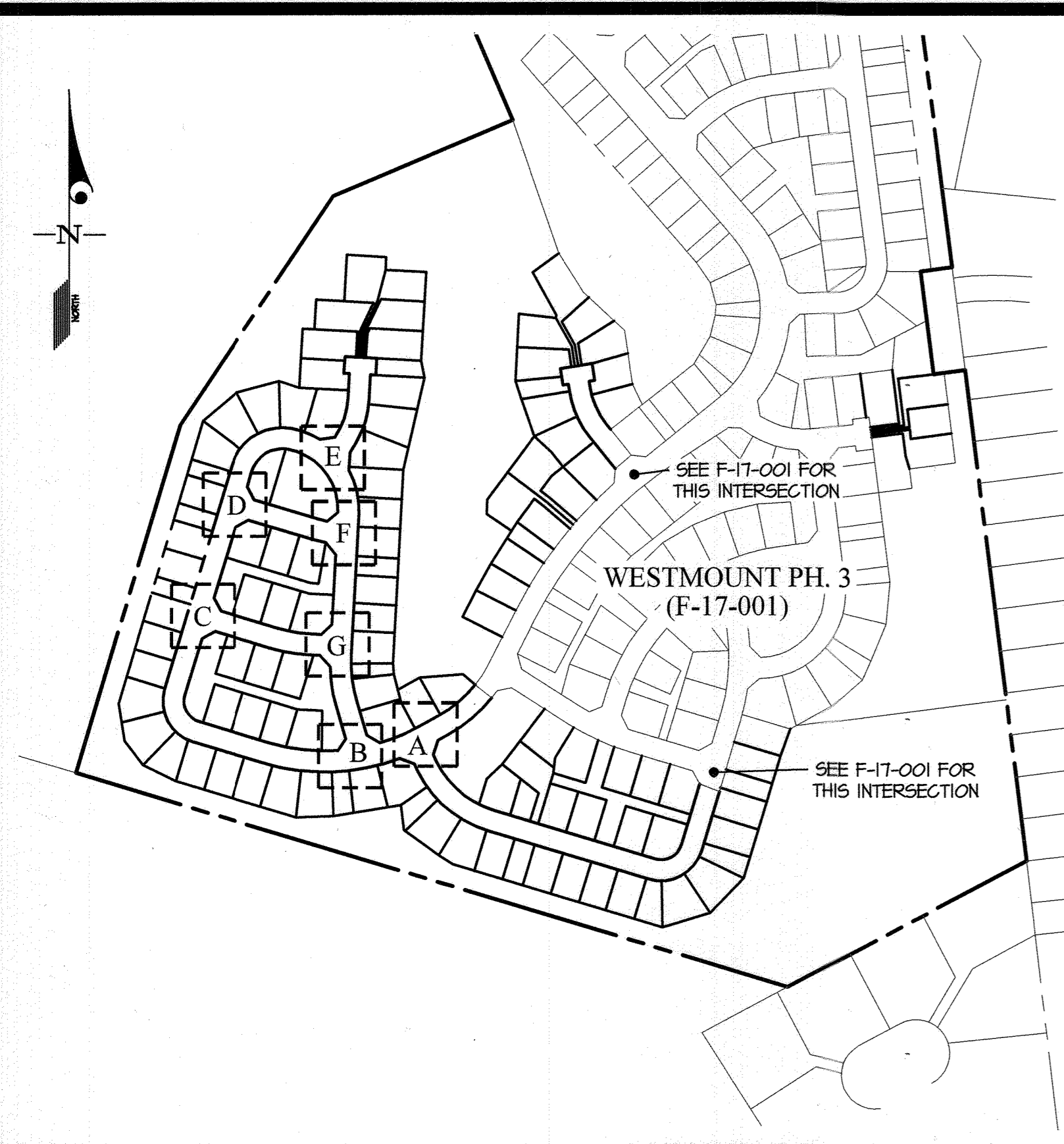
GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:		PREPARED FOR:	WESTMOUNT DEVELOPMENT CORPORATION 307 INTERNATIONAL CIRCLE, SUITE 130 HUNT VALLEY, MARYLAND 21030 410-489-4489 ATTN: ROBERT GOODIER
DRAWN BY:		PROFESSIONAL CERTIFICATION:	STATE OF MARYLAND PROFESSIONAL ENGINEER I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 28, 2024 3/8/23
CHECKED BY:		REVISIONS:	
DEV	03/06/2023	AWL	DEV
	DATE	BY	APP'R

REVISIED ROAD DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 2

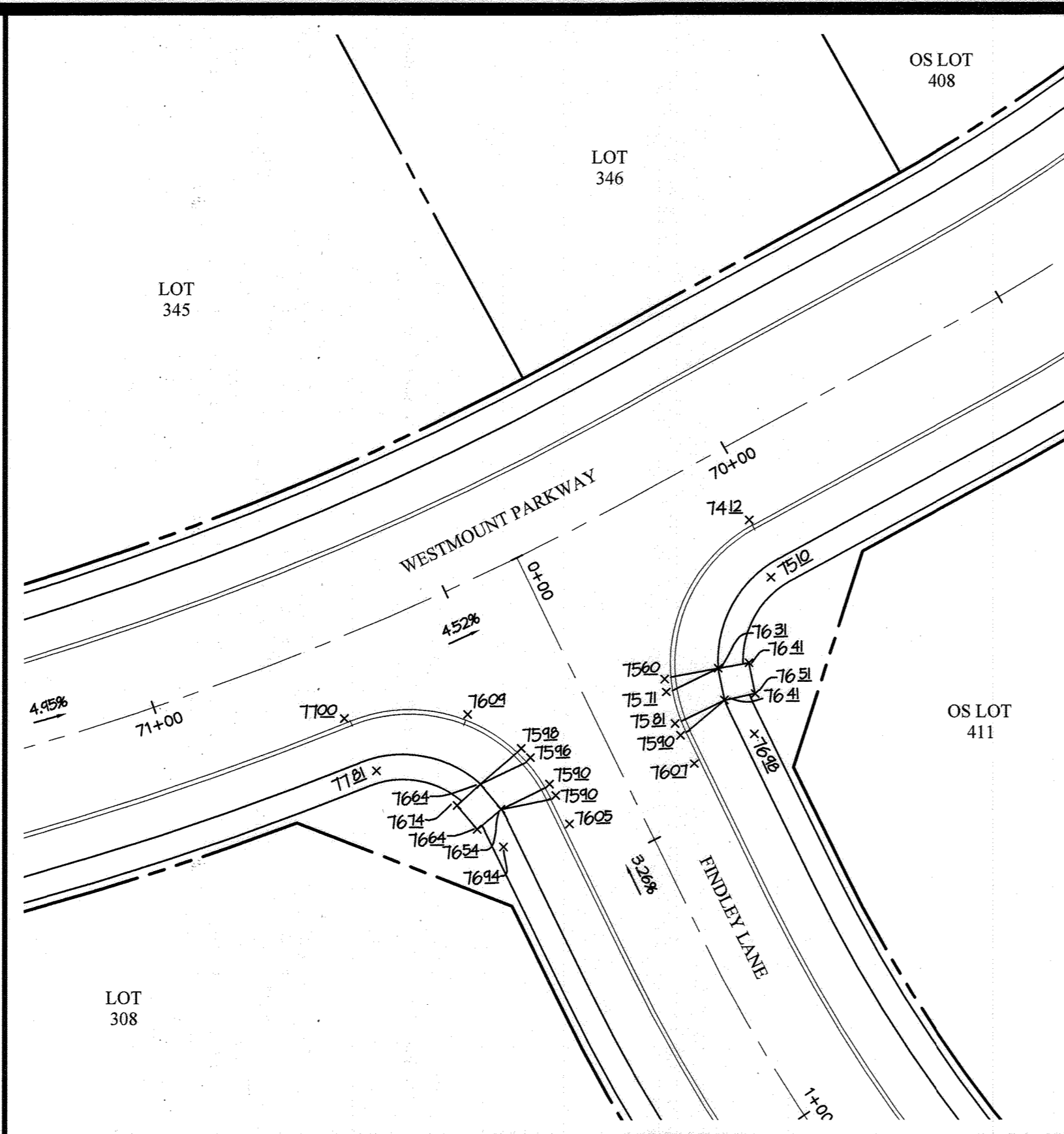
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	8 OF 45

L:\CAD\DRAWINGS\1301\PLANS BY GLW\ROADS-50 (PHA)\PHASE 4_OR_ROAD_DETAILS.dwg, 3/8/23 8:50 AM, LAST SAVE: 3/8/23 8:53 AM, PLOTTED: 3/8/23 8:53 AM, PLOTTER: HP DesignJet 5000, PLOT: 3/8/23 8:53 AM

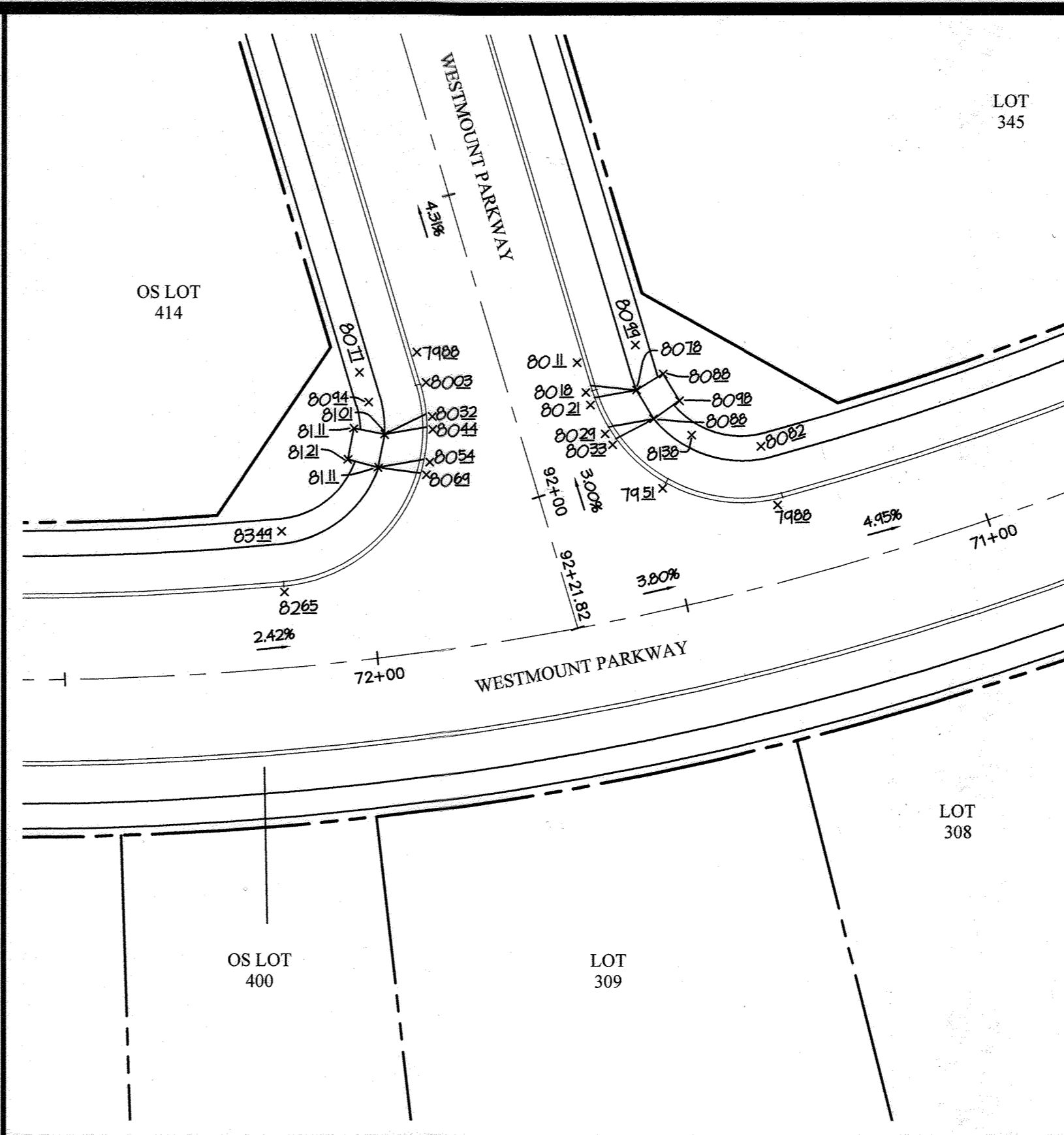


KEY MAP

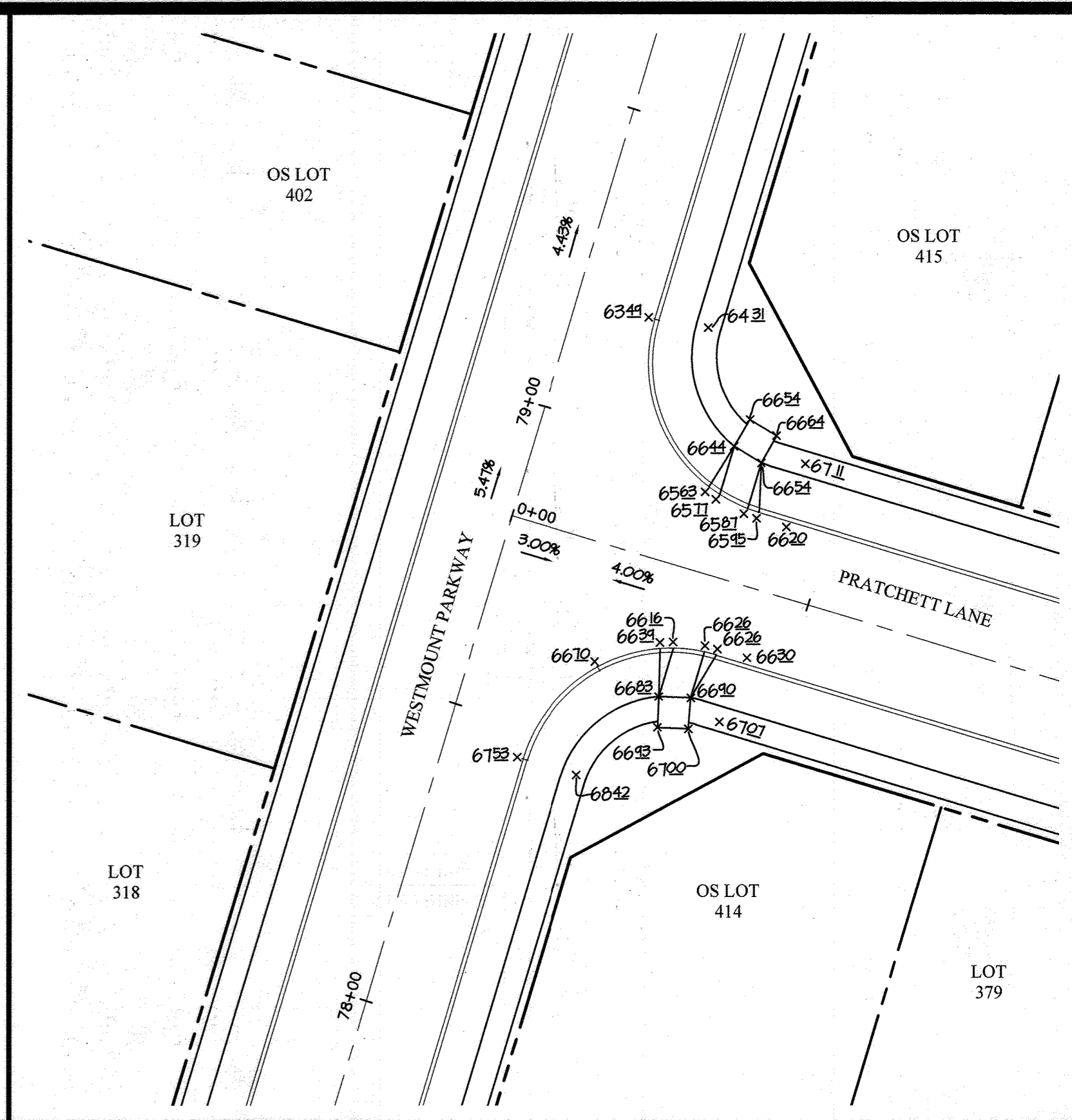
SCALE: 1"=300'



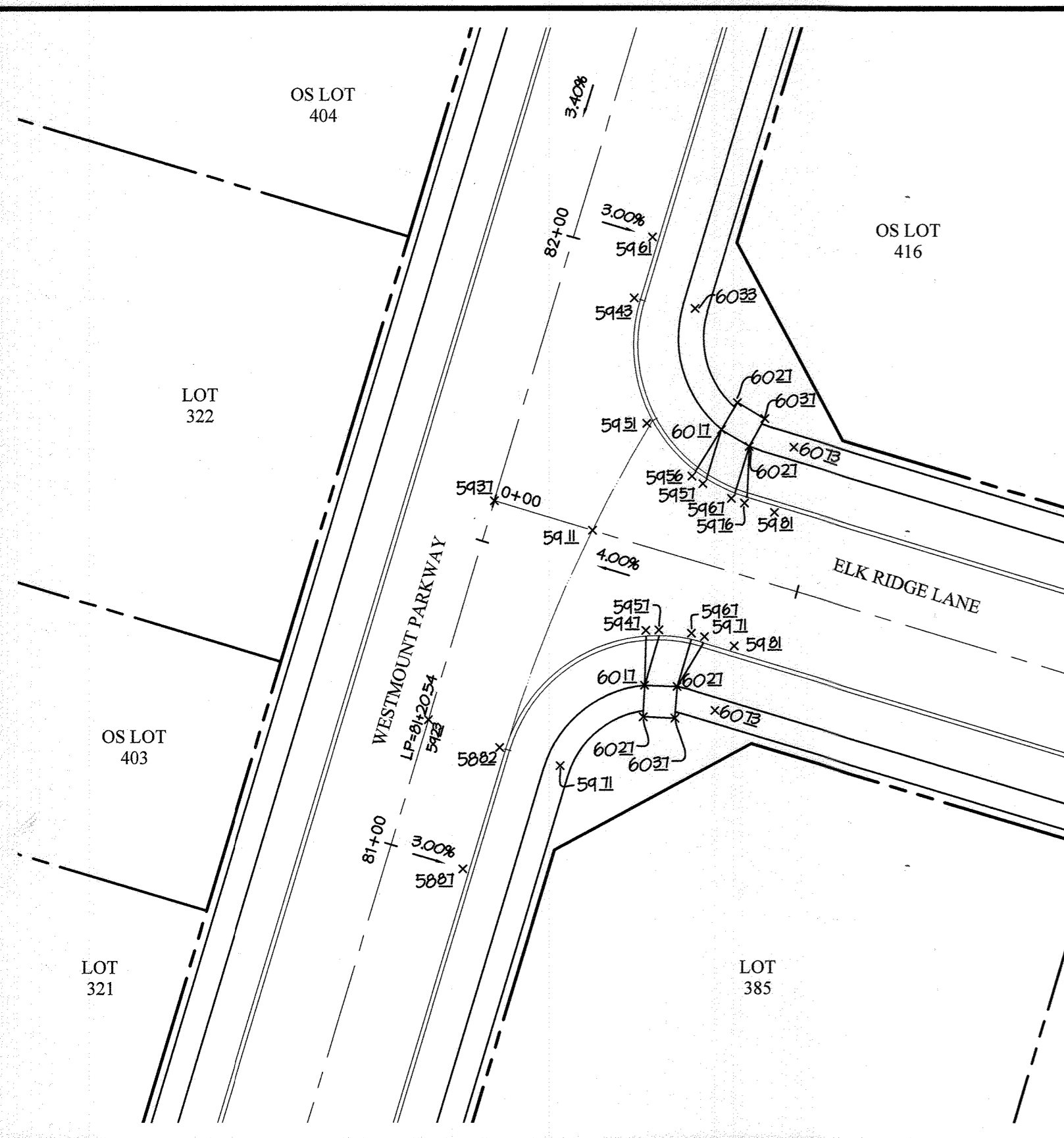
INTERSECTION 'A'



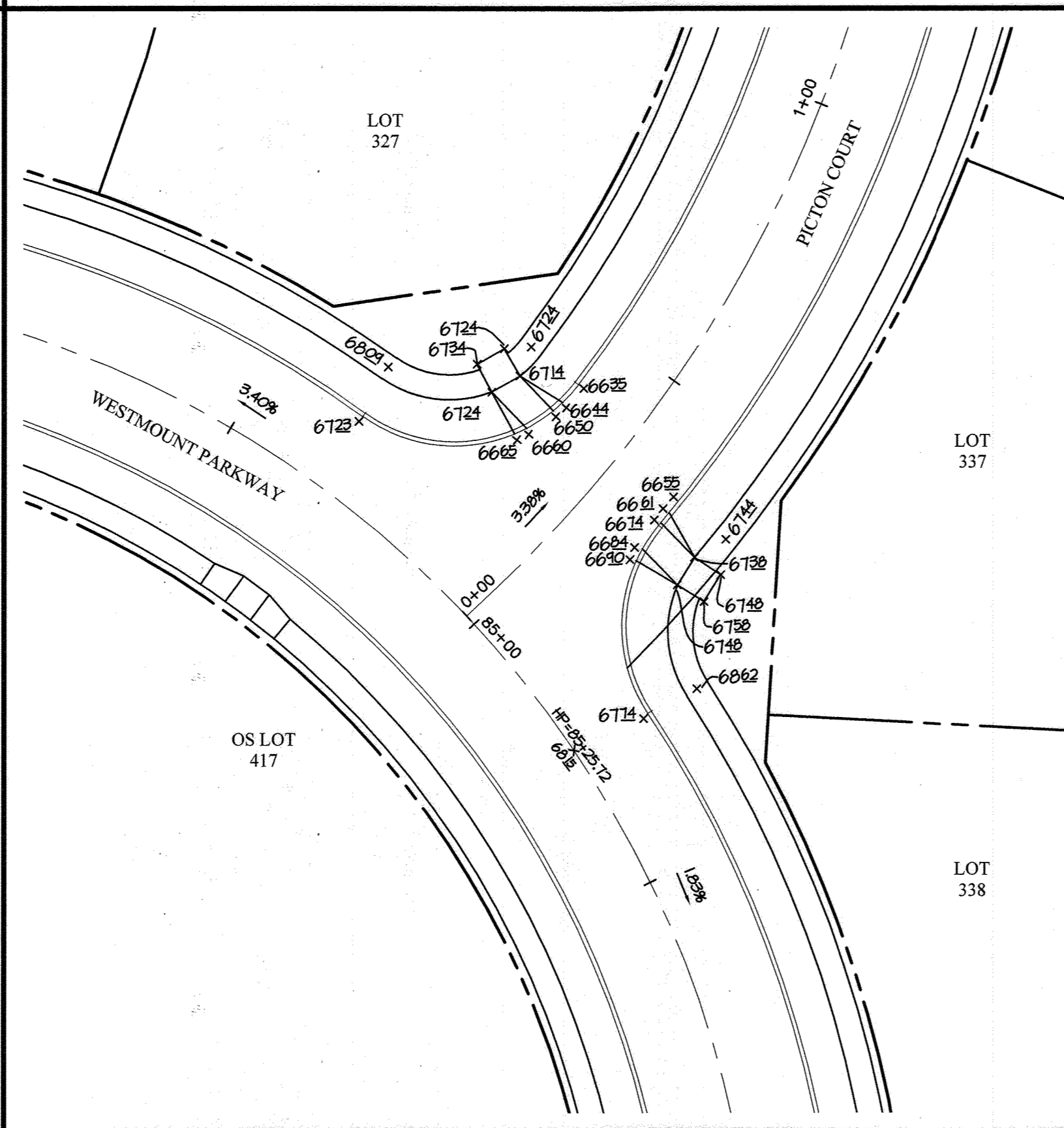
INTERSECTION 'B'



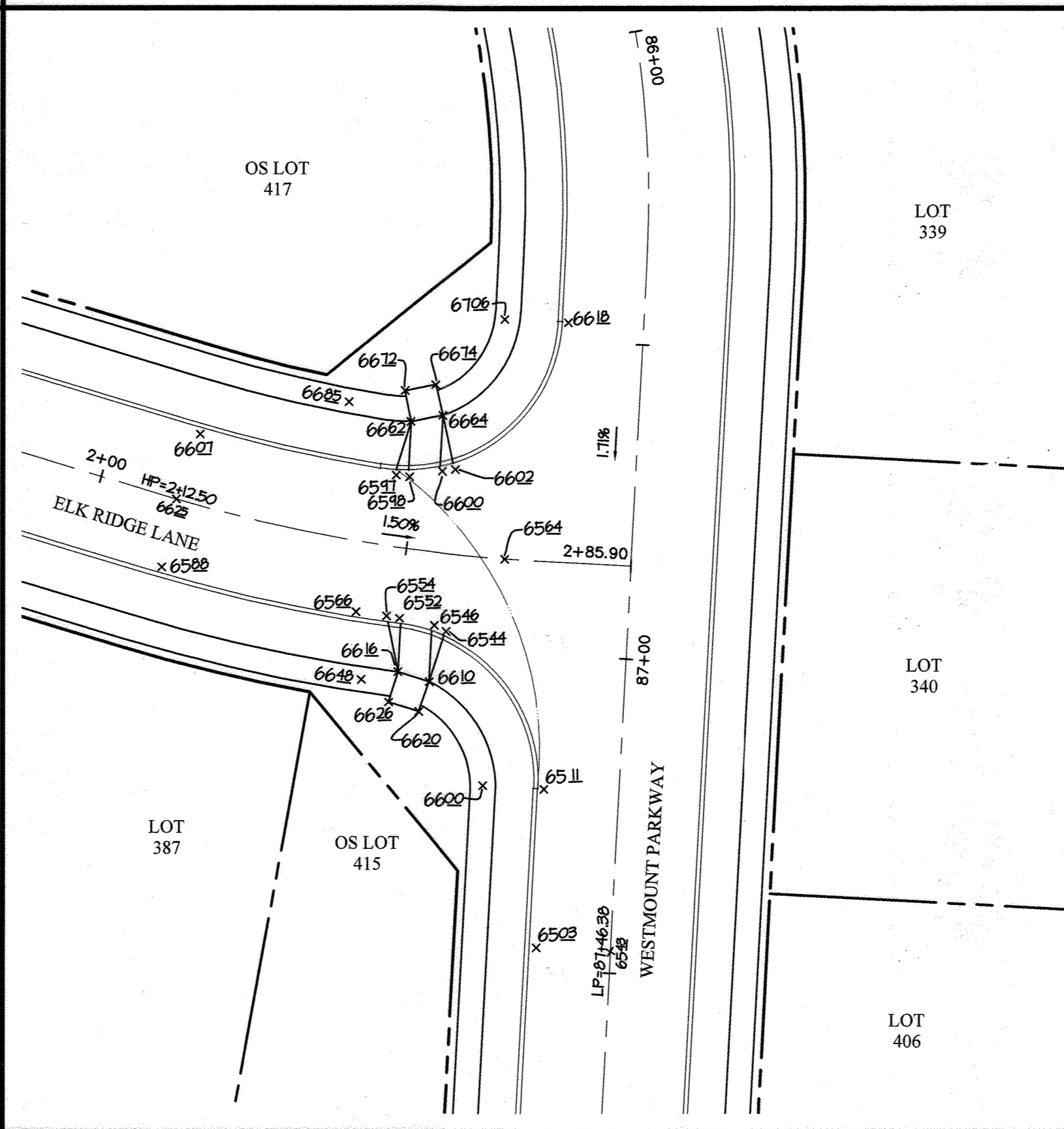
INTERSECTION 'C'



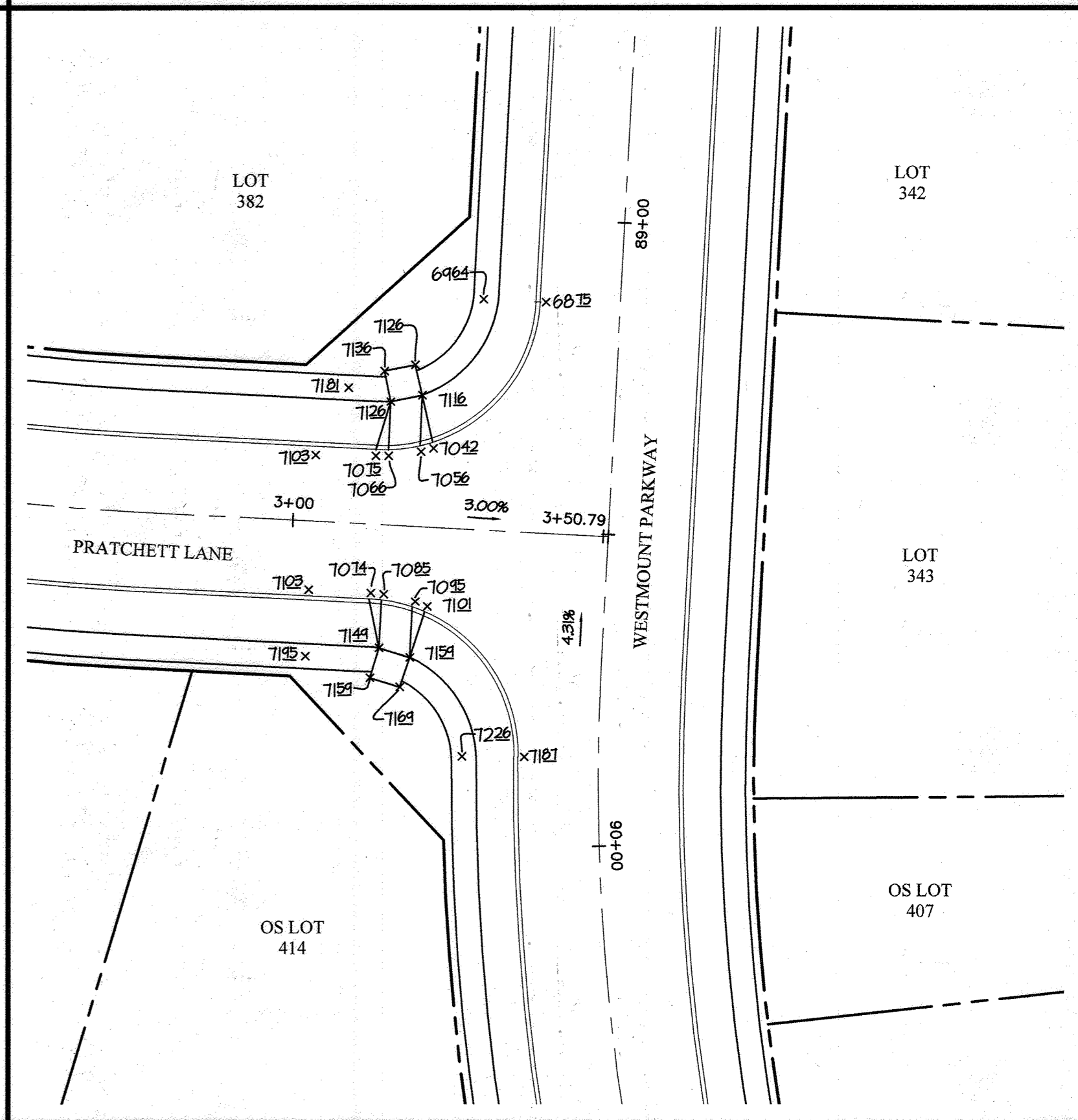
INTERSECTION 'D'



INTERSECTION 'E'



INTERSECTION 'F'



INTERSECTION 'G'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

 Date: 6/16/23

 Date: 6-5-23

NOTES:
 1. SPOTS ALONG CURB ARE FLOW LINE ELEVATIONS
 2. ALL RAMPS ARE TYPE 'B' UNLESS OTHERWISE NOTED.
 SEE SHEET 8 FOR DETAIL.

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	AWL	DATE	REVISION	AWL	DEV
DEV					
AWL					
CKG		03/06/2023	REVISED INTERSECTION GRADING PER ROAD GRADE CHANGES		

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024

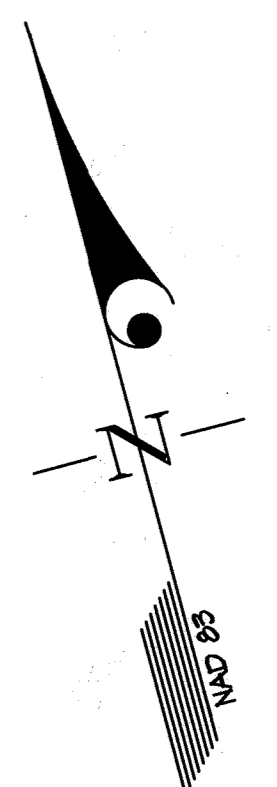
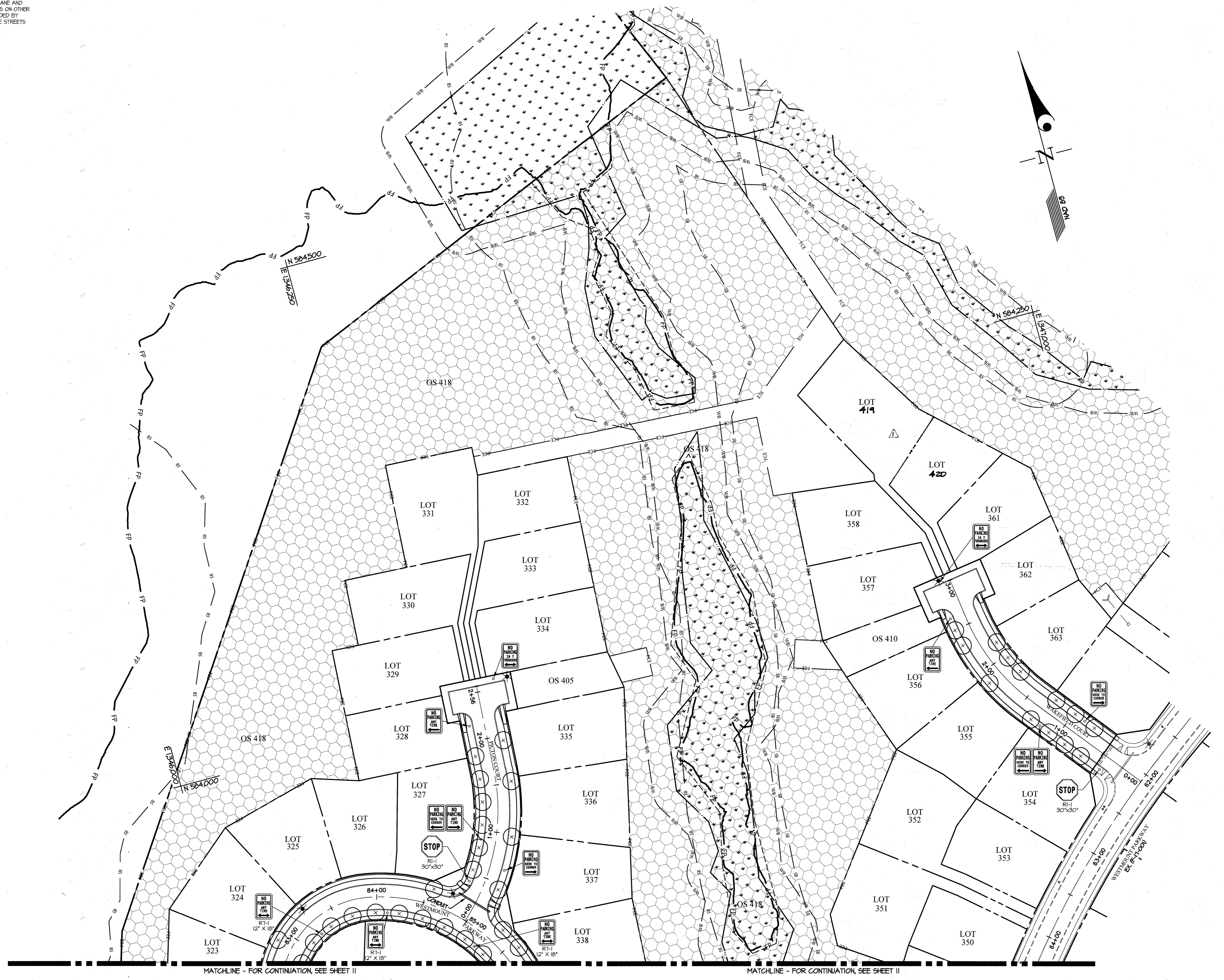
REVISED ADA COMPLIANT SIDEWALK RAMPS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	9 OF 45

LANDSCAPE LEGEND

	BOTTOM OF STREAM
	CENTERLINE OF STREAM
	STREAM BUFFER
	LIMIT OF WETLAND
	WETLAND AREA
	WETLAND BUFFER
	FOREST CONSERVATION EASEMENT
	EXISTING FOREST CONSERVATION EASEMENT
	NON-CREDITED OPEN SPACE
	PROPOSED STREET TREE (SEE LANDSCAPE SHEET 12 FOR PLANT LIST)
	PROPOSED LANDSCAPE BUFFER TREE (SEE LANDSCAPE SHEET 12 FOR PLANT LIST)
	100 WATT LED (COLONIAL POST TOP)
	PROPOSED SIGN
	OPEN SPACE SIGN

NOTES:
 1. STREET LIGHT CONDUIT SHALL BE SCHEDULE 80 PVC WITH FILL STRIPS.
 2. STREET TREE REQUIREMENTS FOR WESTMOUNT PARKWAY, FINDLEY LANE AND PICTON COURT HAVE BEEN MET BY PROVIDING A SURPLUS OF TREES ON OTHER STREETS THROUGHOUT THE SUBDIVISION. THE RESTRICTIONS PROVIDED BY DRIVEWAYS, STREET LIGHTS, AND UTILITIES HAVE PREVENTED THESE STREETS FROM MEETING THE REQUIREMENTS ON THEIR OWN.
 3. SEE SHEET 12 FOR LANDSCAPING NOTES AND BUFFER INFORMATION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 11/29/2021
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 11/24/2021
 Chief, Division of Land Development

11/23/2021
 Development Engineering Division

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	AWL			
DRAWN BY	AWL			
CHECKED BY	DEV	2022-10-26	REVISE PROPERTY LINE	
DATE				
REVISION				

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2022

10/28/21

SIGNING, STREET TREE, LIGHTING AND LANDSCAPE PLAN

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
OCT., 2021	23-6&12	10 OF 45

L:\CADD\DRAWINGS\1013\PLANS BY G\W\ROADS-SD (PHO)\PHASE 4_10-11_SSTL.dwg
 PLOTTED: 10/29/2021 2:17 PM, LAST SAVE: 8/29/2021 11:57 AM, PLOTTED BY: Ivey, English

MATCHLINE - FOR CONTINUATION, SEE SHEET 10

MATCHLINE - FOR CONTINUATION, SEE SHEET 10



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/6/23

Chief, Development Engineering Division
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

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 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4186

DESIGNED BY:	AWL			
DRAWN BY:	AWL			
CHECKED BY:	DEV	03/06/2023	ADDED MAIL PLAZA AND PARALLEL PARKING	DEV
DATE	REVISION			BY
				APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

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 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED SIGNING, STREET TREE, LIGHTING AND LANDSCAPE PLAN
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	11 OF 45

L:\CAD\DRAWINGS\1301\PLANS BY GLW\ROADS-90 (PH4)\PHASE 4\10-11_SST1.dwg

EXTERNAL PERIMETER PLANTING SCHEDULE - SCHEDULE A

Table with 10 columns: PERIMETER, LAND USE, ADJACENT LAND USE, TYPE OF BUFFER, LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER, NUMBER OF PLANTS REQUIRED (SHADE TREES, ORNAMENTALS TREES, EVERGREEN TREES, MITIGATION TREES), CREDIT FOR EXISTING VEGETATION, CREDIT FOR WALL, FENCE OR BERM, NUMBER OF PLANTS PROVIDED (SHADE TREES, ORNAMENTALS TREES, EVERGREEN TREES, MITIGATION TREES).

① CREDIT FOR FOREST RETENTION ALONG THIS PERIMETER.

PLANT LIST FOR SCHEDULE A

Table with 5 columns: SYMBOL, QTY., NAMES (BOTANICAL / SCIENTIFIC), SIZE, ROOT/COMMENTS. Lists plants like QUERCUS PALUSTRIS and QUERCUS RUBRA.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 231 SHADE TREES @ \$300.00 PER TREE. SURETY CALCULATIONS: (FOR SHADE TREES) PERIMETER PLANTING: 25 SHADE TREES X \$300 = \$ 7,500.00 SURETY REQUIRED: (To be posted w/ the developer agreement) 25 SHADE TREES X \$300 = \$ 7,500.00

STREET TREE REQUIREMENTS

Table with 6 columns: ROAD, LENGTH OF CURB (L.F.), # OF TREES REQUIRED, # OF TREES PROVIDED, NAME (BOTANICAL/COMMON), SIZE, REMARKS. Lists streets like WESTMOUNT PARKWAY and FINDELY LANE.

MINIMUM TREE QUANTITIES AND PREFERRED SPACING ARE AS FOLLOWS: 1 TREE PER 40 LINEAR FEET, BOTH SIDES, FOR ALL STREETS.

STREET LIGHT SCHEDULE

Table with 6 columns: ROAD, CENTERLINE STATION/ COORDINATE, OFFSET, LAMP TYPE, FIXTURE, POLE TYPE. Lists streets like WESTMOUNT PARKWAY and FINDELY LANE.

LANDSCAPING NOTES

- 1. STREET TREES ARE BEING PROVIDED AS PART OF THIS FINAL PLAN.
2. INTERNAL PLANTING WILL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS.
3. THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL...

PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE. Table with 5 columns: LANDSCAPE EDGE TYPE, LANDSCAPE CHARACTER, SHADE TREES/ LINEAR FEET, EVERGREEN TREES/ LINEAR FEET, SHRUBS/ LINEAR FEET.

2 SMALL DECIDUOUS TREES MAY BE SUBSTITUTED FOR 1 SHADE TREE
2 EVERGREEN TREES MAY BE SUBSTITUTED FOR 1 SHADE TREE
10 SHRUBS MAY BE SUBSTITUTED FOR 1 SHADE TREE OR EVERGREEN TREE

- 4. UNLESS NOTED, ALL STEEP SLOPES AREAS WITHIN THE LIMITS OF SUBMISSION ARE LESS THAN 5000 SF.
5. STREET TREES SHALL BE PLACED A MINIMUM OF 15' FROM ALL SIGNS AND INTERSECTIONS...

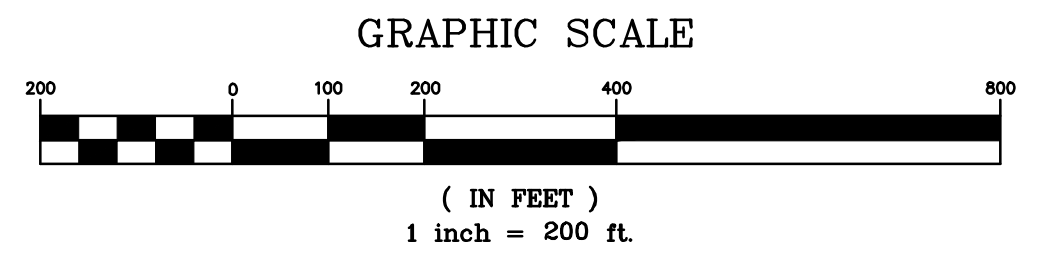
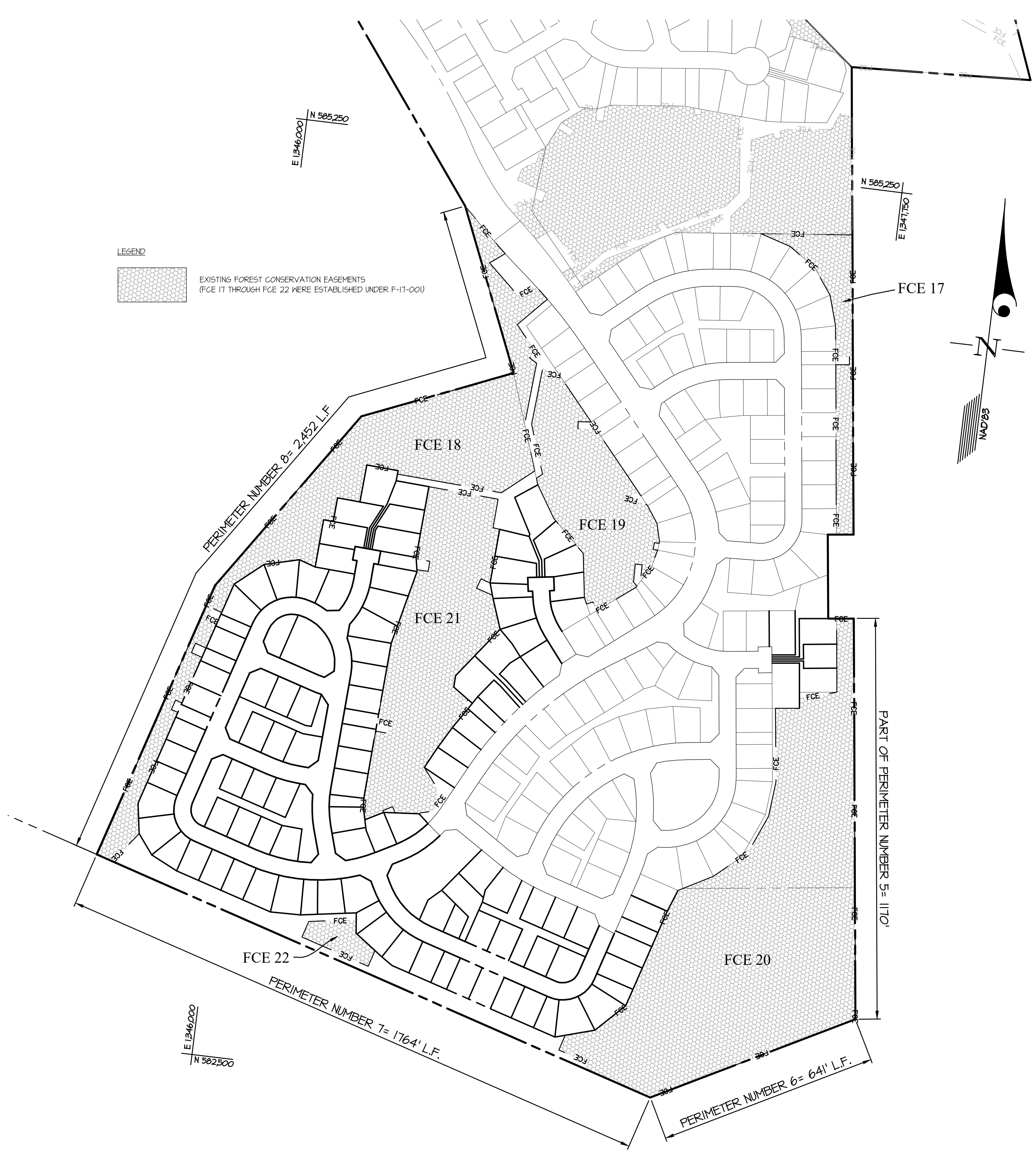
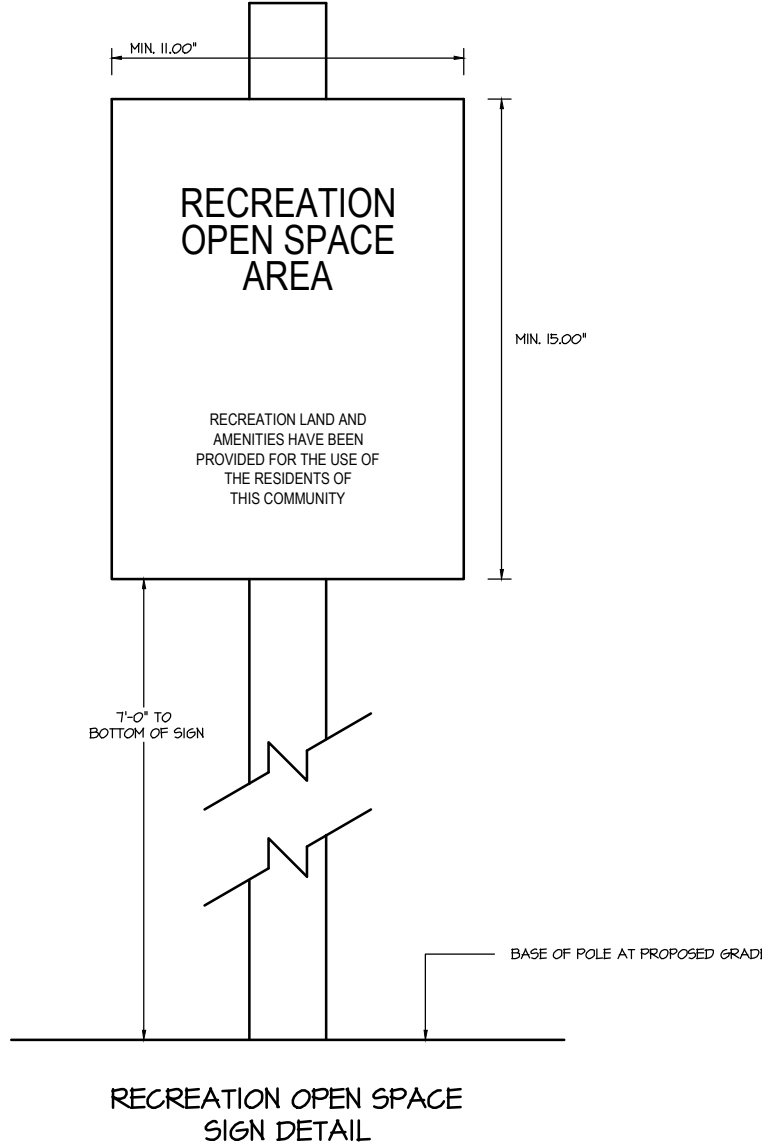
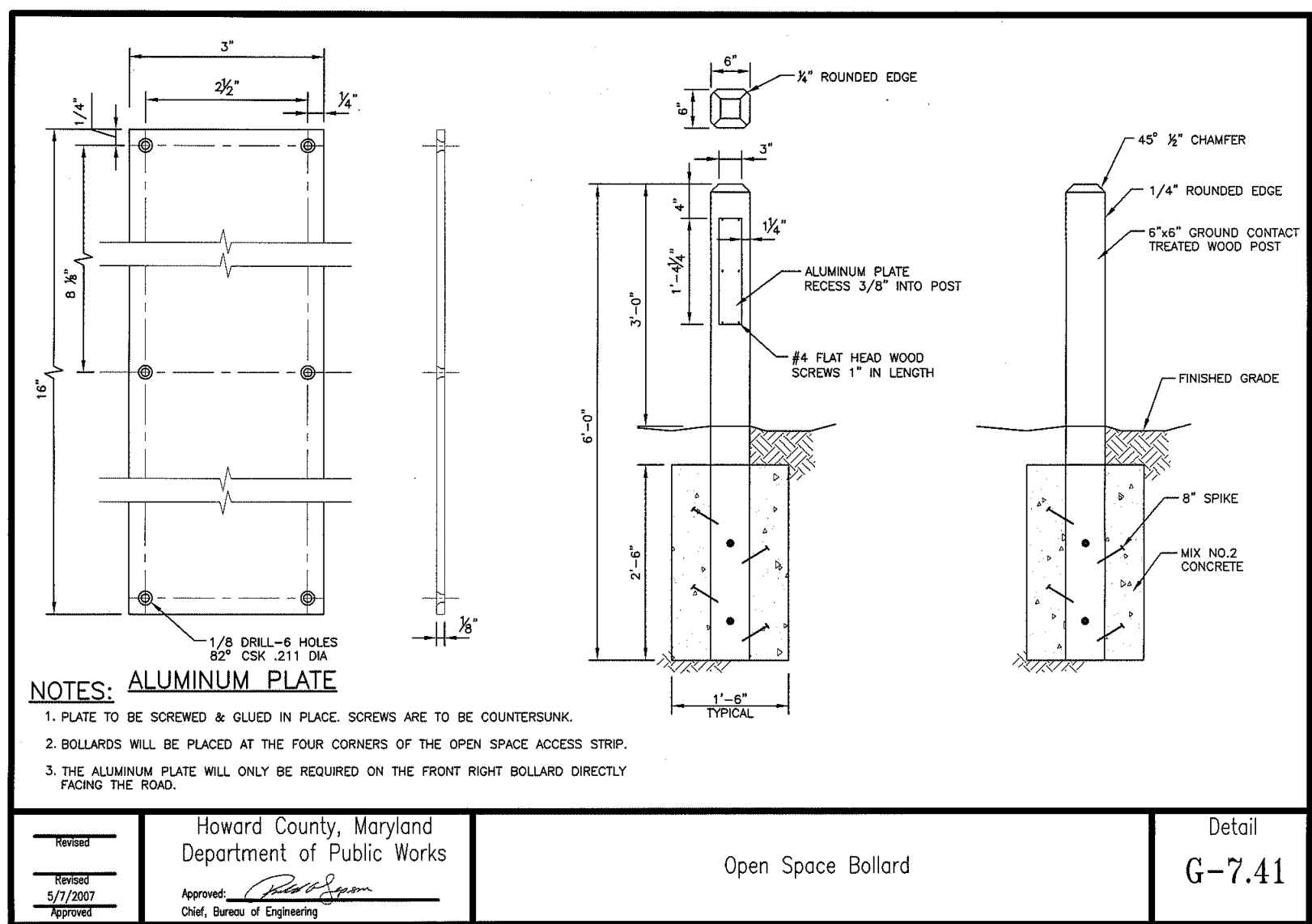
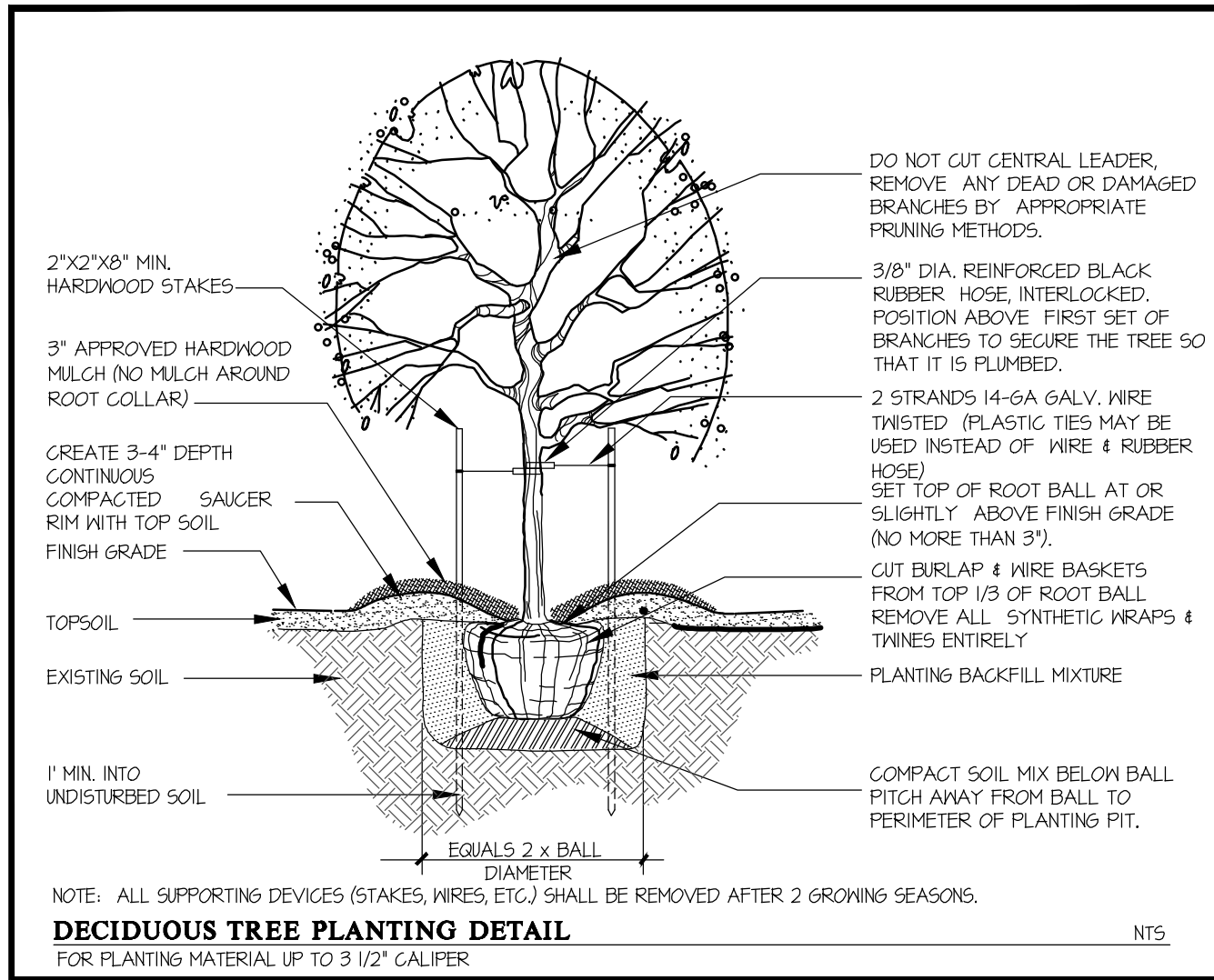
NOTES

AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL...

RESIDENTIAL LOT LANDSCAPE PERIMETER REQUIREMENTS SCHEDULE

Table with 3 columns: LOT NUMBER, LENGTH OF SIDE PERIMETER, REQUIRED LANDSCAPING. Lists lot numbers 308 through 385.

THE REQUIRED LOT LANDSCAPING PER THE HOWARD COUNTY LANDSCAPE DESIGN MANUAL SHALL BE PROVIDED AT SDP STAGE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Chief, Bureau of Highways. Date: 11/29/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Director of Land Development. Date: 11/23/2021

GLW logo and contact information: 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20896 | GLWPA.COM

DESIGNED BY, DRAWN BY, CHECKED BY table with columns for NAME, DATE, REVISION, BY, APPR.

PREPARED FOR: WESTMOUNT DEVELOPMENT CORPORATION, 307 INTERNATIONAL CIRCLE, SUITE 130 HUNT VALLEY, MARYLAND 21030

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNING, STREET TREE, LIGHTING & LANDSCAPE NOTES AND DETAILS. WESTMOUNT - PHASE 4 LOTS 295-394 AND OPEN SPACE LOTS 395-418. A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F. HOWARD COUNTY, MARYLAND.

SCALE, ZONING, SHEET information: SCALE 1\"/>

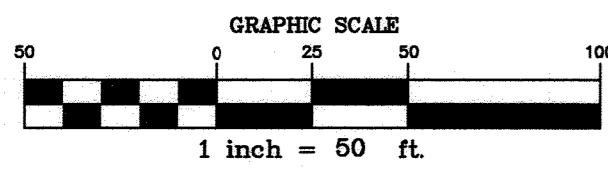
Vertical text on the left edge: L:\CADD\DRAWINGS\13013\PLANS BY GLW\W0405-SD (PH4)\PHASE 4_12_SITL.dwg, PLOTTED: 10/26/2021, 2:24 PM, LAST SAVER: 10/29/2021 2:24 PM, PLOTTED BY: Tony Karpf

THE PURPOSE OF THIS PLAN IS TO CLEARLY SHOW THE GRADING THAT WILL BE USED ON OTHER SHEETS IN THE PLAN SET FOR THE DESIGN OF THE STORM DRAINS, STORMWATER MANAGEMENT AND SEDIMENT CONTROL.

LEGEND	
	RAIN BARREL (M-1)
	DRY WELL (M-5)
	MICRO BIO-RETENTION FACILITY (M-6)
	PROPOSED REINFORCED CONC. SIDEWALK FOR ACCESS TO MICRO-BIO FACILITY. SEE HO. CO. DETAIL R.6.01
	AREA OF EXISTING GROUND WITH 95% COMPACTION PER AASHTO T-180 STANDARDS (DONE UNDER F-T-001)

FLOODPLAIN ELEVATIONS	
STATION	ELEVATION
STREAM 'A'	
24+23	414.52
26+23	417.43
27+73	419.12
STREAM 'B'	
0+50	419.42
2+00	422.35
4+00	426.93
6+00	430.98
6+44	432.21
STREAM 'J'	
1+50	414.41
3+68	420.93
5+72	429.38
7+81	434.44
10+00	441.74

- NOTES:
- SEE SHEET 1 FOR LEGEND.
 - SEE SHEETS 10 THRU 11 FOR LOCATION OF "NO PARKING" SIGNAGE.
 - SEE SHEETS 15 AND 16 FOR PROPOSED STORM DRAIN SYSTEM INFORMATION.
 - SEE SHEETS 25 AND 26 FOR THE SEDIMENT CONTROL PLANS.
 - SEE SHEETS 24 AND 30 FOR THE TEMPORARY STORMWATER MANAGEMENT DRAINAGE AREA MAPS.
 - SEE SHEETS 31 AND 32 FOR THE EARTH DIKE TREATMENT PLAN.
 - SEE SHEETS 36 AND 37 FOR THE STORMWATER MANAGEMENT DRAINAGE AREA MAPS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK 05/18/2023 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development G.L.G. Date
 Chief, Development Engineering Division JP 6.5.23 Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

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 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
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DESIGNED BY:	AWL	AWL	DEV
DEB			
DRAWN BY:			
CHECKED BY:	03/06/2023	REVISED SITE GRADING	AWL DEV
DATE	10/26/22	REV. GRADING TO REFLECT MBR 428 AND REVISED PROPERTY LINE PER F-22-	WSJ DEV
		REVISION	BY APPR

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

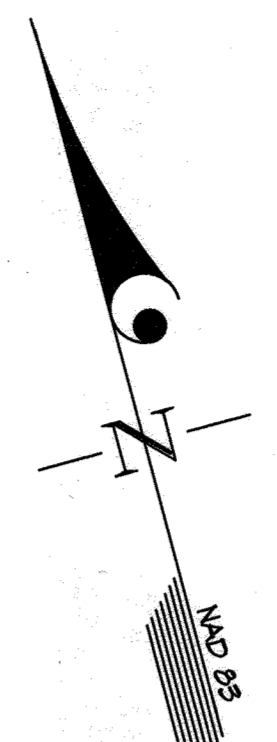
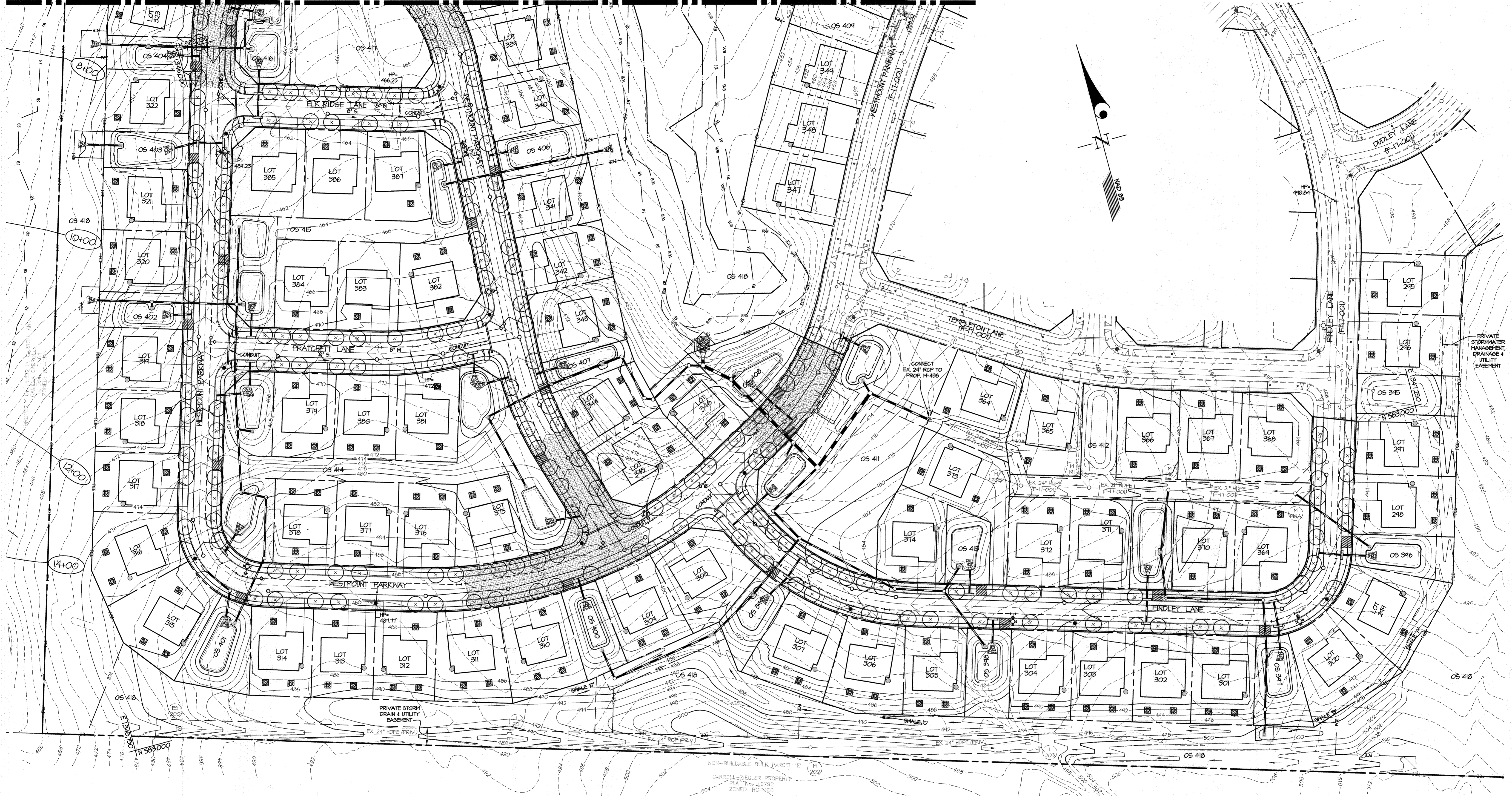
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 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISION GRADING PLAN
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	13 OF 45

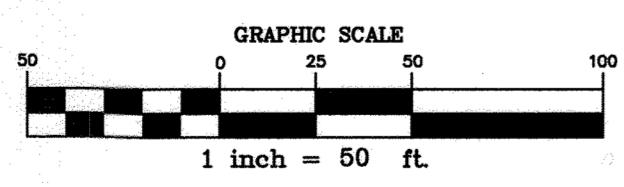
MATCHLINE - FOR CONTINUATION, SEE SHEET 13

MATCHLINE - FOR CONTINUATION, SEE SHEET 13



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/10/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/5/23



TYPICAL SWALE CROSS-SECTION

SWALE	DRAINAGE AREA (ac)	Q ₁₀ (cfs)	V ₁₀ (fpm)	FLOW DEPTH (ft)	SHEAR STRESS (lb/ft ²)
A	0.08	0.46	1.14	0.09	0.30
B	0.25	1.58	0.95	0.26	0.14
C	0.41	5.58	2.08	0.38	0.61
D	0.62	3.75	1.14	0.33	0.45

FLOODPLAIN ELEVATIONS	STATION	ELEVATION
STREAM 'B'		
8+00		435.55
10+00		434.10
12+00		441.14
14+00		441.26

THE PURPOSE OF THIS PLAN IS TO CLEARLY SHOW THE GRADING THAT WILL BE USED ON OTHER SHEETS IN THE PLAN SET FOR THE DESIGN OF THE STORM DRAINS, STORMWATER MANAGEMENT AND SEDIMENT CONTROL.

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

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DESIGNED BY:	LOT	REVISION	DATE
DEV			
AWL			
DEV			

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
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REVISED GRADING PLAN
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

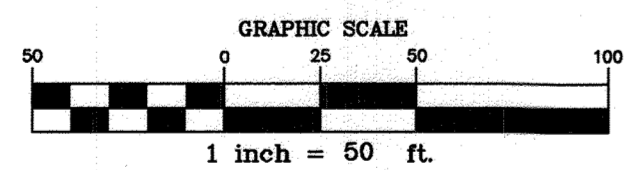
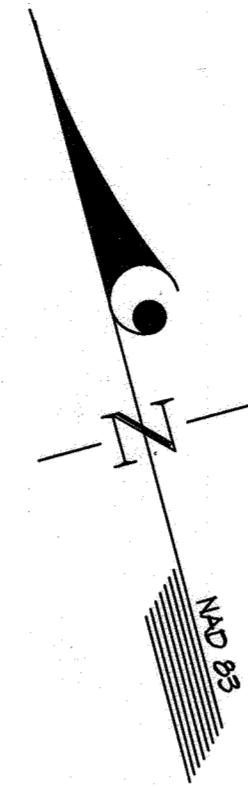
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	14 OF 45

FROM NO.	TO NO.	DIA. & TYPE OF PIPE	L (FT)
I-514	I-510	15" HDPE	60
I-510	ES-517	15" RCP III	23
RS-516	ES-515	15" RCP III	53
I-521	ES-520	15" HDPE	24
I-484	ES-483	15" RCP III	30
RS-514	RS-513	15" HDPE	81
I-520	ES-507	15" RCP III	28
RS-513	MH-512A	18" HDPE	19
MH-512A	RS-512	18" HDPE	58
I-510	ES-509	15" RCP III	28
RS-512	MH-511C	18" HDPE	20
MH-511C	MH-511B	18" HDPE	50
MH-511B	MH-511A	18" HDPE	6
MH-511A	MH-511	18" HDPE	52
MH-511	MH-433A	18" HDPE	12
I-506	ES-505	15" RCP III	24
RS-504	RS-503	15" HDPE	124
I-501	ES-500	15" RCP III	25
RS-503	ES-502	18" RCP III	53
I-444	I-440	15" HDPE	60
I-440	ES-441	15" RCP III	14
RS-446	MH-445A	15" RCP III	23
MH-445A	ES-445	15" RCP III	21
I-440B	ES-447A	15" RCP III	10
I-441	ES-446	15" RCP III	28
RS-444	MH-443	15" HDPE	21
MH-443	MH-442	15" HDPE	28
I-485	I-484	15" HDPE	24
I-484	ES-483	15" RCP III	24
RS-442A	MH-442	15" HDPE	4
MH-442	RS-441	15" HDPE	106
I-484	ES-480	15" RCP III	28
RS-441	ES-440	15" RCP III	55
I-482	I-481	15" HDPE	26
I-481	ES-480	15" RCP III	24
RS-474	ES-470	15" RCP III	34
I-454	MH-450	15" HDPE	32
MH-450	ES-451	15" RCP III	30
RS-477	MH-476	15" RCP IV	77
MH-476	MH-475	15" RCP IV	64
MH-475	RS-474	15" HDPE	26
I-456	ES-455	15" RCP III	27
RS-474	MH-473	15" HDPE	67
I-463	ES-462	15" RCP III	24
I-461	ES-460	15" RCP III	30
RS-472	MH-473	15" HDPE	14
MH-473	MH-471A	18" HDPE	57
MH-471A	MH-470	18" HDPE	76
I-465	ES-464	15" RCP III	24
RS-470A	MH-470	15" HDPE	3
RS-471	MH-470	15" HDPE	84
MH-470	MH-469	18" HDPE	92
I-467	ES-466	15" RCP III	24
RS-469A	MH-469	15" HDPE	4
MH-469	ES-468	18" RCP III	63
I-452	ES-451	15" RCP III	27
RS-450	MH-444	15" RCP IV	32
MH-444	I-448	15" RCP IV	115
I-448	RS-447	15" HDPE	61
I-432	I-431	15" HDPE	24
I-431	ES-430	15" RCP III	24
RS-447	MH-440	24" HDPE	80
I-424	ES-428	15" RCP III	24
RS-446	MH-444	15" HDPE	14
I-427	ES-426	15" RCP III	24
RS-445	MH-444	15" HDPE	24
MH-444	MH-441	15" HDPE	52
MH-441	MH-440	15" HDPE	110
MH-440	MH-434	24" HDPE	34
MH-434	MH-434A	24" HDPE	65
I-425	I-424	15" HDPE	24
I-424	ES-423	15" RCP III	24
RS-435	MH-433C	15" HDPE	12
I-423	I-422	15" HDPE	24
I-422	ES-421	15" RCP III	24
RS-404	EX. MH-146A	15" HDPE	100
I-412	MH-411A	15" HDPE	25
MH-411A	RS-411	15" HDPE	60
I-415	I-414	15" HDPE	25
I-414	ES-413	15" RCP III	24
RS-411	MH-410	15" HDPE	57
MH-410	MH-404	15" HDPE	106
MH-404	RS-400	15" HDPE	44
I-407	I-406	15" HDPE	24
I-406	ES-405	15" RCP III	24
RS-408	EX. MH-146	18" HDPE	67
MH-436	MH-436	24" HDPE	68
I-422	ES-421	15" RCP III	23
RS-457	MH-436	15" HDPE	13
MH-436	MH-434A	36" HDPE	97
MH-434A	MH-433C	36" HDPE	34
MH-433C	MH-433B	36" HDPE	96
I-420	I-419	15" HDPE	26
I-414	ES-410	15" RCP III	28
RS-434	MH-433B	15" HDPE	5
MH-433B	MH-433A	36" HDPE	32
MH-433A	ES-433	36" RCP III	13
RS-523	HV-522	12 HDPE	12

FOR RIP RAP INFORMATION, SEE STORM DRAIN PROFILES, SHEET 23

FOR MICRO-BIORETENTION UNDERDRAIN PIPE LENGTHS, SEE SHEET 30



NOTE: STRUCTURES 416, 417, 442 & 443 HAVE BEEN INTENTIONALLY OMITTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 05/18/2023
 Chief, Bureau of Highways MK

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 6/1/23
 Chief, Division of Land Development

[Signature] 6-5-23
 Chief, Development Engineering Division JR

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING

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DESIGNED BY:	AWL	DATE:	03/06/2023	REVISION:	AWL	DEV
CHECKED BY: <td>DEV</td> <td>DATE: <td>10/26/2023</td> <td>REVISION:</td> <td>WSJ</td> <td>DEV</td> </td>	DEV	DATE: <td>10/26/2023</td> <td>REVISION:</td> <td>WSJ</td> <td>DEV</td>	10/26/2023	REVISION:	WSJ	DEV
BY: <td>AWL</td> <td>DATE: <td></td> <td>REVISION: <td>WSJ</td> <td>DEV</td> </td></td>	AWL	DATE: <td></td> <td>REVISION: <td>WSJ</td> <td>DEV</td> </td>		REVISION: <td>WSJ</td> <td>DEV</td>	WSJ	DEV

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
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 410-489-4489
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 EXPIRATION DATE: MAY 28, 2024

[Signature] 3/8/23

REVISED STORM DRAIN INFORMATION PLAN

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	15 OF 45

MATCHLINE - FOR CONTINUATION, SEE SHEET 15

MATCHLINE - FOR CONTINUATION, SEE SHEET 15

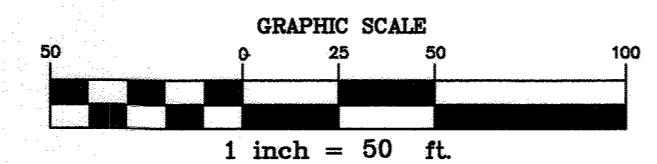


NON-BUILDABLE BULK PARCEL "E"
 CARROLL-ZIEGLER PROPERTY
 PLAT No. 18782
 ZONED: RC-DEC

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James 05/10/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad 06/23/23
 Chief, Division of Land Development Date

JP 6.5.23
 Chief, Development Engineering Division Date



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

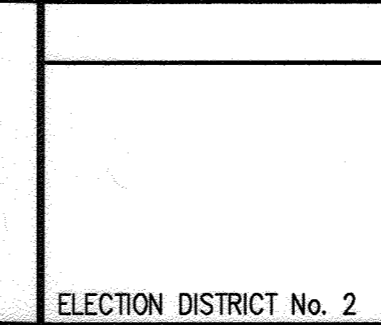
GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	AWL		
DRAWN BY:	AWL		
CHECKED BY:	DEV	03/06/2023	REVISD GRADING AND ADDED MAIL PAVILION
DATE	REVISION	AWL	DEV
		BY	APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 3/1/23



REVISED STORM DRAIN INFORMATION PLAN
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

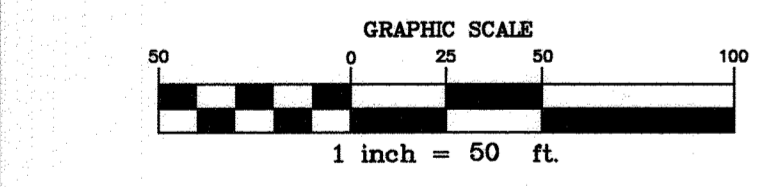
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	16 OF 45

STRUCTURE	AREA (AC)	C	IMPERVIOUS
I-402	0.21	0.15	70%
I-403	0.44	0.15	70%
I-406	0.20	0.15	70%
I-407	0.26	0.15	70%
I-412	0.24	0.35	15%
I-414	0.30	0.15	70%
I-415	0.04	0.15	70%
I-416	0.23	0.15	70%
I-420	0.36	0.15	70%
I-422	0.06	0.15	70%
I-424	0.05	0.15	70%
I-425	0.08	0.15	70%
I-421	0.22	0.15	70%
I-421	0.34	0.15	70%
I-431	0.41	0.15	70%
I-432	0.14	0.15	70%
I-440	1.11	0.35	15%
I-452	0.33	0.15	70%
I-454	0.31	0.15	70%
I-456	0.24	0.15	70%
I-454	0.31	0.15	70%
I-461	0.10	0.15	70%
I-463	0.24	0.15	70%
I-465	0.25	0.15	70%
I-461	0.55	0.15	70%
I-481	0.36	0.15	70%
I-482	0.40	0.15	70%
I-484	0.21	0.15	70%
I-485	0.26	0.15	70%
I-487	0.14	0.15	70%
I-487B	0.20	0.15	70%
I-494	0.34	0.15	70%
I-498	0.45	0.15	70%
I-499	0.35	0.15	70%
I-501	0.15	0.15	70%
I-506	0.53	0.15	70%
I-509	0.14	0.15	70%
I-510	0.21	0.15	70%
I-516	0.44	0.15	70%
I-514	0.40	0.15	70%
I-521	0.12	0.15	70%
RS-404	0.12	0.34	16%
RS-408	0.21	0.34	16%
RS-411	0.11	0.34	16%
RS-434	0.14	0.34	16%
RS-435	0.43	0.34	16%
RS-437	0.40	0.34	16%
RS-445	0.13	0.34	16%
RS-446	0.13	0.34	16%
RS-447	0.21	0.34	16%
RS-450	0.11	0.34	16%
RS-461A	0.04	0.34	16%
RS-470A	0.14	0.34	16%
RS-471	0.44	0.34	16%
RS-472	0.40	0.34	16%
RS-474	0.21	0.34	16%
RS-477	0.44	0.34	16%
RS-478	0.28	0.34	16%
RS-481	0.08	0.34	16%
RS-482A	0.20	0.34	16%
RS-484	0.23	0.34	16%
RS-486	0.04	0.34	16%
RS-503	0.10	0.34	16%
RS-504	0.25	0.34	16%
RS-512	0.07	0.34	16%
RS-513	0.32	0.34	16%
RS-514	0.26	0.34	16%
RS-516	0.08	0.34	16%
RS-522	0.13	0.61	54%

NOTE: SEE SHEET 15 FOR PROPOSED STORM DRAIN SYSTEM INFORMATION.

NOTE: STRUCTURES 416, 417, 442 & 443 HAVE BEEN INTENTIONALLY OMITTED



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 05/18/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 6/6/23
 Chief, Division of Land Development Date

[Signature] 6.5.23
 Chief, Development Engineering Division Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC/VA: 301-889-2524 | FAX: 301-421-4186

DESIGNED BY:	AWL	DATE	REVISION
DRAWN BY:	AWL		
CHECKED BY:	DEV	03/06/2023	REVISED GRADING
DATE	BY	APP'R	REVISION

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2027
 3/8/23

REVISED STORM DRAIN DRAINAGE AREA MAP
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	17 OF 45



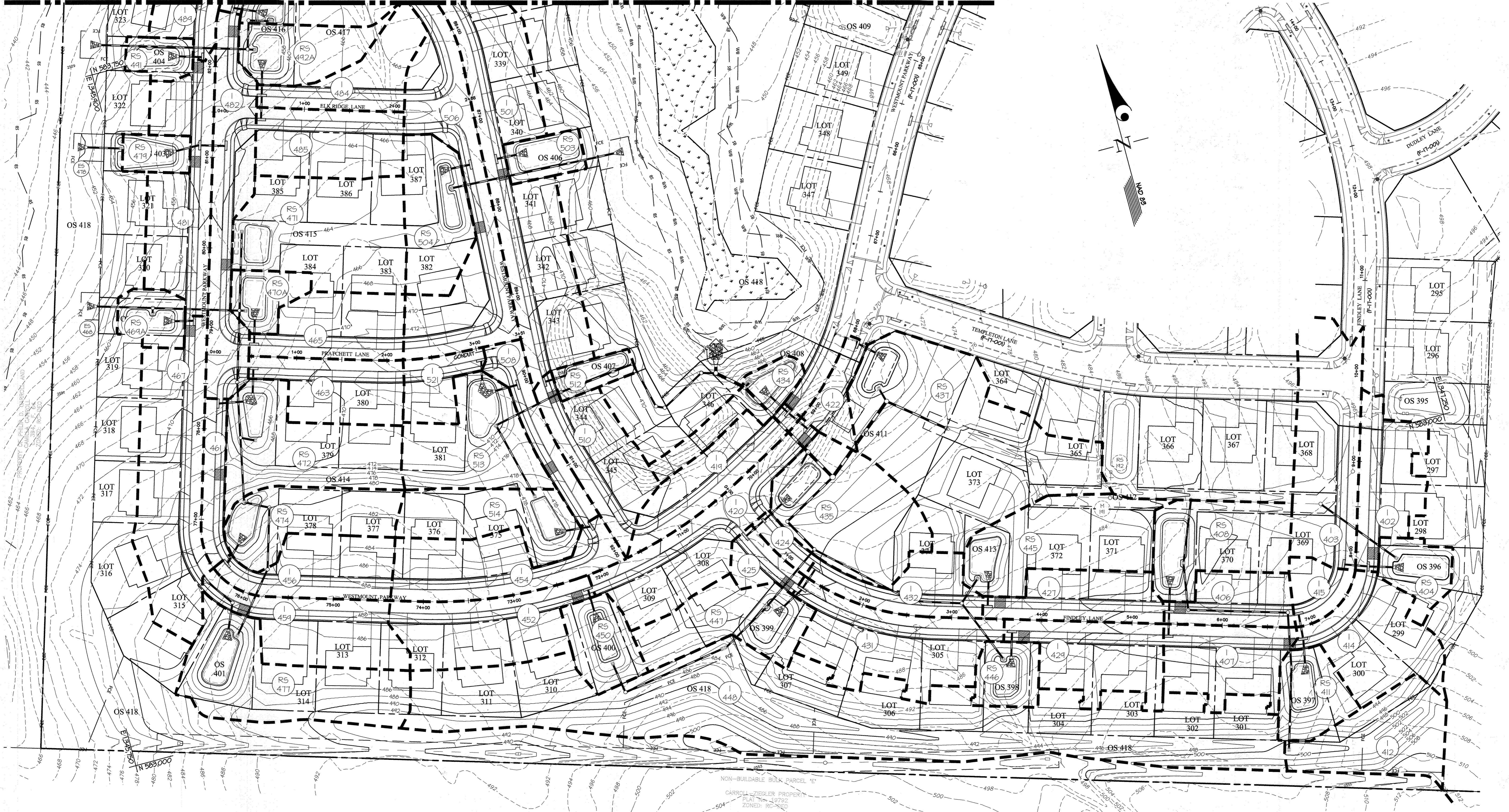
MATCHLINE - FOR CONTINUATION, SEE SHEET 10

MATCHLINE - FOR CONTINUATION, SEE SHEET 10

L:\CADD\DRAWINGS\100\10\PLANS BY CLIENT\HOWARD COUNTY\PHASE 4\17-18-20\DWG.dwg PLOTTED: 3/2/2023 8:55 AM, LAST SAVED: 3/7/2023 6:38 AM, PLOTTED BY: DONG, VERSION: 0/1

MATCHLINE - FOR CONTINUATION, SEE SHEET 17

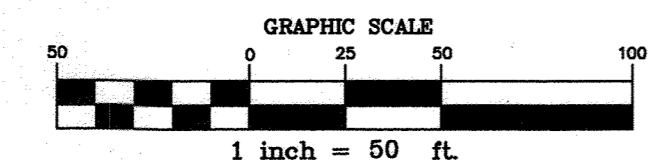
MATCHLINE - FOR CONTINUATION, SEE SHEET 17



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 05/10/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 6/6/23
 Chief, Division of Land Development Date

[Signature] 6.5.23
 Chief, Development Engineering Division Date



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

NOTE:
 SEE SHEET 17 FOR 'C' FACTOR COMPUTATIONS
 SEE SHEET 15 FOR PROPOSED STORM DRAIN SYSTEM INFORMATION

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	AWL		
DRAWN BY:	AWL		
CHECKED BY:	DEB	03/06/2023	REVISED GRADING AND ADDED MAIL PAVILION
DATE	REVISION	AWL	DEV
		BY	APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.
 3/1/23 *[Signature]*

REVISED STORM DRAIN DRAINAGE AREA MAP

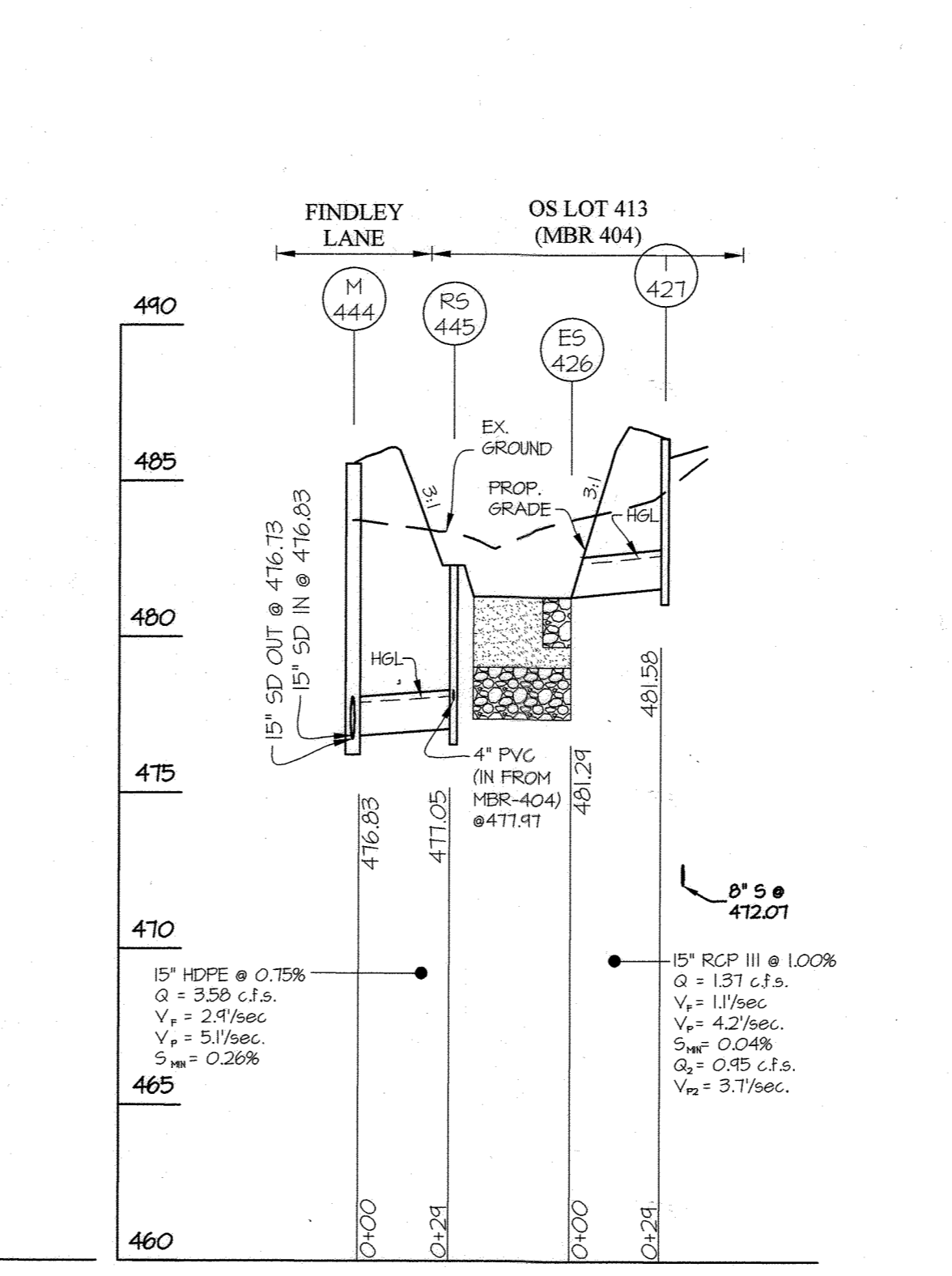
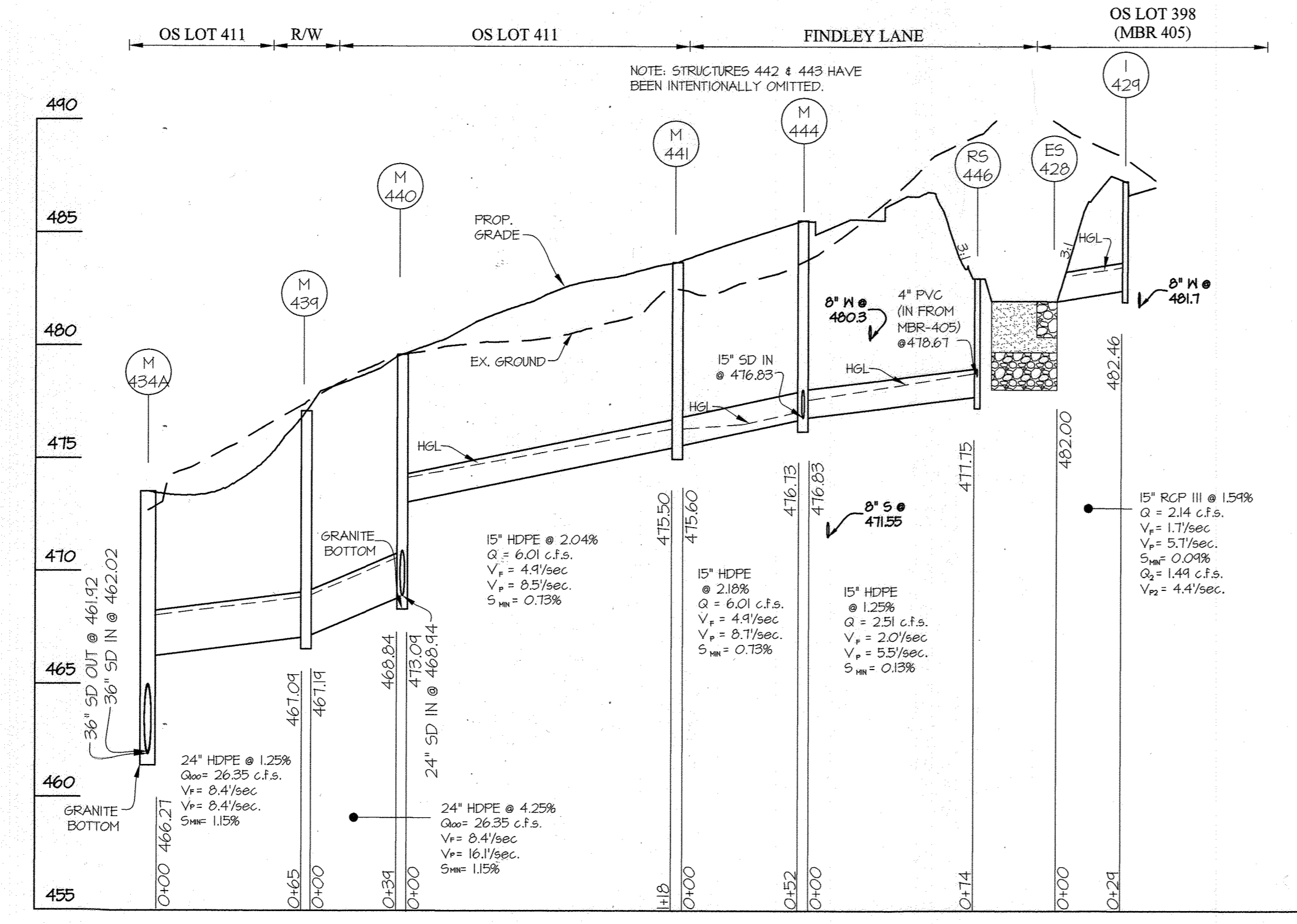
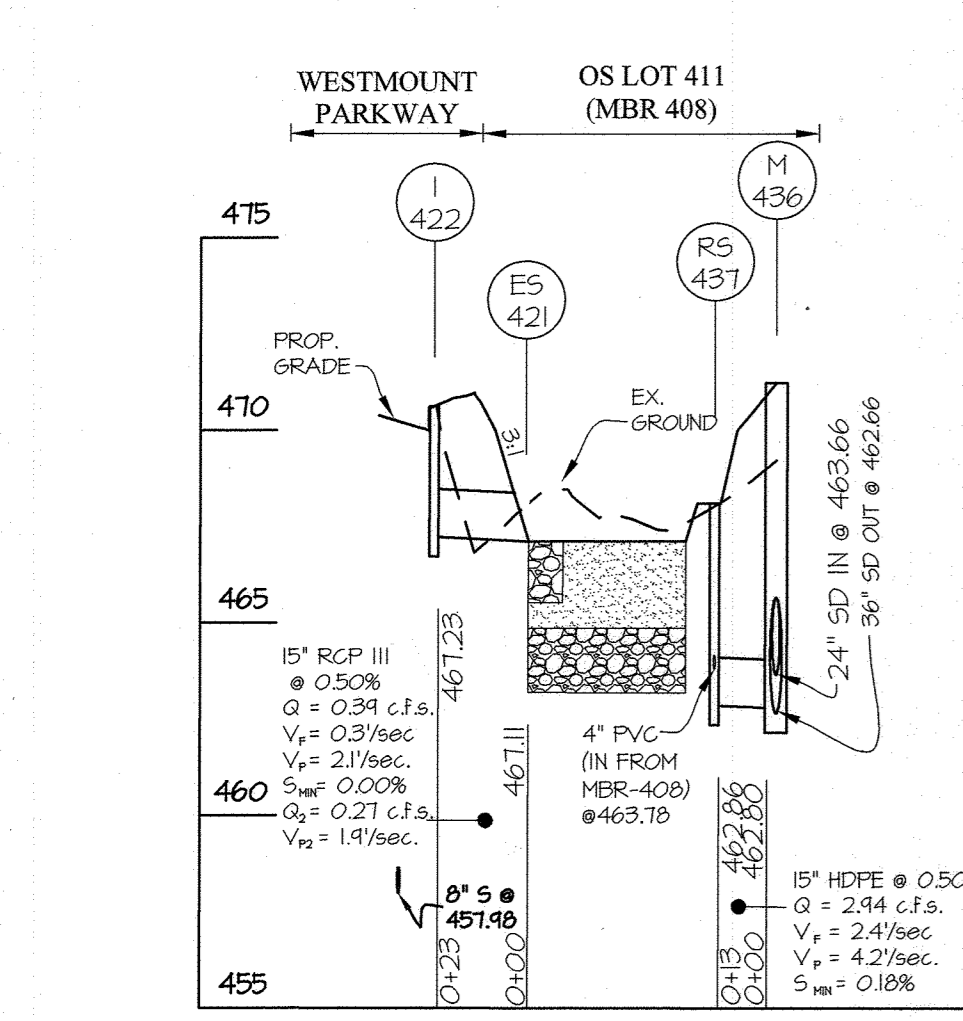
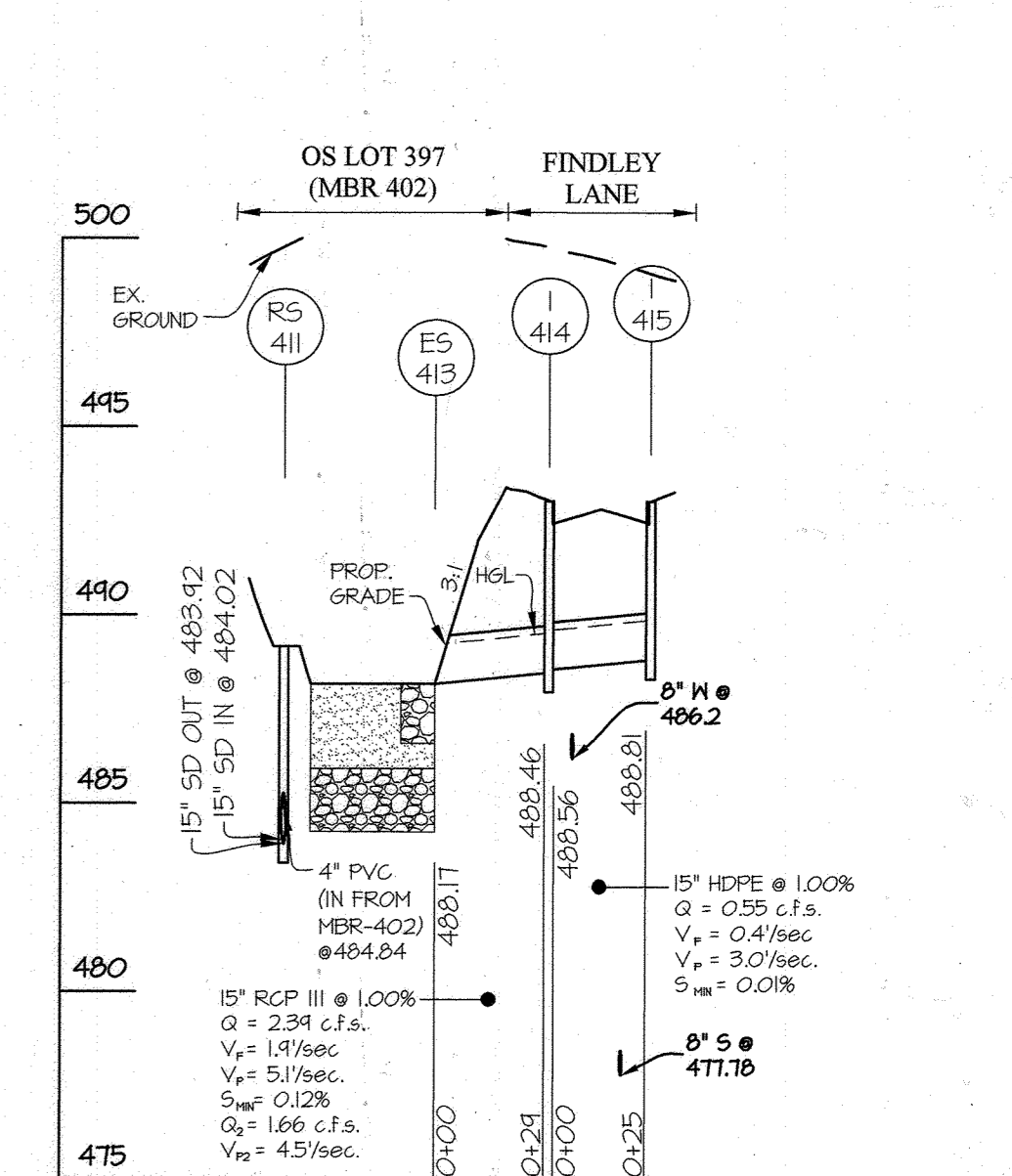
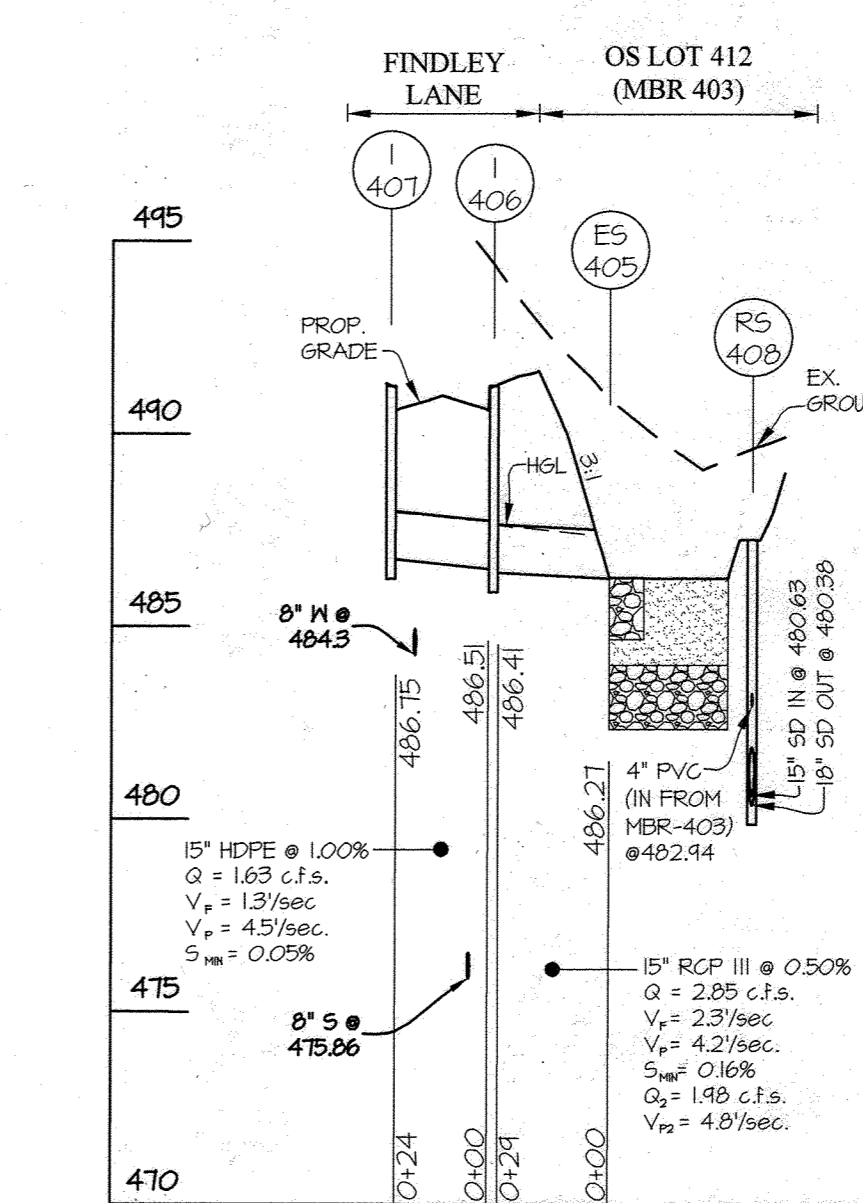
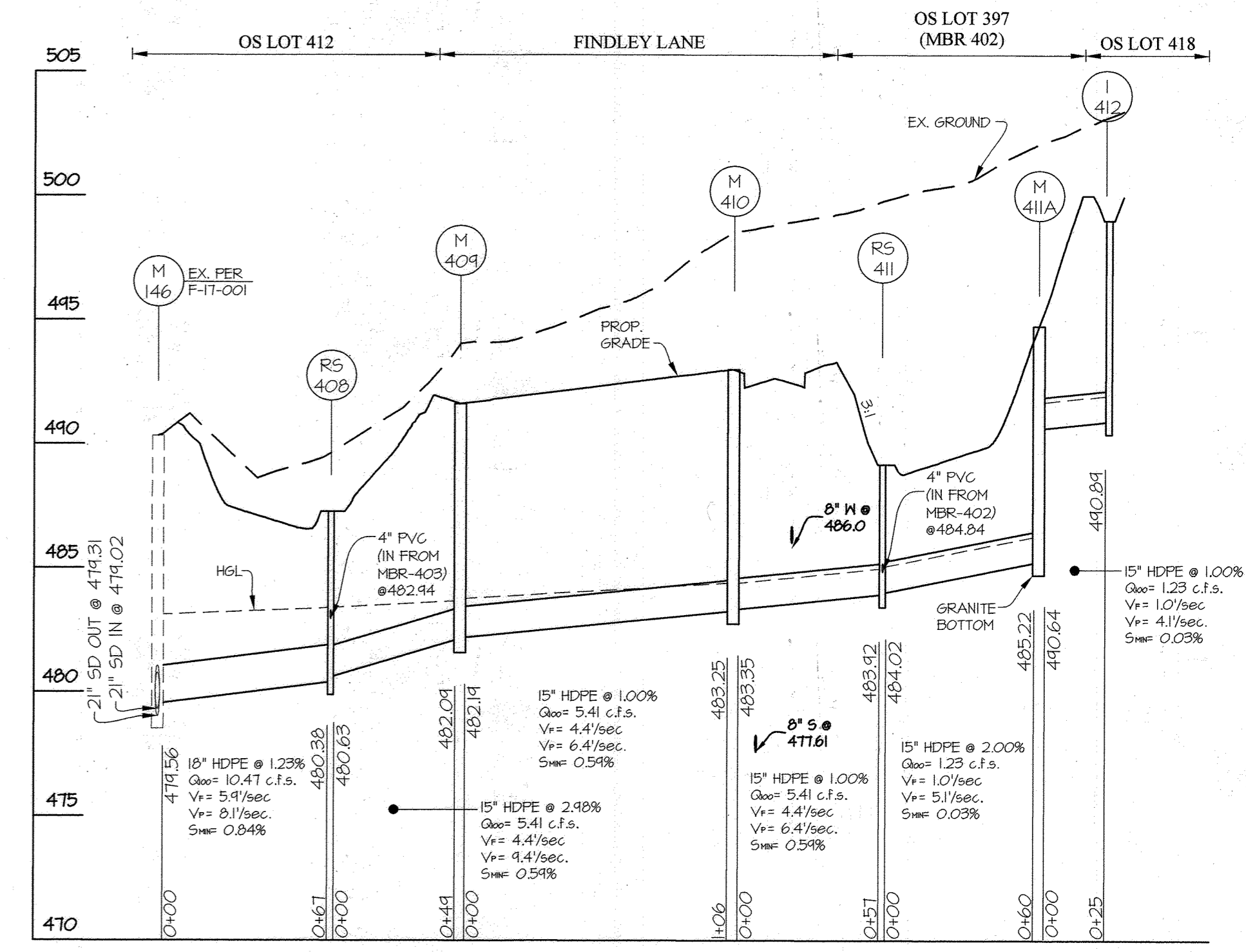
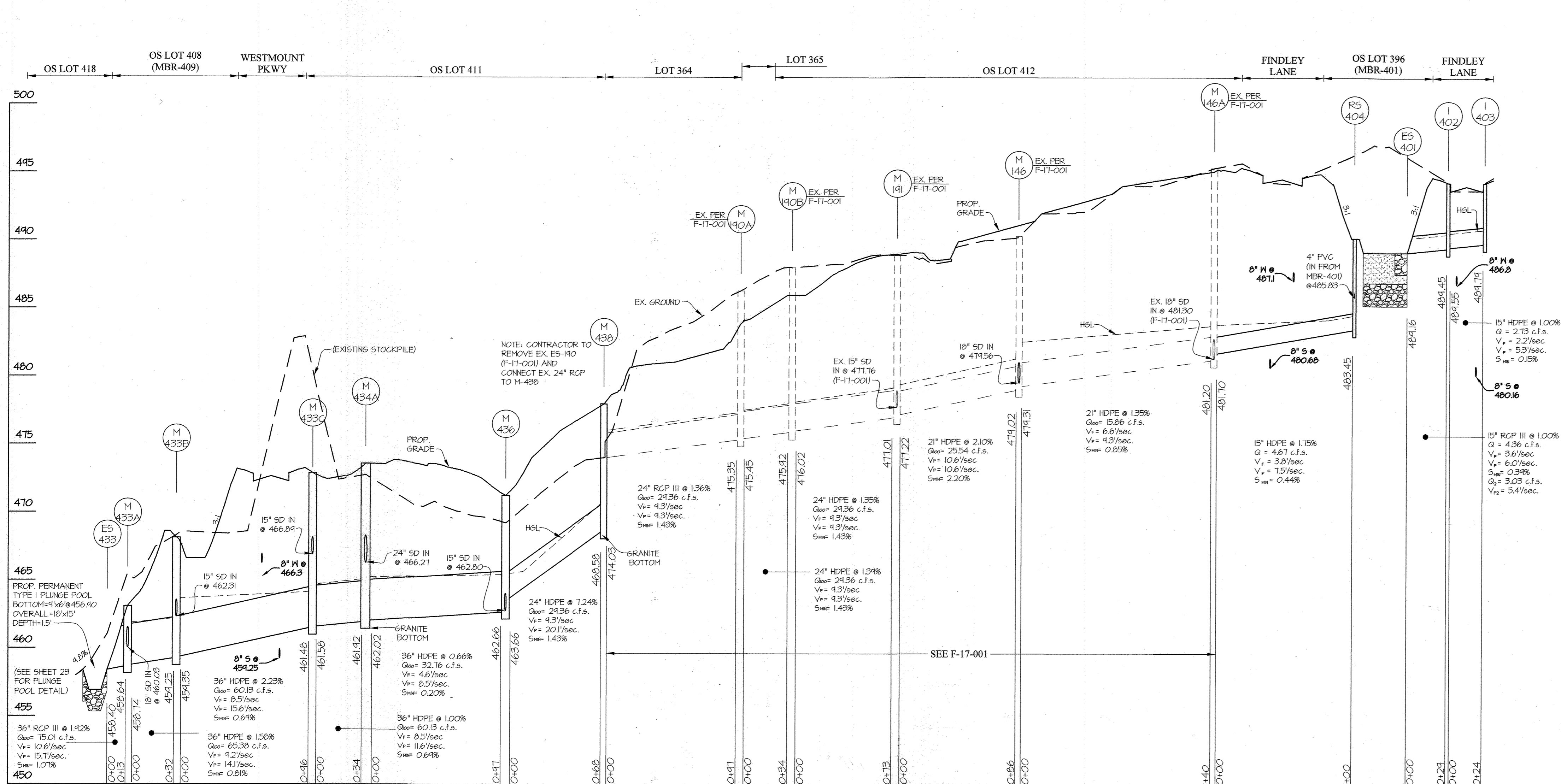
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	18 OF 45

L:\CADD\WORKS\2023\PLANS BY GUY WOODS-50 (PHASE 4) - 15 SD Dwg.dwg, PLOT DATE: 03/06/2023 10:58:33 AM, PLOT BY: GUY WOODS-50



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/16/23

Chief, Development Engineering Division JR
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1810 | DC/VA: 301-889-2524 | FAX: 301-421-4186

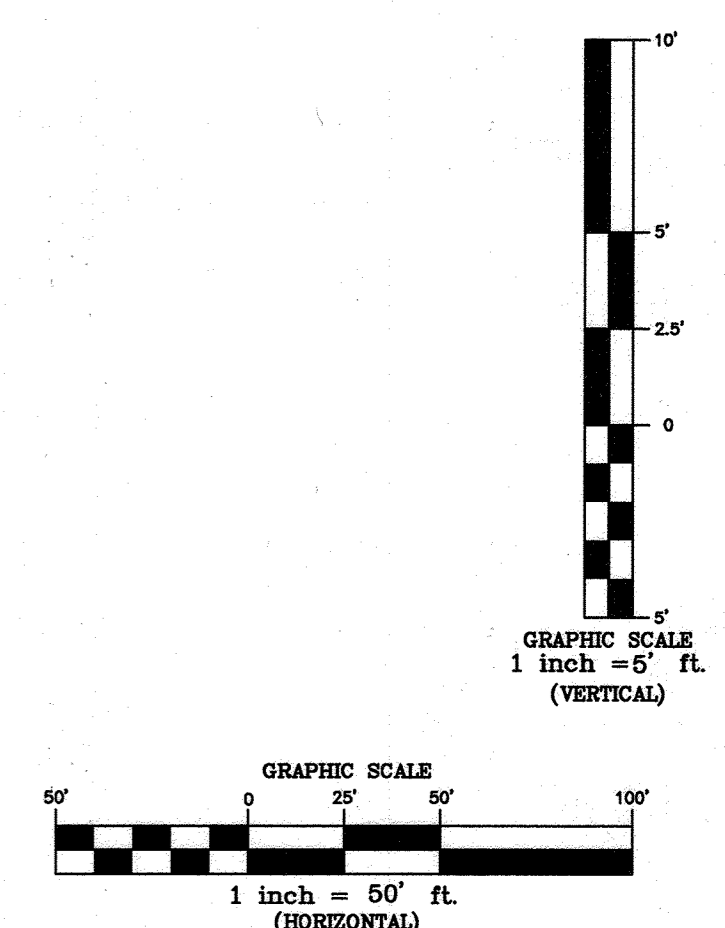
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	REVISION:
AWL	AWL	DEV	03/06/2023	REVISED PROFILES PER GRADING CHANGES

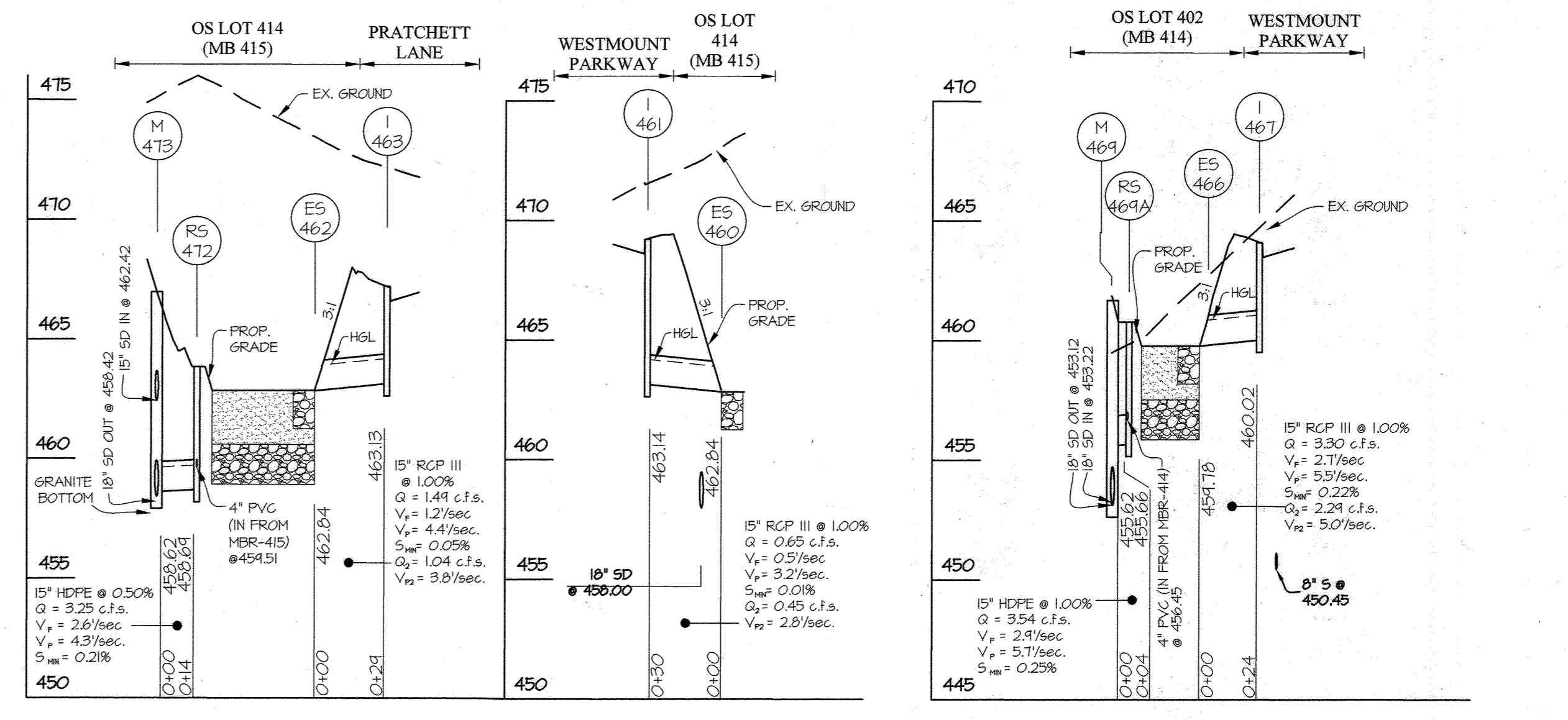
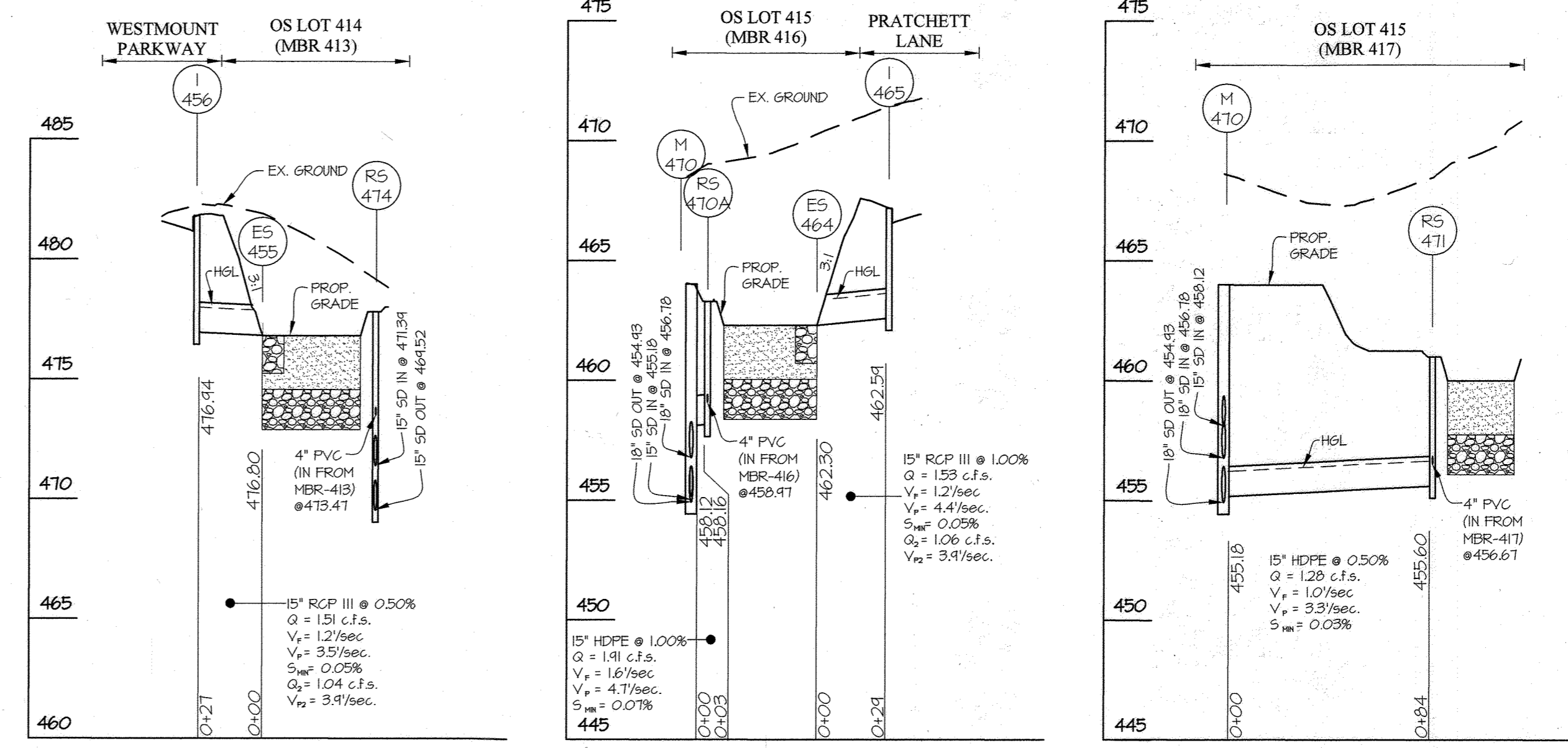
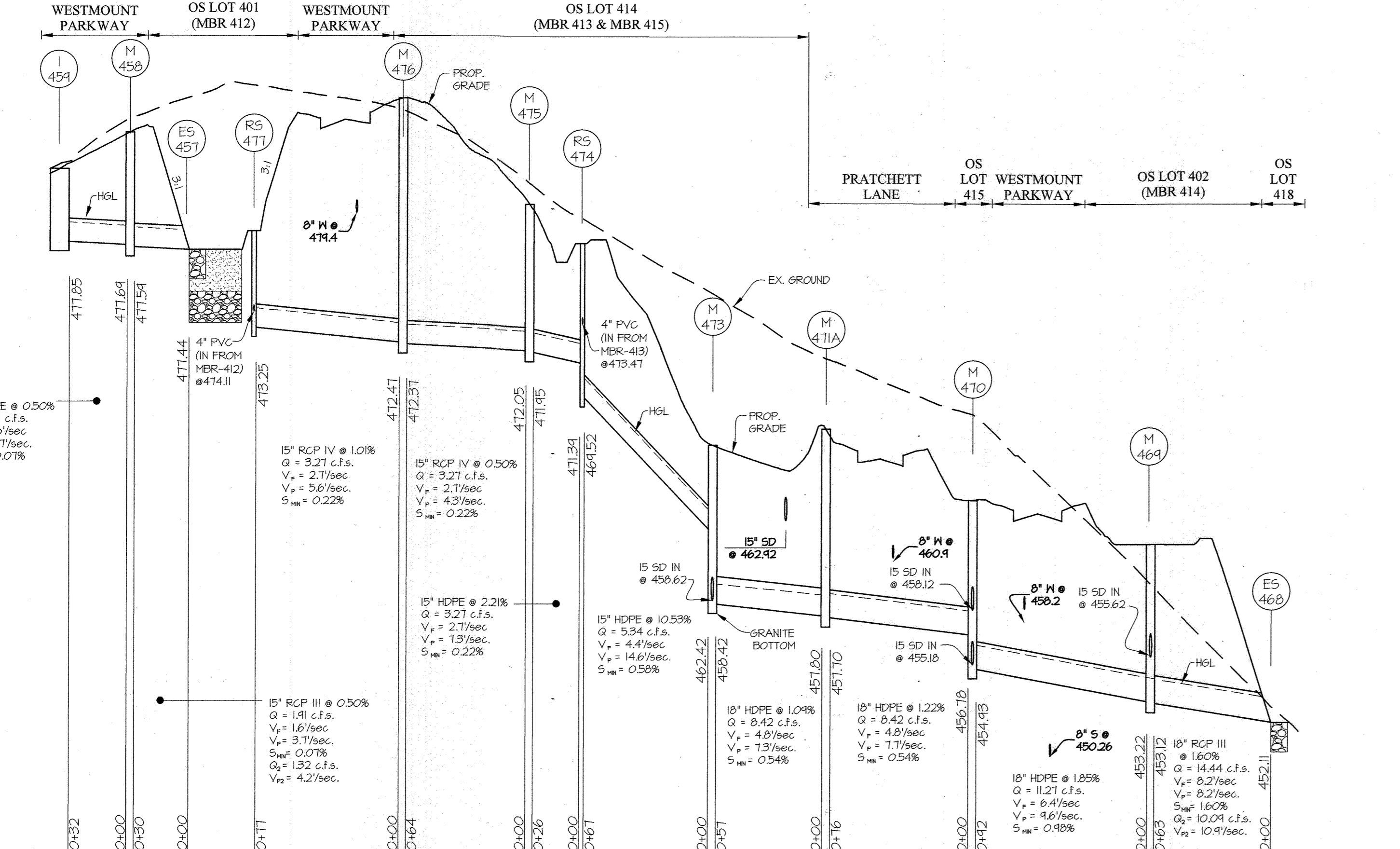
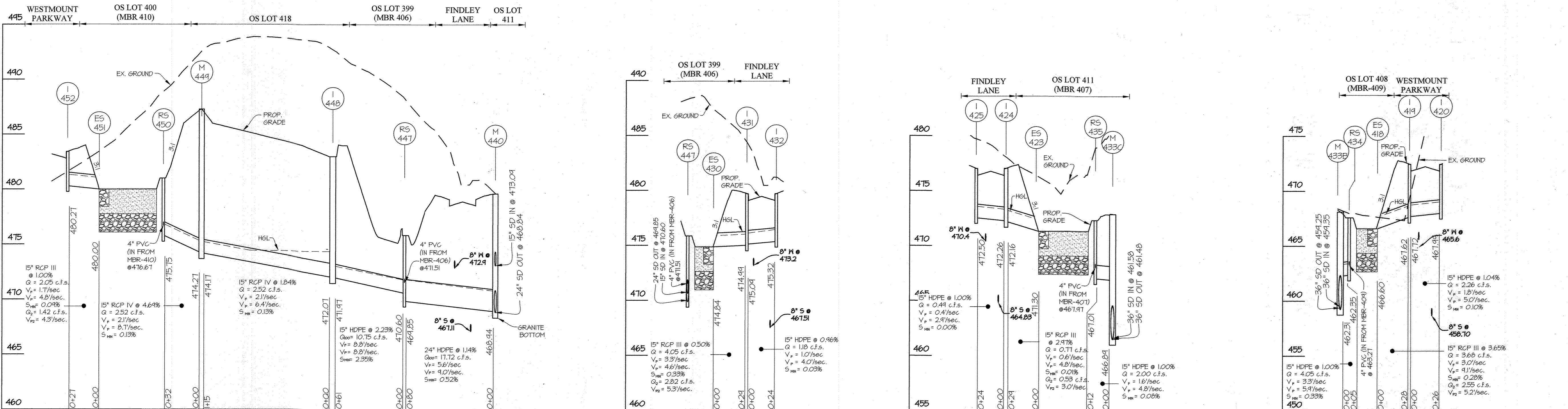
PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 3/8/23

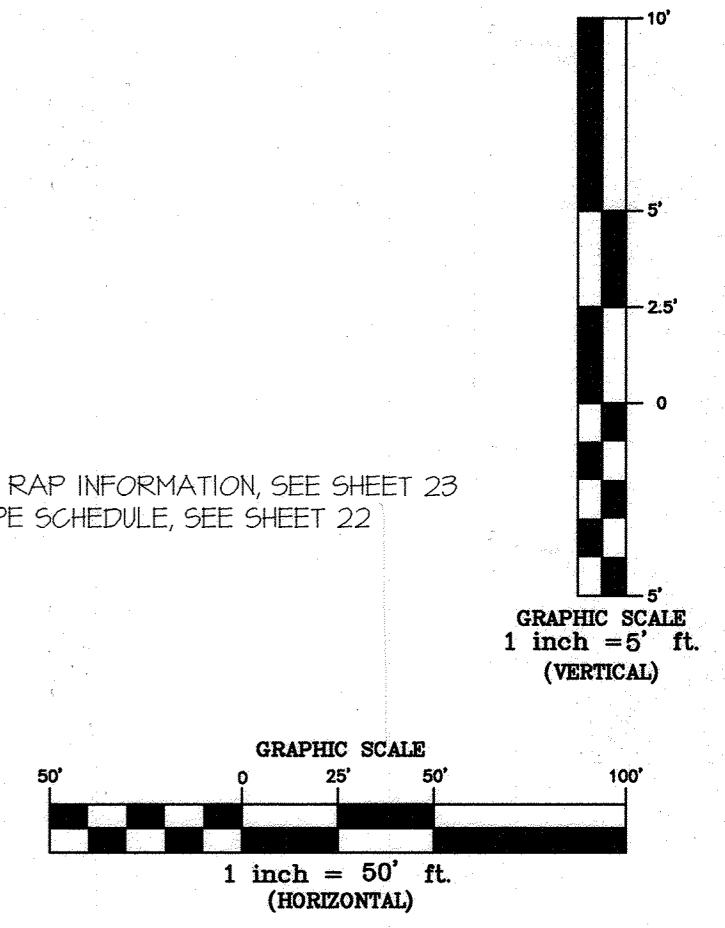
REVISED STORM DRAIN PROFILES
WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	19 OF 45





NOTE:
 1. FOR RIP RAP INFORMATION, SEE SHEET 23
 2. FOR PIPE SCHEDULE, SEE SHEET 22



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/6/23

Chief, Development Engineering Division JP
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING [ENGINEERING] SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4188

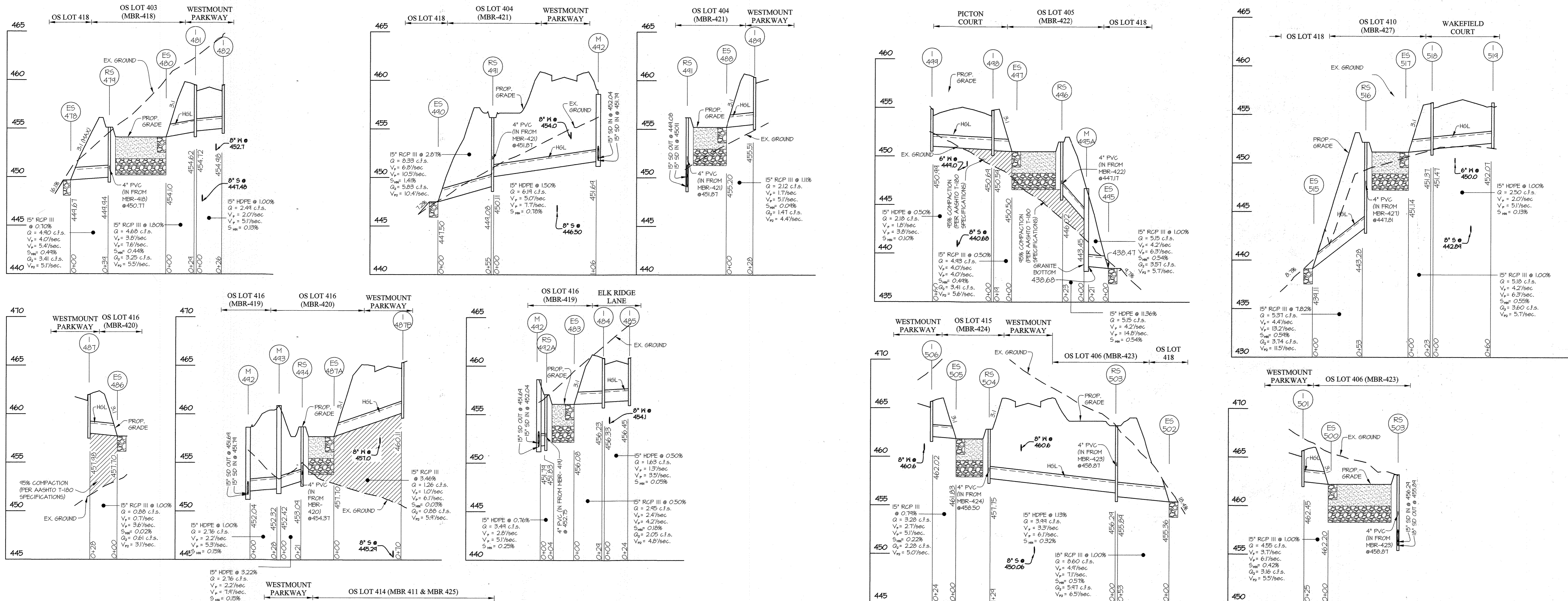
DESIGNED BY:	AWL	DATE:	12/2/2022	REVISION:	AWL	DEV
DRAWN BY:	AWL	DATE:			AWL	DEV
CHECKED BY:	DEV	DATE:			AWL	DEV

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375
 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED STORM DRAIN PROFILES
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	G. L. W. FILE NO.:
AS SHOWN	R-ED	13-013
DATE:	TAX MAP - GRID:	SHEET:
MARCH, 2023	23-6&12	20 OF 45



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/6/23

Chief, Development Engineering Division JR
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-0224 | BALT: 410-880-1820 | DCVA: 301-989-2524 | FAX: 301-421-1186

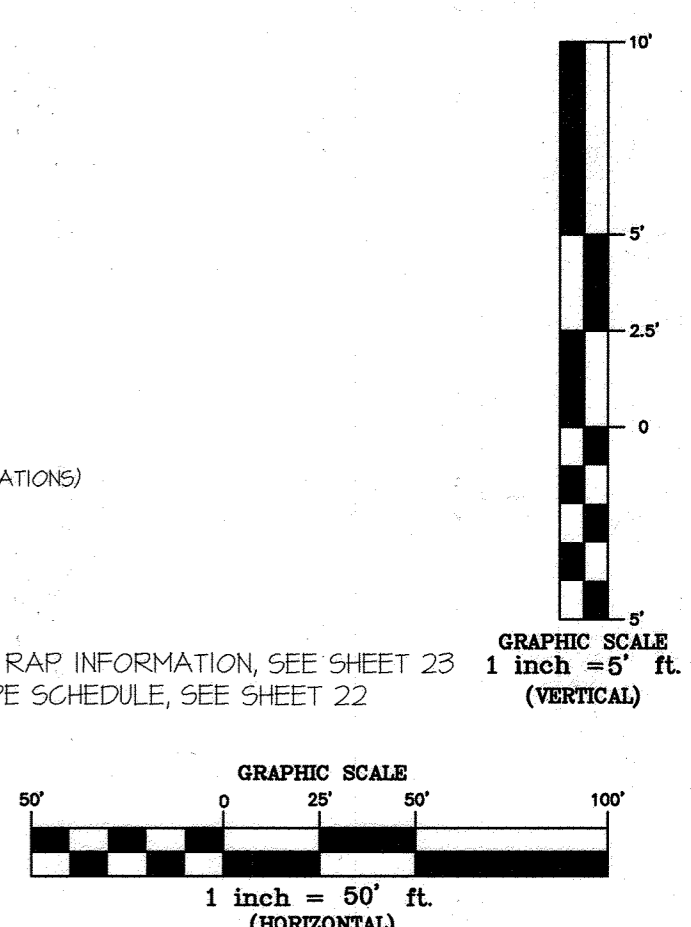
DESIGNED BY:	AWL	DATE:	12/2/2022	REVISION:	REVISED PROFILES PER GRADING CHANGES
DRAWN BY:	AWL	DATE:		REVISION:	
CHECKED BY:	DEV	DATE:		REVISION:	

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 28, 2024
 3/8/23 CLK

REVISED STORM DRAIN PROFILES
WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	21 OF 45



NOTE:
 1. FOR RIP RAP INFORMATION, SEE SHEET 23
 2. FOR PIPE SCHEDULE, SEE SHEET 22

L:\CADD\DRAWINGS\1301\PLANS BY CULROADS-50 (PHO) PHASE 4_19_21_SD_PROFILES.dwg
 DATE: 05/18/2023 10:53:43 AM
 USER: JLR
 PLOT: 3/8/23 10:53:43 AM

PIPE SCHEDULE table with columns: SIZE, TYPE, QUANTITY (LF), REMARKS. Rows include 15" HDPE, 15" RCCP CL. III, 15" RCCP CL. IV, 18" HDPE, 18" RCCP CL. III, 24" HDPE, 36" HDPE, 36" RCCP CL. III.

THIS PIPE SCHEDULE IS FOR THE STORM DRAIN ON SHEETS 14 THRU 21 ONLY.

FOR THE PIPE SCHEDULE FOR UNDERDRAINS WITHIN MICRO-BIORETENTION FACILITIES, SEE SHEET 38.

STRUCTURE SCHEDULE table with columns: NO, TYPE, WIDTH (INSIDE), TOP ELEVATION (PROPOSED, AS-BUILT), INVERT (PROPOSED, AS-BUILT), STD. DETAIL, LOCATIONS, PRIVATE/PUBLIC. Contains rows 1-402 to 1-521.

COORDINATE POINT GIVEN IS TO THE CENTER OF MANHOLES, RISERS AND S-INLETS, TO THE CENTERLINE OF A COG, AND COG INLETS AT FACE OF CURB, AND AT CENTERLINE OF OUTLET OF END SECTIONS.

NOTE: STRUCTURES 416, 411, 442 & 443 HAVE BEEN INTENTIONALLY OMITTED.

STRUCTURE SCHEDULE table with columns: NO, TYPE, WIDTH (INSIDE), TOP ELEVATION (PROPOSED, AS-BUILT), INVERT (PROPOSED, AS-BUILT), STD. DETAIL, LOCATIONS, PRIVATE/PUBLIC. Contains rows RS-404 to RS-523 and MH-404 to MH-512A.

NOTE: STRUCTURES 416, 411, 442 & 443 HAVE BEEN INTENTIONALLY OMITTED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Signature and date 05/18/2023.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Signature and date 6.5.23.

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW logo and contact information: 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, DATE, REVISION. Includes entries for 03/06/2023 and 10/26/2022.

PREPARED FOR: WESTMOUNT DEVELOPMENT CORPORATION 307 INTERNATIONAL CIRCLE, SUITE 130 HUNT VALLEY, MARYLAND 21030

PROFESSIONAL CERTIFICATION section with seal of the State of Maryland and signature of Robert Goodier.

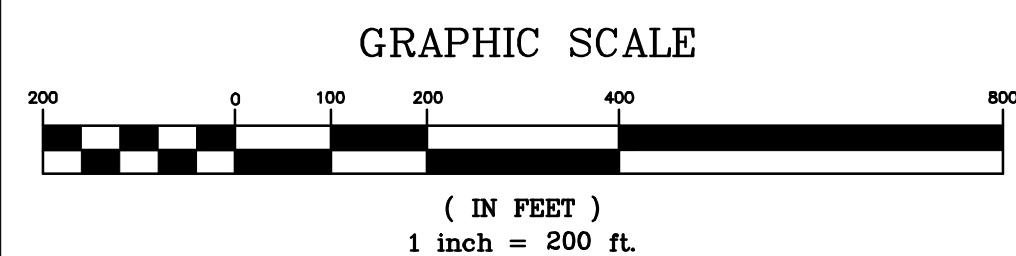
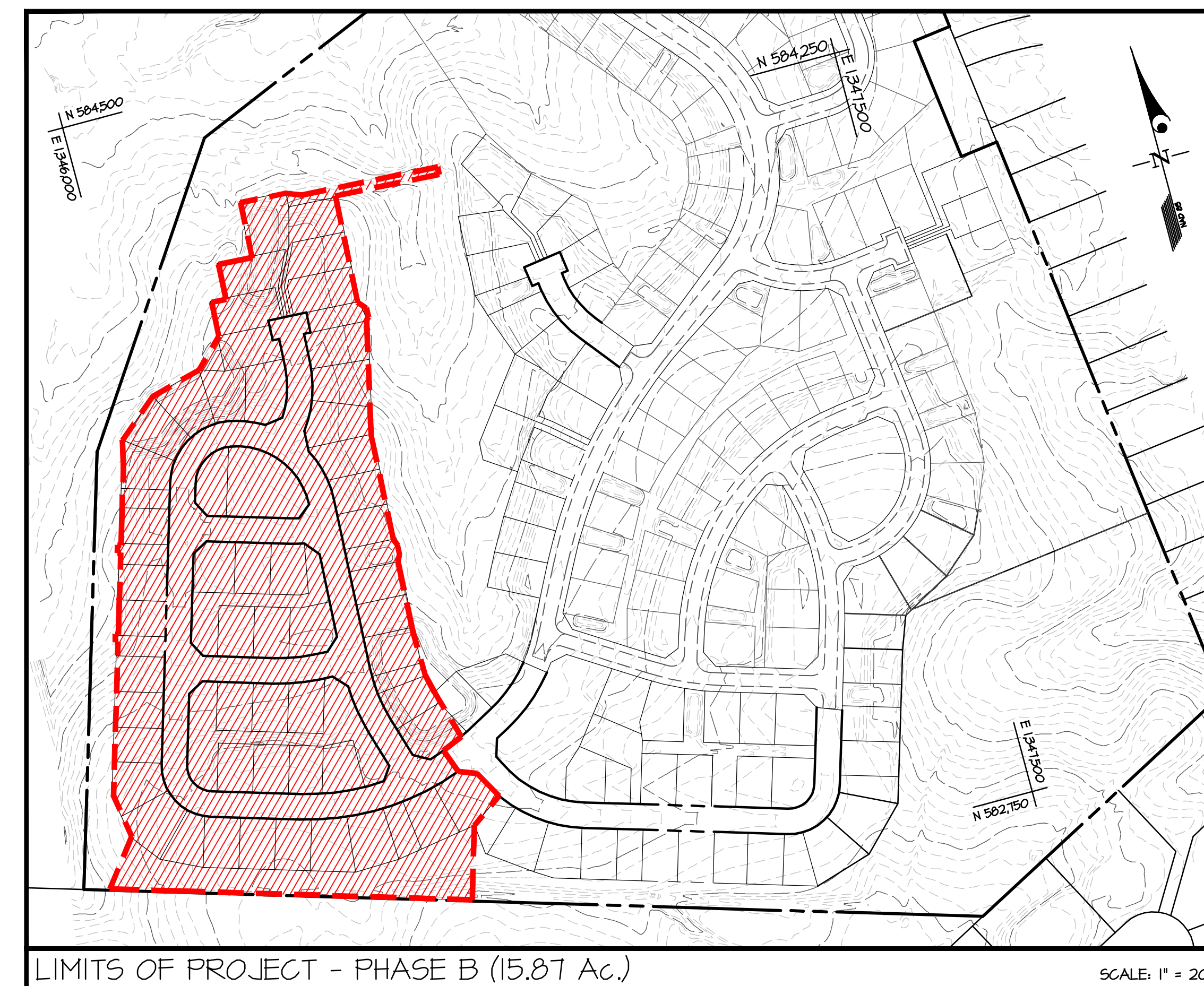
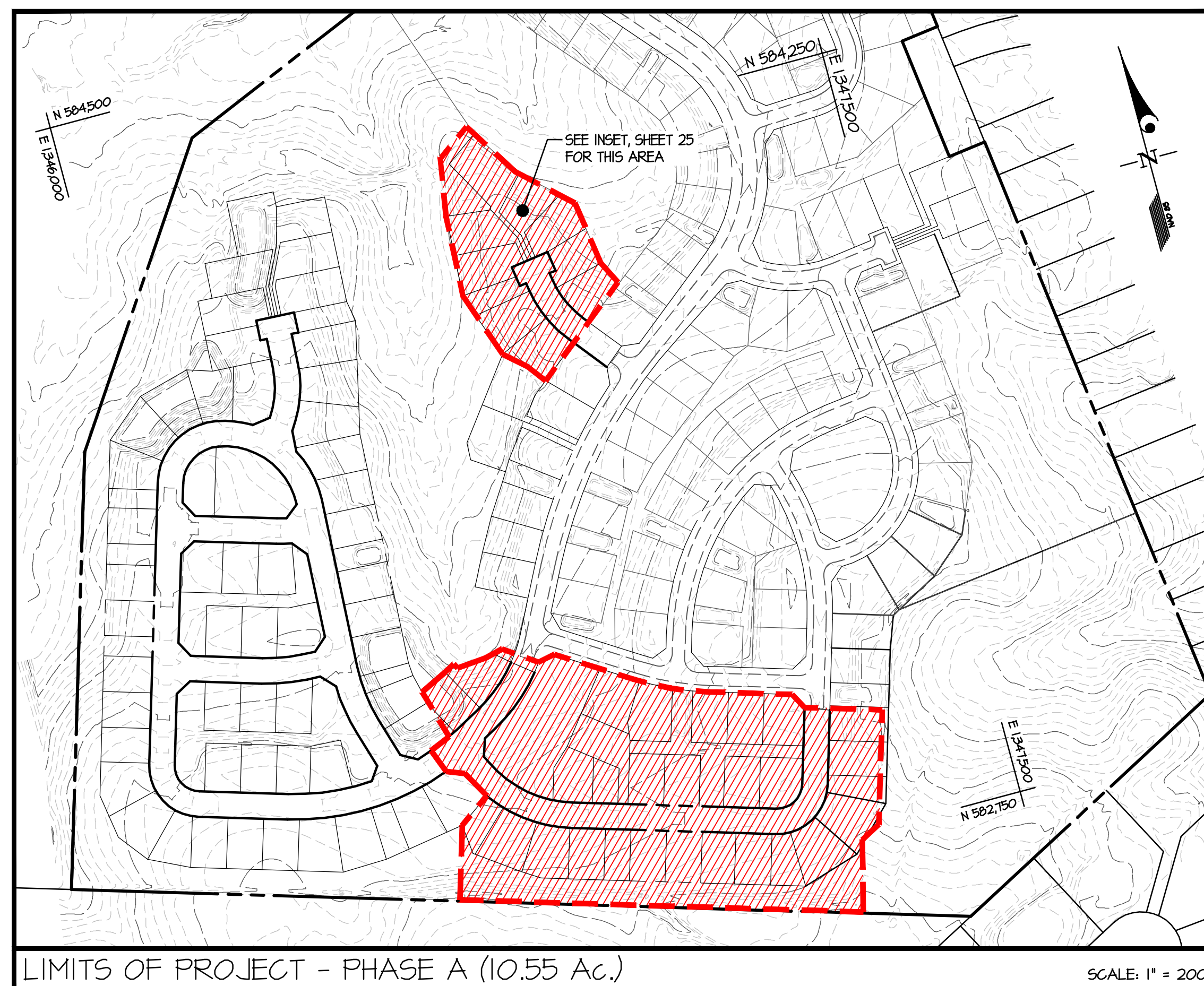
REVISED STORM DRAIN STRUCTURE SCHEDULE & PIPE SCHEDULE. WESTMOUNT - PHASE 4. LOTS 295-394 AND OPEN SPACE LOTS 395-418. A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F. HOWARD COUNTY, MARYLAND.

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: NO SCALE, R-ED, 13-013, MARCH, 2023, 23-6&12, 22 OF 45.

NOTES:

- 1) FOR STORM DRAIN SIZES, SEE SHEET 15.
- 2) WHERE LOD IS NOT SHOWN, SEDIMENT CONTROL DEVICE DENOTES LIMIT OF DISTURBANCE.
- 3) CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL TWO FEET IN ELEVATION EVERY 100 FEET.
- 4) FOR DUST CONTROL INFORMATION, SEE SHEET 34.
- 5) FOR THE SEQUENCE OF CONSTRUCTION, SEE SHEET 35.
- 6) SEDIMENT CONTROLS INTERCEPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
- 7) TEMPORARY DISTURBANCES TO FOREST CONSERVATION AREAS AS A RESULT OF SEDIMENT CONTROL WILL BE STABILIZED AND PLANTED WHEN THE DEVICES ARE REMOVED.

DISTURBANCE NOTE:
NO MORE THAN 20 ACRES OF GRADING MAY BE OPEN AT "ANY" ONE TIME.



BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

M. Jennings Rutledge 10/27/21
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CK 10/28/21
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Designed by:
Alexander Bratkevic 11/23/2021
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Steve 11/29/2021
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad Edmondson 11/23/2021
Chief, Development Engineering Division Date

DESIGNED BY:	DATE	REVISION	BY	APPR.
DEV				
DRAWN BY:				
AWL				
CHECKED BY:				
DEV				

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2022
10/28/21



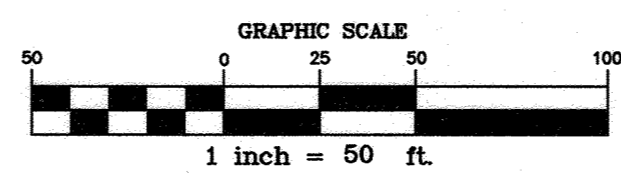
SEDIMENT CONTROL PLAN - PROJECT PHASES A & B
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 200'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
OCT, 2021	23-6&12	24 OF 45

L:\CAD\DRAWINGS\13013\PLANS BY GLW\ROADS-SD (PH4)\PHASE 4_24_Overall Phasing Plan.dwg, PLOTTED: 10/29/2021, 2:50 PM, LAST SAVED: 10/29/2021, 2:50 PM, PLOTTED BY: Tony Leppert

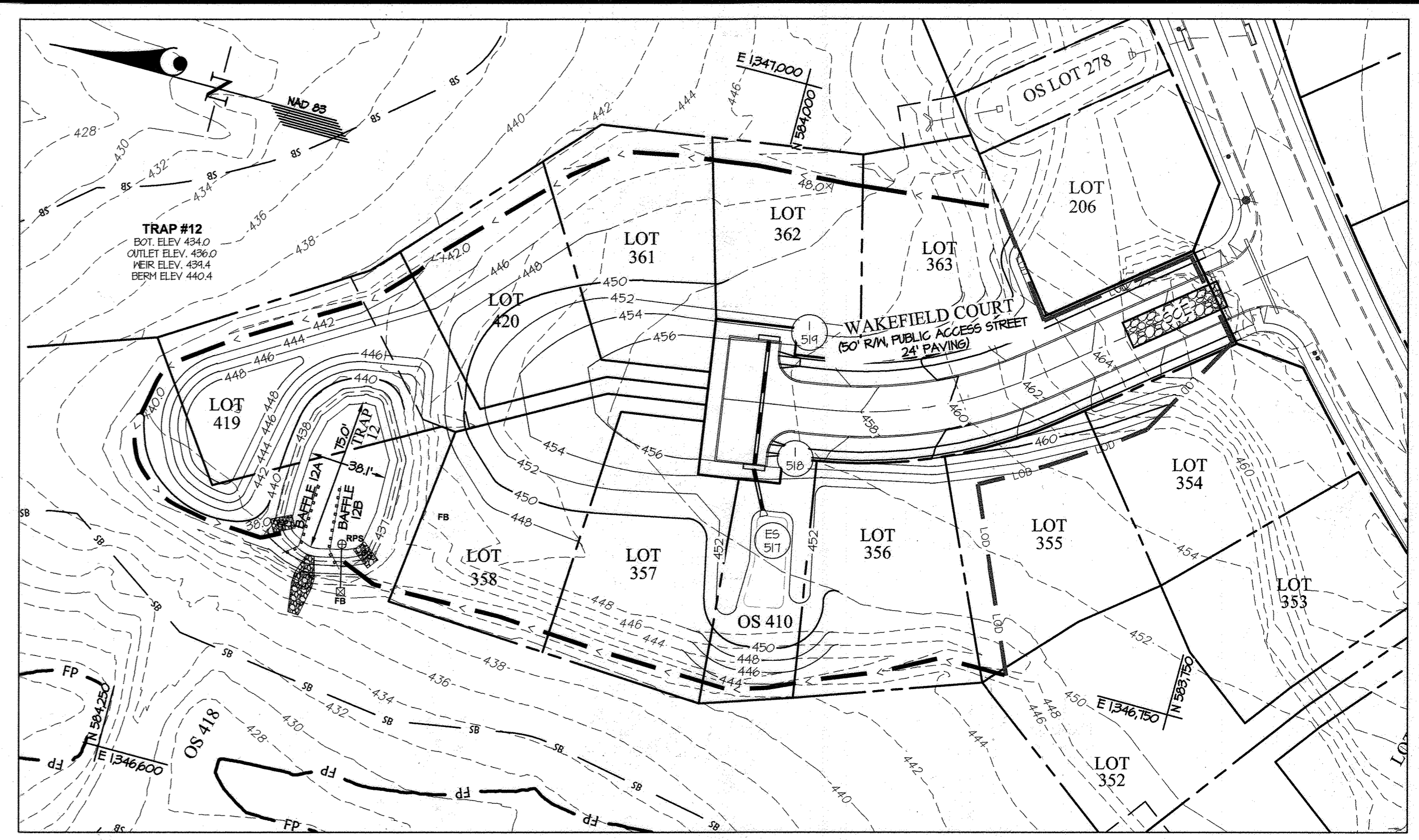
SEDIMENT CONTROL LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING TREELINE
	STABILIZED CONSTRUCTION ENTRANCE
	RIP-RAP INFLOW PROTECTION
	EARTH DIKE
	FOREST CONSERVATION ESMT.
	PROPOSED SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	PROPOSED STORM DRAIN
	100 YEAR FLOODPLAIN
	STREAM BUFFER
	CENTERLINE OF STREAM
	WETLAND BUFFER
	BAFFLE BOARD
	LIMIT OF WETLAND
	WETLAND AREA
	TEMPORARY SOIL STABILIZATION MATTING
	REMOVABLE PUMP STATION
	FILTER BAG
	STANDARD INLET PROTECTION
	CLEAR WATER DIVERSION
	GABION PROTECTION
	TEMPORARY STORM DRAIN DIVERSION
	CLEAR WATER PIPE THROUGH SUPER SILT FENCE
	TEMPORARY STONE OUTLET STRUCTURE



BAFFLE TABLE

TRAP	BAFFLE	LENGTH	TOP ELEV.
TRAP 12	12A	40.0'	436.00
	12B	42.0'	436.00



- NOTES:**
- 1) FOR STORM DRAIN SIZES, SEE SHEET 15.
 - 2) WHERE LOD IS NOT SHOWN, SEDIMENT CONTROL DEVICE DENOTES LIMIT OF DISTURBANCE.
 - 3) CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL TWO FEET IN ELEVATION EVERY 100 FEET.
 - 4) FOR DUST CONTROL INFORMATION, SEE SHEET 34.
 - 5) FOR THE SEQUENCE OF CONSTRUCTION, SEE SHEET 35.
 - 6) SEDIMENT CONTROLS INTERCEPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
 - 7) TEMPORARY DISTURBANCES TO FOREST CONSERVATION AREAS AS A RESULT OF SEDIMENT CONTROL WILL BE STABILIZED AND PLANTED WHEN THE DEVICES ARE REMOVED.
 - 8) ALL EARTH DIKES ARE EXISTING PER F-17-001 EXCEPT FOR ED #29, WHICH IS PROPOSED UNDER THIS PLAN.

DISTURBANCE NOTE:
NO MORE THAN 20 ACRES OF GRADING MAY BE OPEN AT "ANY" ONE TIME.

BUILDER'S CERTIFICATE
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

M. Jerry Ratta 3/15/23
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CKA 3/8/23
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

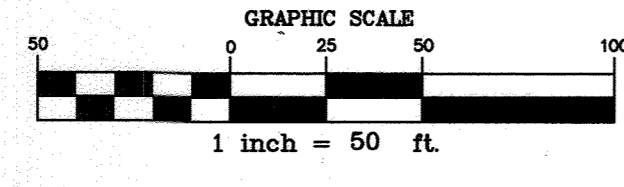
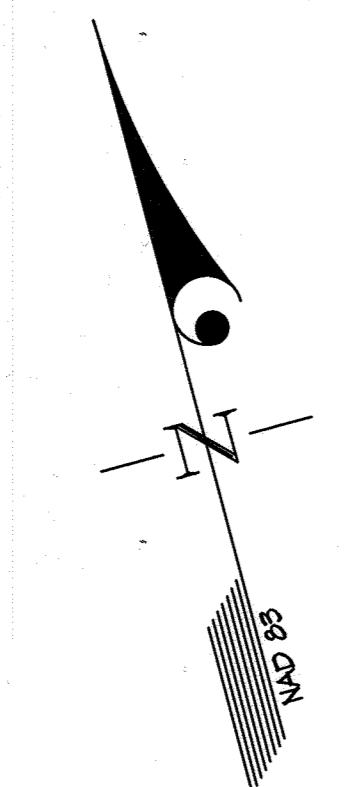
Alexander Bratchuk 04/03/23
HOWARD S.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Amie 05/18/2023
Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad 6.5.23
Chief, Division of Land Development Date
JP 6.5.23
Chief, Development Engineering Division Date

BAFFLE TABLE

BASIN	BAFFLE	LENGTH	TOP ELEV.
BASIN 8	8A	24.0'	462.55
	8B	102.0'	
	8C	54.0'	



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT. 410-880-1820 | DCVA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DEV		
DRAWN BY:	AWL		
CHECKED BY:	DEV	03/06/2023	REVISED SEDIMENT CONTROL PER SITE GRADING CHANGES
DATE:	DEV	10/26/22	REV. GRADING & SEDIMENT CONTROL TO REFLECT MBR 428
BY:	AWL	DEV	
APPR.:	WSJ	DEV	
	BY	APPR.	

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
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EXPIRATION DATE: MAY 26, 2024
3/8/23 CKA

REVISED SEDIMENT CONTROL PLAN - PHASE A
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	25 OF 45

C:\CADD\DRAWINGS\13013\PLANS BY CLIENT\PHASE A\PHASE 4 - 25 - SC-PHASE A.dwg PLOTTED: 3/8/2023 8:53 AM, LAST SAVED: 3/7/2023 9:19 AM, PLOTTED BY: Dong, Yongde RY

SEDIMENT CONTROL LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING TREELINE
	STABILIZED CONSTRUCTION ENTRANCE
	RIP-RAP INFLOW PROTECTION
	EARTH DIKE
	FOREST CONSERVATION ESMT.
	PROPOSED SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	PROPOSED STORM DRAIN
	100 YEAR FLOODPLAIN
	STREAM BUFFER
	CENTERLINE OF STREAM
	WETLAND BUFFER
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	LIMIT OF WETLAND
	WETLAND AREA
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	REMOVABLE PUMP STATION
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	STANDARD INLET PROTECTION
	CLEAR WATER DIVERSION
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	TEMPORARY STORM DRAIN DIVERSION
	CLEAR WATER PIPE THROUGH SUPER SILT FENCE
	TEMPORARY STONE OUTLET STRUCTURE

NOTES:

- 1) FOR STORM DRAIN SIZES, SEE SHEET 15.
- 2) WHERE LOD IS NOT SHOWN, SEDIMENT CONTROL DEVICE DENOTES LIMIT OF DISTURBANCE.
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- 7) TEMPORARY DISTURBANCES TO FOREST CONSERVATION AREAS AS A RESULT OF SEDIMENT CONTROL WILL BE STABILIZED AND PLANTED WHEN THE DEVICES ARE REMOVED.
- 8) ALL EARTH DIKES ARE EXISTING PER F-11-001 EXCEPT FOR ED #24, WHICH IS PROPOSED UNDER THIS PLAN.

DISTURBANCE NOTE:
NO MORE THAN 20 ACRES OF GRADING MAY BE OPEN AT "ANY" ONE TIME.

BUILDER'S CERTIFICATE
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

M. Deany Ratten 3/15/23
SIGNATURE OF DEVELOPER/BUILDER DATE

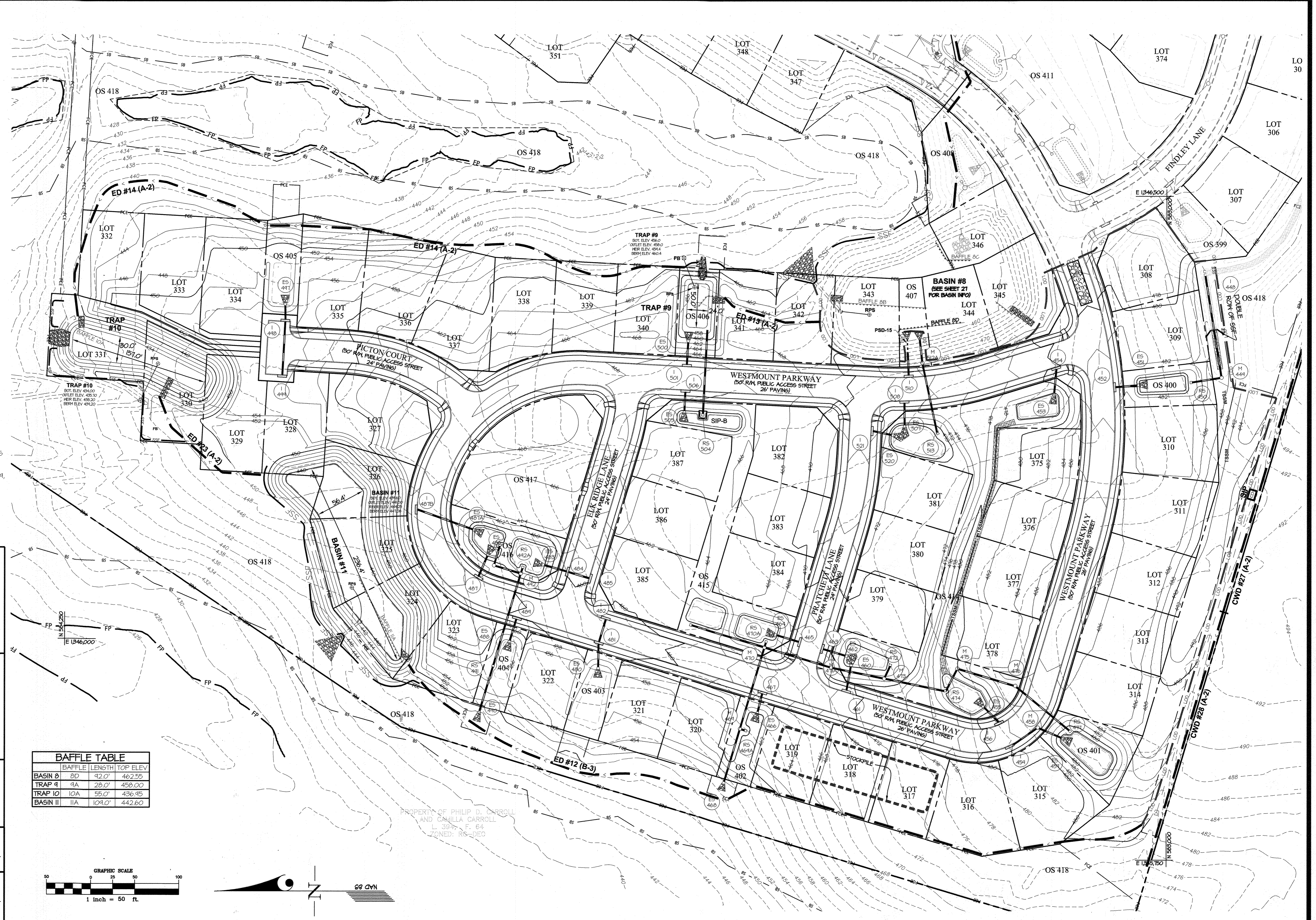
ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CKM 3/8/23
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Brathie 04/03/23
HOWARD S.C.D. DATE

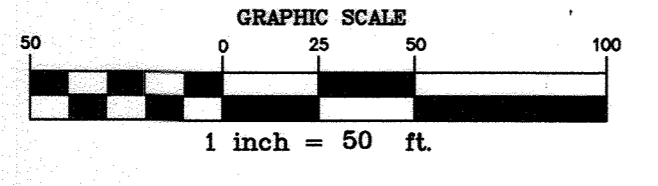
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James 05/18/2023
Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad Edman 6.5.23
Chief, Division of Land Development SR Date



BAFFLE TABLE

BAFFLE	LENGTH	TOP ELEV.
BASIN 8	2D 92.0'	462.55
TRAP 9	9A 28.0'	458.00
TRAP 10	10A 55.0'	436.93
BASIN 11	11A 104.0'	442.60



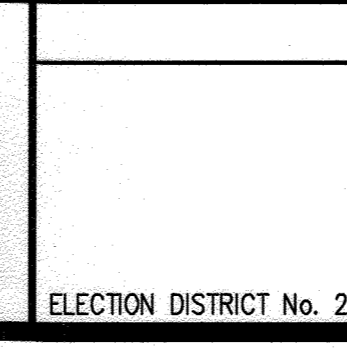
THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DEV				
DRAWN BY:	AWL				
CHECKED BY:	DEV	03/06/2023	REVISED GRADING	AWL	DEV
DATE			REVISION	BY	APPR.

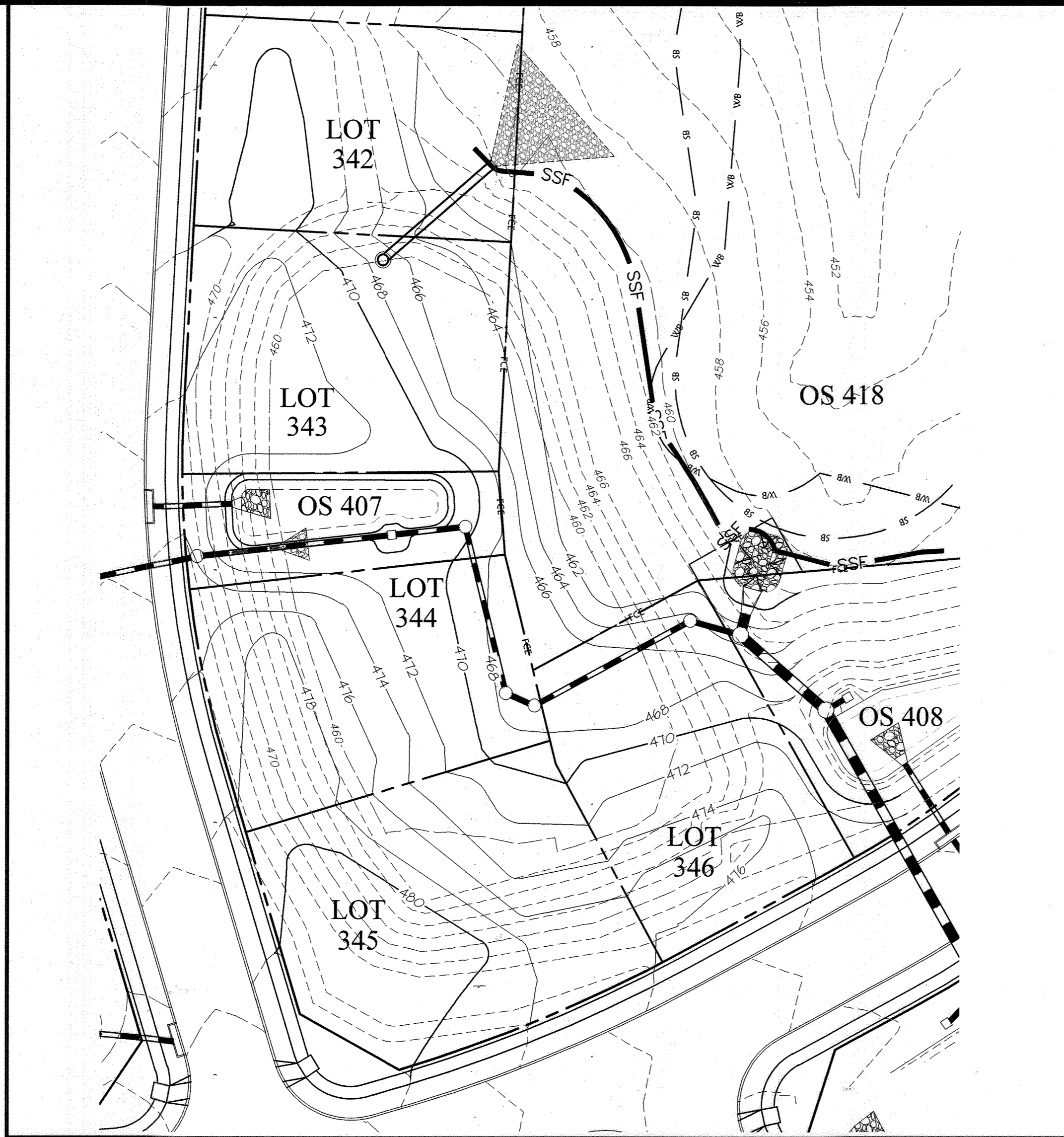
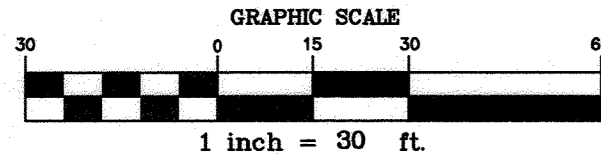
PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN: ROBERT GOODIER

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EXPIRATION DATE: MAY 26, 2024
3/8/23



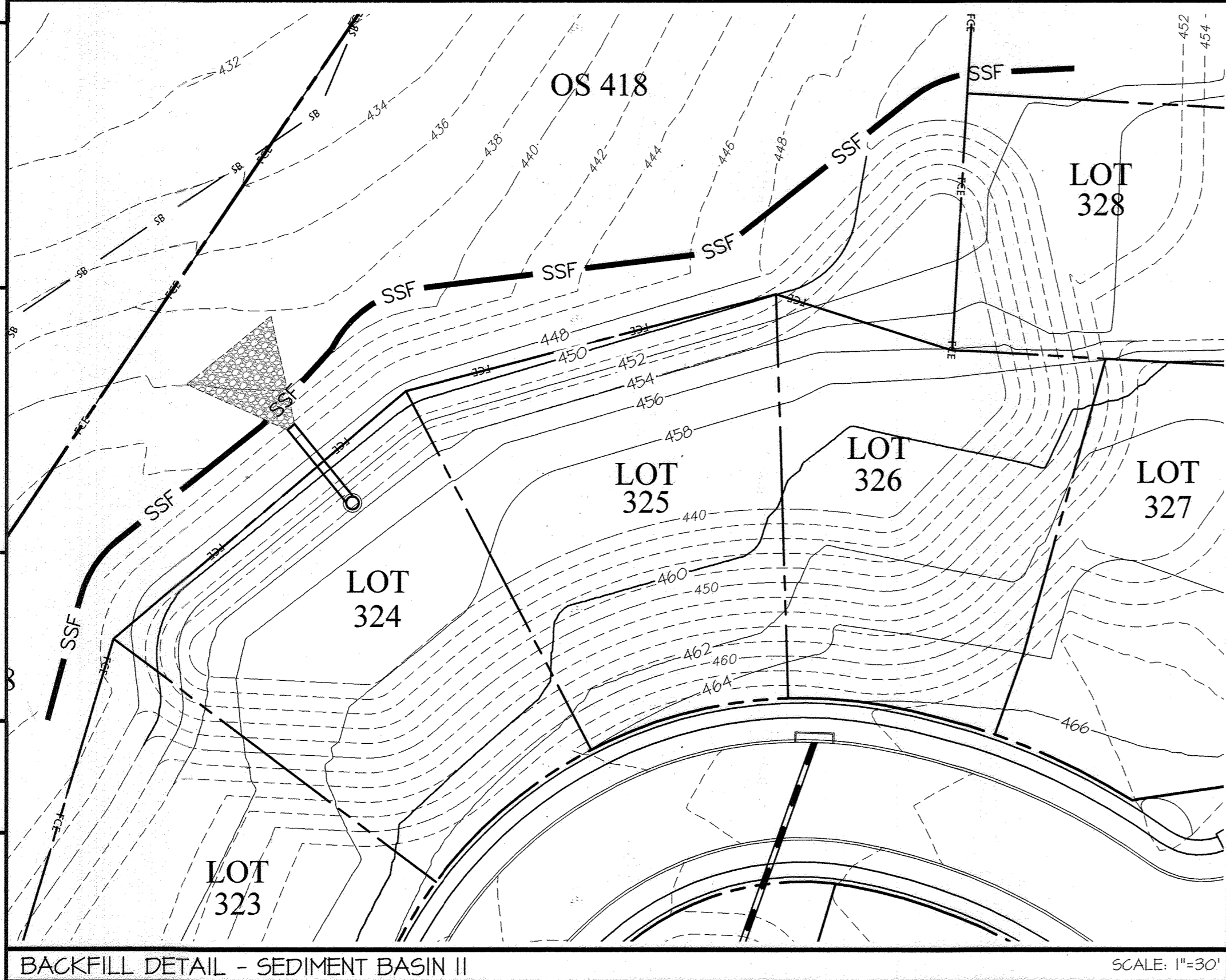
REVISED SEDIMENT CONTROL PLAN - PHASE B
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	26 OF 45



DIMENSION	BASIN Ø	BASIN II
A BASIN BOTTOM	459.60	439.50
B ORIFICE INV.	460.95	441.00
C ORIFICE DIA.	2 1/2"	1 1/2"
D No. OF ROJMS	3	2
E LENGTH OF 6" CMP	30'	30'

BACKFILL DETAIL - SEDIMENT BASIN Ø SCALE: 1"=30'



BACKFILL DETAIL - SEDIMENT BASIN II SCALE: 1"=30'

BUILDER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HECDD."

M. Deery Rutter 3/15/23
 SIGNATURE OF DEVELOPER/BUILDER DATE

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CKG 3/8/23
 SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Butcher 04/03/23
 HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James 05/18/2023
 Chief, Bureau of Highways MK DATE

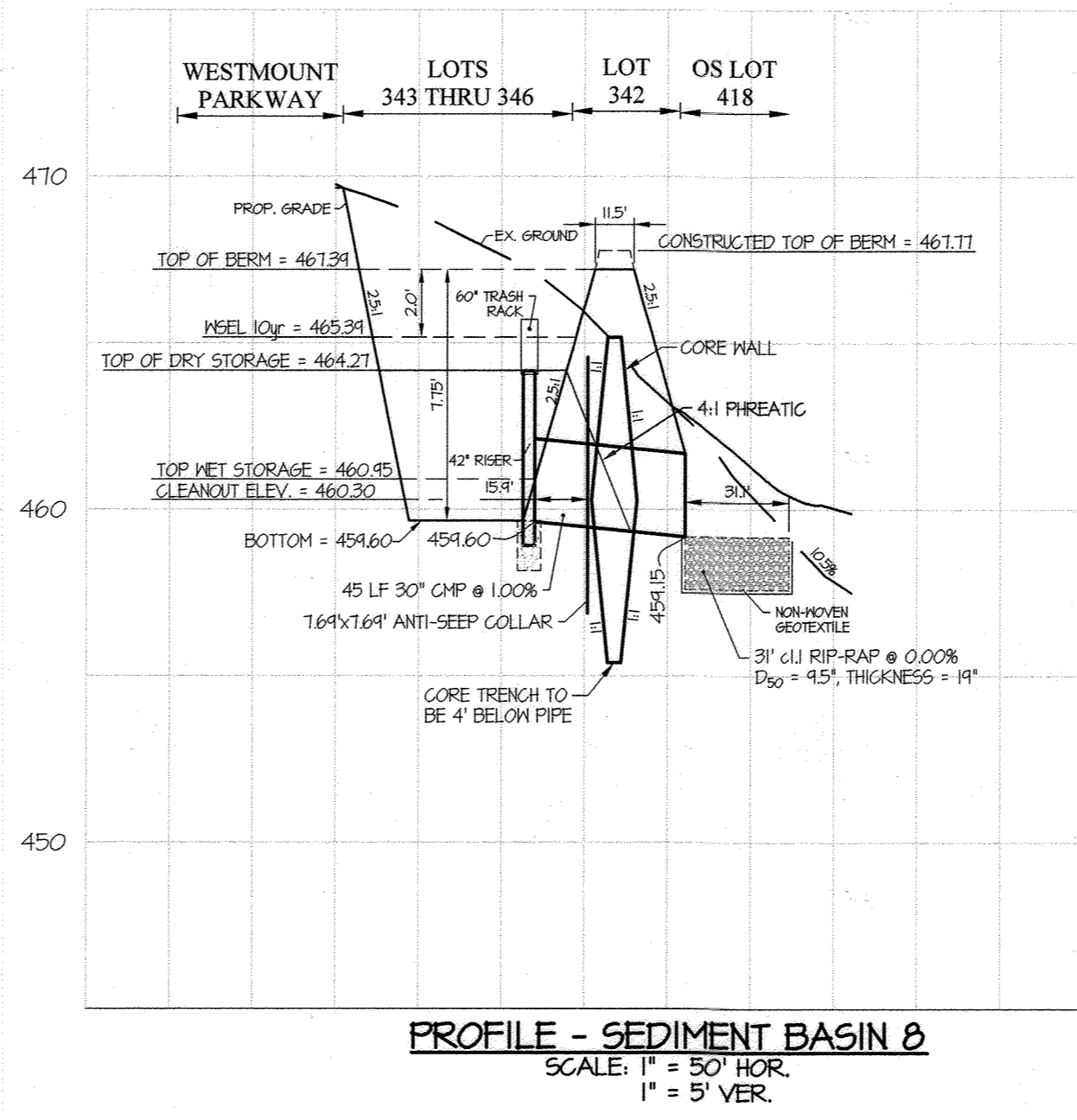
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad P. Smith 6-5-23
 Chief, Division of Land Development MK DATE
Chad P. Smith 6-5-23
 Chief, Development Engineering Division JP DATE

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
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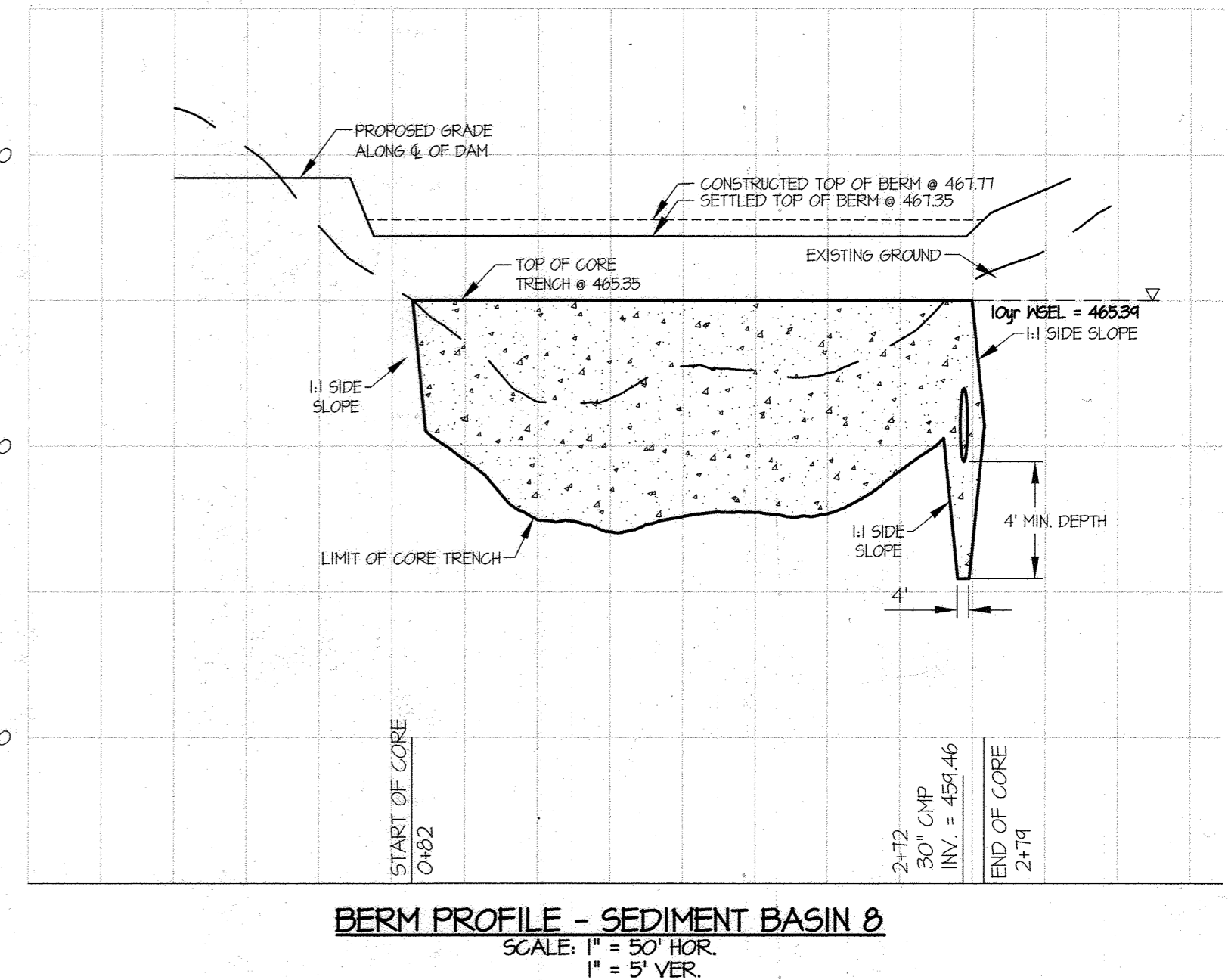
DESIGNED BY:	DATE	REVISION	AWL	DEV
DEV				
DRAWN BY:				
AWL				
CHECKED BY:				
DEV	03/06/2023	UPDATED BACKFILL PLANS PER GRADING CHANGES	AWL	DEV
	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. T2975
 EXPIRATION DATE: MAY 26, 2024
 3/8/23

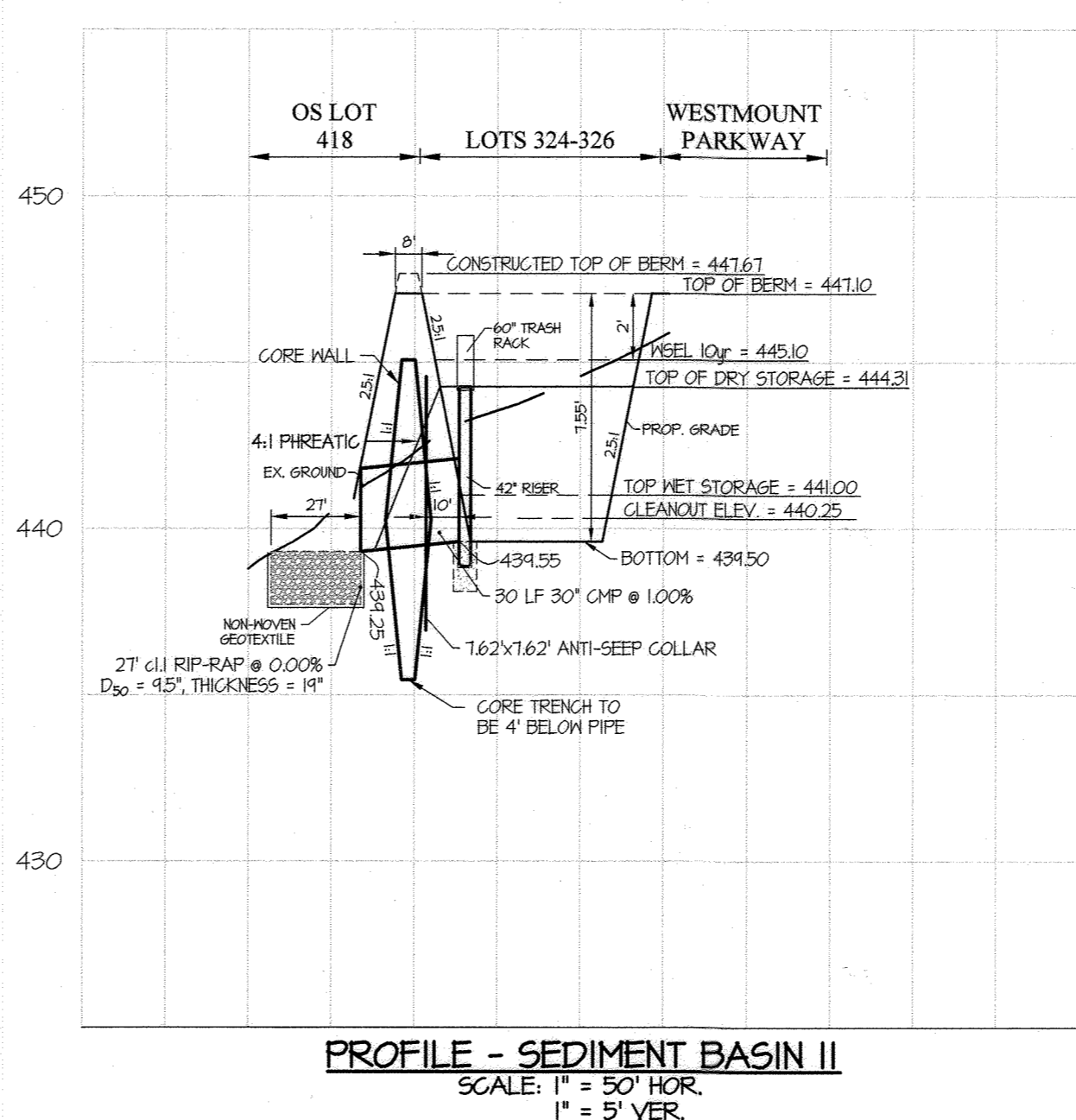


PROFILE - SEDIMENT BASIN Ø SCALE: 1" = 50' HOR. 1" = 5' VER.

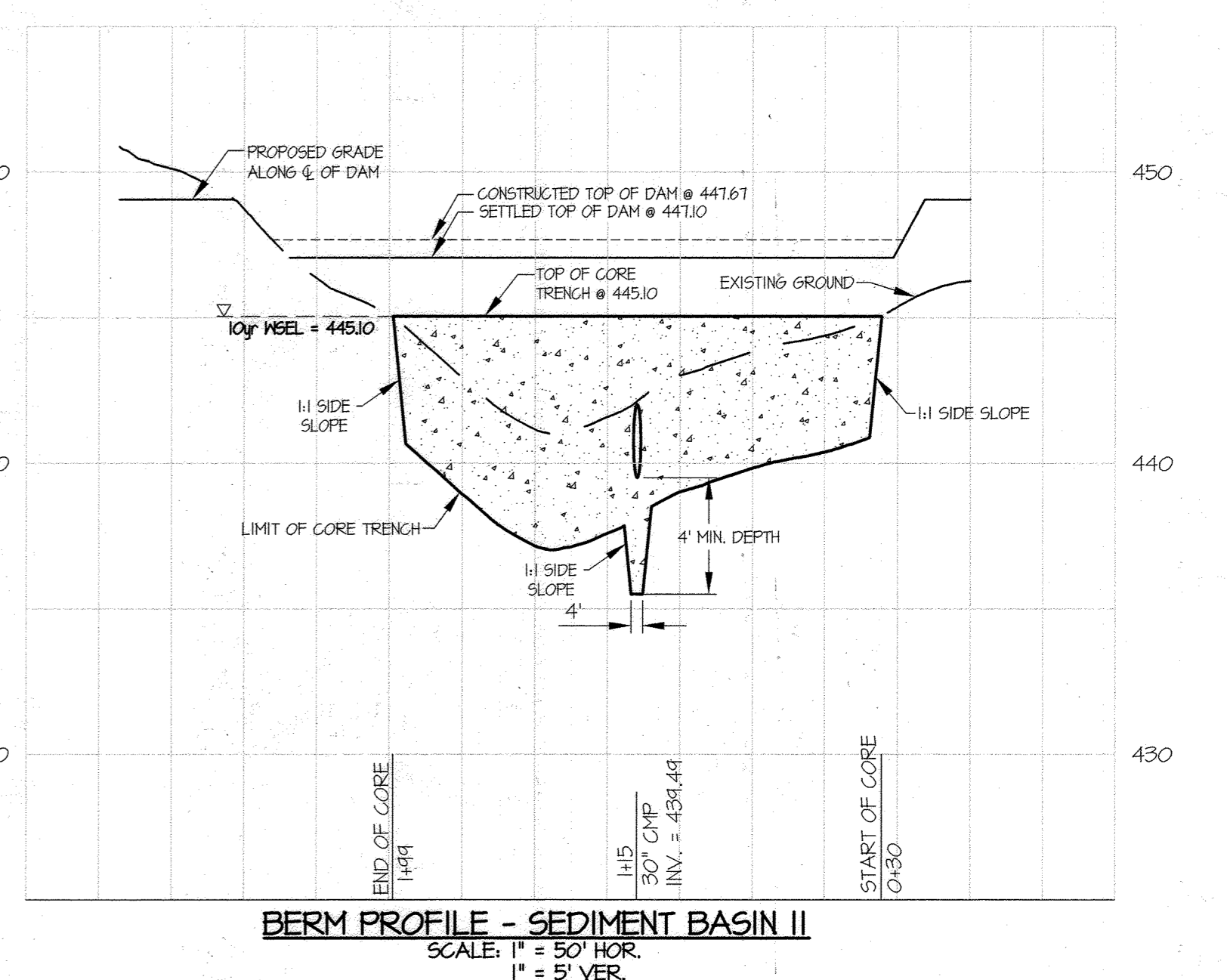


BERM PROFILE - SEDIMENT BASIN Ø SCALE: 1" = 50' HOR. 1" = 5' VER.

PRIOR TO THE CONTRACTOR BACKFILLING THE TRAPS AND BASINS, THE DEVICES ARE TO BE DE-WATERED AND AT A MINIMUM, EXCAVATED TO THE BOTTOM ELEVATION SHOWN ON THESE PLANS. COMPACTION OF THE BACKFILL MATERIAL MUST BE PERFORMED TO A LEVEL APPROPRIATE FOR THE CONSTRUCTION OF HOMES IN THE FUTURE.



PROFILE - SEDIMENT BASIN II SCALE: 1" = 50' HOR. 1" = 5' VER.



BERM PROFILE - SEDIMENT BASIN II SCALE: 1" = 50' HOR. 1" = 5' VER.

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

REVISED SEDIMENT BASIN BACKFILL PLAN
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	27 OF 45

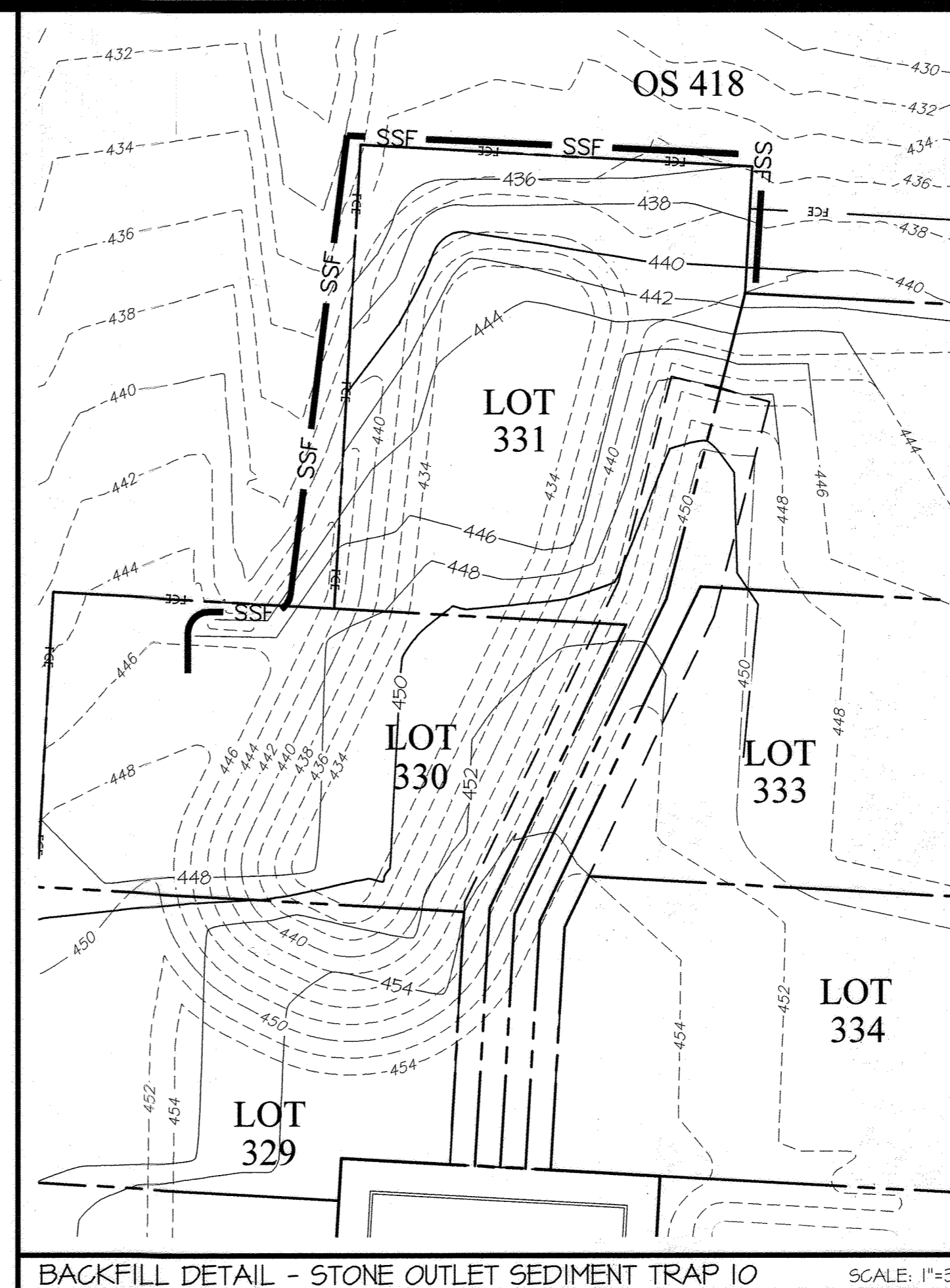


L:\CADD\DWG\2023\1619\1619.dwg (PRINT) SCALE: 1"=30' TRAP INFORMATION.dwg, PLOTTED: 3/15/2023 3:10:04 AM, PLOTTER: HP DesignJet T1300, PLOTTER DRIVER: HP DesignJet T1300 PCL6

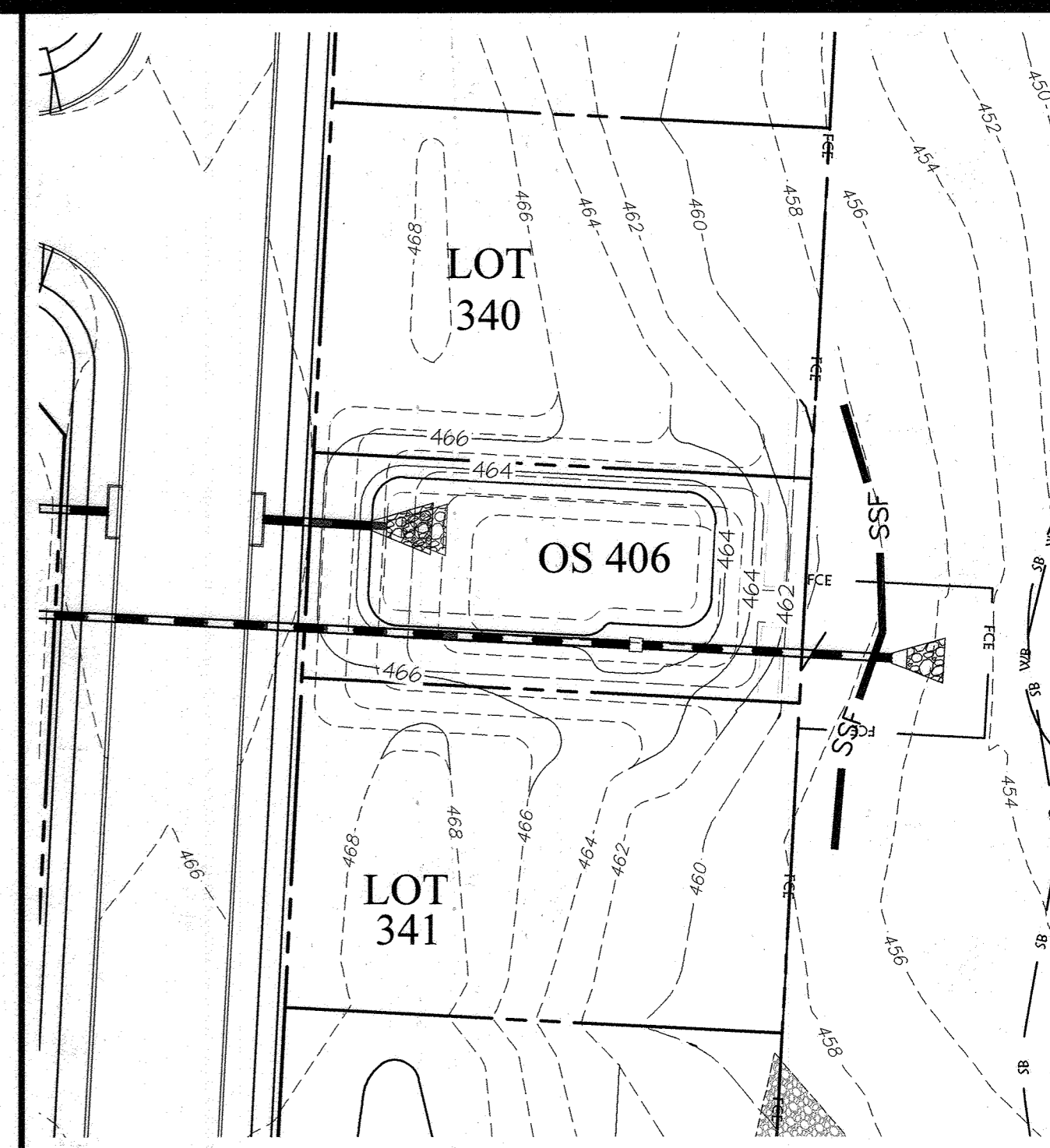
SEDIMENT CONTROL DESIGN INFORMATION	UNITS	BASIN 0	BASIN II
TOTAL INITIAL AREA DRAINING TO BASIN	ACRES	14.1	1.6
TOTAL FINAL AREA DRAINING TO BASIN	ACRES	13.5	1.6
REQUIRED TOTAL STORAGE VOLUME	CF	93,930	55,433
REQUIRED NET STORAGE VOLUME	CF	25,380	15,680
REQUIRED DRY STORAGE VOLUME	CF	68,550	43,663
BASIN BOTTOM ELEVATION	FT	454.55	434.50
RISER CREST (DRY STORAGE) ELEVATION	FT	464.27	444.31
PROVIDED TOTAL STORAGE VOLUME	CF	44,745	58,054
NET STORAGE ELEVATION (OUTLET ELEVATION)	FT	460.35	441.00
PROVIDED NET STORAGE VOLUME	CF	36,145	15,906
PROVIDED DRY STORAGE VOLUME	CF, FT	68,550 @ 464.24	42,253 @ 444.15
CLEANOUT ELEVATION	FT	460.25	440.25
DISTANCE FROM RISER CREST ELEV. TO CLEAN OUT ELEV.	FT	4.02	4.06
Q ₀ (BEFORE DEVELOPMENT)	CFS	18.61	9.41
Q ₀ (AFTER DEVELOPMENT) (UNMANAGED)	CFS	14.74	42.13
Q ₀ (AFTER DEVELOPMENT) (MANAGED)	CFS	41.15 @ 465.34	21.98 @ 445.06
MINIMUM BASIN SURFACE AREA	ACRES	0.28	0.15
DESIGN Q _s FOR BARREL	CFS, FT	41.15 @ 465.34	21.98 @ 445.06
BARREL HEAD H, BARREL LENGTH, L	FT, FT	4.94, 45	4.60, 30
BARREL DIAMETER, D ₀	IN, CFS	30, 46.4	30, 48.8
RISER DIAMETER, RISER HEIGHT, RISER HEAD	IN, FT, FT	42, 4.6; 1.12	42, 4.8; 0.74
TRASH RACK DIAMETER, TRASH RACK HEIGHT	IN, IN	60; 21	60; 21
EMERGENCY SPILLWAY CAPACITY Q _{es}	CFS	N/A	N/A
WIDTH, W _p	FT, FT	N/A	N/A
EXIT CHANNEL SLOPE	%	N/A	N/A
EMERGENCY SPILLWAY CREST	FT	N/A	N/A
DESIGN HIGH WATER	FT	465.34	445.10
SETTLED TOP OF EMBANKMENT ELEVATION	FT	461.34	441.10
Y, Z, PIPE SLOPE, L _s	FT; H; V; %; FT	4.67; 2.5; 1; 100; 34.6	4.8; 2.5; 1; 100; 34.1
USE 1 SQUARE COLLAR, PROJECTION	FT, FT	1.64; 2.60	1.62; 2.56
Q ₄₄	CFS	0.64	0.43
CALCULATED A ₀	SF	0.10	0.06
DESIGN A ₀ (USED FOR DRAIN DOWN DEVICE)	SF	0.025	0.012
CALCULATED d ₀	IN	4.32	3.36
MAXIMUM DIAMETER FROM TABLE 6.10	IN	6	4
DESIGN d ₀	IN	2.125	1.5
DRAIN-DOWN DEVICE PIPE DIAMETER	IN	12	12
MINIMUM A _s	SF	0.10	0.05
PERFORATION DIAMETER, AREA	IN, SF	1; 0.0055	1; 0.0055
MINIMUM NUMBER OF PERFORATIONS	--	20	10
NUMBER OF LONGITUDINAL ROWS	--	3	2
PERFORATED PIPE LENGTH	FT	3	3
ACTUAL A _s (PERFORATION AREA x PERFORATIONS PROVIDED)	SF	0.12	0.04
A = SURFACE AREA AT NET STORAGE ELEVATION (s=1/4)	SF	18,645	11,271
EFFECTIVE WIDTH, W _e	FT	47	15
FLOW LENGTH FROM INFLOW POINT TO OUTLET	FT	11, 173, 141	60
W _e x 2	FT	144	150
EFFECTIVE FLOW LENGTH, L _e	FT	144, 202, 194	151

SEDIMENT CONTROL DESIGN INFORMATION	UNITS	TRAP 9	TRAP 10	TRAP 12
DRAINAGE AREA - INITIAL	ACRES	1.2	3.5	2.3
DRAINAGE AREA - INTERIM	ACRES	---	---	---
DRAINAGE AREA - FINAL	ACRES	1.6	3.0	2.3
TOTAL STORAGE REQUIRED	CF	5,760	18,198	14,303
TOTAL STORAGE PROVIDED	CF	6,344	23,614	20,280
NET STORAGE REQUIRED	CF	2,880	6,300	4,140
NET STORAGE PROVIDED	CF	3,076	8,041	5,730
DRY STORAGE REQUIRED	CF	2,880	11,848	10,163
DRY STORAGE PROVIDED	CF	3,275	15,511	14,550
TRAP BOTTOM ELEVATION	FT	456.00	454.00	434.00
TRAP DIMENSIONS	FT x FT	50 x 24	151 x 30	75 x 38
WEIR CREST (DRY STORAGE) ELEVATION	FT	454.40	438.20	434.40
OUTLET (NET STORAGE) ELEVATION	FT	458.00	435.70	436.00
CLEANOUT ELEVATION	FT	451.00	434.25	435.00
TOP OF EMBANKMENT ELEVATION	FT	460.40	434.20	440.40
SIDE SLOPE	H:V RATIO	2:1	2:1	2:1
TOP OF EMBANKMENT WIDTH	FT	4	4	4
WEIR LENGTH	FT	7	13	10
OUTLET PROTECTION - LENGTH	FT	10	10	10
OUTLET PROTECTION - WIDTH	FT	5	16	5
OUTLET PROTECTION - DEPTH	IN	14	14	14

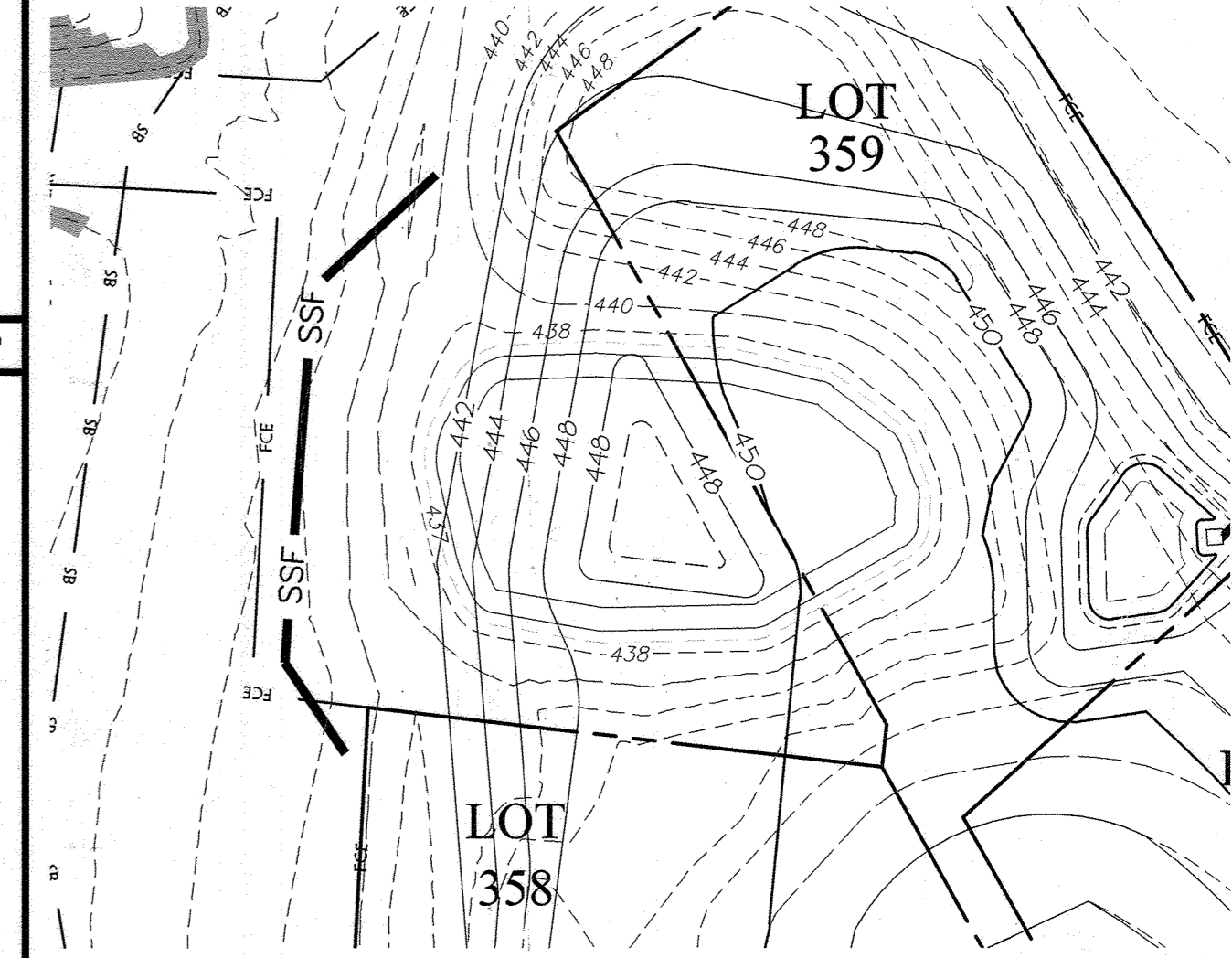
NOTE:
SEE SHEETS 29 & 30 FOR SEDIMENT TRAP/BASIN LOCATIONS.
SEE SHEETS 21 & 28 FOR SEDIMENT TRAP/BASIN BACKFILL PLAN.



BACKFILL DETAIL - STONE OUTLET SEDIMENT TRAP 10 SCALE: 1"=30'



BACKFILL DETAIL - STONE OUTLET SEDIMENT TRAP 9 SCALE: 1"=30'



BACKFILL DETAIL - STONE OUTLET SEDIMENT TRAP 12 SCALE: 1"=30'

PRIOR TO THE CONTRACTOR BACKFILLING THE TRAPS AND BASINS, THE DEVICES ARE TO BE DE-WATERED AND AT A MINIMUM, EXCAVATED TO THE BOTTOM ELEVATION SHOWN ON THESE PLANS. COMPACTION OF THE BACKFILL MATERIAL MUST BE PERFORMED TO A LEVEL APPROPRIATE FOR THE CONSTRUCTION OF HOMES IN THE FUTURE.

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERFORMING ON-SITE INSPECTION BY THE HSCD."

M. Jimmy Ruth 3/15/23
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Alvin D. Batcher 3/8/23
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Alvin D. Batcher 04/10/23
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James 05/10/2023
Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

John Clark 6-5-23
Chief, Development Engineering Division JP Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC/VA: 301-889-2524 | FAX: 301-421-4188

DESIGNED BY	DEV	DATE	REVISION
DRAWN BY	AWL		
CHECKED BY	DEV	03/06/2023	REVISD BACKFILL PLANS PER GRADING CHANGES
DATE	BY	AWL	DEV
		BY	APPR.

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024
3/8/23
Alvin D. Batcher

REVISED SEDIMENT TRAP BACKFILL PLAN

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	28 OF 45

STORMWATER MANAGEMENT SUMMARY										
DESIGN CRITERIA ITEM	BASIN #0		TRAP #1		TRAP #10		BASIN #1		TRAP #12	
	BEFORE DEV.	AFTER DEV.	BEFORE DEV.	AFTER DEV.	BEFORE DEV.	AFTER DEV.	BEFORE DEV.	AFTER DEV.	BEFORE DEV.	AFTER DEV.
DRAINAGE AREA	14.1 ac.	13.5 ac.	1.2 ac.	1.6 ac.	3.5 ac.	3.0 ac.	1.6 ac.	1.6 ac.	2.3 ac.	2.3 ac.
CURVE NUMBER	50	41	50	41	50	41	50	41	50	41
TIME OF CONCENTRATION	0.25 Hr.	0.10 Hr.	---	---	0.31 Hr.	0.07 Hr.	0.28 Hr.	0.06 Hr.	---	---

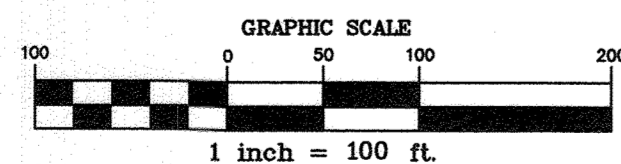
TEMPORARY SWM SUMMARY				
BASIN #	YR	BEFORE	UNMANAGED	MANAGED
		Q (cfs.)	Q (cfs.)	Q (cfs.)
BASIN #0	1 YR	0.14 cfs.	32.99 cfs.	0.51 cfs. @ 464.24
	2 YR	3.51 cfs.	43.06 cfs.	2.78 cfs. @ 464.40
	10 YR	18.61 cfs.	74.74 cfs.	41.15 cfs. @ 465.34
BASIN #1	1 YR	0.34 cfs.	18.58 cfs.	0.10 cfs. @ 444.15
	2 YR	1.72 cfs.	24.26 cfs.	0.87 cfs. @ 444.34
	10 YR	9.41 cfs.	42.13 cfs.	21.98 cfs. @ 445.06



LEGEND	
	B SOILS
	C SOILS
	D SOILS
	DRAINAGE DIVIDE
	TC PATH

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways *MK* Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development Date: 6/6/23
 Chief, Development Engineering Division *JP* Date: 6.5.23



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-0224 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DEV	DATE	REVISION	AWL	DEV
CHECKED BY:	DEV	03/06/2023	UPDATED DRAINAGE AREA MAP TO REFLECT REVISED GRADING	AWL	DEV
				BY	APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12972
 EXPIRATION DATE: MAY 26, 2024
3-P-23 *CLW*

REVISED TEMPORARY SWM DRAINAGE AREA MAP (PRE-DEVELOPMENT)
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	29 OF 45

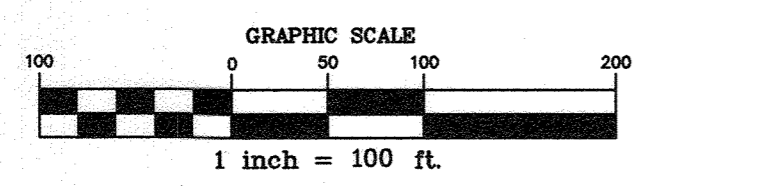


LEGEND

	B SOILS		DRAINAGE DIVIDE
	C SOILS		TC PATH
	D SOILS		

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 05/10/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 6/6/23
 Chief, Division of Land Development Date
[Signature] 6.5.23
 Chief, Development Engineering Division JP Date



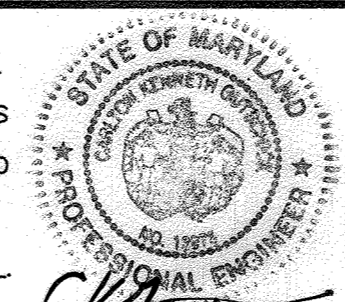
THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY:	DEV				
DRAWN BY:	AWL				
CHECKED BY:	DEV	03/06/2023	UPDATED DRAINAGE AREA MAP TO REFLECT REVISED GRADING	AWL	DEV
DATE			REVISION	BY	APP'R

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 129712
 EXPIRATION DATE: MAY 28, 2024
 3-8-23 *[Signature]*



REVISED TEMPORARY SWM DRAINAGE AREA MAP (POST-DEVELOPMENT)
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1"=100'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	30 OF 45

L:\CAD\DRAWINGS\13013\PLANS BY GLW\ROADS-SD (PH4)\PHASE 4_30_SC - Temp SWM DRAINAGE POST-DEV.dwg, 3/28/2023 1:38:48 PM, dwg, 11
 PLOT DATE: 3/28/2023 1:38:48 PM, LAST SAVED: 3/28/2023 8:21:48 AM, PLOTTED BY: J. Goodier, Version: 11

LEGEND	
400	EXISTING CONTOUR
400	PROPOSED CONTOUR
	STABILIZED CONSTRUCTION ENTRANCE
	EARTH DIKE
	PROPOSED SILT FENCE
	PROPOSED SUPER SILT FENCE
	EXISTING TREELINE
	100 YEAR FLOODPLAIN
	STREAM BUFFER
	CENTERLINE OF STREAM
	WETLAND BUFFER
	LIMIT OF WETLAND
	DRAINAGE DIVIDE

EARTH DIKE SIZING FOR EXISTING CONDITIONS

EX. EARTH DIKE TREATMENT						
EARTH DIKE NO.	AVG. SLOPE	DRAINAGE AREA	TREATMENT	Q2	V2*	SHEAR STRESS (lb/ft ²)
11	4.9%	1.0 AC.	A-2	2.04 CFS	4.1 FPS	0.52
12	4.5%	4.1 AC.	B-3	13.34 CFS	6.1 FPS	0.65
13	2.9%	1.1 AC.	A-2	3.12 CFS	4.3 FPS	0.55
14	2.9%	2.8 AC.	A-2	1.38 CFS	3.8 FPS	0.14
17	2.6%	7.0 AC.	B-3	14.81 CFS	5.1 FPS	0.41
18	2.4%	1.1 AC.	A-2	3.12 CFS	3.1 FPS	0.27
20	1.0%	0.9 AC.	A-2	2.55 CFS	3.3 FPS	0.21
23	0.8%	0.31 AC.	A-2	1.05 CFS	5.46 FPS	0.71
24	2.6%	0.67 AC.	A-2	1.40 CFS	1.40 FPS	0.10
25	1.8%	4.01 AC.	A-2	11.26 CFS	2.81 FPS	0.16
26	2.2%	1.04 AC.	A-2	3.04 CFS	2.11 FPS	0.12
27	1.4%	0.46 AC.	A-2	1.31 CFS	1.23 FPS	0.04
28	1.2%	0.15 AC.	A-2	0.43 CFS	1.51 FPS	0.04

PROPOSED EARTH DIKE TREATMENT						
EARTH DIKE NO.	AVG. SLOPE	DRAINAGE AREA	TREATMENT	Q2	V2*	SHEAR STRESS (lb/ft ²)
24	5.9%	0.55 AC.	A-2	1.56 CFS	5.40 FPS	0.63

*2-YEAR VELOCITY VALUES COMPUTED USING HYDRAFLOW EXPRESS EXTENSION.

NOTE: EARTH DIKE NUMBERING IS PER F-11-001 PLANS FOR CONSISTENCY.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4188

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION
AWL	AWL	DEV	03/06/2023	UPDATED DRAINAGE AREA MAP TO REFLECT REVISED GRADING

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15272
 EXPIRATION DATE: MAY 26, 2024
 3-8-23

REVISED EARTHDIKE TREATMENT PLAN - EXISTING CONDITIONS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=100'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	31 OF 45

LEGEND	
400	EXISTING CONTOUR
400	PROPOSED CONTOUR
	STABILIZED CONSTRUCTION ENTRANCE
	EARTH DIKE
	PROPOSED SILT FENCE
	PROPOSED SUPER SILT FENCE
	EXISTING TREELINE
	100 YEAR FLOODPLAIN
	STREAM BUFFER
	CENTERLINE OF STREAM
	WETLAND BUFFER
	LIMIT OF WETLAND
	DRAINAGE DIVIDE

EARTH DIKE SIZING FOR PROPOSED CONDITIONS

PROP. EARTH DIKE TREATMENT						
EARTH DIKE NO.	AVG. SLOPE	DRAINAGE AREA	TREATMENT	Q2	V2*	SHEAR STRESS (lb/ft ²)
11	4.9%	0.3 AC.	A-2	0.85 CFS	4.15 FPS	0.43
12	4.5%	6.4 AC.	B-3	14.54 CFS	4.4 FPS	1.35
13	-	-	-	-	-	-
14	2.9%	1.4 AC.	A-2	5.34 CFS	3.6 FPS	0.51
17	-	-	-	-	-	-
18	2.4%	1.1 AC.	A-2	3.12 CFS	3.1 FPS	0.21
20	1.8%	0.4 AC.	A-2	2.55 CFS	3.3 FPS	0.21
23	0.1%	0.31 AC.	A-2	1.05 CFS	5.46 FPS	0.71
24	2.6%	0.61 AC.	A-2	1.40 CFS	1.40 FPS	0.10
25	1.8%	4.01 AC.	A-2	11.30 CFS	2.81 FPS	0.16
26	2.2%	1.04 AC.	A-2	3.04 CFS	2.11 FPS	0.12
21	1.4%	0.46 AC.	A-2	1.31 CFS	1.23 FPS	0.04
28	1.2%	0.15 AC.	A-2	0.43 CFS	1.51 FPS	0.04

PROPOSED EARTH DIKE TREATMENT						
EARTH DIKE NO.	AVG. SLOPE	DRAINAGE AREA	TREATMENT	Q2	V2*	SHEAR STRESS (lb/ft ²)
24	5.4%	0.41 AC.	A-2	1.33 CFS	5.13 FPS	0.54

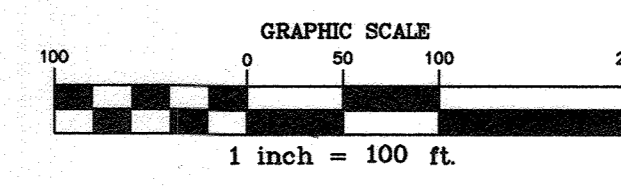
*2-YEAR VELOCITY VALUES COMPUTED USING HYDRAPLOW EXPRESS EXTENSION.

NOTE: EARTH DIKE NUMBERING IS PER F-11-001 PLANS FOR CONSISTENCY.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James 05/18/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
John 6-5-23
 Chief, Division of Land Development Date
JP
 Chief, Development Engineering Division Date



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4188

DESIGNED BY	CHECKED BY	DATE	REVISION	AWL	DEV
AWL	DEV	03/06/2023	UPDATED DRAINAGE AREA MAP TO REFLECT REVISED GRADING	AWL	DEV

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12579.
 EXPIRATION DATE: MAY 26, 2024
Robert Goodier 3-8-23

REVISED EARTHDIKE TREATMENT PLAN - ULTIMATE CONDITIONS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	32 OF 45

L:\CAD\DRAWINGS\1301\PLANS BY GLW\ROADS-S0 (PH4)\PHASE 4_31-32_SC - ED Treatment.dwg, PLOTTED: 7/26/2023, 1:13 PM, LAST SAVED: 3/28/2023, 12:50 PM, PLOTTED BY: Doug Wende, 11
 L:\CAD\DRAWINGS\1301\PLANS BY GLW\ROADS-S0 (PH4)\PHASE 4_31-32_SC - ED Treatment.dwg, 3/28/2023 1:13:13 PM, DWG, 1:11
 © GLW 2020

SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS...
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, FENCE SLOPES AND ALL SLOPES GREATER THAN 3:1, 1 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE...
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

- 1. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE...
2. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE C.D. THE SITE AND ALL CONTROL'S SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY...
3. TRSNGERS FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY...
4. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HS&D PRIOR TO PROCEEDING WITH CONSTRUCTION...

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS...

Signature: Clark, Date: 10/28/21

DEVELOPER/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM...

Signature: M. Quincy Rother, Date: 10/27/21

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Signature: [Signature], Date: 11/29/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Signature: [Signature], Date: 11/23/2021

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES
This practice is limited to areas having 2:1 or flatter slopes where:

- 1. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
2. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
3. The original soil to be vegetated contains material toxic to plant growth.
4. The soil is so acidic that treatment with limestone is not feasible.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experimental Station.
II. Topsoil specifications - soil to be used as topsoil must meet the following:
1. Soil pH between 6.0 and 7.0.
2. Soluble salts less than 500 parts per million (ppm).
3. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture.

- 1. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.0 or higher.
2. Organic content of topsoil shall be not less than 1.5 percent by weight.
3. Topsoil having soluble salt greater than 500 parts per mill shall not be used.
4. No soil or seed shall be placed on a soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min) to permit dissipation of photo-toxic materials.

- 1. Topsoil substituted or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
2. Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
3. Topsoil Application
When topsoiling, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Baffles.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:

- 1. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4".
2. Topsoil shall be spread as specified in the following methods.
3. Topsoil substituted or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
4. Topsoil Application
a. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas over 5 acres shall conform to the following requirements:
1. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
2. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0, if compost does not meet these requirements, the appropriate prior to use.
3. Composted sludge shall be applied at a rate of 1 ton/1000 square feet, b. Composted sludge shall be amended with a potassium fertilizer applied at a rate of 480/1000 square feet, and 1/3 the normal lime application rate.

Reference: Guideline Specifications, Soil Preparation and Sodding, MD-VA Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes, Revised 1973.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Signature: Alexander Bratovich, Date: 11/23/2021

GLW logo and contact information: PLANNING ENGINEERING SURVEYING, 3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLLWPA.COM, PHONE: 301-421-4241

DESIGNED BY: DEV, DRAWN BY: AWL, CHECKED BY: DEV, DATE, REVISION, BY, APPR.

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition: The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose: To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies: Where vegetative stabilization is to be established.

Criteria: A. Soil Preparation, I. Temporary Stabilization

- 1. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
2. Apply fertilizer and lime as prescribed on the plans.
3. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.

2. Permanent Stabilization

- a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
I. Soil pH between 6.0 and 7.0.
II. Soluble salts less than 500 parts per million (ppm).
III. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture.
IV. Soil contains 1.5 percent minimum organic matter by weight.
V. Soil contains sufficient pore space to permit adequate root penetration.
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means.
f. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

B. Topsoiling

- 1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:

- 1. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4".
2. Topsoil shall be spread as specified in the following methods.
3. Topsoil substituted or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
4. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the soil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
5. Soil Amendments (Fertilizer and Lime Specifications)
I. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment.
3. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clay, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition: The application of seed and mulch to establish vegetative cover.

Purpose: To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies: To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria: A. Seeding, I. Specifications

- a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory.
b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen.
c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species.
d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min) to permit dissipation of photo-toxic materials.
2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
ii. Apply seed in two directions, perpendicular to each other.
d. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

B. Mulching

- 1. Mulch Materials (In order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color.
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical slake.
c. WCFM must conform to the following physical requirements:
2. Application
a. Apply mulch to all seeded areas immediately after seeding.
b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches.
c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre.
3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water.

6. Topsoil Application

a. Erosion and sediment control practices must be maintained when applying topsoil.

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose.

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

3. Turfgrass Mixtures

4. Anchoring

a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water.

5. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-T, Petrosel, Terra Tex II, Terra Tack AR or other approved equal may be used.

6. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

Definition: To stabilize disturbed soils with vegetation for up to 6 months.

Purpose: To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies: Exposed soils where ground cover is needed for a period of 6 months or less.

Criteria: 1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone.

- 1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3 A.1.b and maintain until the next seeding season.

TEMPORARY SEEDING SUMMARY

Table with columns: Hardness Zone, Seed Mixture, Application Rate, Seeding Dates, Seeding Depth, Fertilizer Rate, Lime Rate. Includes rows for Annual Ryegrass and Pearl Millet.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft).

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 40 lbs/1000 sq ft) of untreated small grain straw immediately after seeding.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

6. Topsoil Application

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose.

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

3. Turfgrass Mixtures

4. Anchoring

a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water.

5. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-T, Petrosel, Terra Tex II, Terra Tack AR or other approved equal may be used.

6. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Definition: To stabilize disturbed soils with permanent vegetation.

Purpose: To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies: Exposed soils where ground cover is needed for 6 months or more.

Criteria: 1. General Use, a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone.

2. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose.

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose.

1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

2. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

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1. Kentucky Bluegrass: Full Sun Mixtures. For use in areas that receive intensive management, irrigation required in the areas of Central Maryland and Eastern Shore.

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a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

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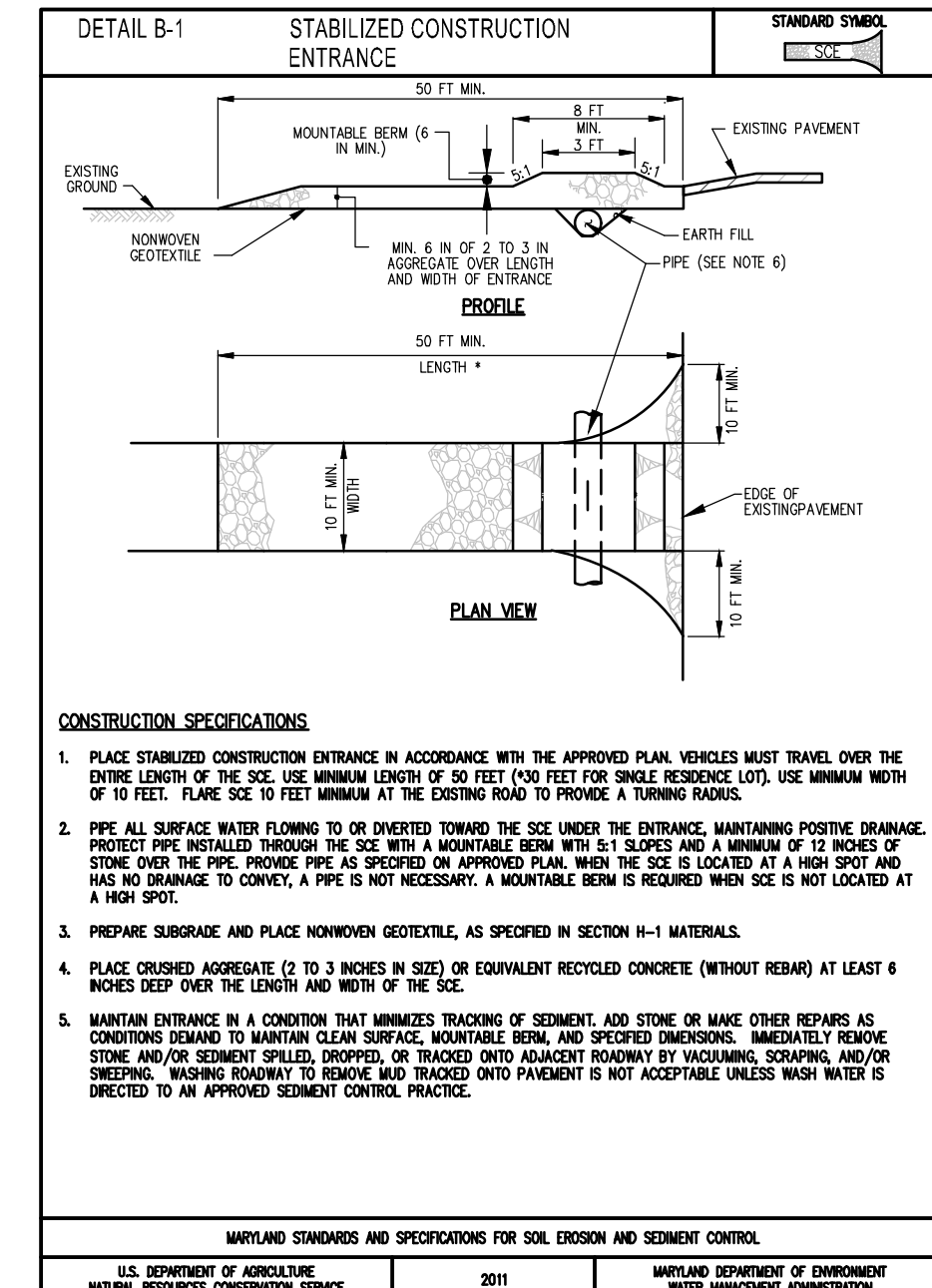
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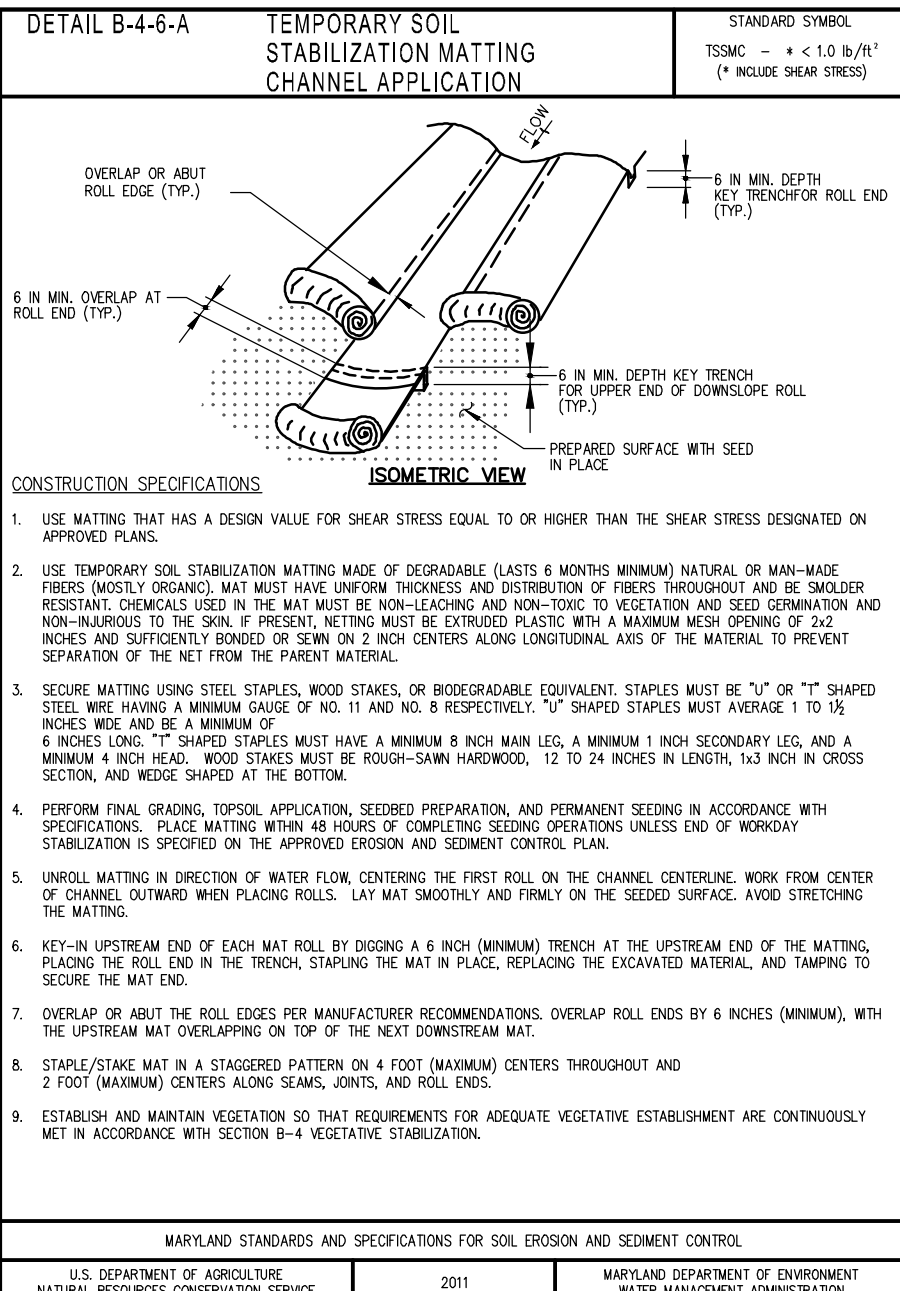
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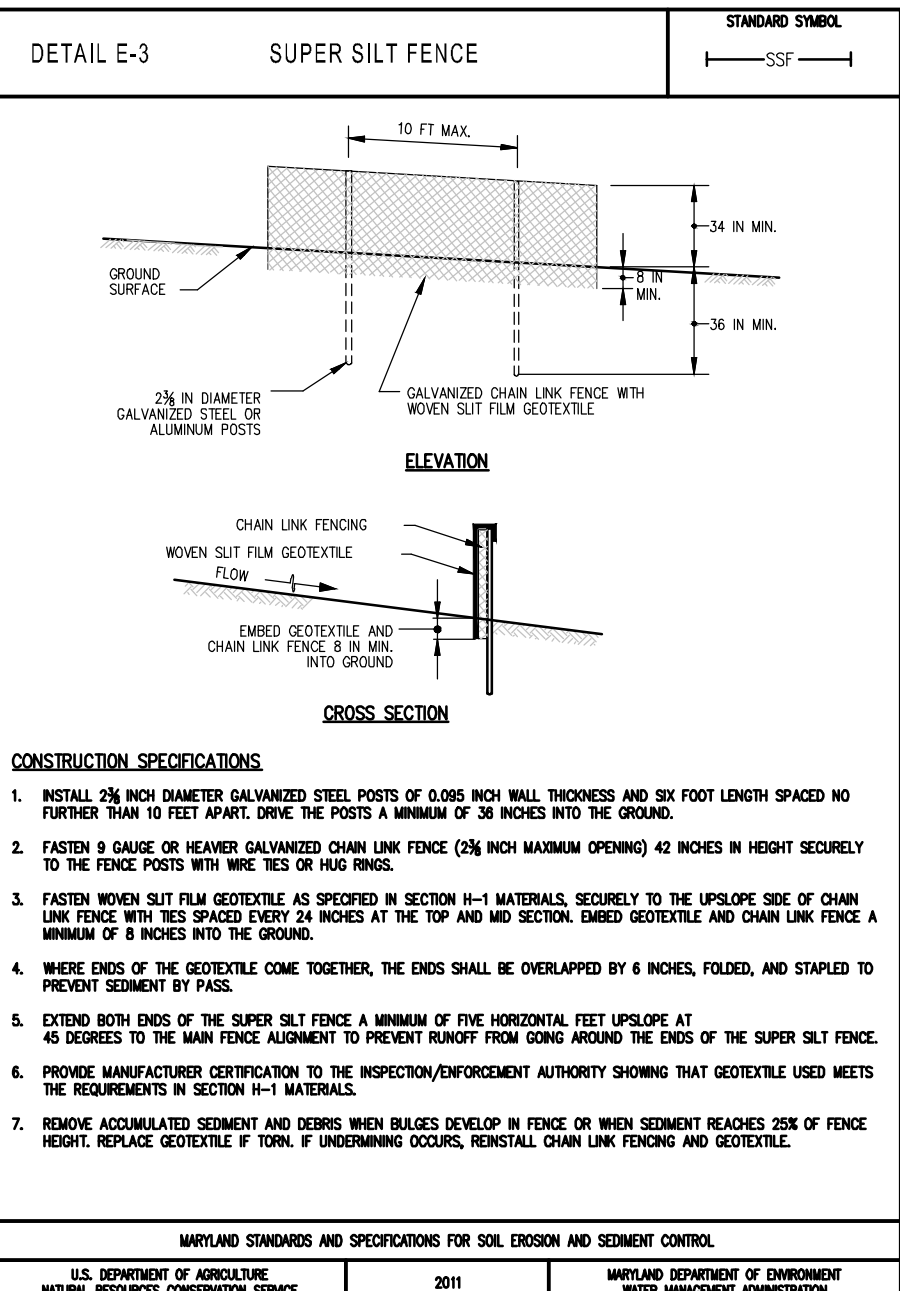
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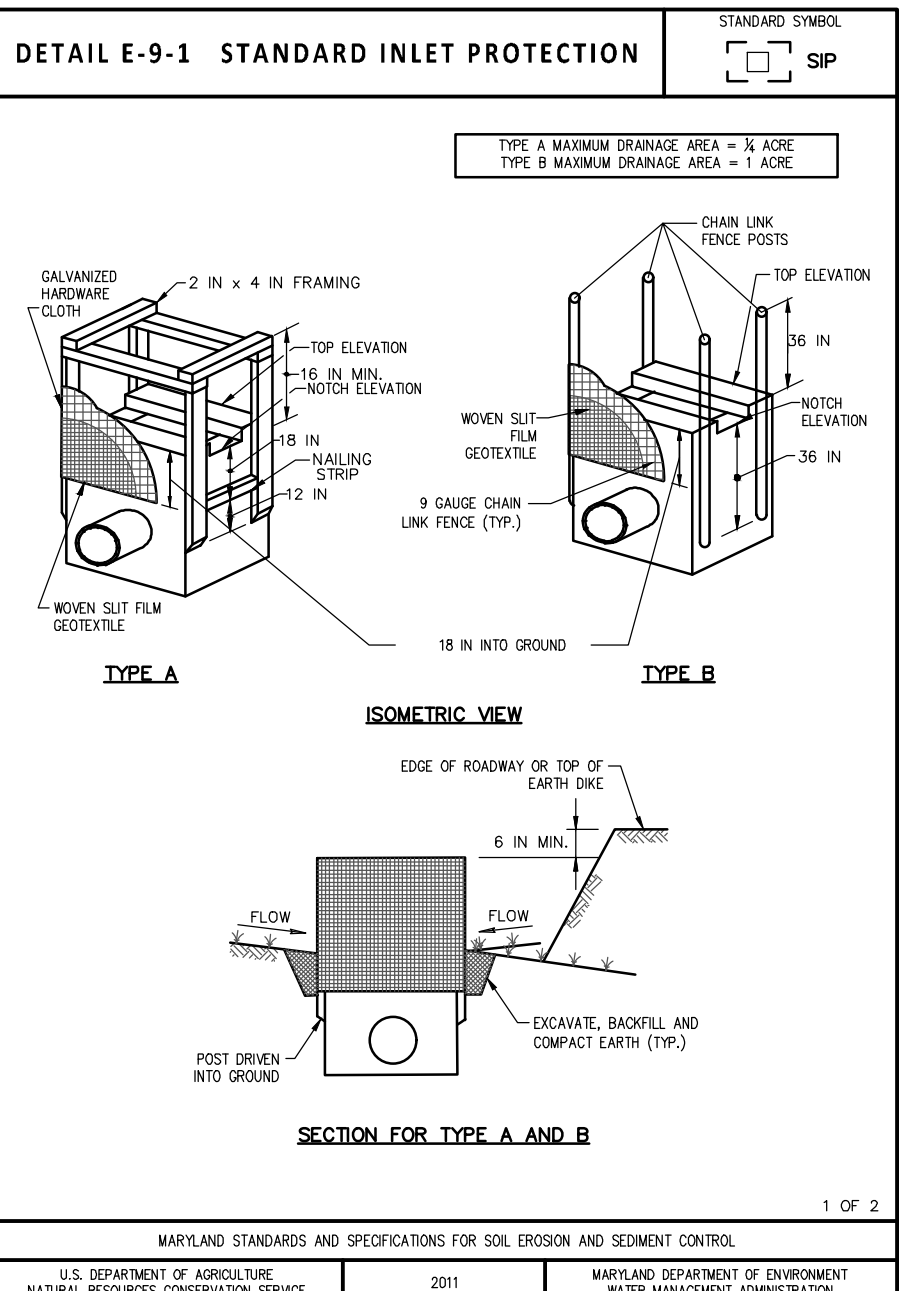
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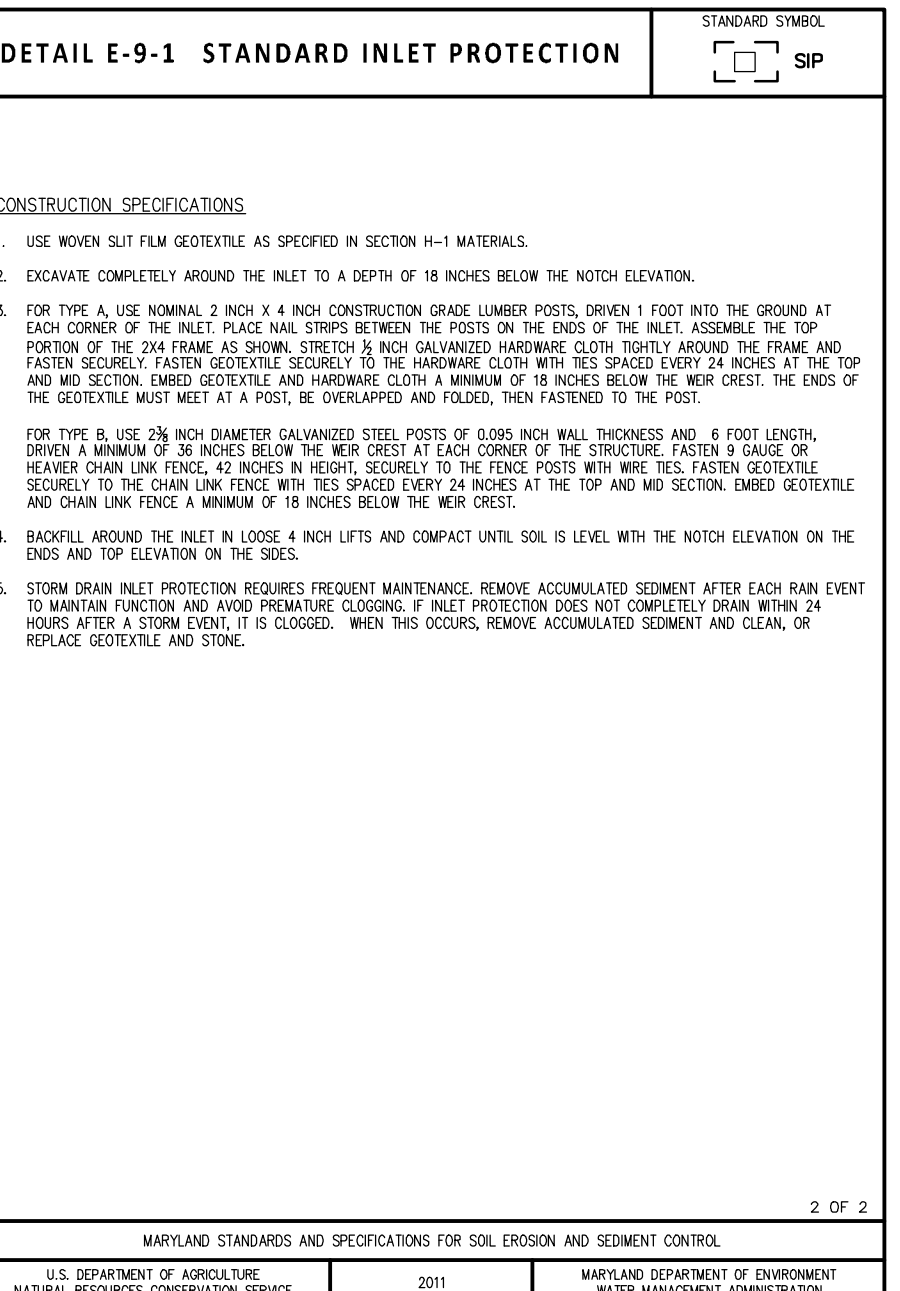
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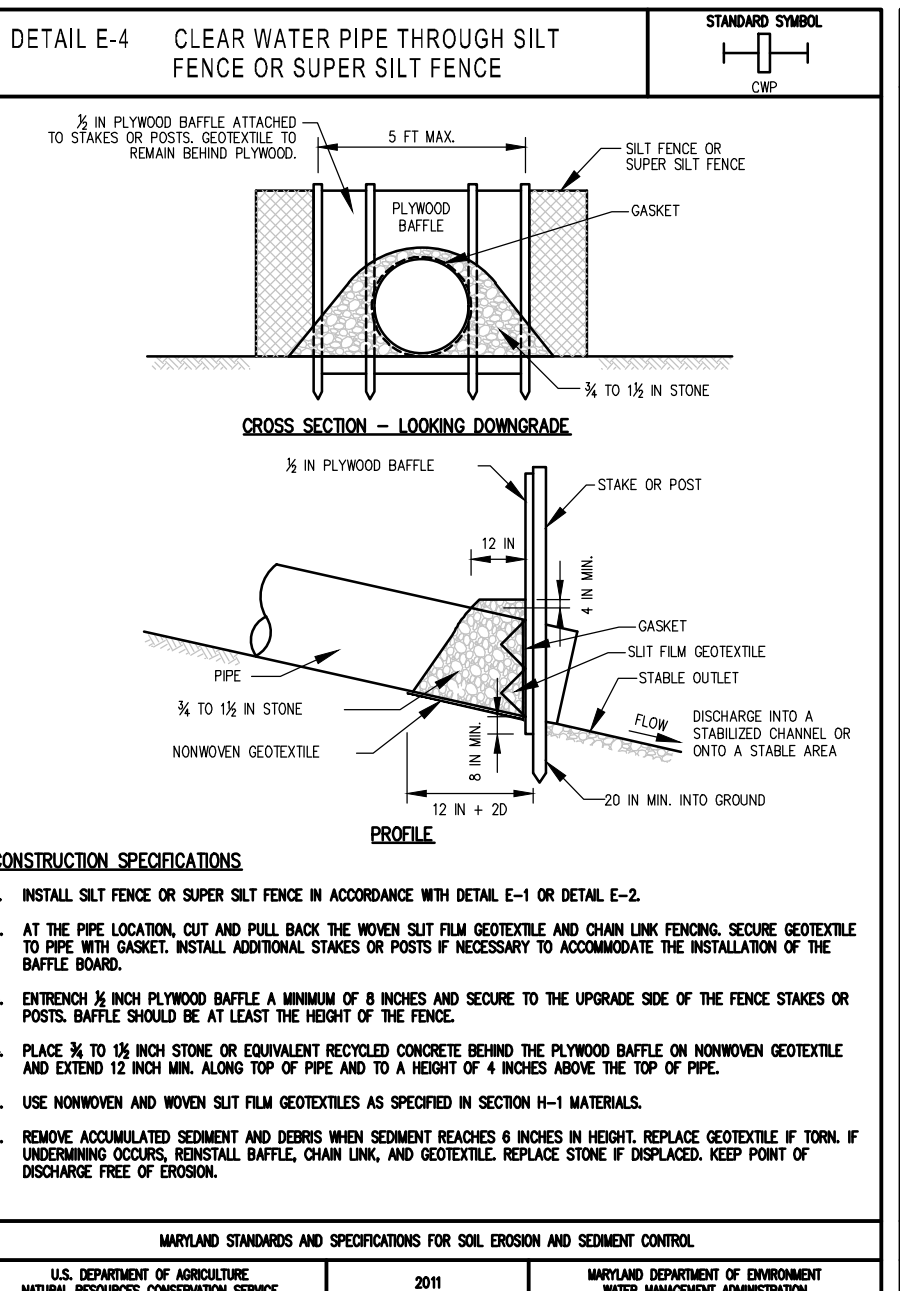
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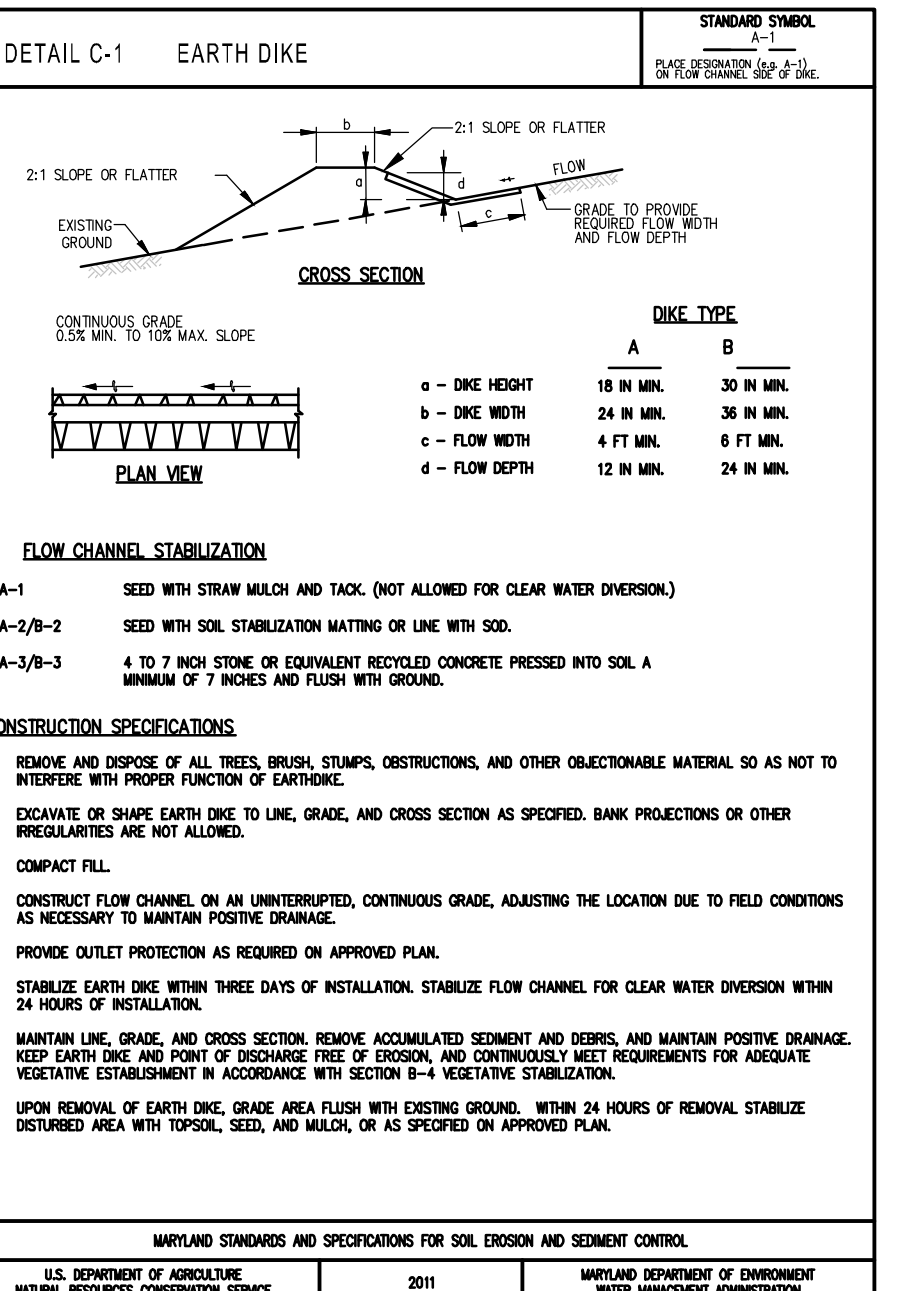
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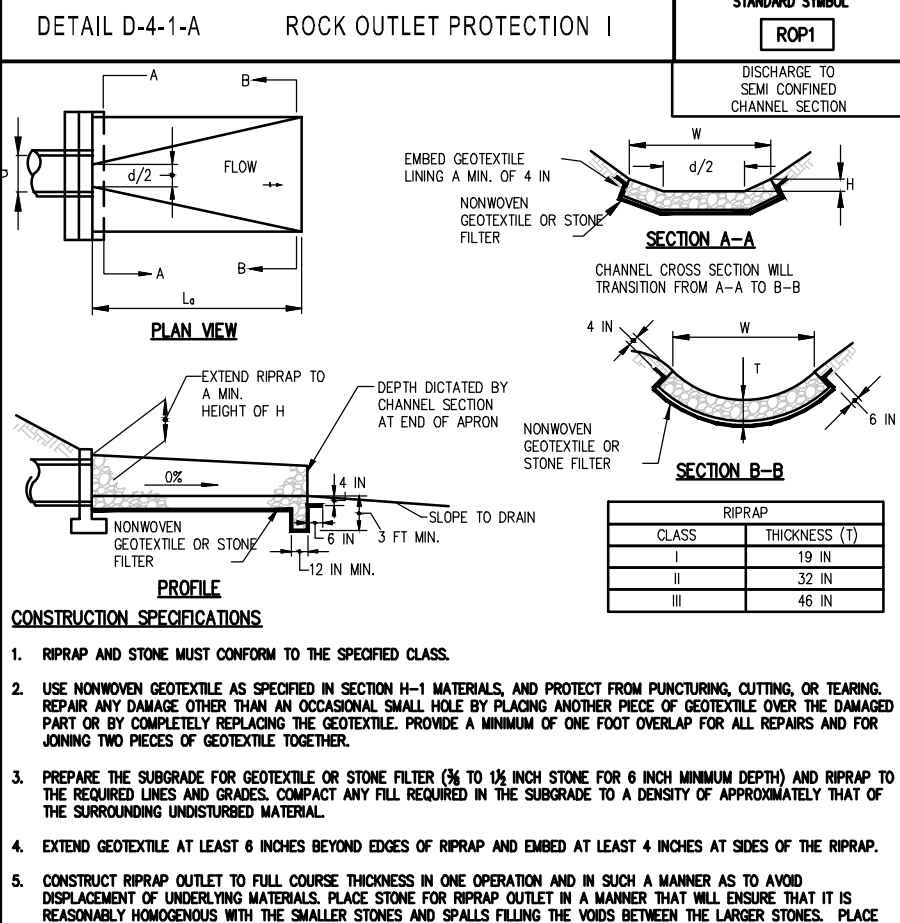
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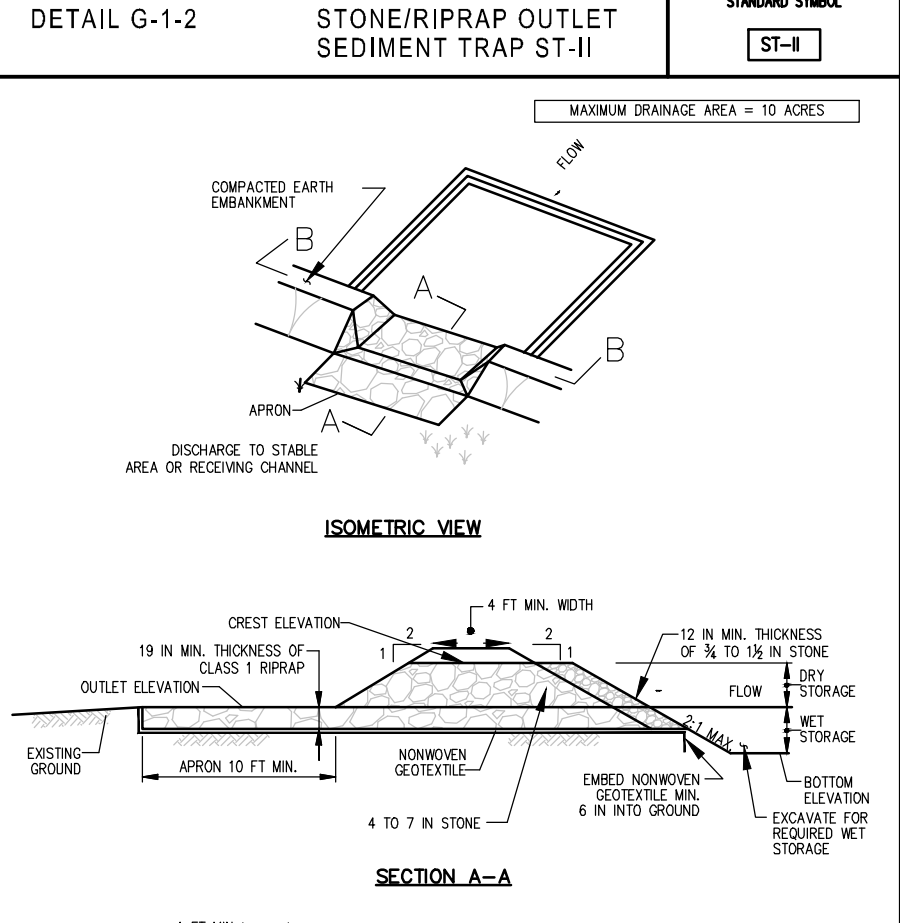
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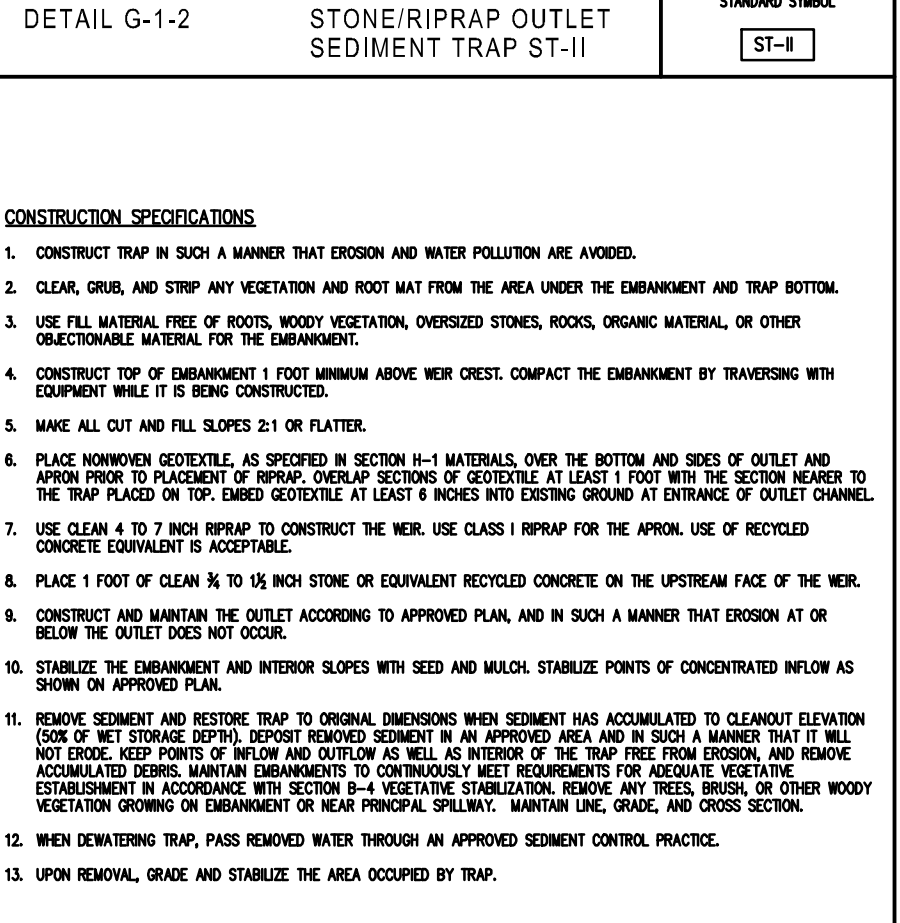
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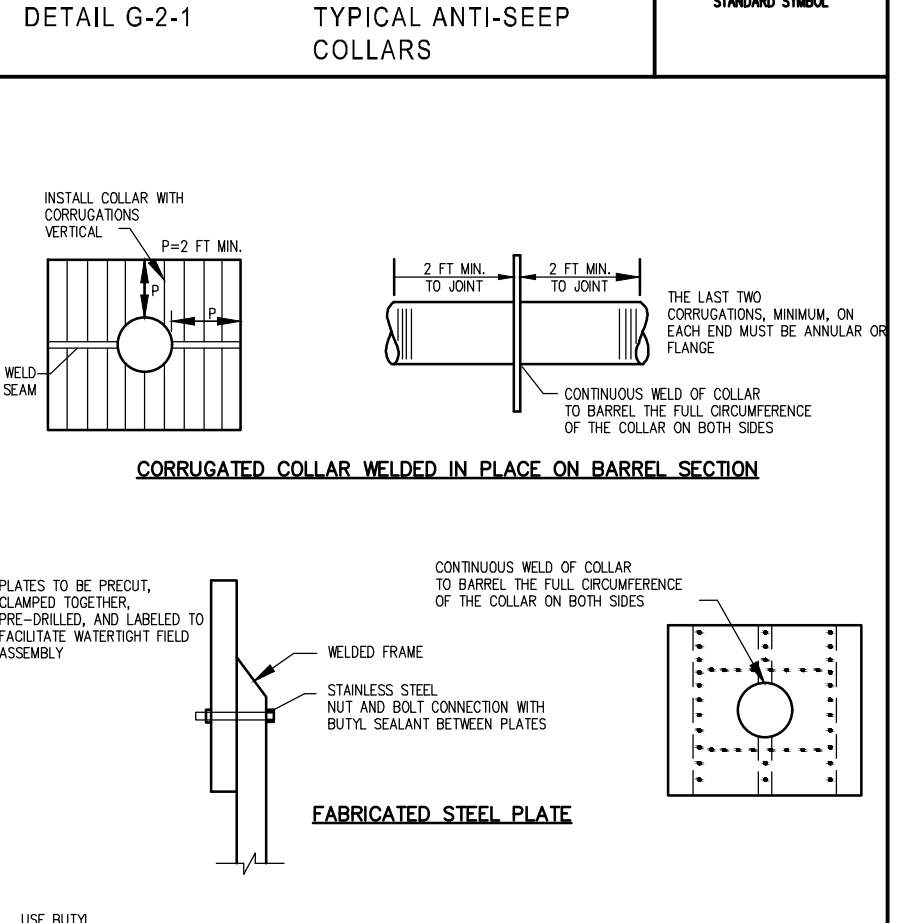
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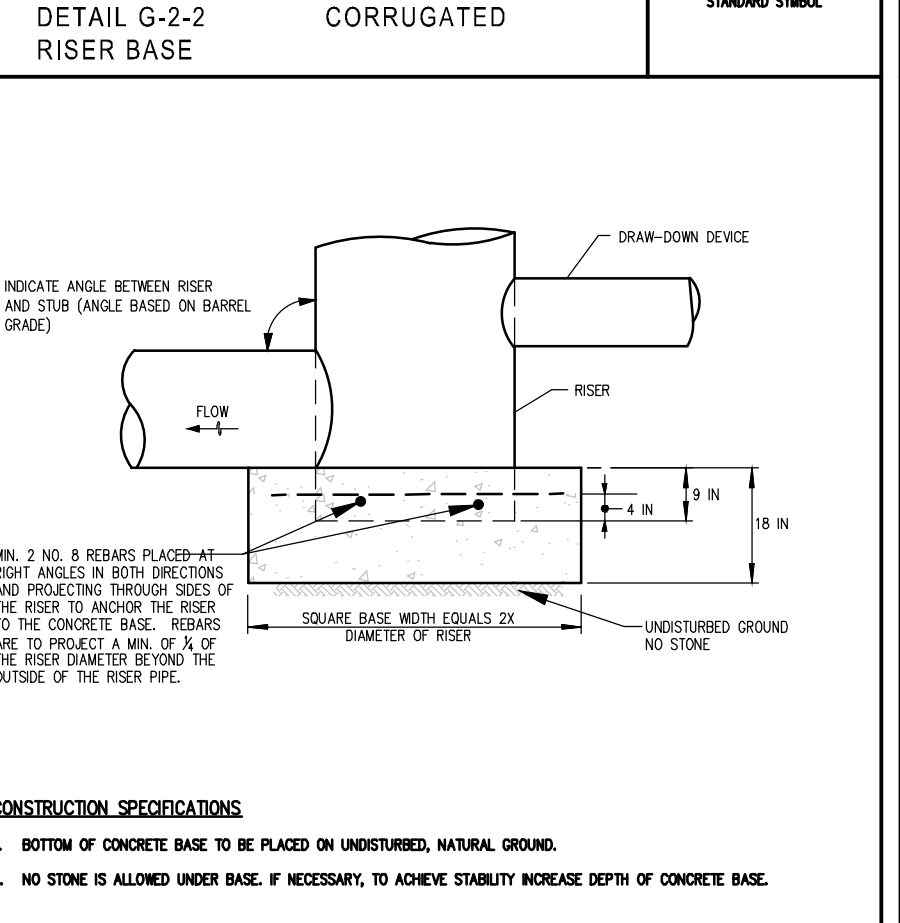
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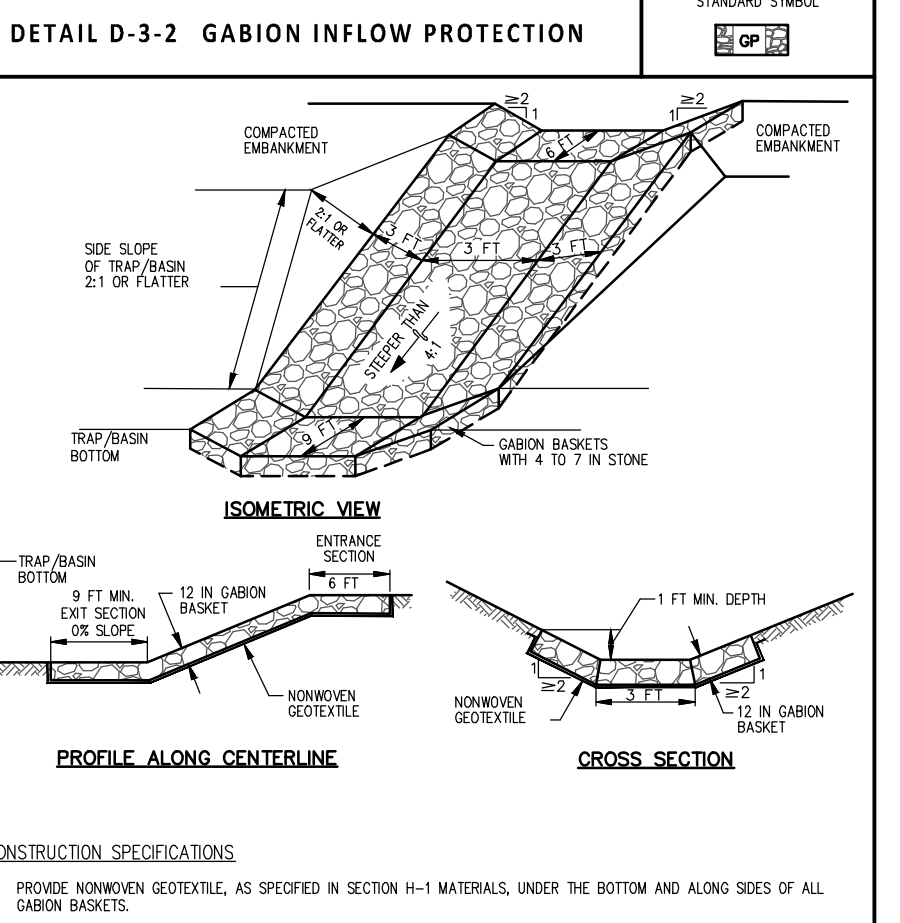
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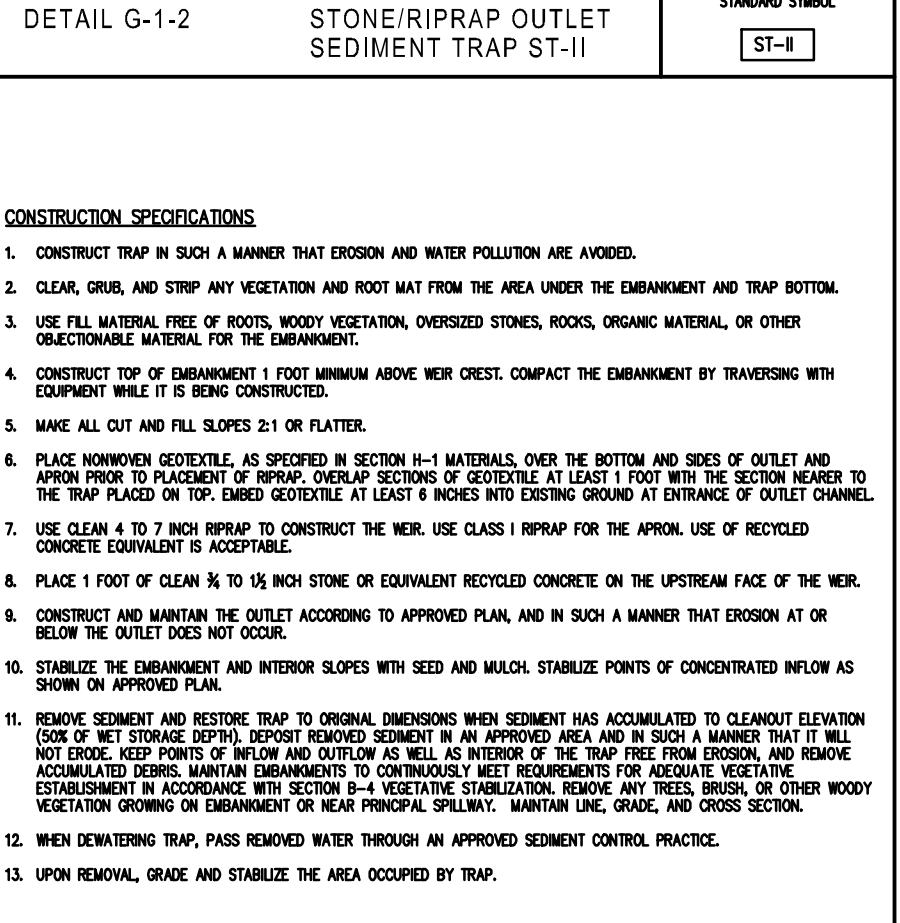
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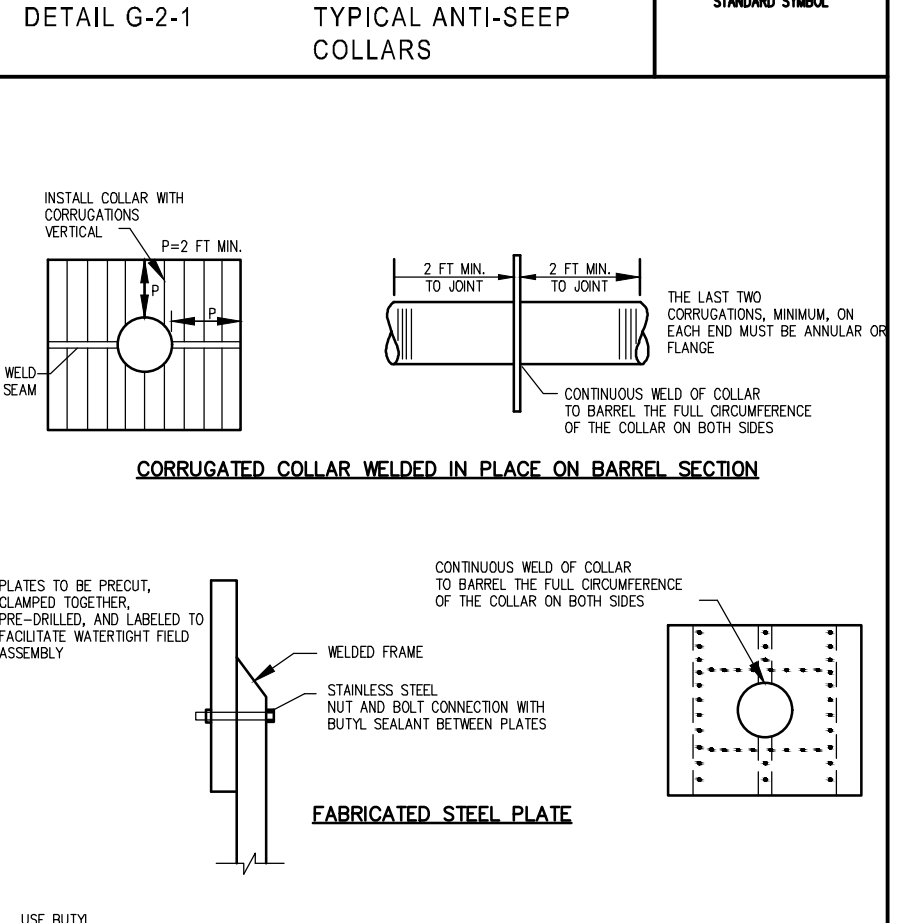
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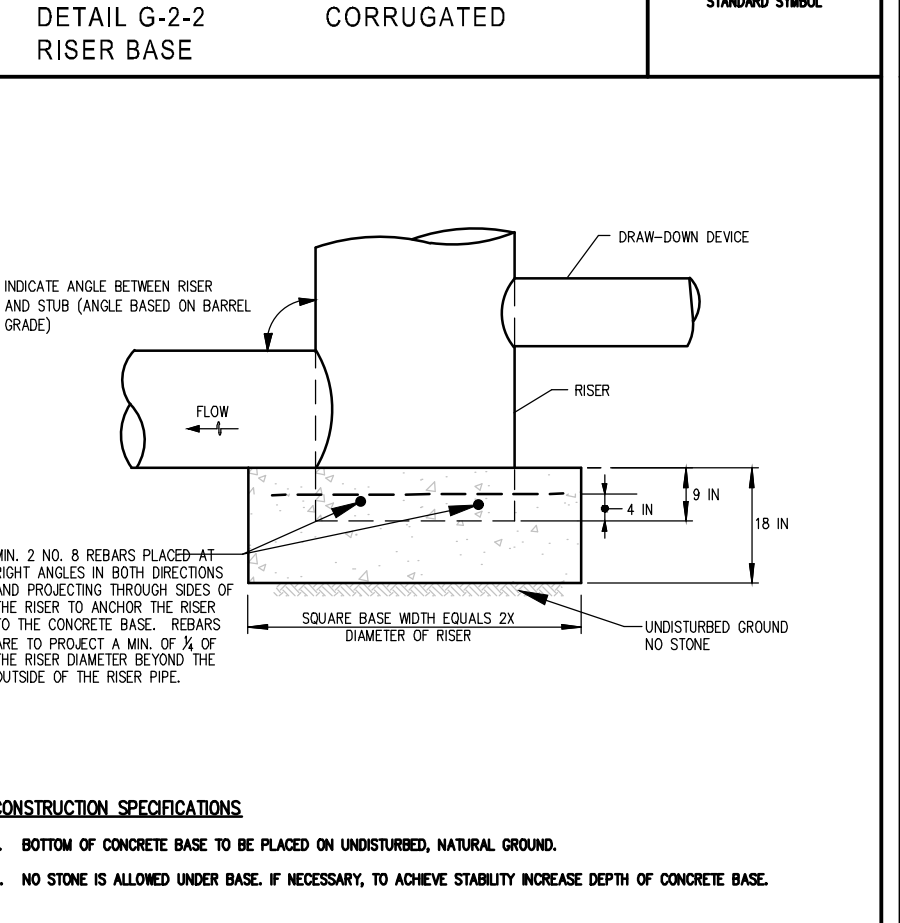
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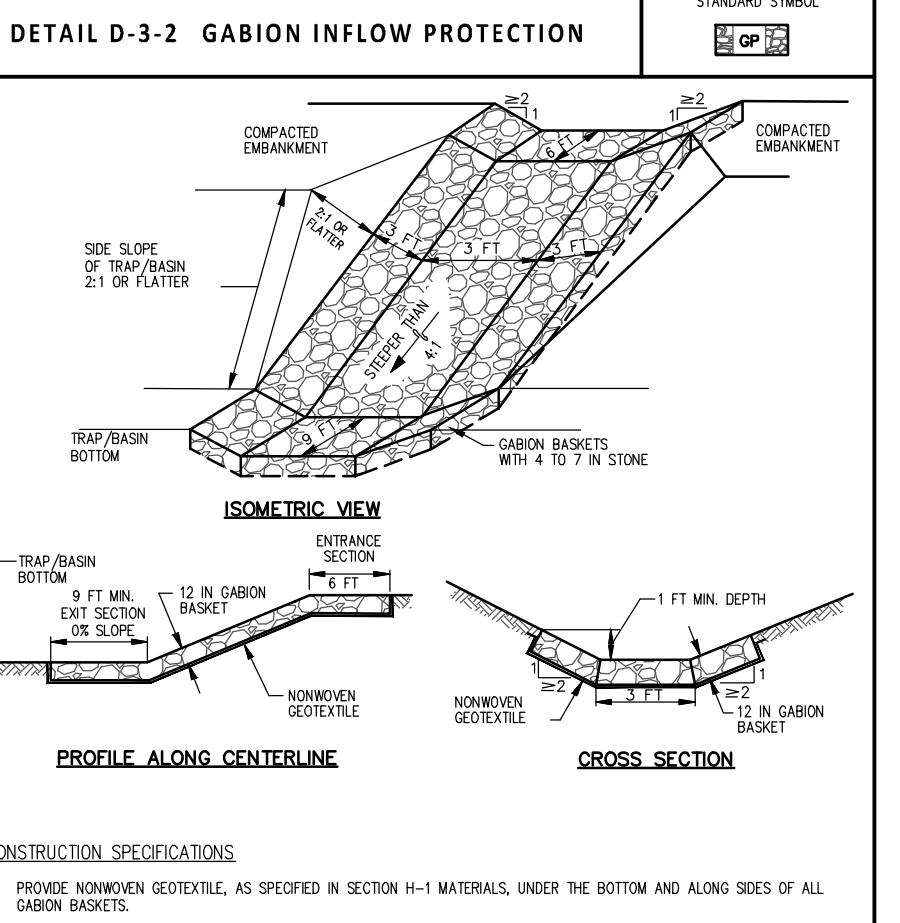
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This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Declassified by: Alexander Bratovic 11/23/2021

Howard S.C.D. Date

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

10/28/21

DEVELOPER/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

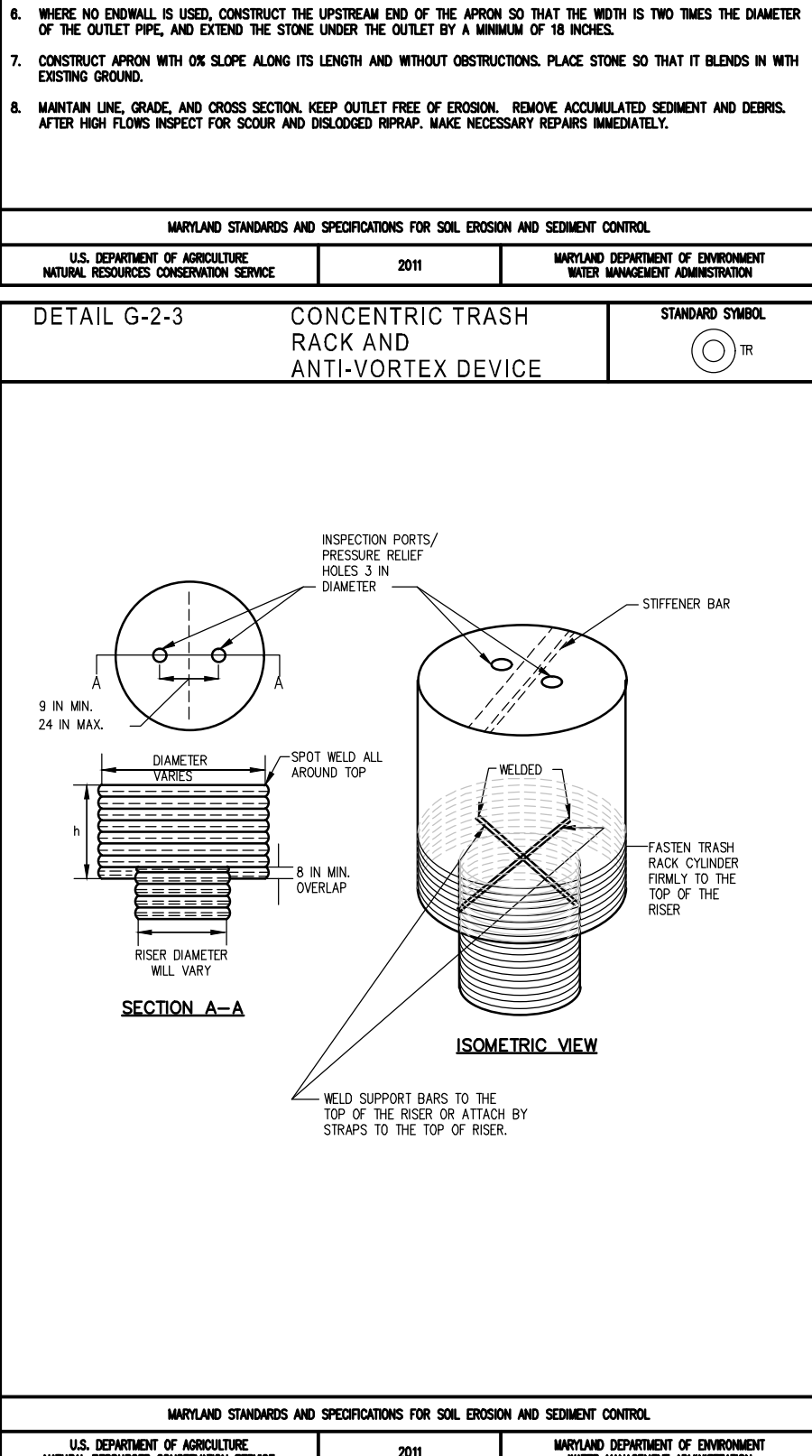
10/27/21

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

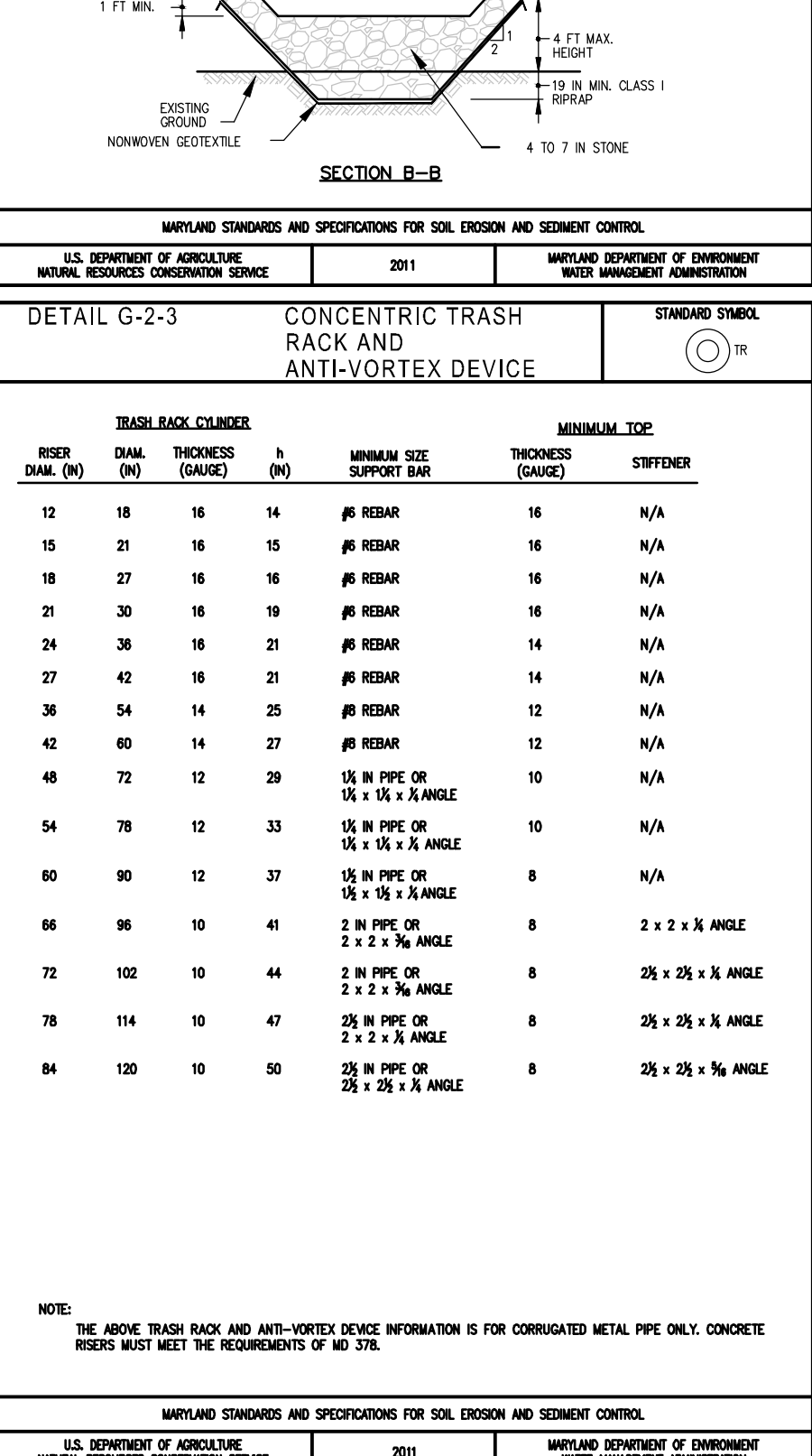
11/29/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

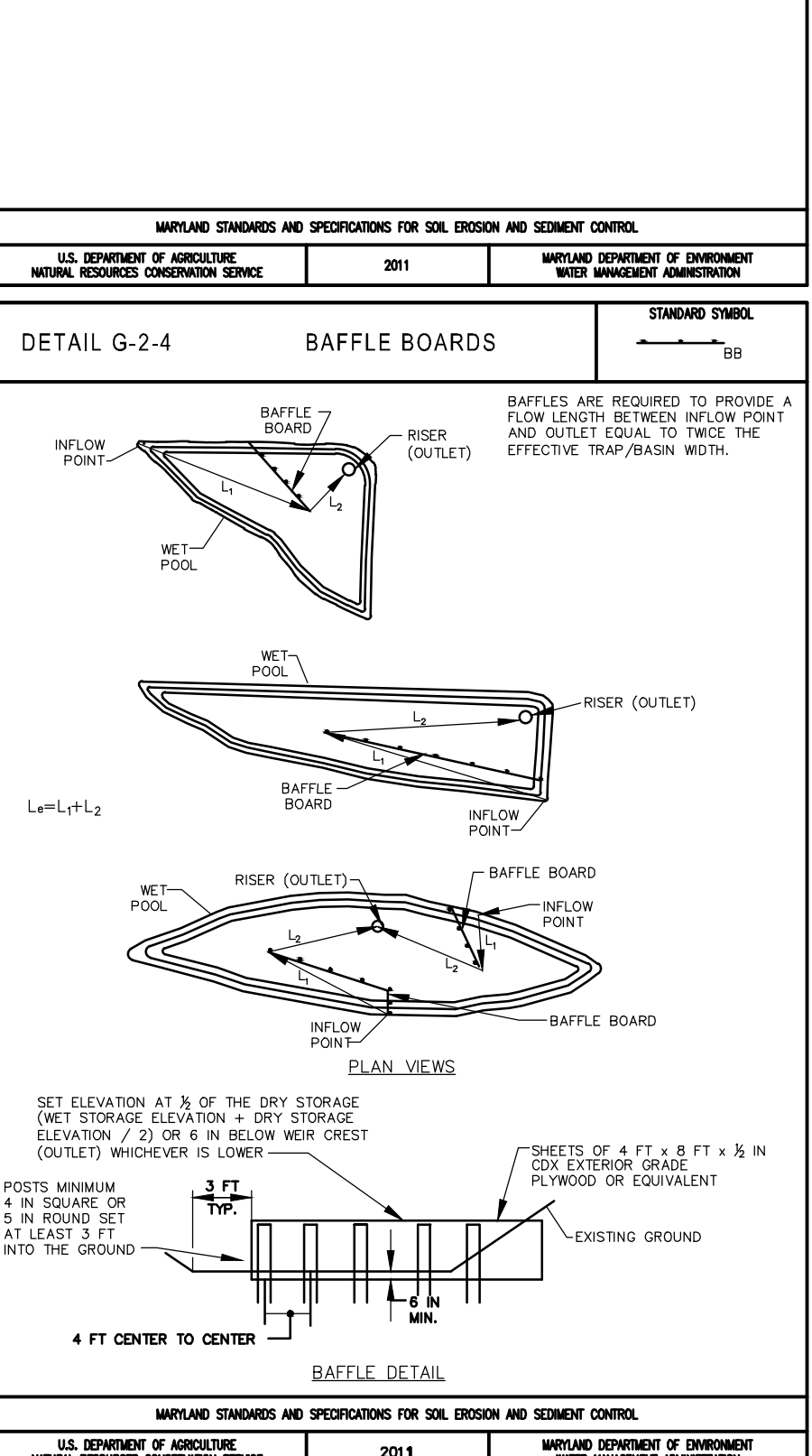
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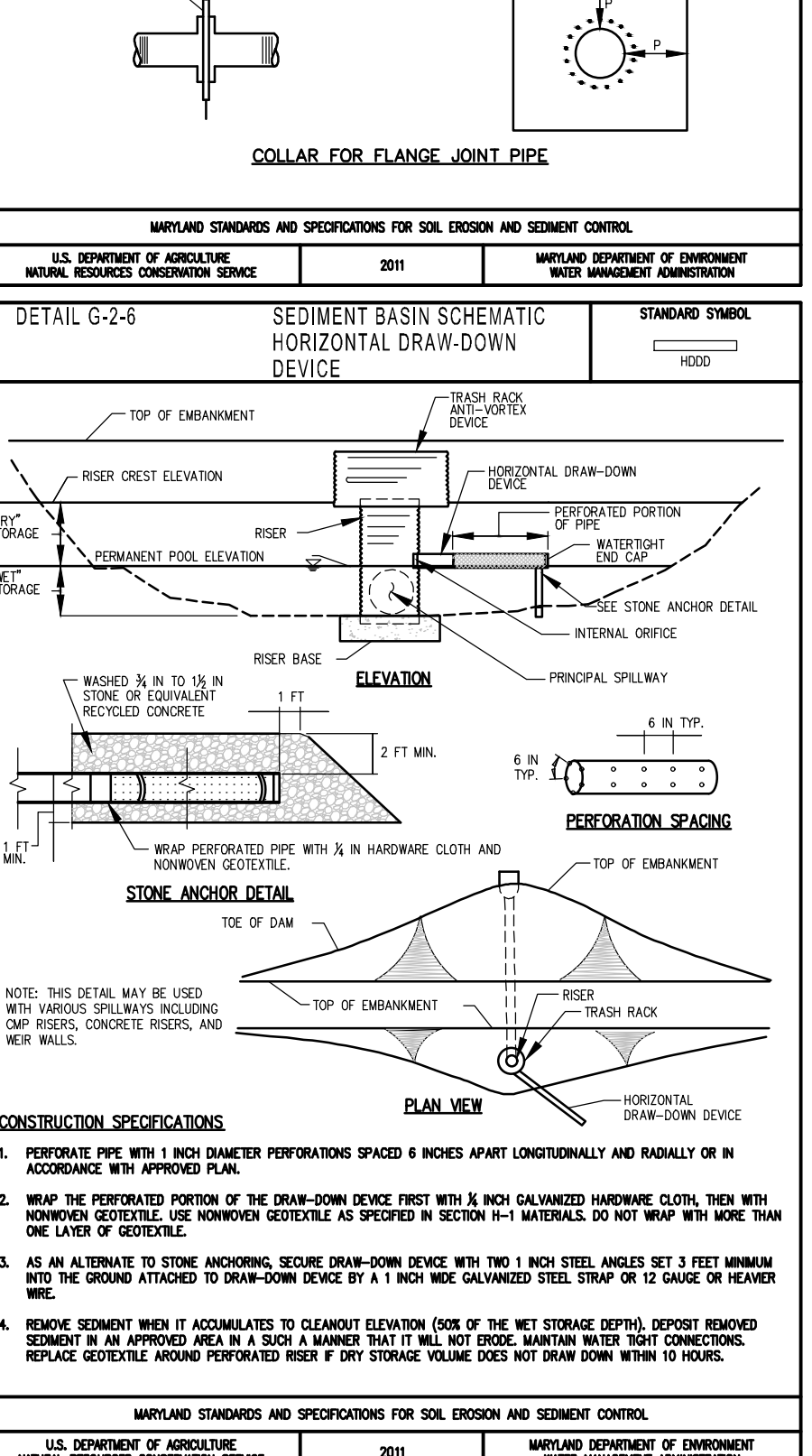
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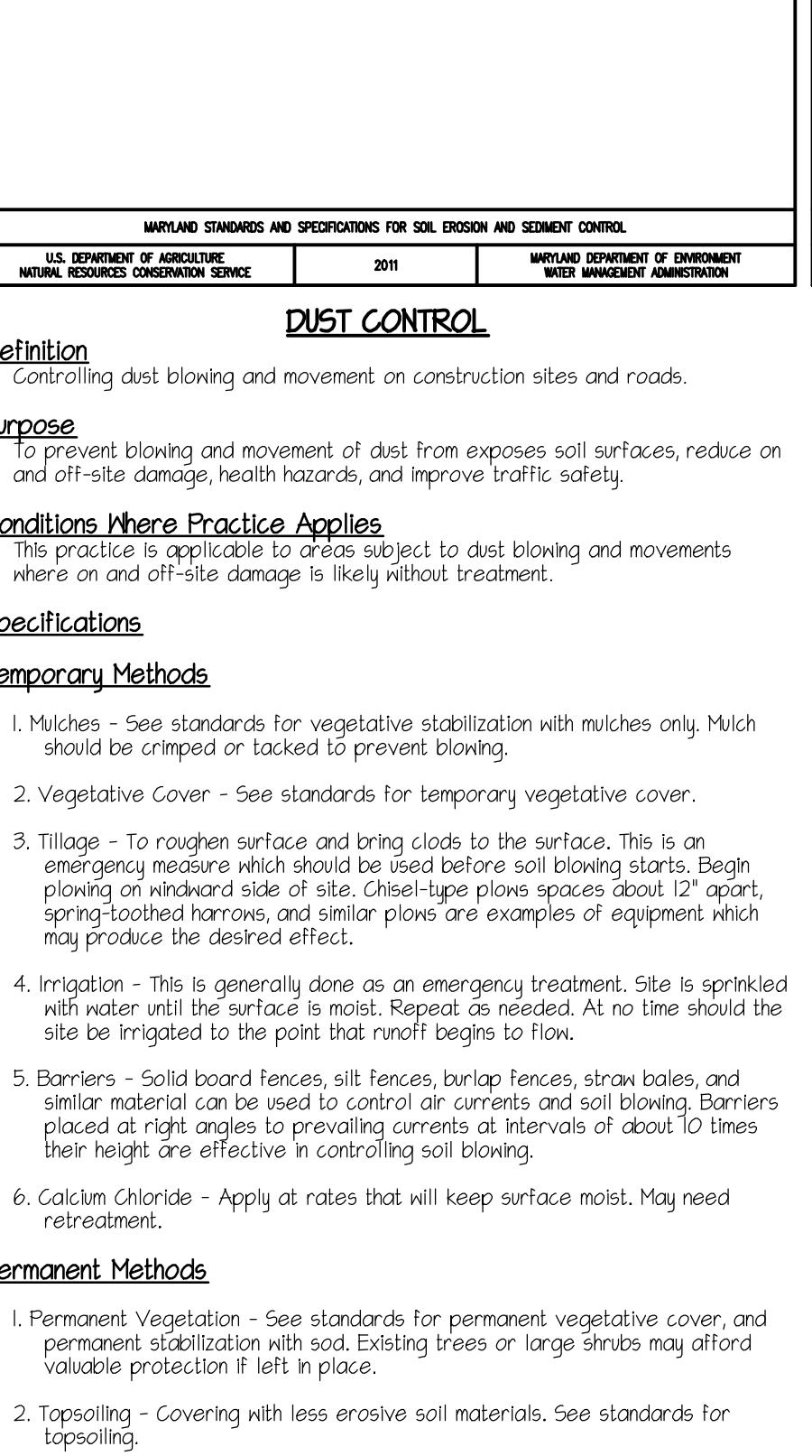
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NATURAL RESOURCES CONSERVATION SERVICE

DESIGNED BY: DEV

DRAWN BY: AWL

CHECKED BY: DEV

DATE: _____

REVISION: _____

BY: _____

APPR: _____

PREPARED FOR:

WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21103
410-489-4481
ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915, EXPIRATION DATE: MAY 26, 2022

10/28/21

SEDIMENT CONTROL NOTES AND DETAILS

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS B & F

HOWARD COUNTY, MARYLAND

SCALE: AS NOTED

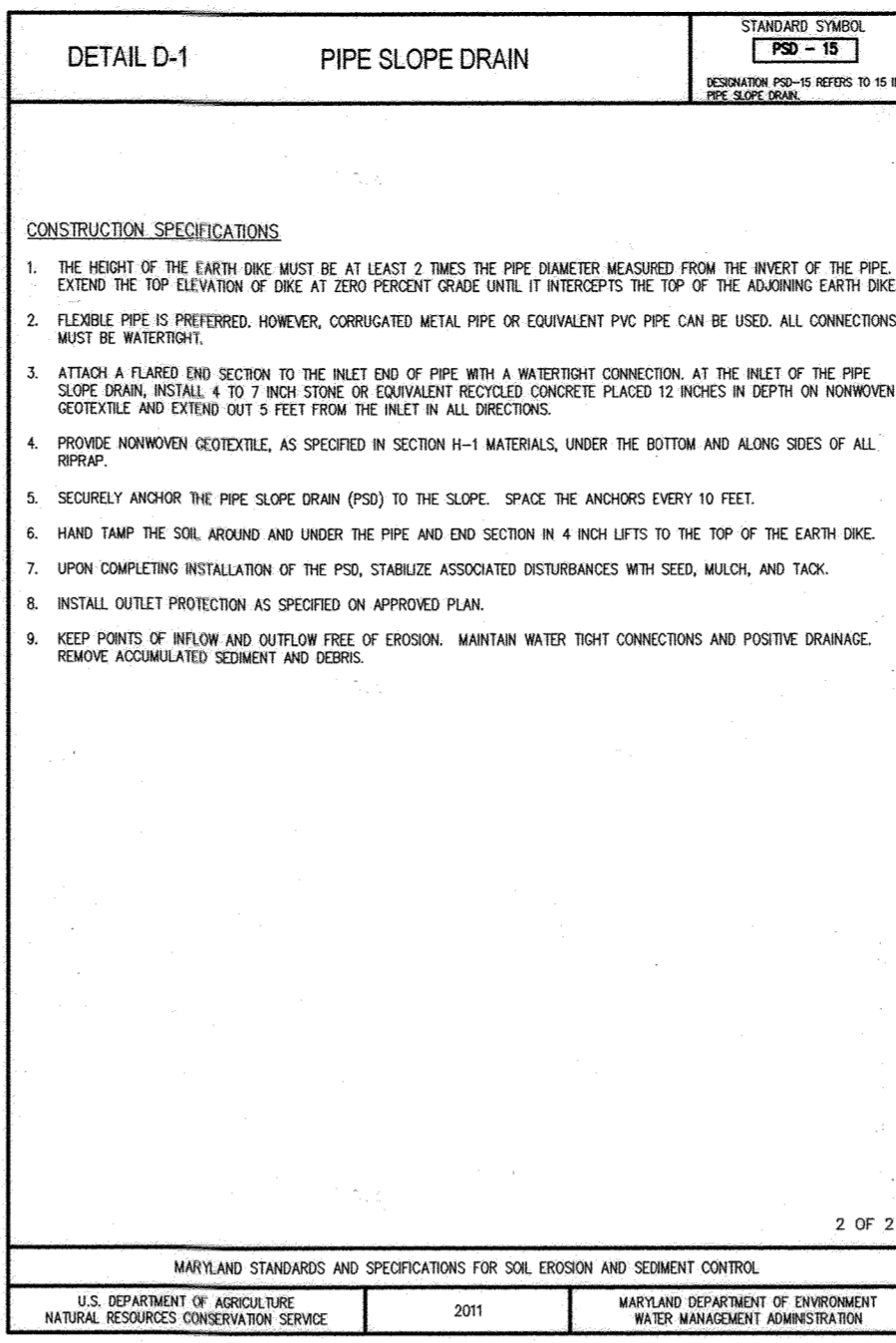
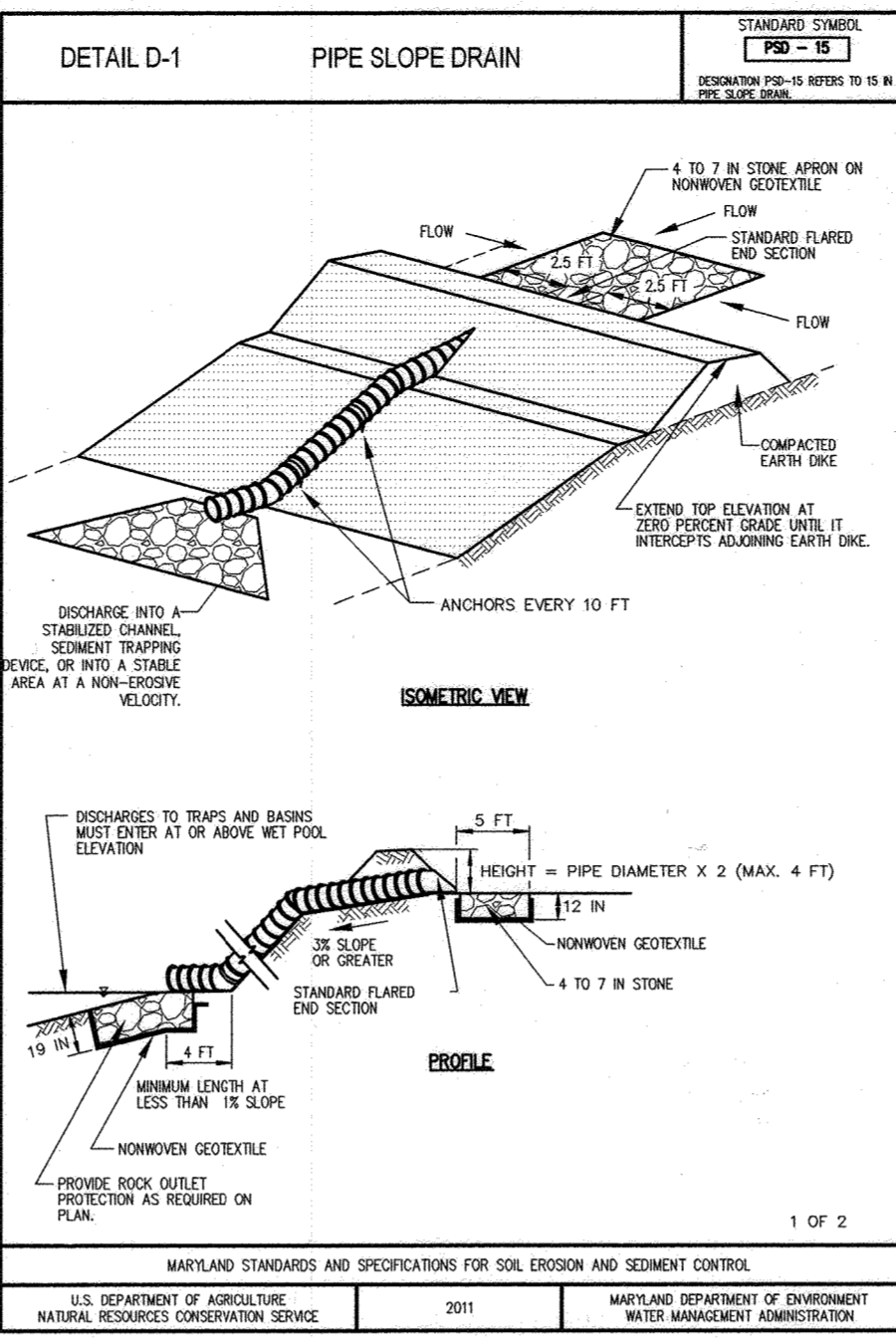
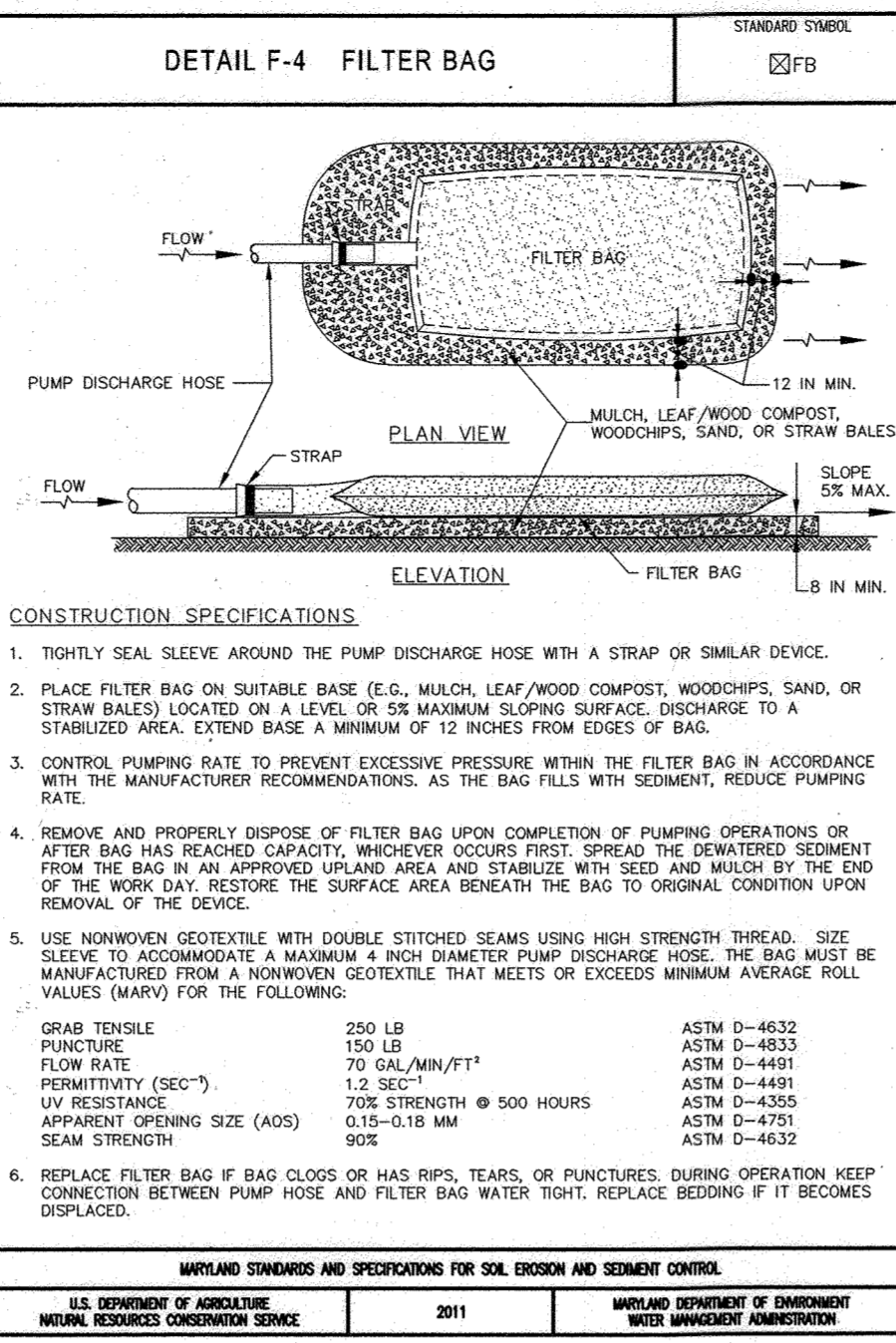
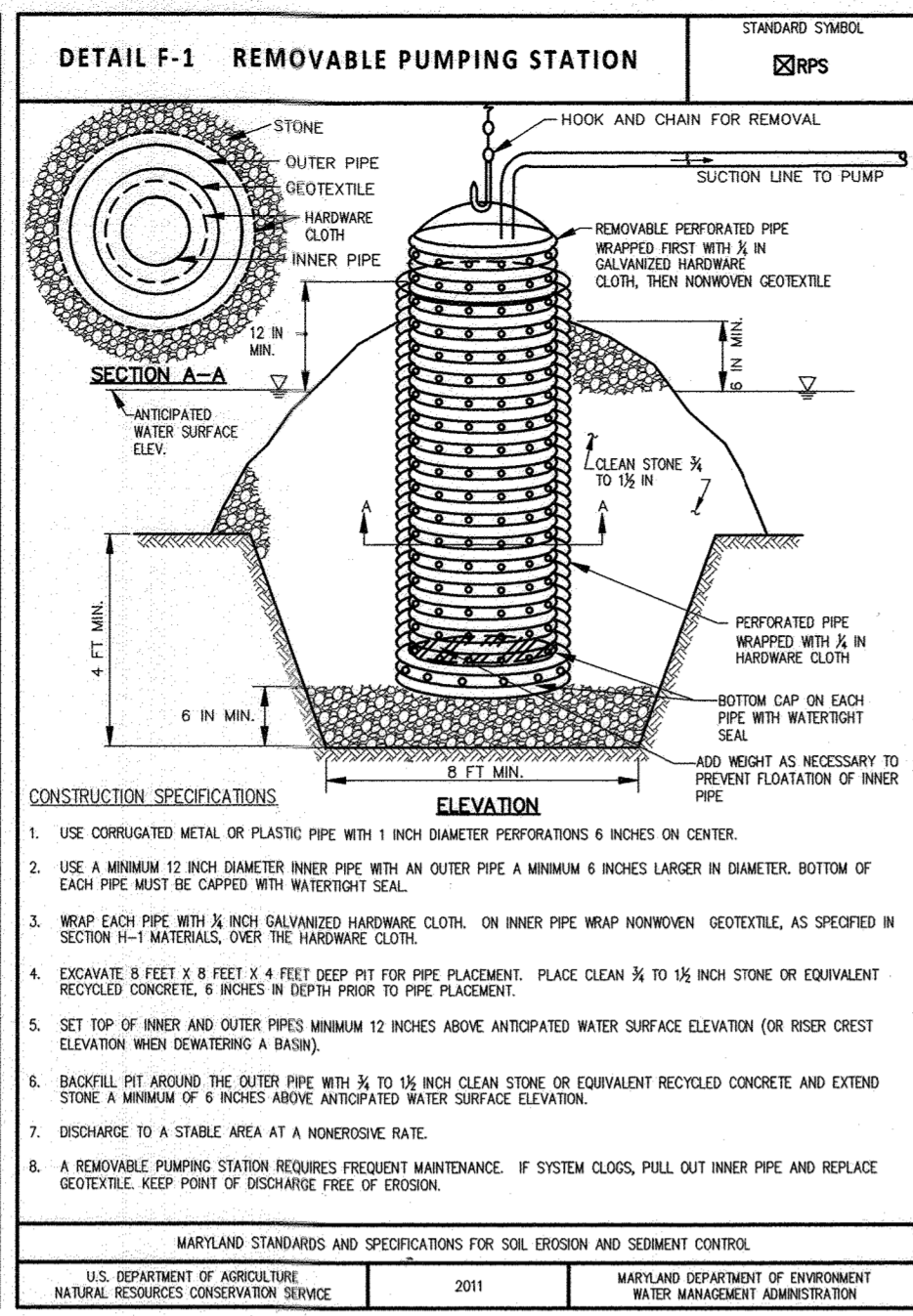
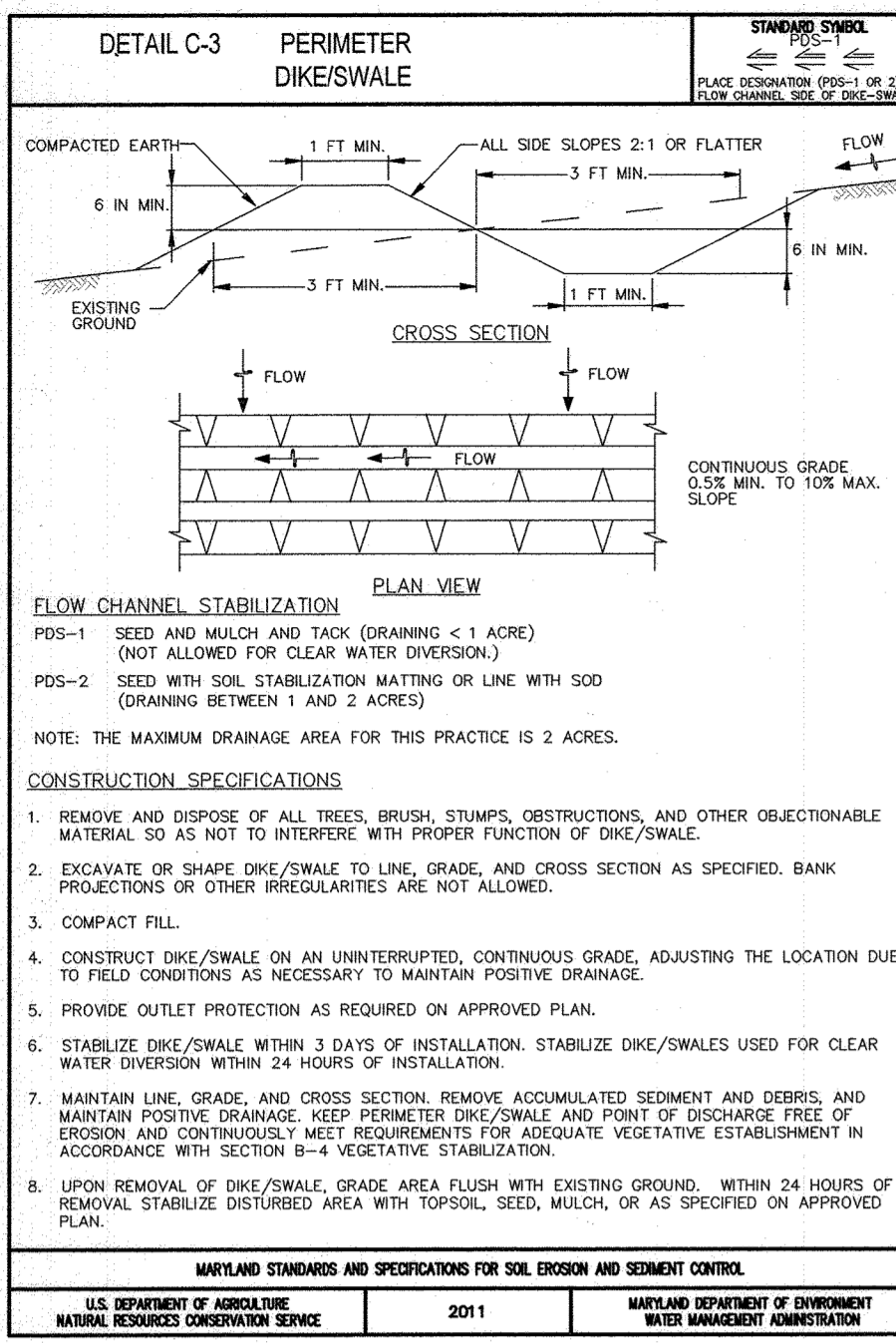
ZONING: R-ED

G. L. W. FILE NO.: 13-013

DATE: OCT, 2021

TAX MAP - GRID: 23-6&12

SHEET: 34 OF 45



SEQUENCE OF CONSTRUCTION:

SGF INDICATES SUPER SILT FENCE
ED INDICATES EARTH DIKE
IB INDICATES INLET BLOCKING
SCE INDICATES STONE CONSTRUCTION ENTRANCE

SF INDICATES SILT FENCE
IP INDICATES INLET PROTECTION
CWD INDICATES CLEAN WATER DIVERSION

WHEN WORKING IN THE AREA OF THE STREAM AND THE NON-TIDAL WETLANDS, THE CONTRACTOR MUST USE THE BEST MANAGEMENT PRACTICES SHOWN ON THIS SHEET OF THE PLAN SET

PHASE A

(THE CONSTRUCTION OF THE IMPROVEMENTS IN THE AREA OF LOTS 355 THRU 363, WAKEFIELD COURT, LOTS 245 THRU 308, LOTS 364 THRU 374, FINDLEY LANE, AND A PORTION OF WESTMOUNT PARKWAY.)

1. OBTAIN GRADING PERMIT. (1 DAY)
2. ARRANGE FOR AN ON-SITE PRE-CONSTRUCTION MEETING. (1 DAY)
1. CONSTRUCT THE SCE AT THE INTERSECTION OF WESTMOUNT PARKWAY AND FINDLEY LANE AND AT THE INTERSECTION OF WESTMOUNT PARKWAY AND WAKEFIELD COURT. (1 DAY)
2. THE CONTRACTOR IS TO INSPECT ANY SEDIMENT CONTROL DEVICES, INCLUDING TRAPS AND BASINS, CONSTRUCTED UNDER F 17-001 AND MAKE ANY NECESSARY REPAIRS. IF AT ANY TIME A TRAP NEEDS TO BE DE-WATERED, THE CONTRACTOR IS TO USE THE REMOVABLE PUMPING STATION TO PUMP THE FILTERED WATER INTO THE RISER. (2 WEEKS)
3. INSTALL ANY ADDITIONAL SEDIMENT CONTROL DEVICES SHOWN ON SHEET 25 OF THIS PLAN SET. (2 WEEKS)
4. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR FINE GRADE THE SITE. (2 WEEKS)
5. BEGIN UTILITY INSTALLATION. THE STORM DRAINS ARE TO BE INSTALLED PER THIS PLAN SET AND THE WATER AND SEWER PER CONTRACTS 24-5177-D, 44-5175-D AND 24-5176-D.
6. IF AT ANY TIME PONDING SHOULD OCCUR PRIOR TO AN INLET BEING INSTALLED, THE CONTRACTOR IS TO "CUT IN" A SWALE TO ALLOW THE RUNOFF TO DRAIN TO A PERIMETER DEVICE. THE CONTRACTOR MAY HAVE TO USE EARTHEN BERMS INITIALLY, WHICH WILL BE CONVERTED TO ASPHALT BERMS ONCE THE BASE PAVING HAS BEEN PLACED TO CONTINUE DIRECTING RUNOFF TO THE INLETS OR PERIMETER DEVICES THAT WERE INTENDED TO RECEIVE THEM.
- NOTE: ANY SEDIMENT CONTROL DEVICE THAT IS DAMAGED AS A RESULT OF A UTILITY INSTALLATION IS TO BE REPAIRED IMMEDIATELY AFTER THE INSTALLATION HAS BEEN COMPLETED.
7. ANY SURPLUS GENERATED BY THE FINE GRADING UNDER THIS PHASE WILL BE PLACED IN A STOCKPILE FOR BACKFILLING SEDIMENT TRAPS OR FOR FILL AREAS IN PHASE B.
8. INSTALL THE CURB AND GUTTER, SIDEWALKS AND BASE PAVING ALONG WESTMOUNT PARKWAY FROM C.L. STA. 68+5 TO 70+57, FINDLEY LANE FROM C.L. STA. 0+00 TO 4+34, AND ALONG WAKEFIELD COURT FROM C.L. STA. 0+40 TO 3+00. (1 MONTH)
9. STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. THE CONTRACTOR IS TO WRAP THE STOCKPILE WITH SF TO PROTECT RECENTLY STABILIZED AREAS.

PHASE B

(THE CONSTRUCTION OF THE IMPROVEMENTS IN THE AREA OF LOTS 309 THRU 346, LOTS 375 THRU 387, PRATCHETT LANE, ELK RIDGE LANE, PICTON COURT, AND A PORTION OF WESTMOUNT PARKWAY.)

1. RELOCATE THE SCE AT THE INTERSECTION OF WESTMOUNT PARKWAY AND FINDLEY LANE CONSTRUCTED UNDER PHASE A TO THE LOCATION SHOWN ON THE PHASE B PLAN. (1 DAY)
2. THE CONTRACTOR IS TO INSPECT ANY SEDIMENT CONTROL DEVICES, INCLUDING TRAPS AND BASINS, CONSTRUCTED UNDER F 17-001 AND MAKE ANY NECESSARY REPAIRS. IF AT ANY TIME A TRAP NEEDS TO BE DE-WATERED, THE CONTRACTOR IS TO USE THE REMOVABLE PUMPING STATION TO PUMP THE FILTERED WATER INTO THE RISER. (2 WEEKS)
3. INSTALL ANY ADDITIONAL SEDIMENT CONTROL DEVICES SHOWN ON SHEET 26 OF THIS PLAN SET. (2 WEEKS)
4. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR FINE GRADE THE SITE. (2 WEEKS)
5. BEGIN UTILITY INSTALLATION. THE STORM DRAINS ARE TO BE INSTALLED PER THIS PLAN SET AND THE WATER AND SEWER PER CONTRACT 24-5178-D.
6. IF AT ANY TIME PONDING SHOULD OCCUR PRIOR TO AN INLET BEING INSTALLED, THE CONTRACTOR IS TO "CUT IN" A SWALE TO ALLOW THE RUNOFF TO DRAIN TO A PERIMETER DEVICE. THE CONTRACTOR MAY HAVE TO USE EARTHEN BERMS INITIALLY, WHICH WILL BE CONVERTED TO ASPHALT BERMS ONCE THE BASE PAVING HAS BEEN PLACED TO CONTINUE DIRECTING RUNOFF TO THE INLETS OR PERIMETER DEVICES THAT WERE INTENDED TO RECEIVE THEM.
- NOTE: ANY SEDIMENT CONTROL DEVICE THAT IS DAMAGED AS A RESULT OF A UTILITY INSTALLATION IS TO BE REPAIRED IMMEDIATELY AFTER THE INSTALLATION HAS BEEN COMPLETED.
7. ANY SURPLUS GENERATED BY THE FINE GRADING UNDER THIS PHASE WILL BE PLACED IN A STOCKPILE FOR BACKFILLING SEDIMENT TRAPS AND BASINS.
8. INSTALL THE CURB AND GUTTER, SIDEWALKS AND BASE PAVING ALONG WESTMOUNT PARKWAY FROM C.L. STA. FROM 70+31 TO 72+82, ALL OF PRATCHETT LANE, ALL OF ELK RIDGE LANE, AND ALL OF PICTON COURT. (1 MONTH)
9. STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.

- FINAL CONSTRUCTION ITEMS**
1. FLUSH THE STORM DRAIN SYSTEMS. (1 WEEK)
 2. ONCE ALL OF THE CONTRIBUTING AREAS TO A PARTICULAR TRAP OR BASIN HAVE BEEN STABILIZED, REMOVE CWD'S AND ED'S DIRECTING RUNOFF TO THEM. (1 MONTH)
 3. BACKFILL THE TRAPS AND BASINS PER THE DETAILS SHOWN ON SHEETS 27 AND 28. IF AT ANY TIME A TRAP NEEDS TO BE DE-WATERED, THE CONTRACTOR IS TO USE THE REMOVABLE PUMPING STATION AND FILTER BAG. IF AT ANY TIME A BASIN NEEDS TO BE DE-WATERED THE CONTRACTOR CAN USE THE REMOVABLE PUMPING STATION TO PUMP THE FILTERED WATER INTO THE RISER. PRIOR TO THE CONTRACTOR BACKFILLING THE TRAPS AND BASINS, THE DEVICES ARE TO BE DE-WATERED AND AT A MINIMUM, EXCAVATED TO THE BOTTOM ELEVATION SHOWN ON THESE PLANS. COMPACTION OF THE BACKFILL MATERIAL MUST BE PERFORMED TO A LEVEL APPROPRIATE FOR THE CONSTRUCTION OF HOMES IN THE FUTURE. (1 MONTH)
 4. ONCE ALL OF THE CONTRIBUTING AREAS HAVE BEEN STABILIZED AND PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, CONSTRUCT THE MICRO-BIO RETENTION FACILITIES (2 MONTHS)

WHEN WORKING IN THE AREA OF THE STREAM AND THE NON-TIDAL WETLANDS, THE CONTRACTOR MUST USE THE BEST MANAGEMENT PRACTICES SHOWN ON THIS SHEET OF THE PLAN SET

- BEST MANAGEMENT PRACTICES**
- FOR WORKING IN NON-TIDAL WETLAND, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS
1. NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILED OR STORED IN NON-TIDAL WETLANDS, NON-TIDAL WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAINS, OR THE 100-YEAR FLOODPLAIN.
 2. PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NON-TIDAL WETLANDS, NON-TIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 3. DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, INHIBITING DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE. IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, INHIBITING DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE.
 4. PLACE HEAVY EQUIPMENT ON MATS OR SIMILARLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NON-TIDAL WETLANDS, NON-TIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 5. REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NON-TIDAL WETLANDS, NON-TIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOST UNDER THE ORIGINALLY AUTHORIZED STRUCTURE OR FILL.
 6. RECTIFY ANY NON-TIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.
- ALL STABILIZATION IN THE NON-TIDAL WETLAND AND NON-TIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES:
- ANNUAL RYE GRASS (Lolium multiflorum)
MILLET (Setaria italica)
BARLEY (Hordeum sp.)
OATS (Avena sp.)
RYE (Secale cereale)
- THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REGENERATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE BUT MUST BE APPROVED BY THE NON-TIDAL WETLANDS AND WATERWAYS DIVISION. KENTUCKY 31 PEGGIE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
8. AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
 9. TO PROTECT AQUATIC SPECIES IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM. USE 1 WATERWAYS IN STREAM WORK SHALL BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR.
 10. STORMWATER RUNOFF FROM IMPERVIOUS SURFACES SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
 11. CULVERTS SHALL BE CONSTRUCTED AND ANY RIPRAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF THE ACTIVITY IS TO IMPROVE WATER.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

M. Jeremy Ruttin 3/15/23
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Chris Jones 3/8/23
ENGINEER'S SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James 05/18/2023
Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chris 6/6/23
Chief, Division of Land Development Date
JP 6.5.23
Chief, Development Engineering Division Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Abraham Bratchi 04/03/23
Howard S.C.D. Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
PLANNING | ENGINEERING | SURVEYING
3908 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-1188

DESIGNED BY:	DEV				
DRAWN BY:	AWL				
CHECKED BY:	DEV	12/27/2022	REVISED SEQUENCE OF CONSTRUCTION	AWL	DEV
		DATE	REVISION	BY	APPR.

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2024
3/18/23

REVISED SEDIMENT CONTROL NOTES and DETAILS

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

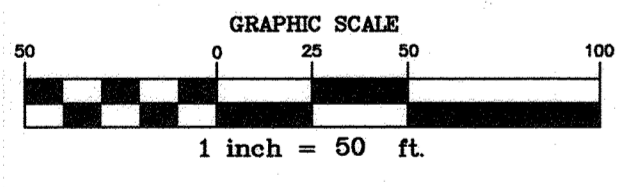
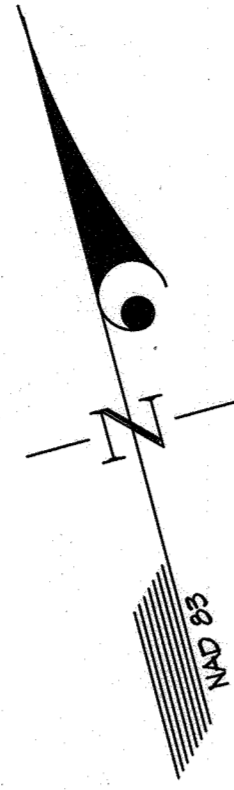
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS B & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS NOTED	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	35 OF 45

L:\CADD\DRAWINGS\1017\PLANS BY GLW\ROADS-SD (PHO)\PHASE 4_33-35_SC - Notes & Details.dwg

- NOTE:
 1. SEE SHEET 15 FOR PROPOSED STORM DRAIN SYSTEM INFORMATION.
 2. SEE SHEET 44 FOR STORMWATER MANAGEMENT DRAINAGE AREA INFORMATION AND SUMMARY.

- LEGEND
- RAIN BARREL (M-1)
 - DRY WELL (M-5)
 - RAINPOUT CONNECTION TO DRY WELL
 - ROOF AREA CONNECTED TO DRY WELL
 - MICRO BIO-RETENTION FACILITY (M-6)
 - B SOILS
 - C SOILS
 - D SOILS



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 05/10/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 05/10/2023
 Chief, Division of Land Development MK Date

[Signature] 6.5.23
 Chief, Development Engineering Division JR Date

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

MATCHLINE - FOR CONTINUATION, SEE SHEET 37

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4198

DESIGNED BY:	DEV				
DRAWN BY:	AWL				
CHECKED BY:	DEV	03/06/2023	REVISED GRADING	AWL	DEV
DATE		10/26/2022	REVISED GRADING AND DRAINAGE DIVIDES TO REFLECT MBR-428 & PROPERTY LINE	WSJ	DEV
			REVISION	BY	APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2024.
[Signature] 3/8/23

REVISED STORMWATER MANAGEMENT DRAINAGE AREA MAP

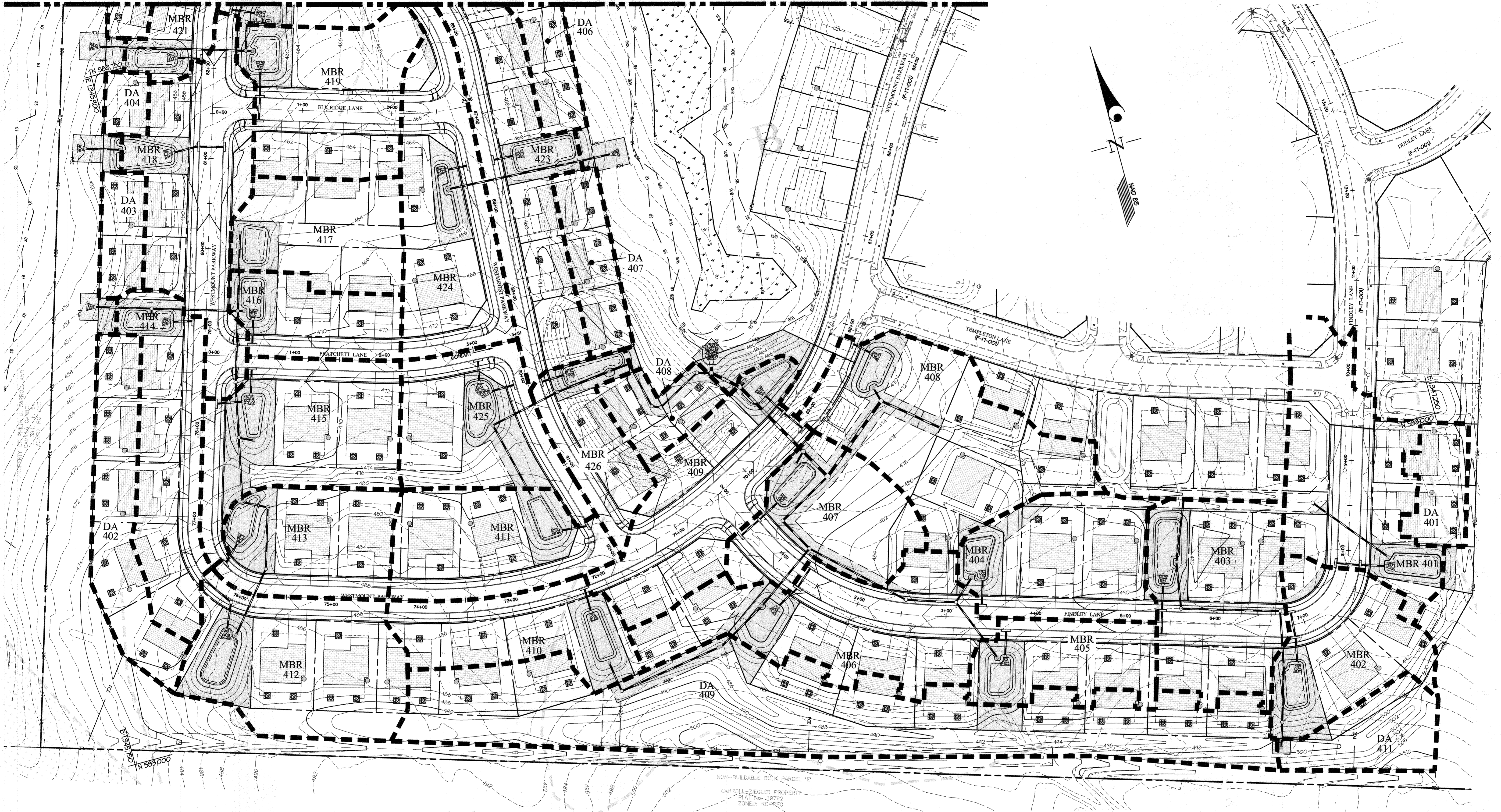
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	36 OF 45

I, CLAYTON SPANGLER, DESIGNER, REGISTERED PROFESSIONAL ENGINEER, STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2024. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

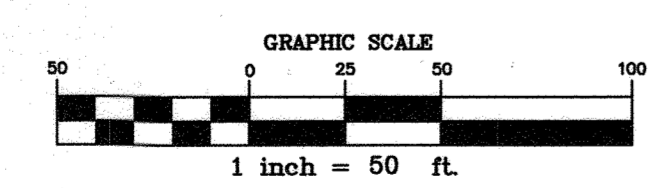


NON-BUILDABLE BULK PARCEL 'E'
 CARROLL ZIEGLER PROPERTY
 PLAT NO. 1978Z
 ZONED: RC-3000

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 05/18/2023
 Chief, Bureau of Highways MK Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/16/23
 Chief, Department of Planning & Zoning Date

[Signature] 6-5-23
 Chief, Development Engineering Division JP Date



THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

- NOTE:
- SEE SHEET 15 FOR PROPOSED STORM DRAIN SYSTEM INFORMATION.
 - SEE SHEET 44 FOR STORMWATER MANAGEMENT DRAINAGE AREA INFORMATION AND SUMMARY.

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-0224 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	AWL	DEV
DEV				
DRAWN BY:				
AWL				
CHECKED BY:				
DEV	03/06/2023	REVISED GRADING AND ADDED MAIL PAVILION		
	DATE	REVISION	BY	APPR.

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024

3/8/23 [Signature]

REVISED STORMWATER MANAGEMENT DRAINAGE AREA MAP

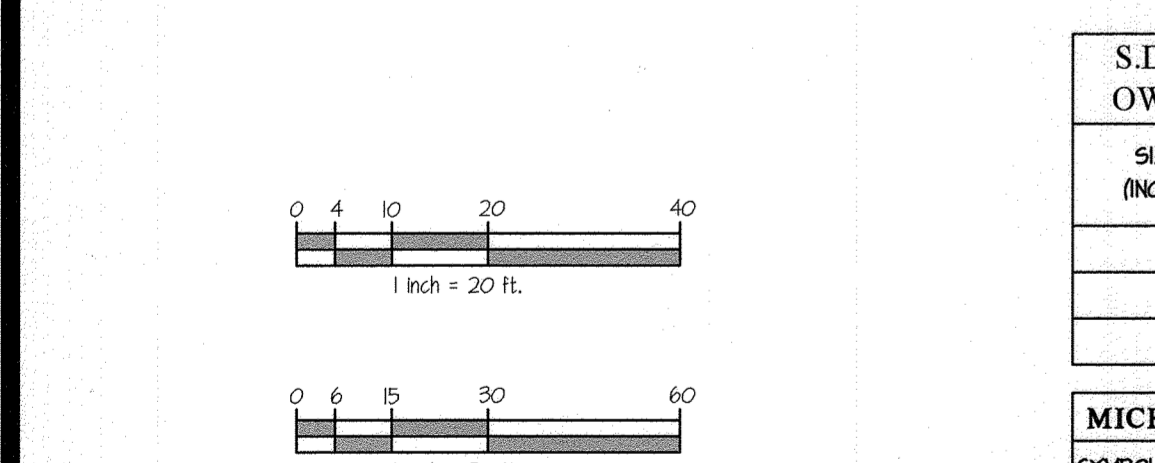
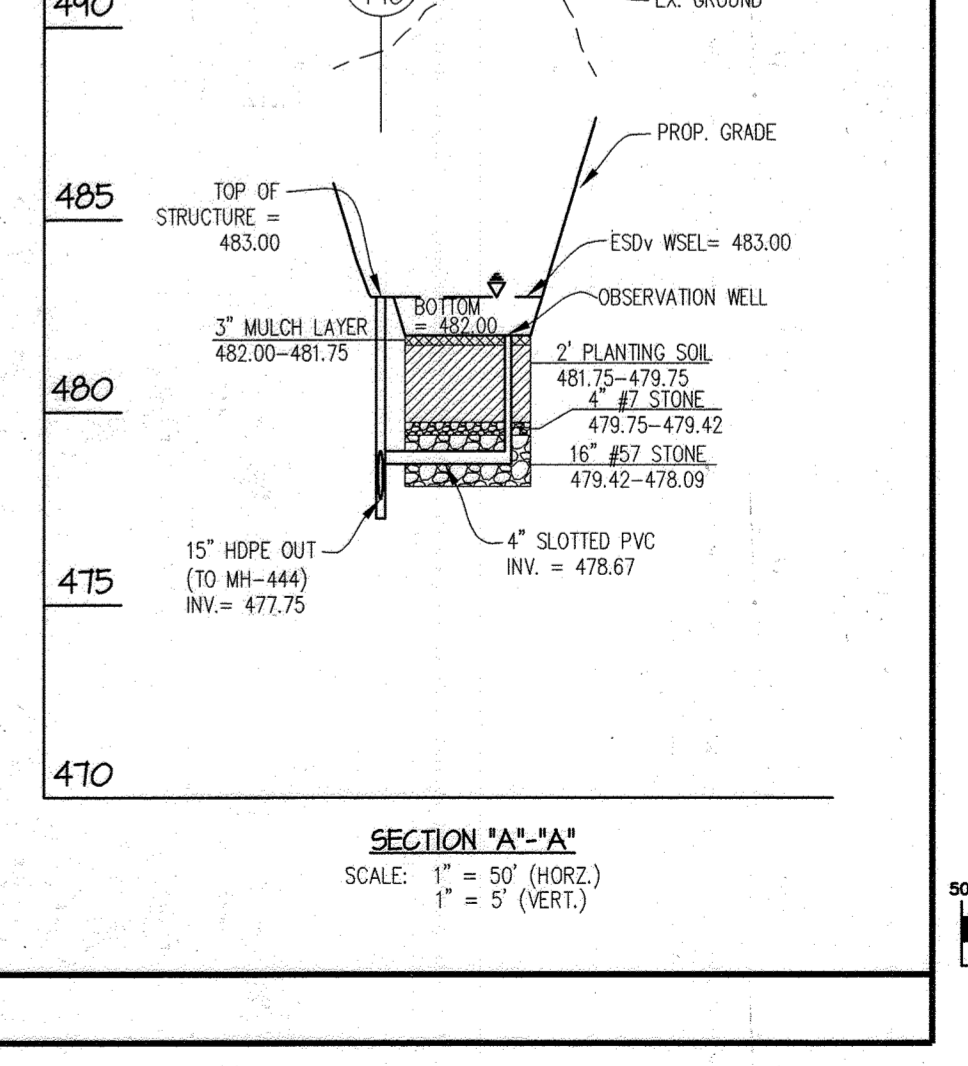
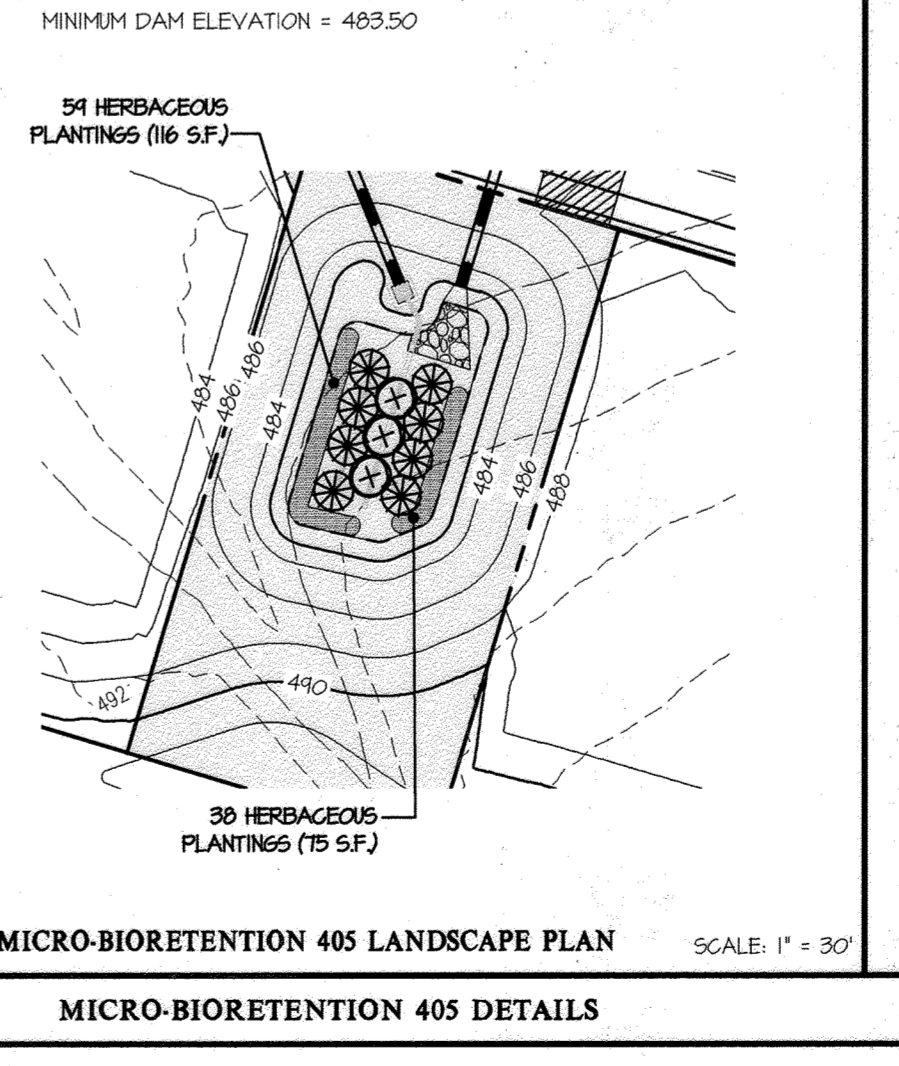
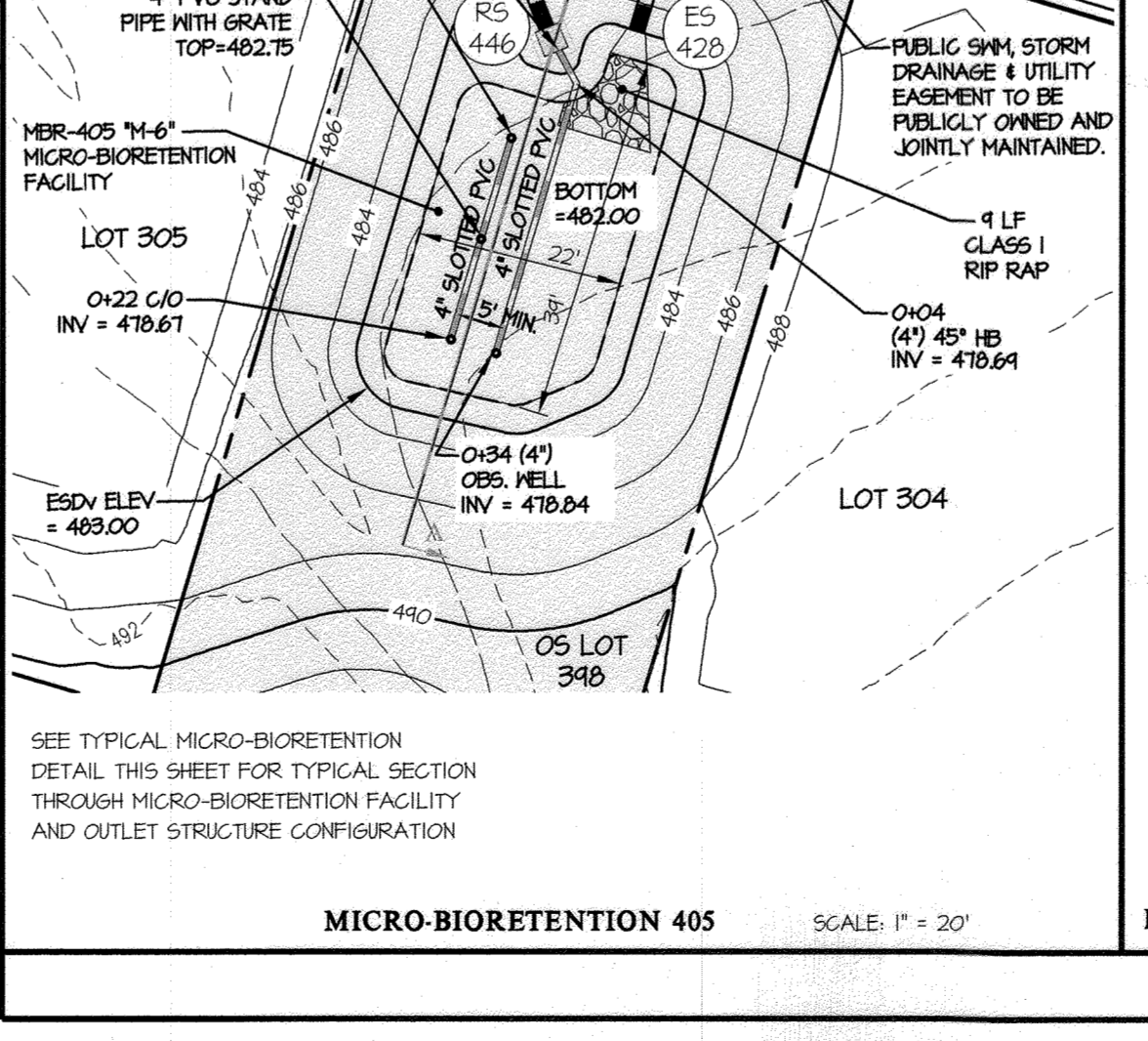
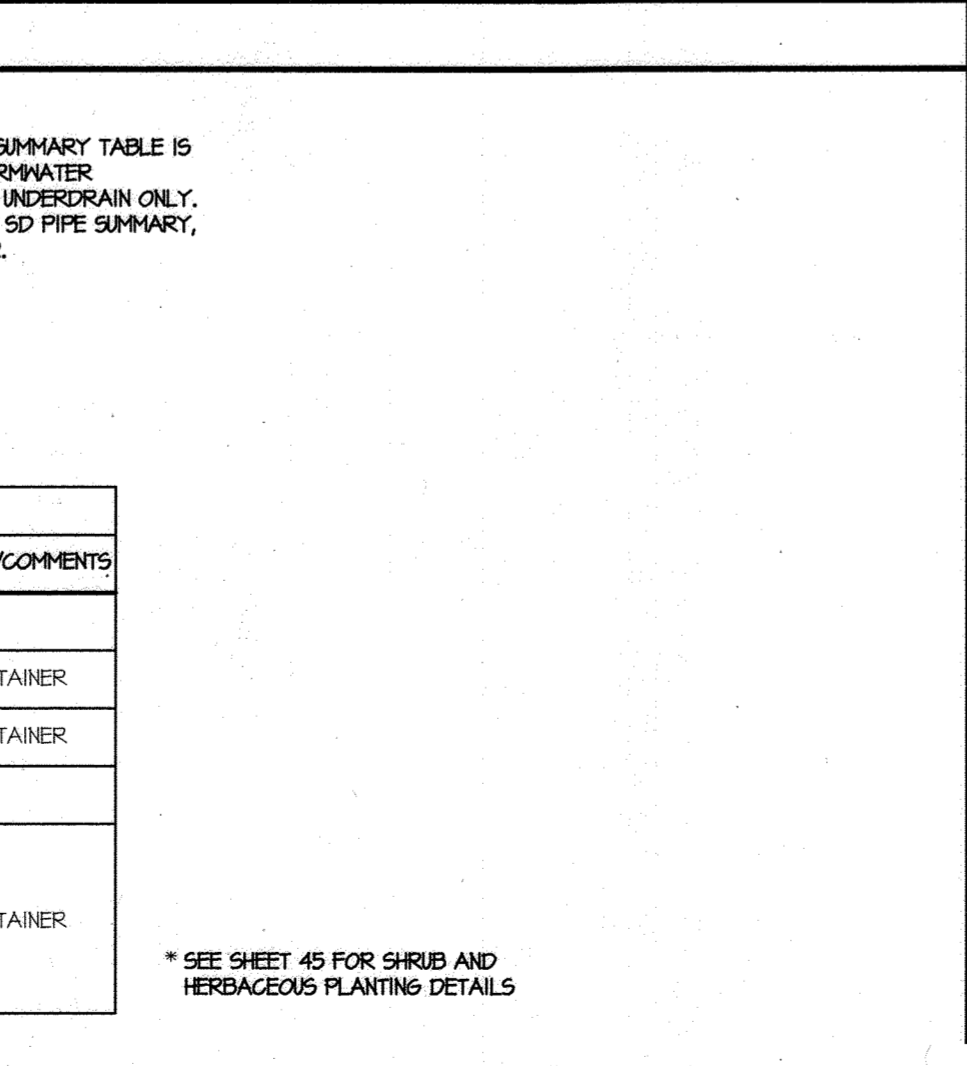
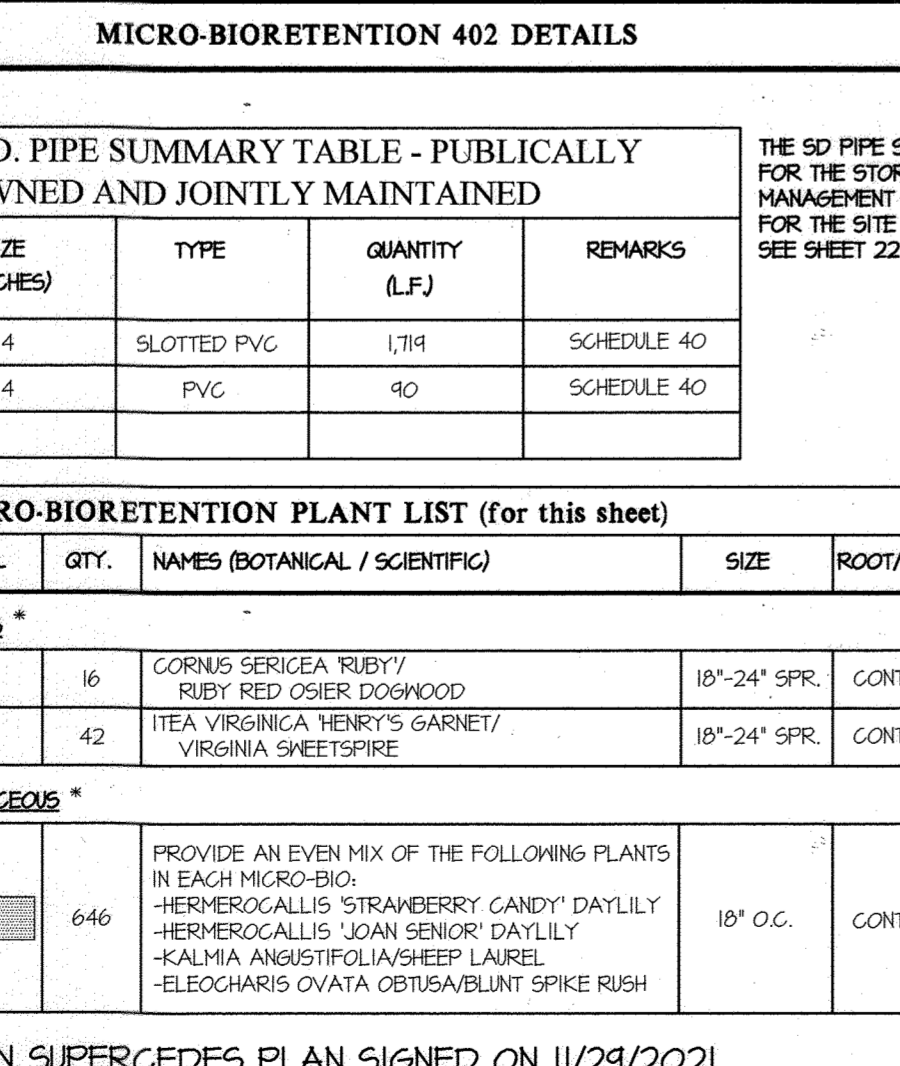
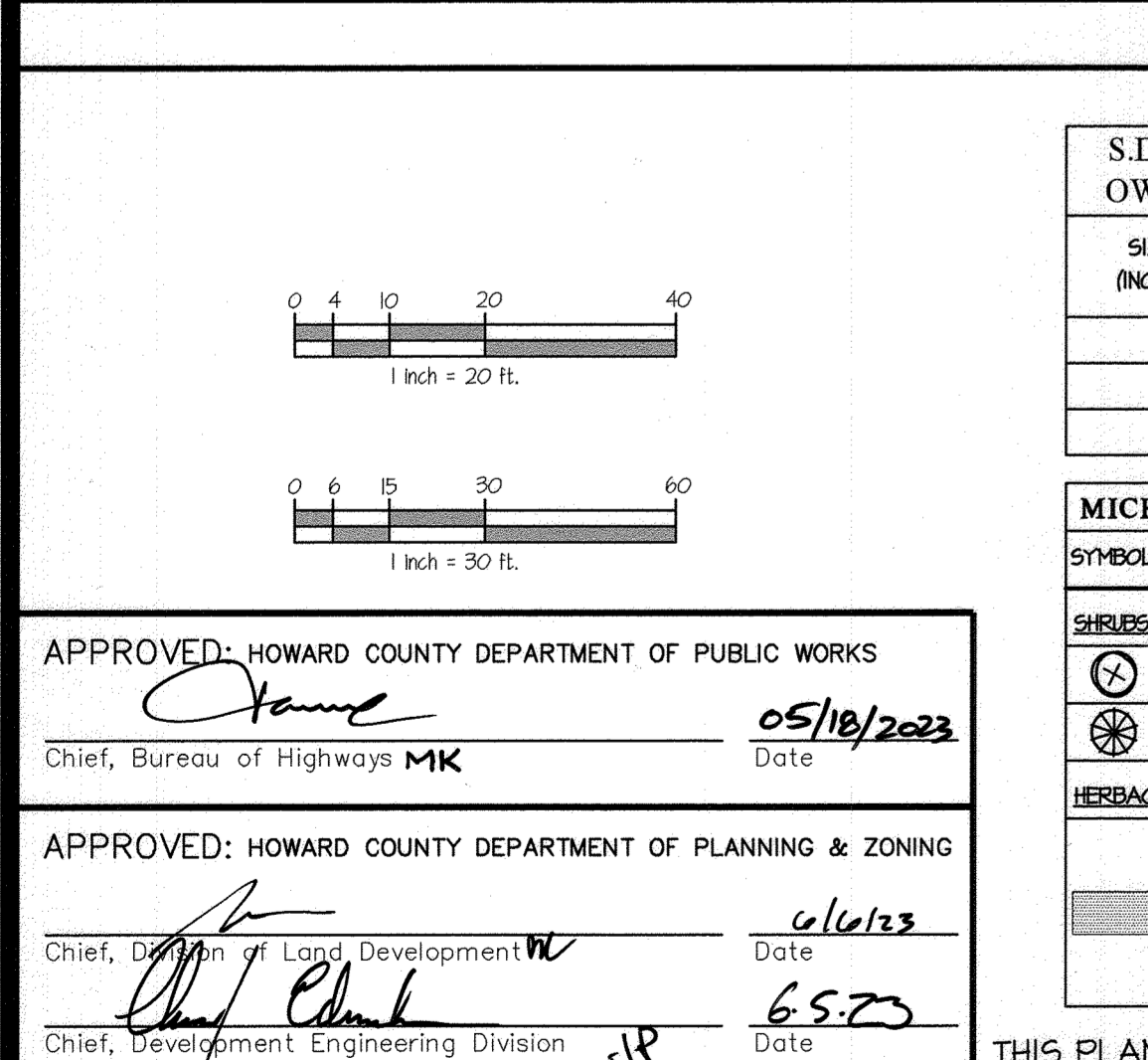
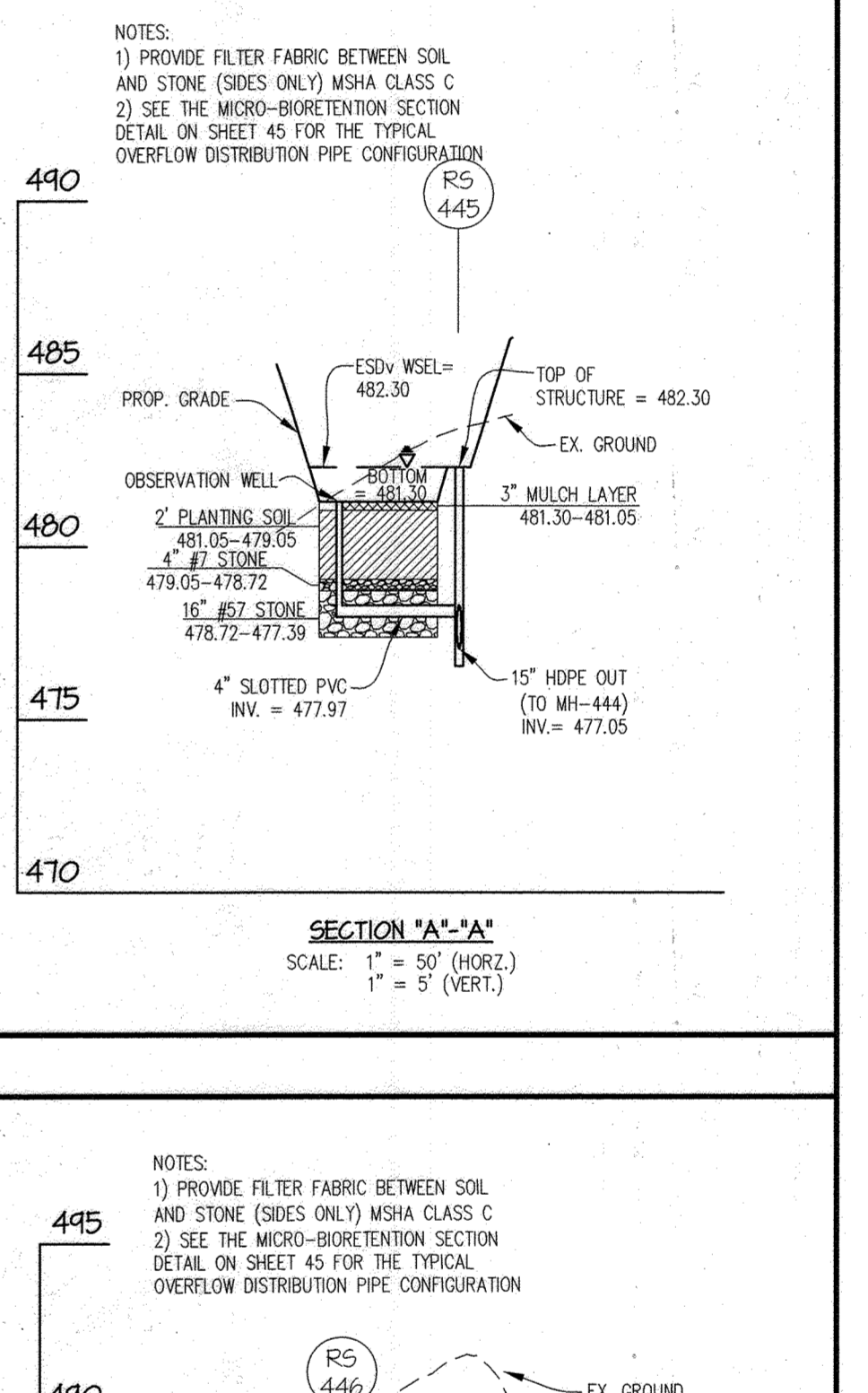
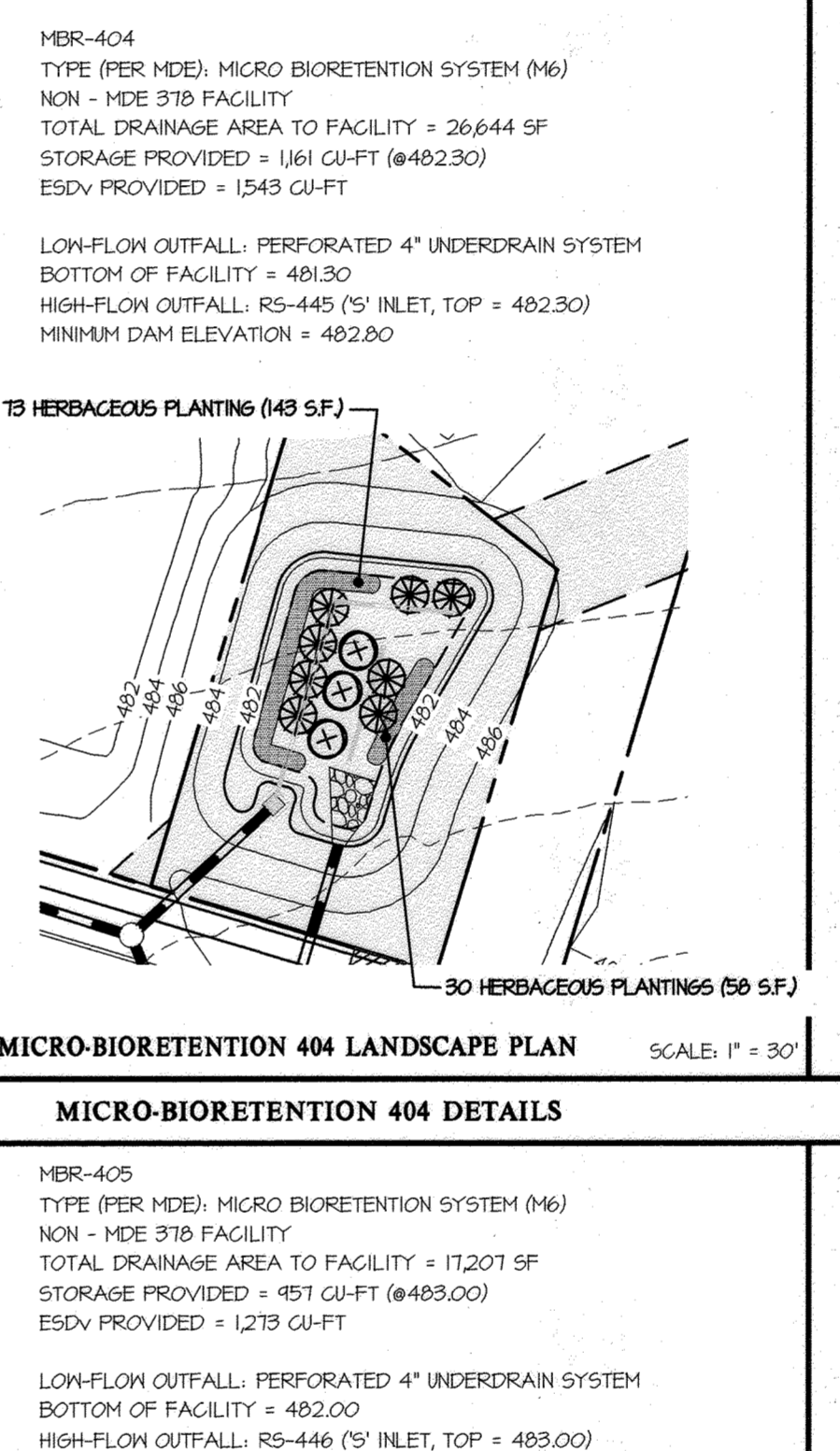
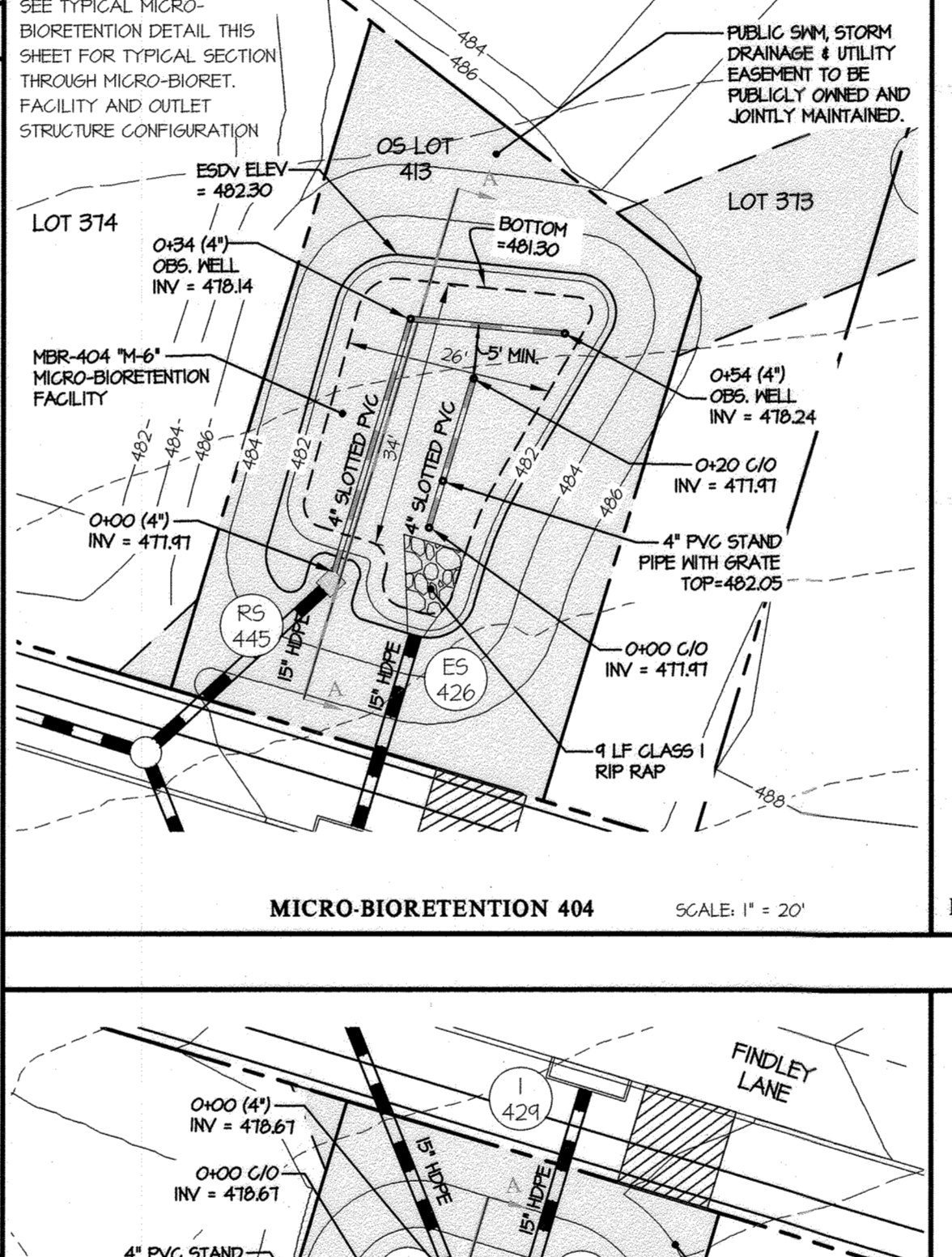
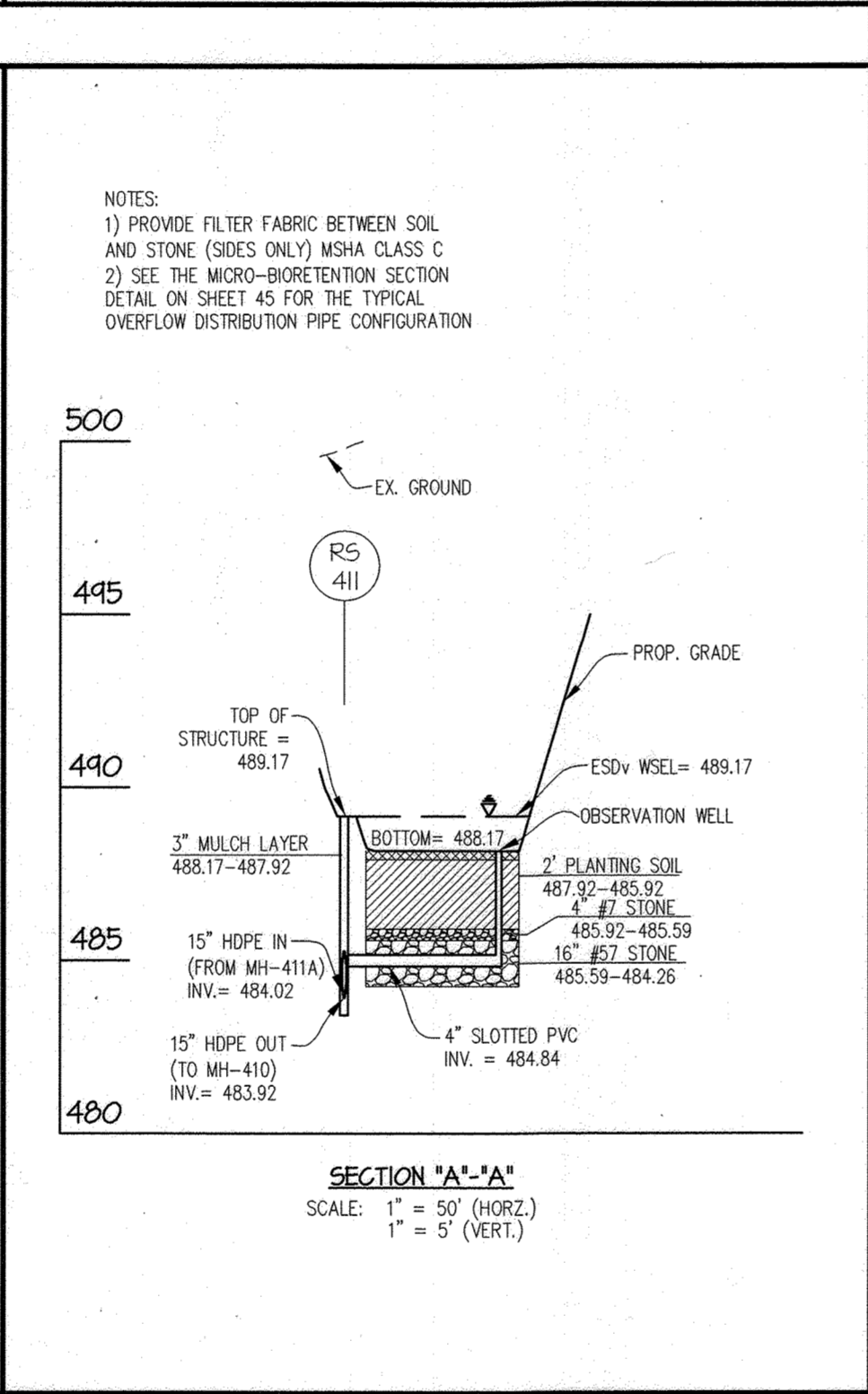
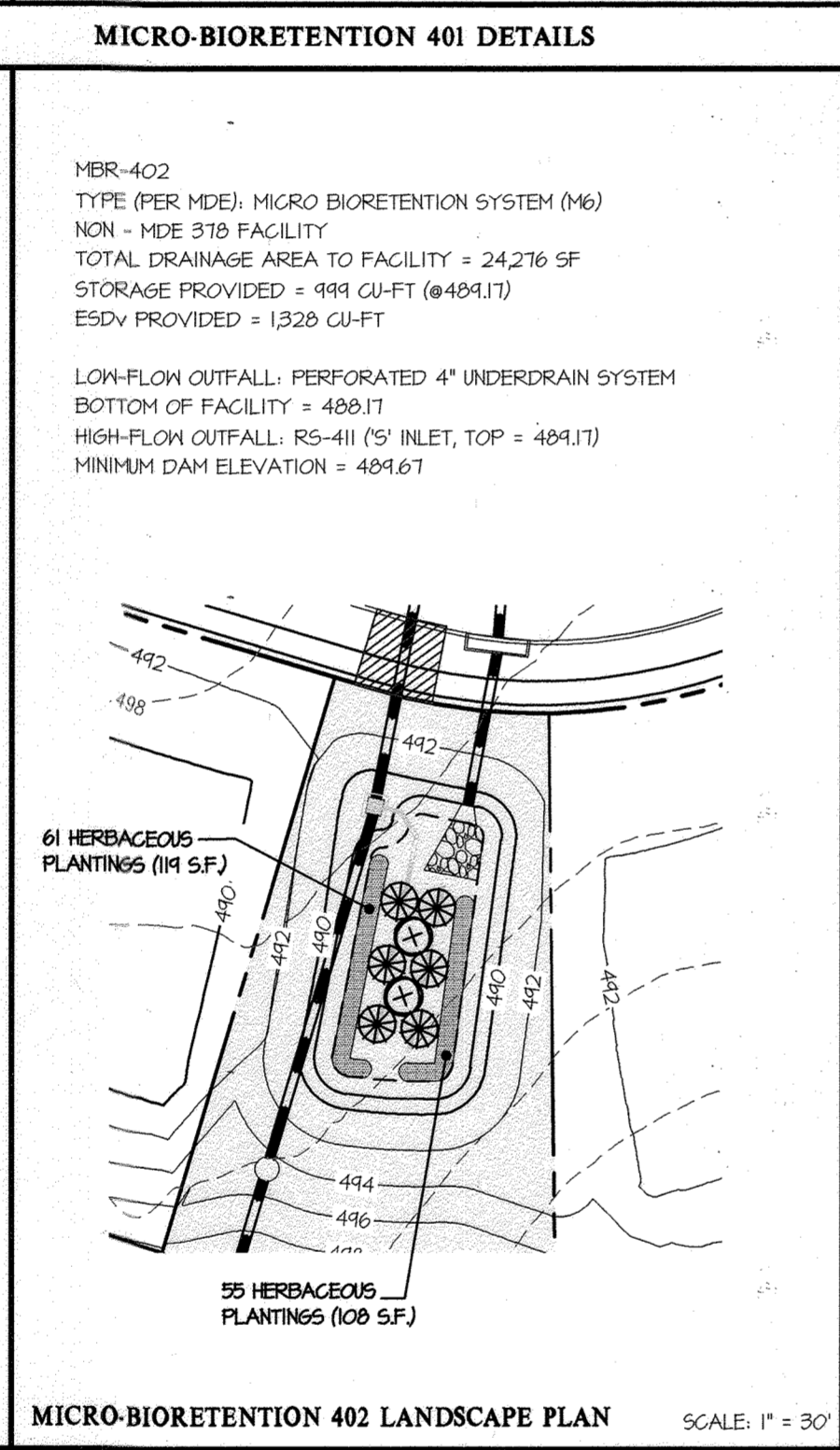
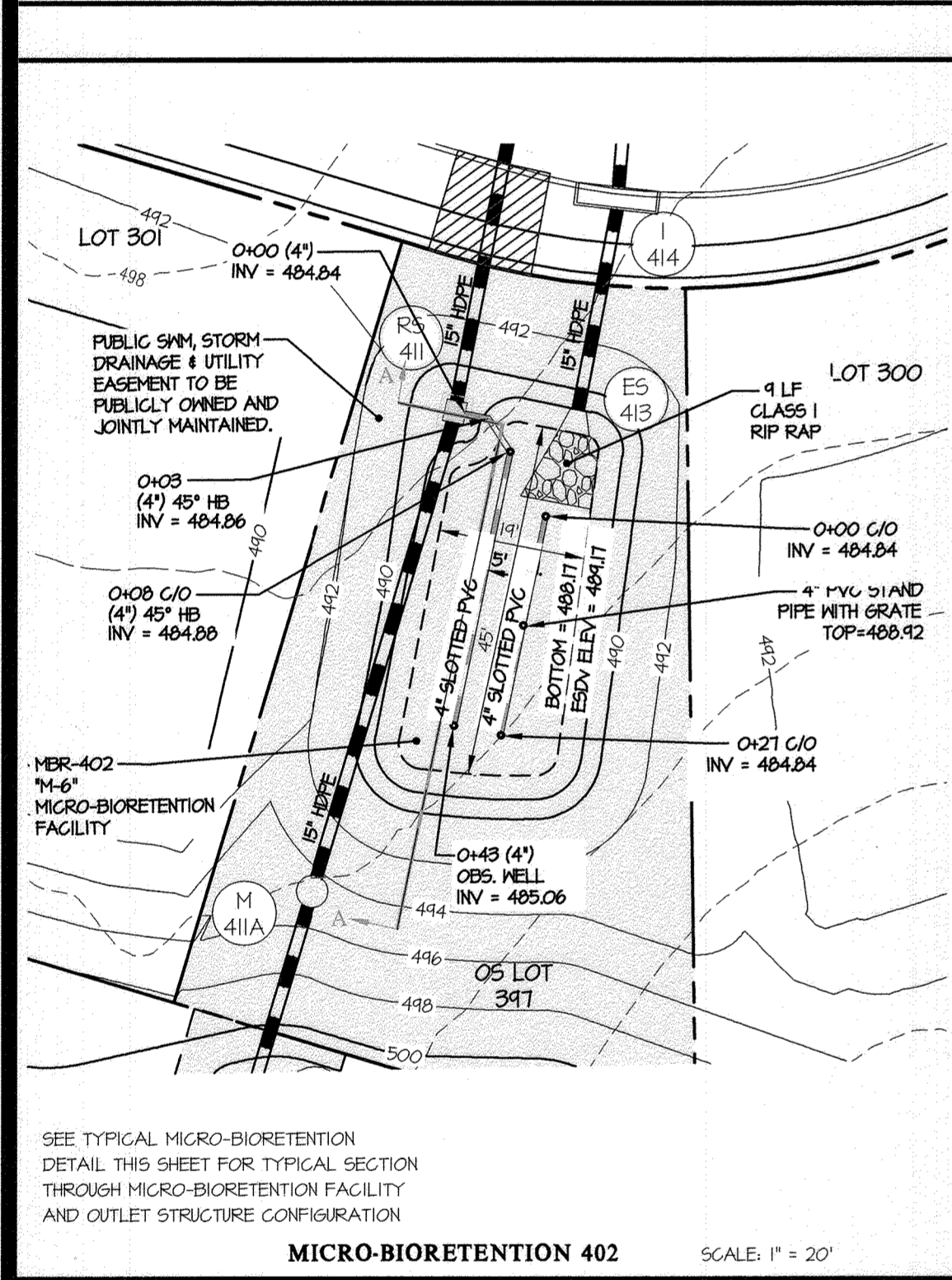
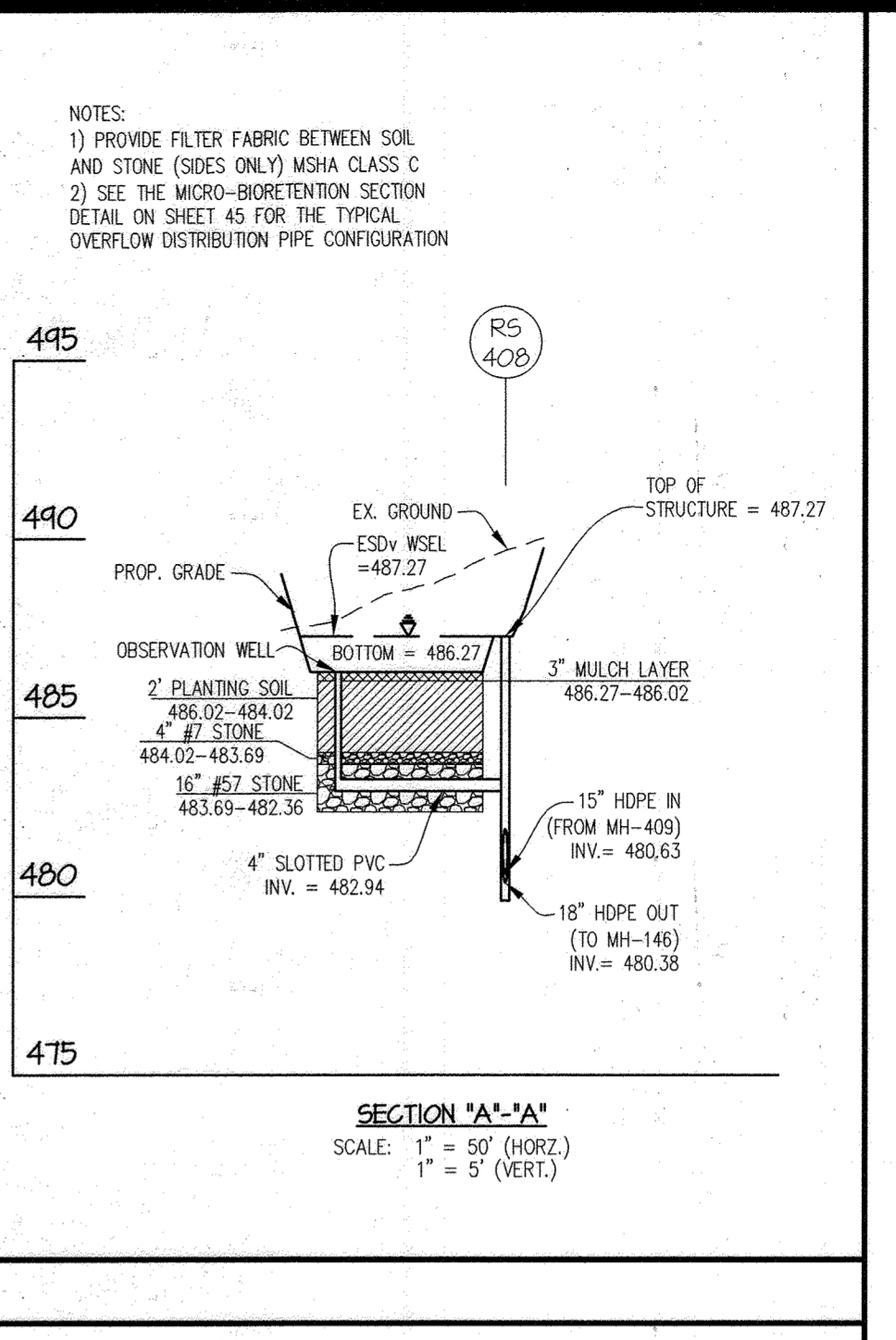
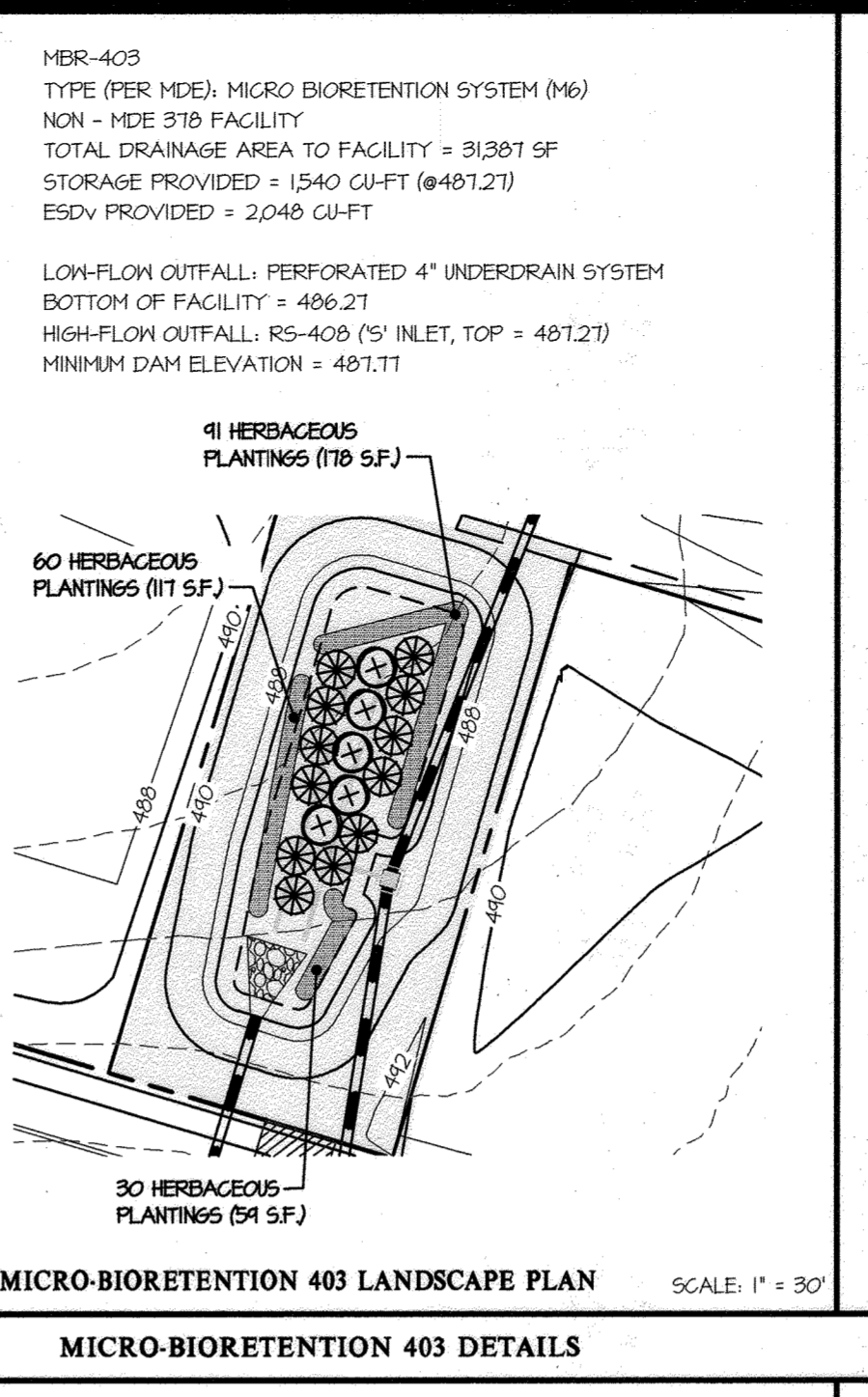
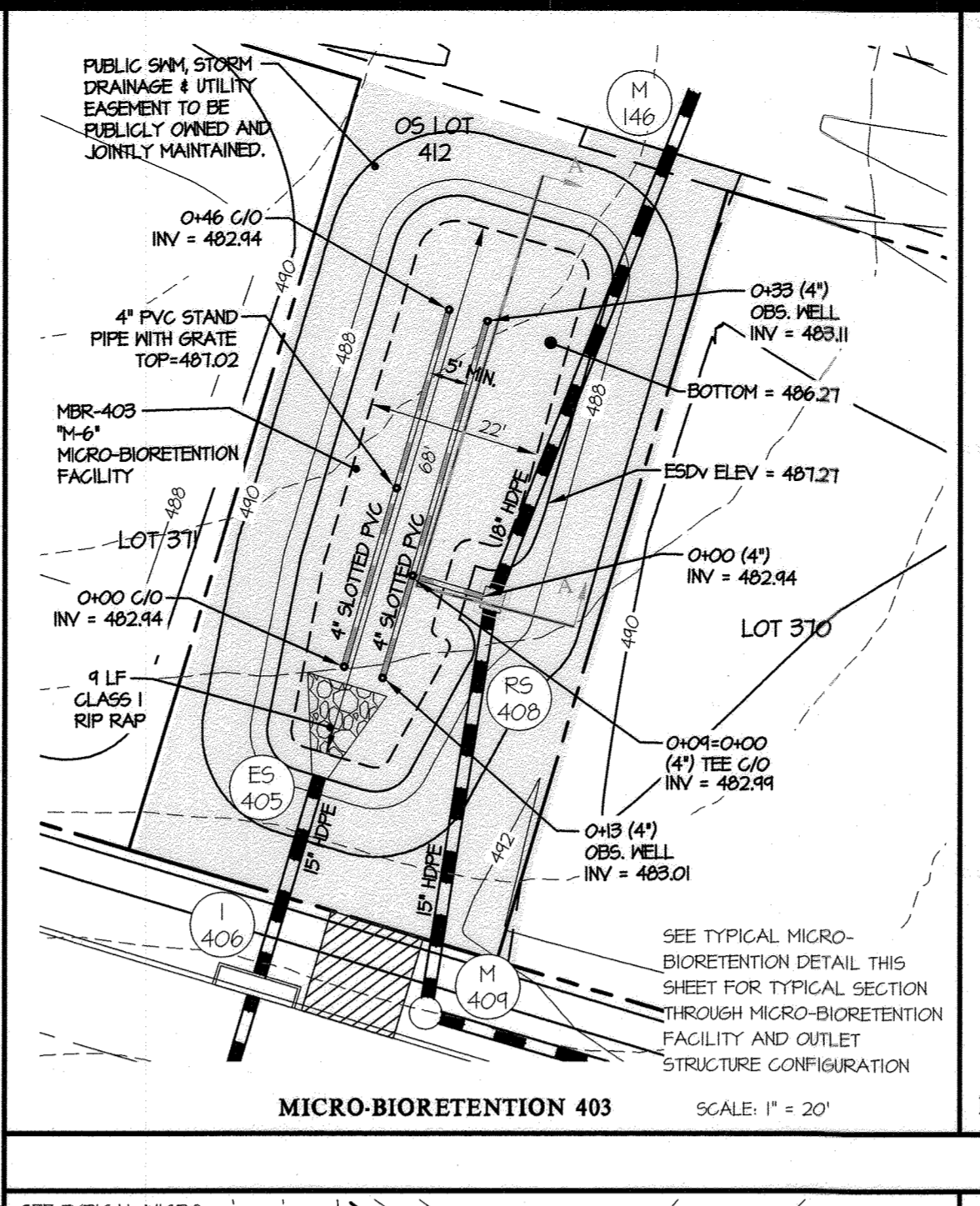
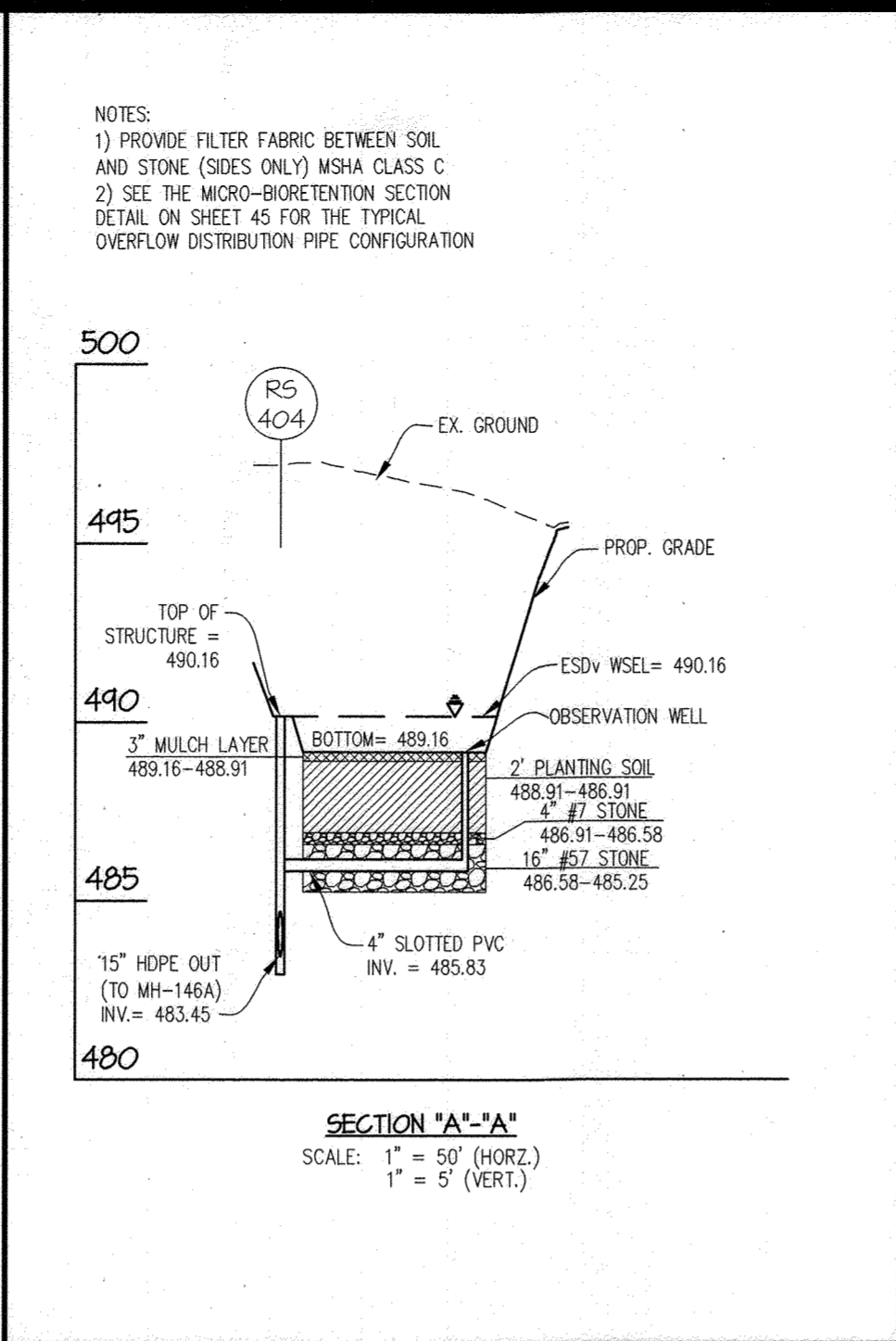
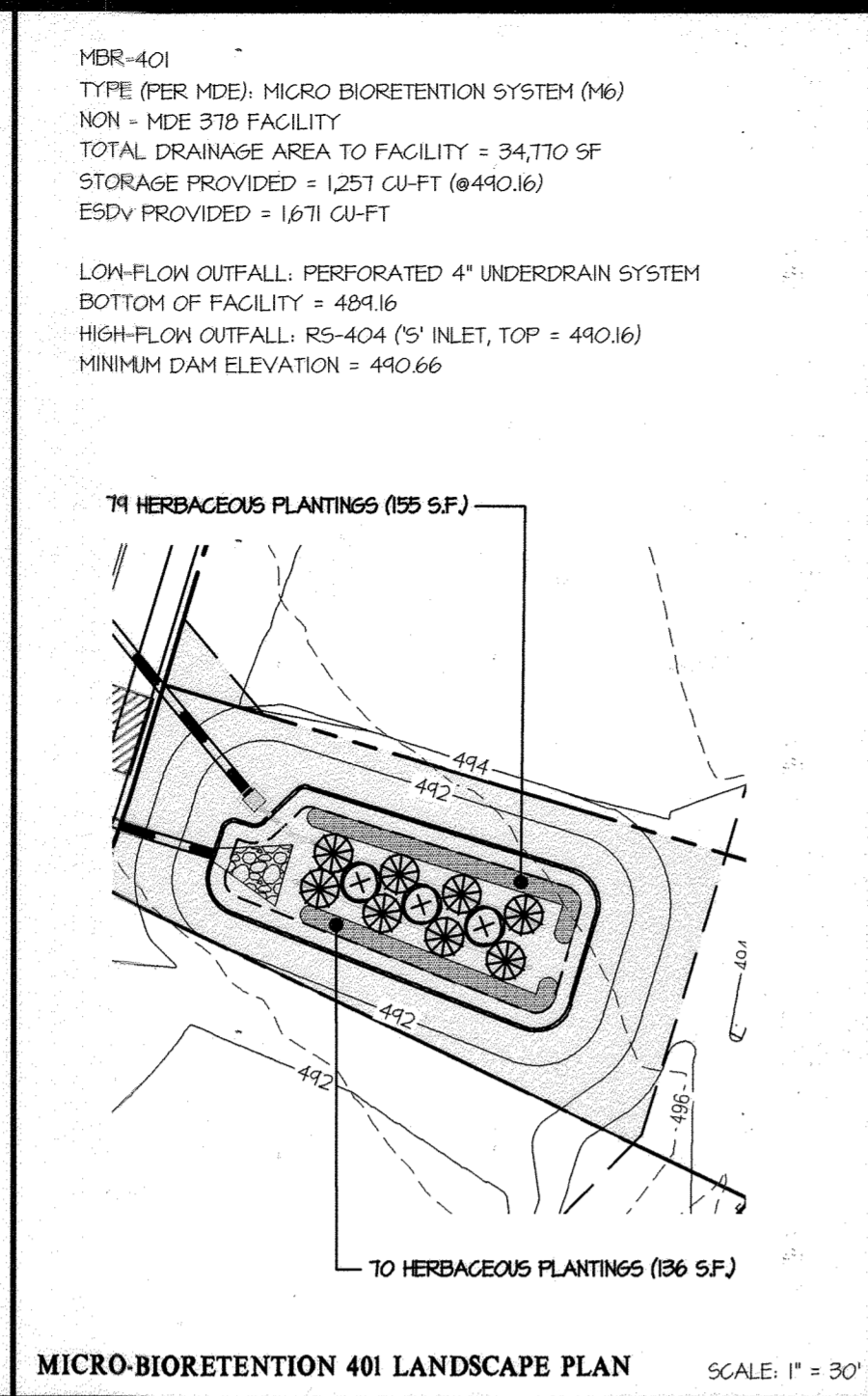
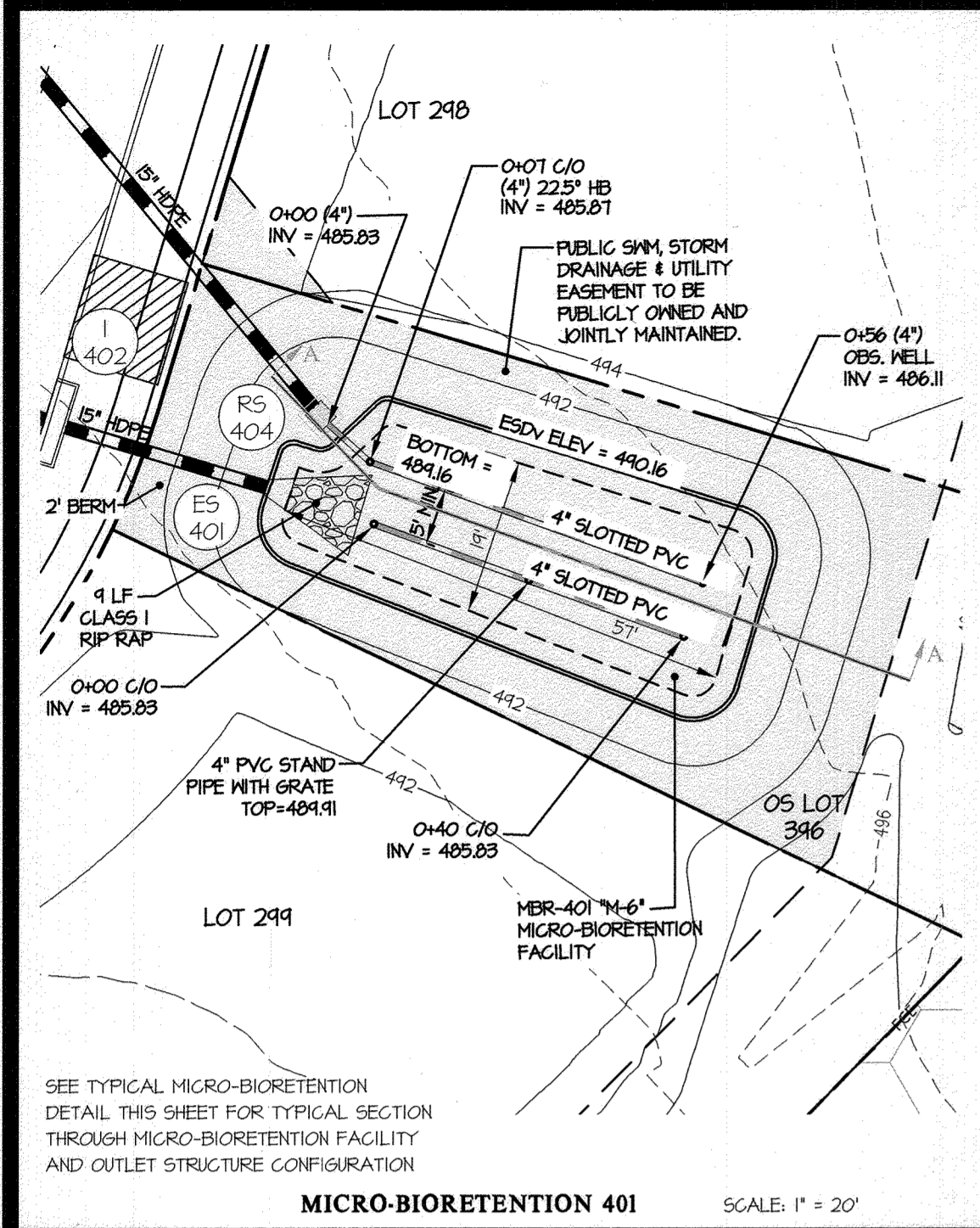
WESTMOUNT - PHASE 4
 LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	37 OF 45

L:\CAD\DRAWINGS\2013\PLANS BY GUY\ROADS\50 (PHD)\PHASE 4_36-37_SWM_DAM.dwg
 DATE: 03/06/2023 10:58:52 AM
 USER: GUY



S.D. PIPE SUMMARY TABLE - PUBLICALLY OWNED AND JOINTLY MAINTAINED

SIZE (INCHES)	TYPE	QUANTITY (LF)	REMARKS
4	SLOTTED PVC	1,711	SCHEDULE 40
4	PVC	40	SCHEDULE 40

MICRO-BIORETENTION PLANT LIST (for this sheet)

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHRUBS *	16	CORNUS SERICEA RUBY/ RUBY RED OSIER DOGWOOD	10"-24" SFR.	CONTAINER
	42	TEA VIRGINICA HENRY'S GARNET/ VIRGINIA SWEETSPICE	10"-24" SFR.	CONTAINER
HERBACEOUS *	646	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO: -HERPESCALIS 'STRAWBERRY CANDY' DAYLILY -HERPESCALIS 'LOAN SENIOR' DAYLILY -KALMA ANGSTIFOLIA/SHEEP LAUREL -ELEOCHARIS OVATA OBTUSA/BLUNT SPIKE RUSH	10" O.C.	CONTAINER

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/16/23

Chief, Development Engineering Division JP
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

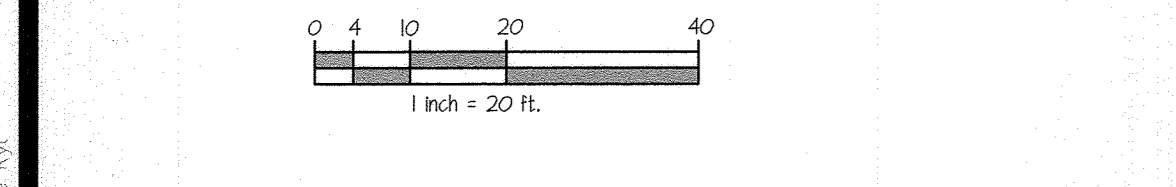
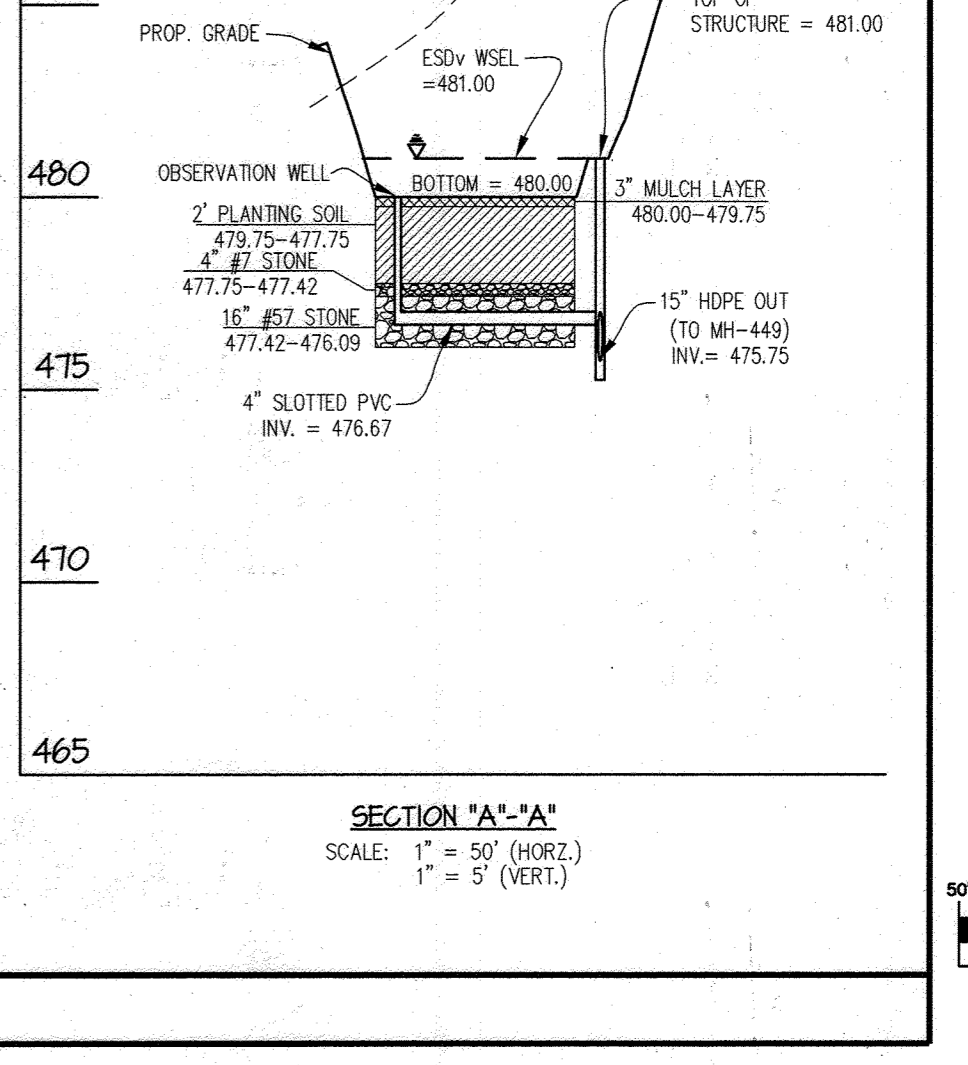
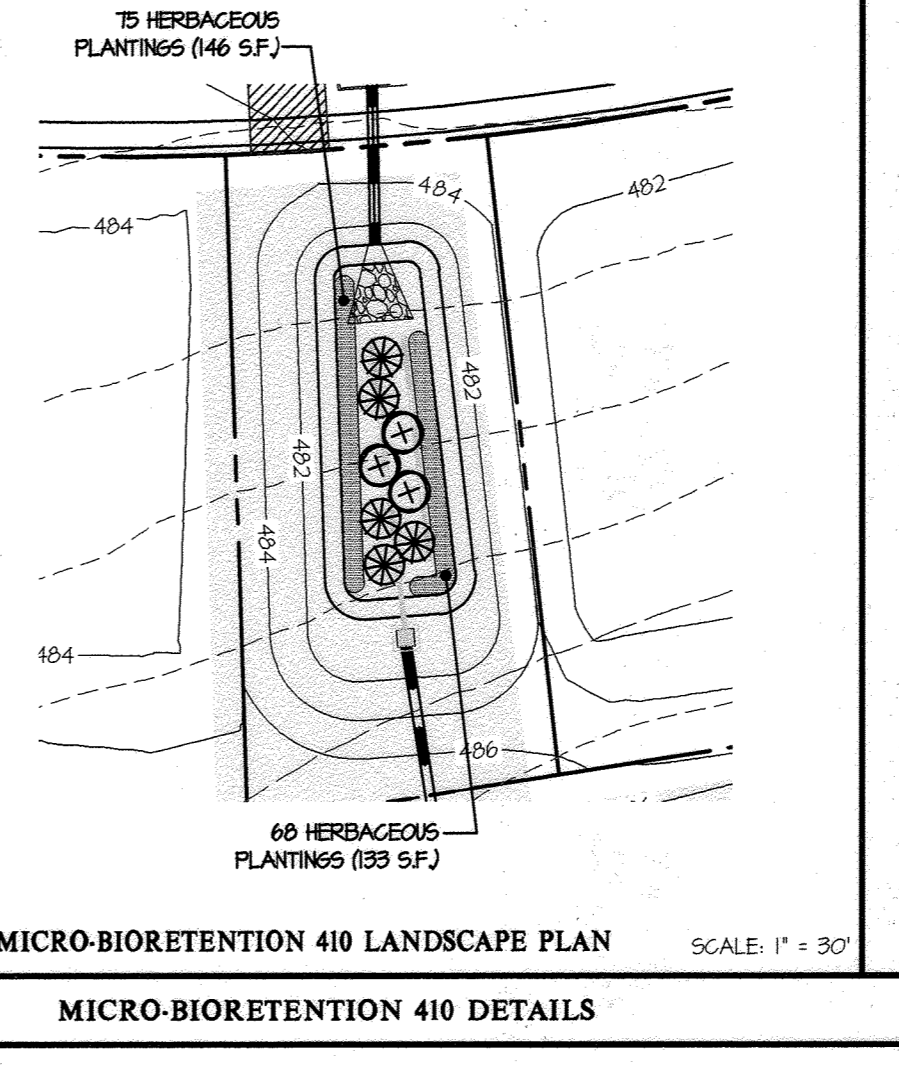
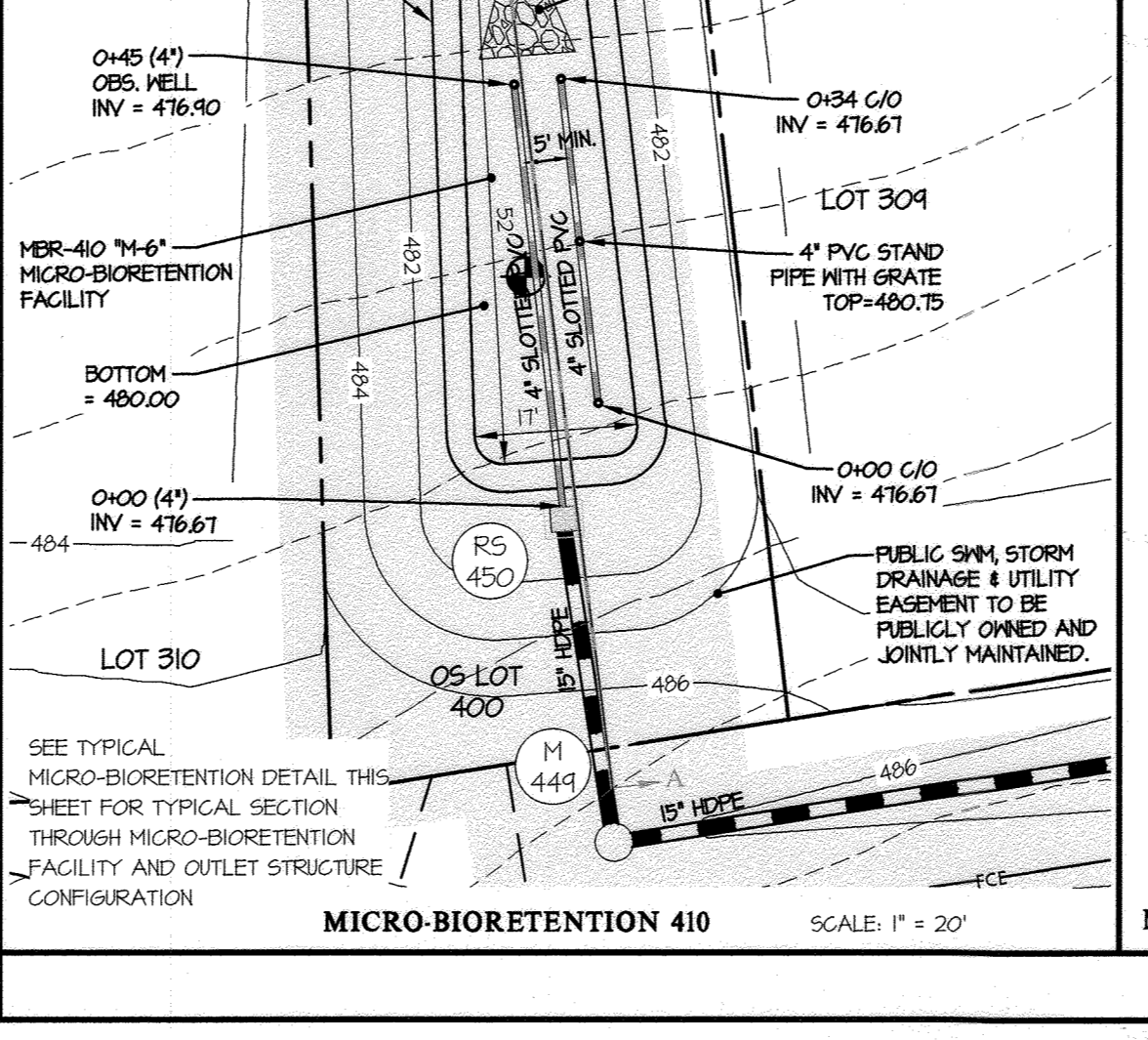
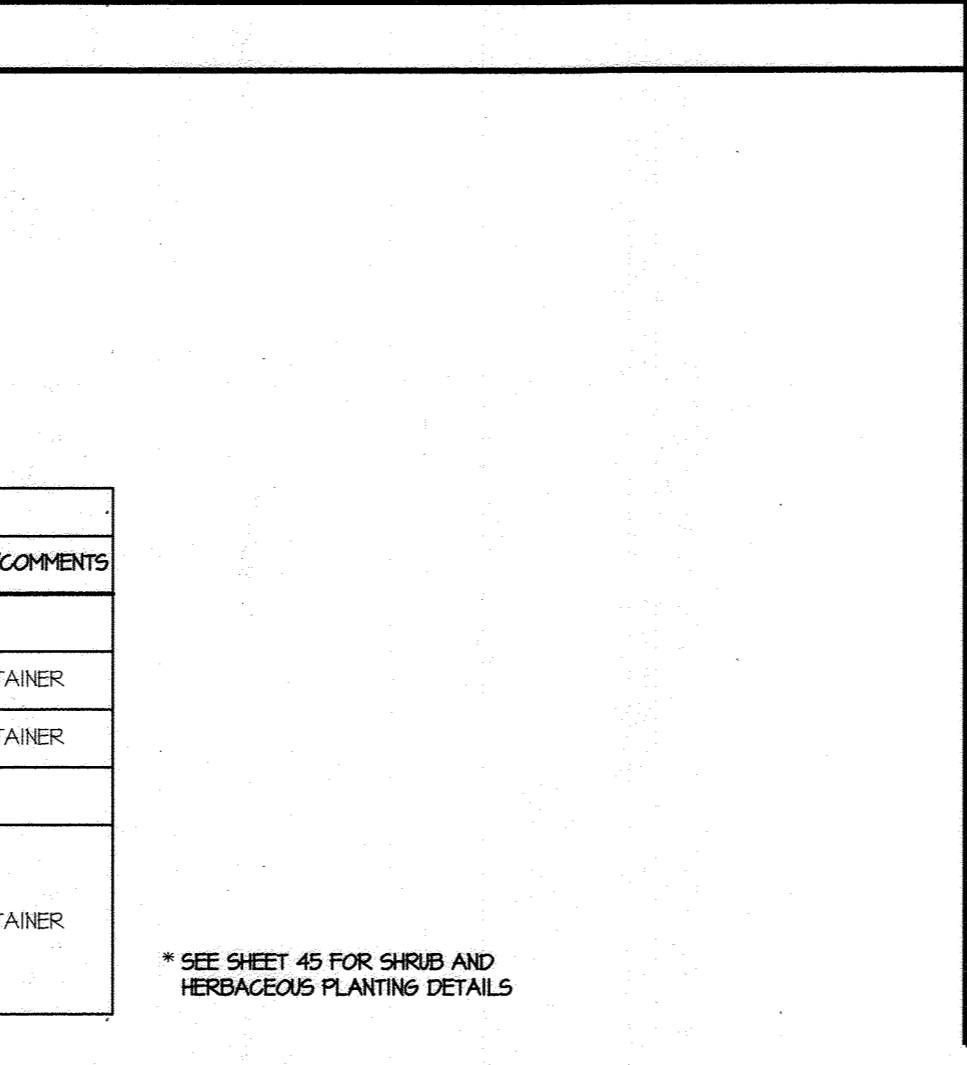
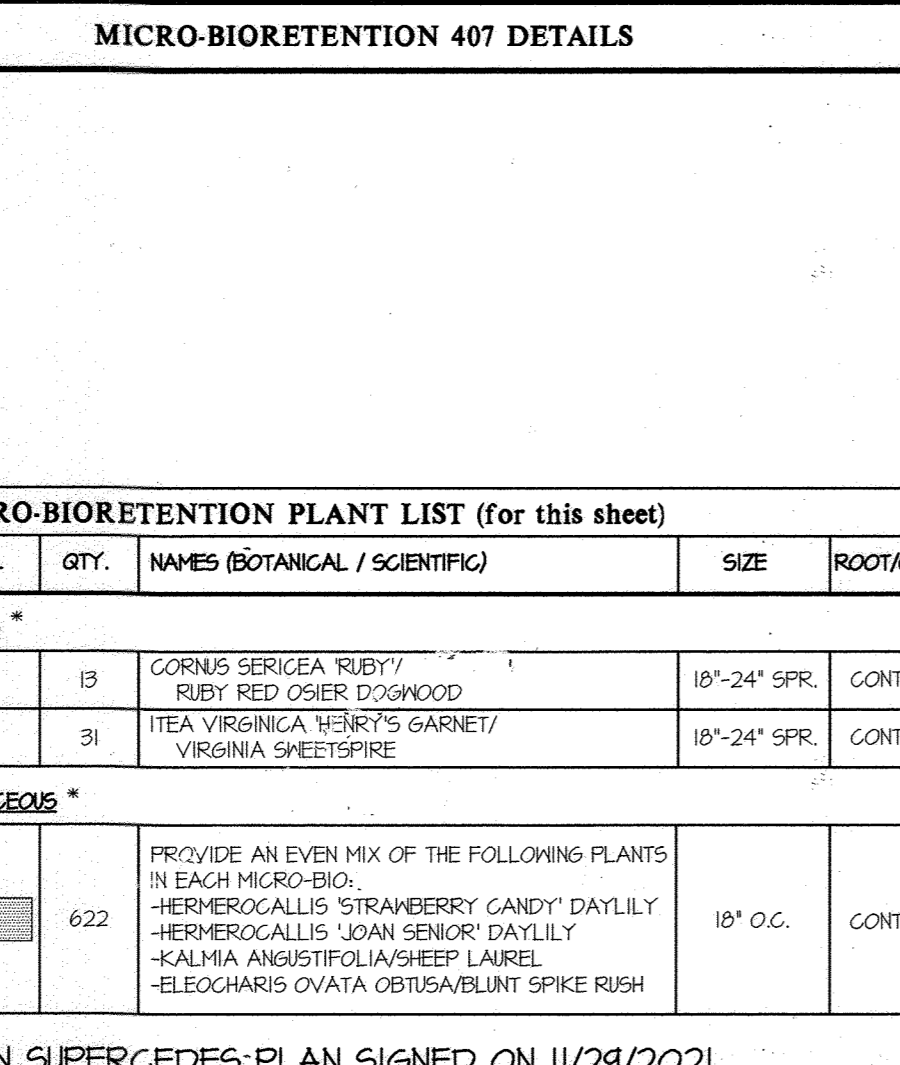
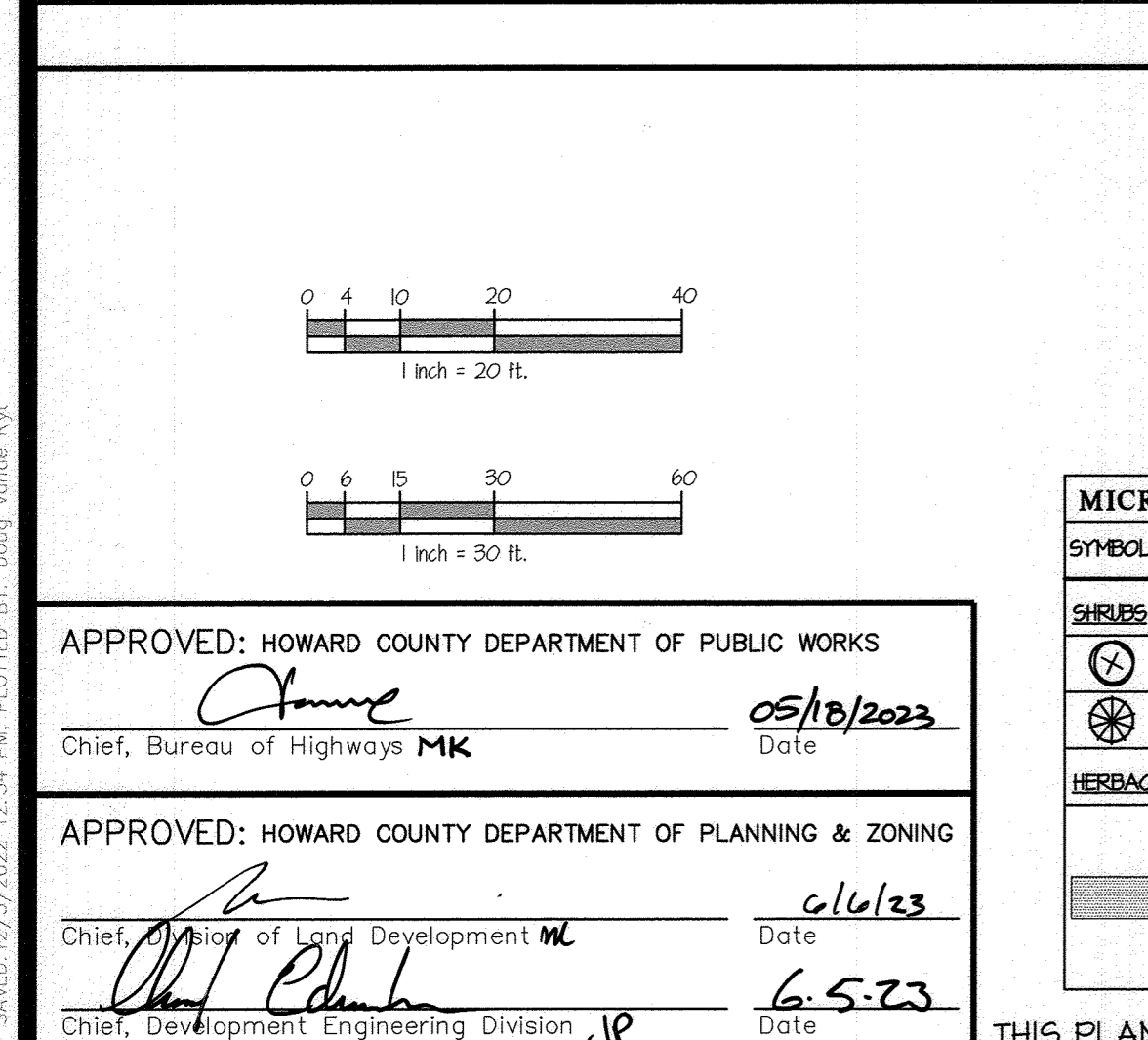
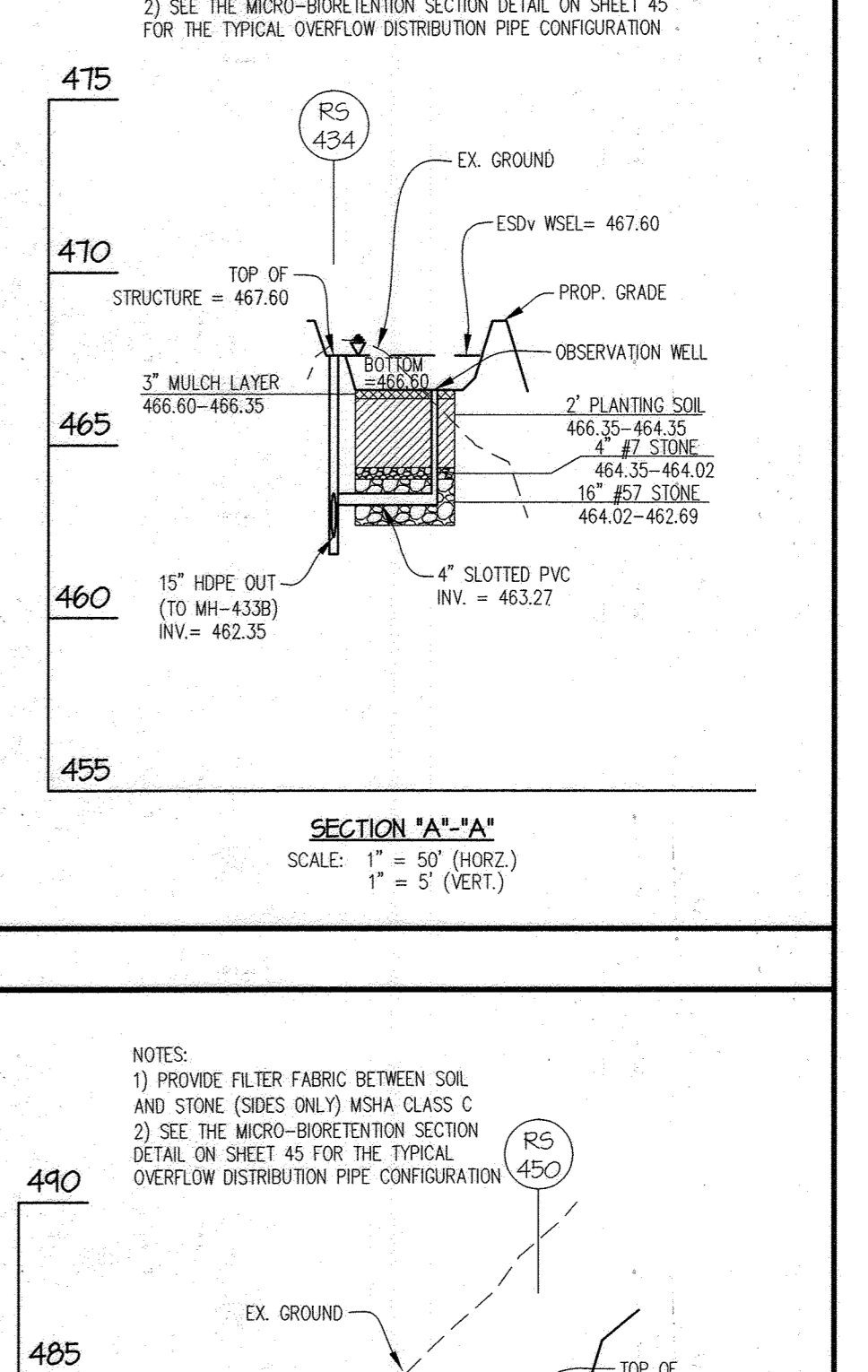
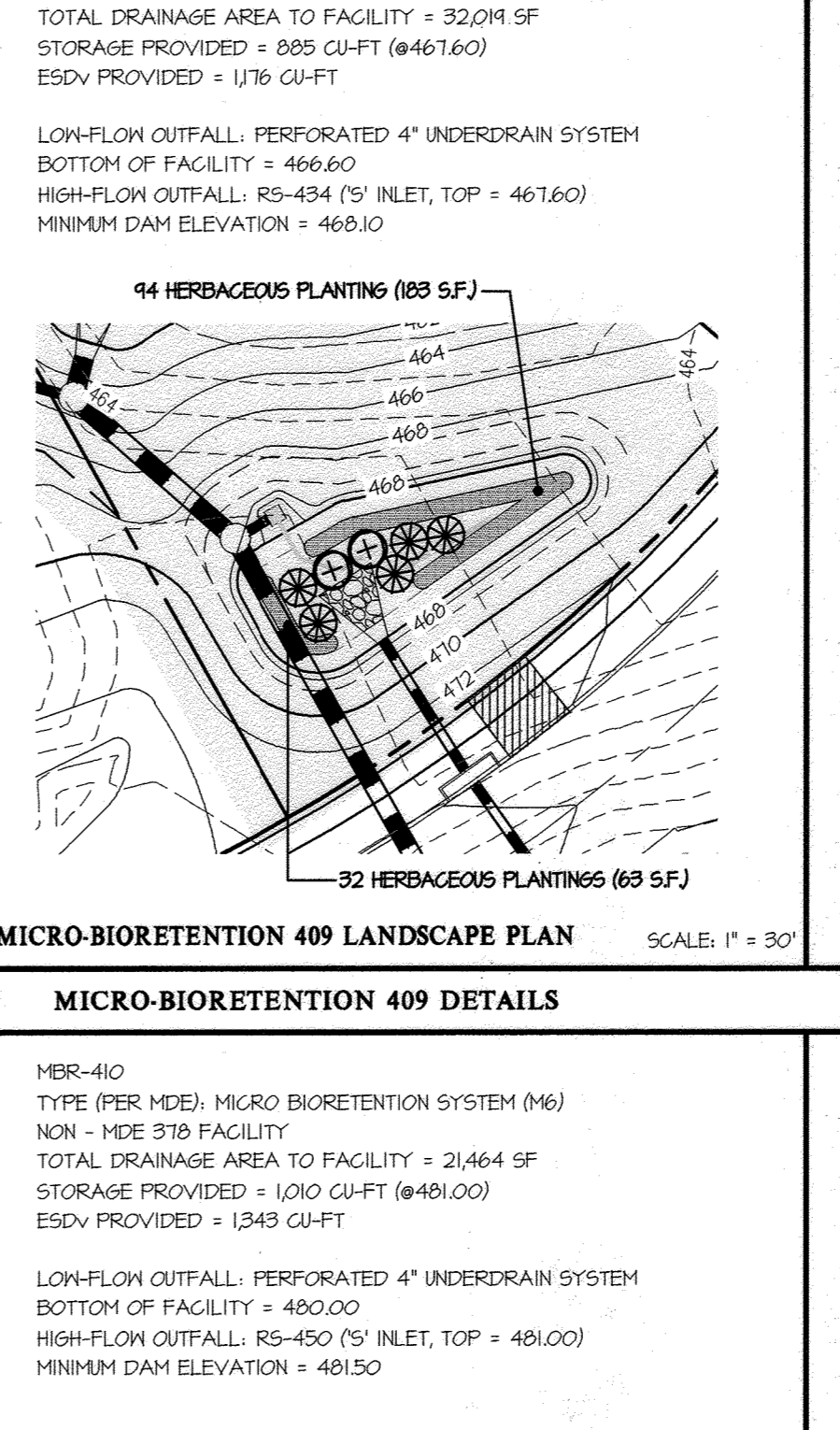
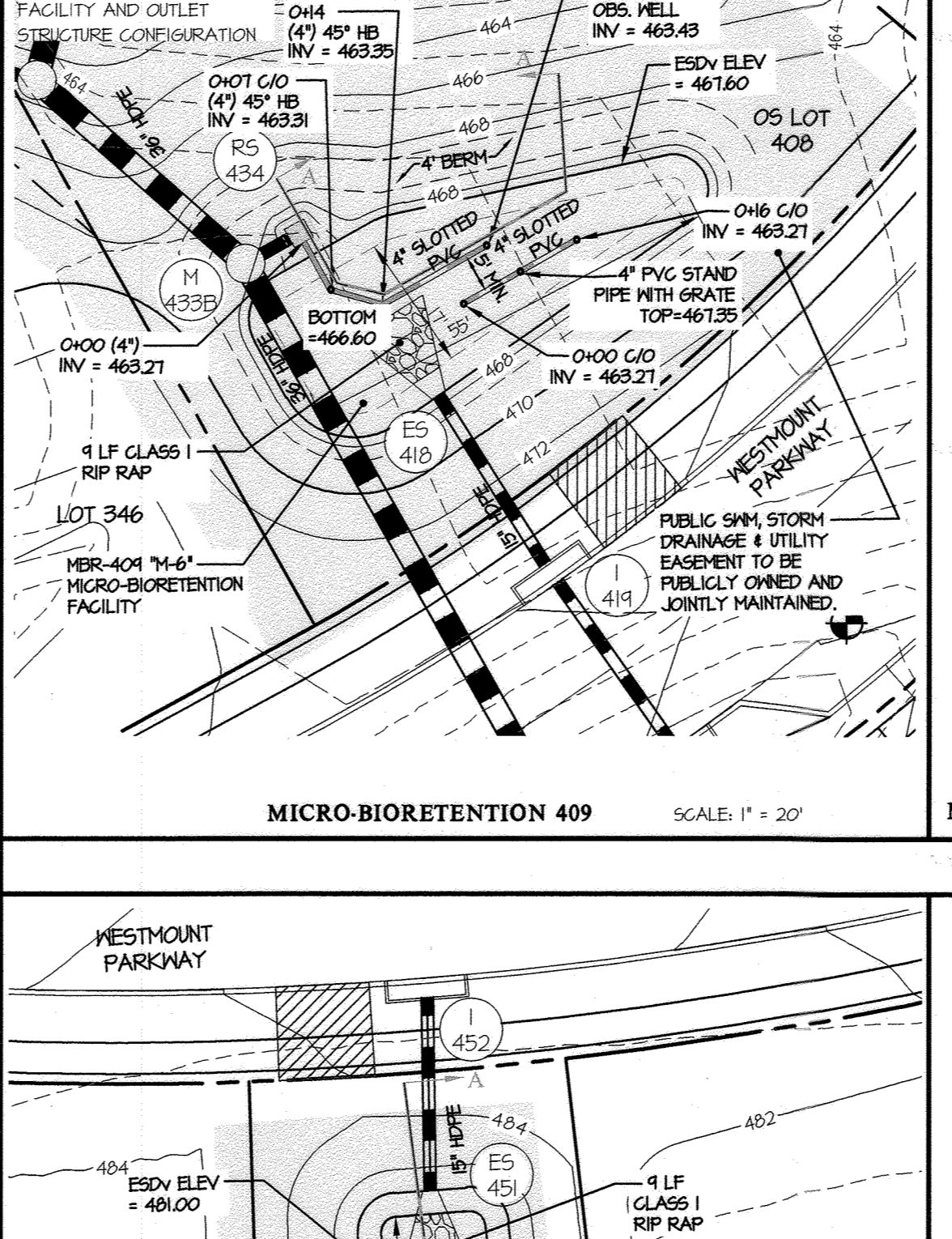
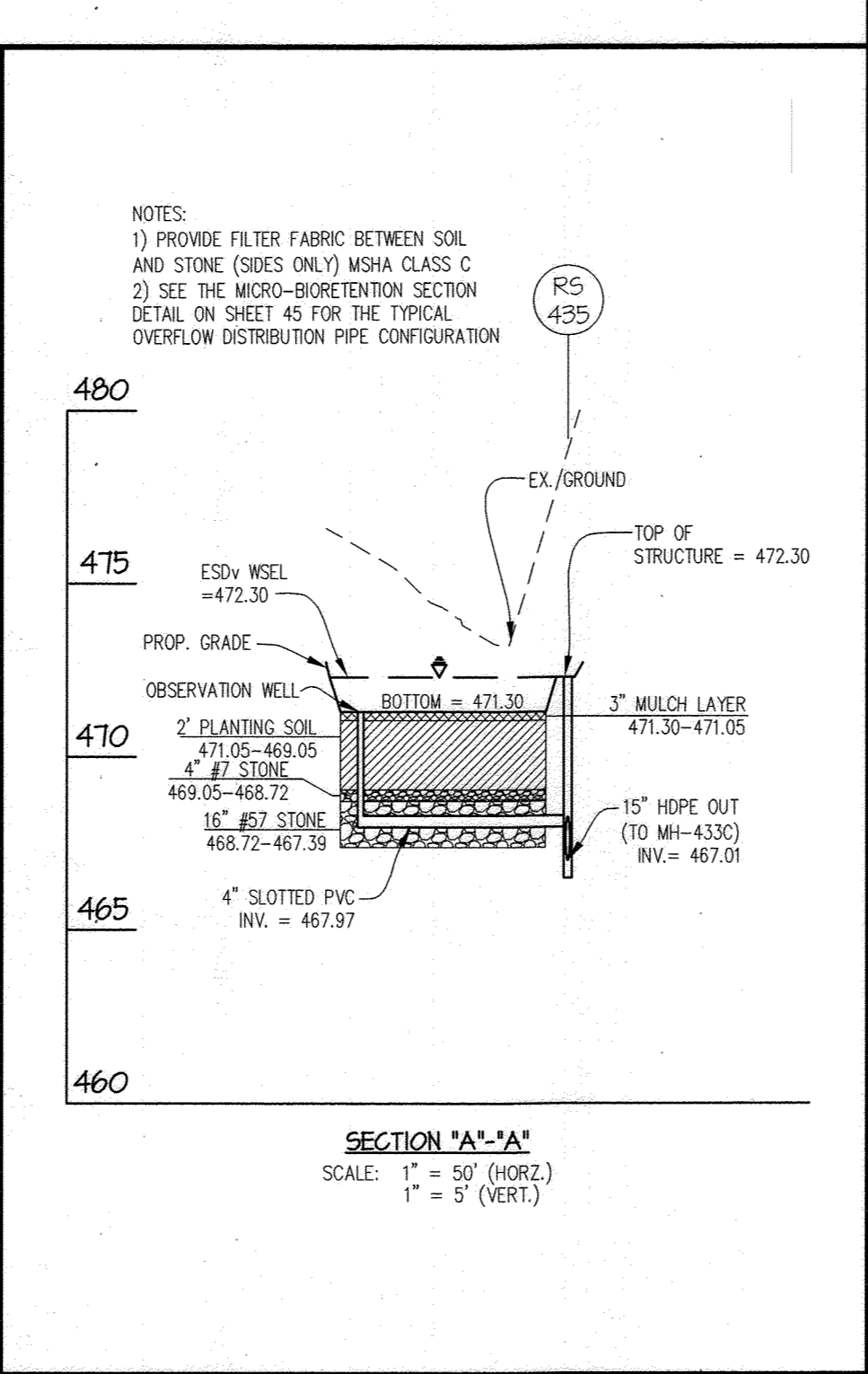
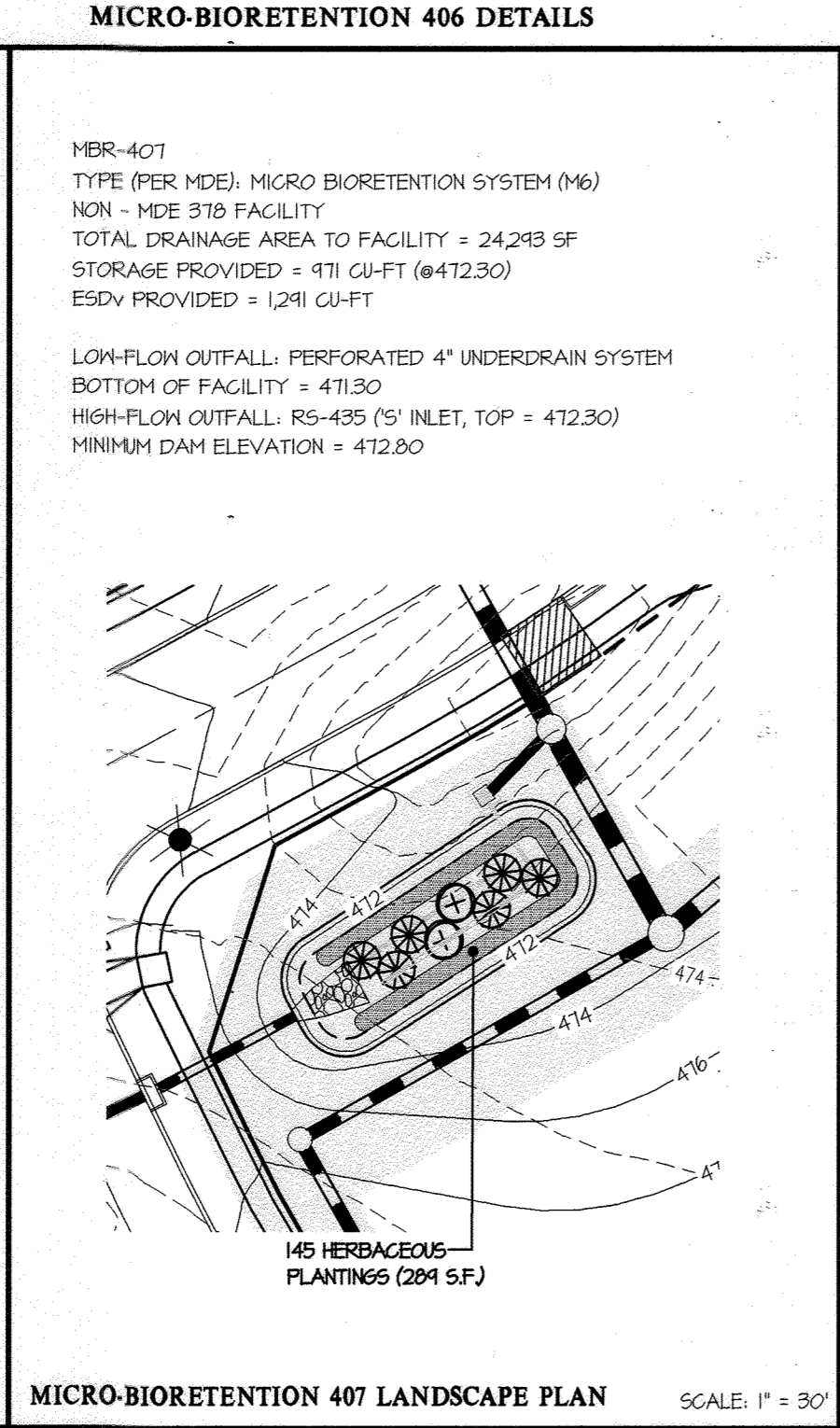
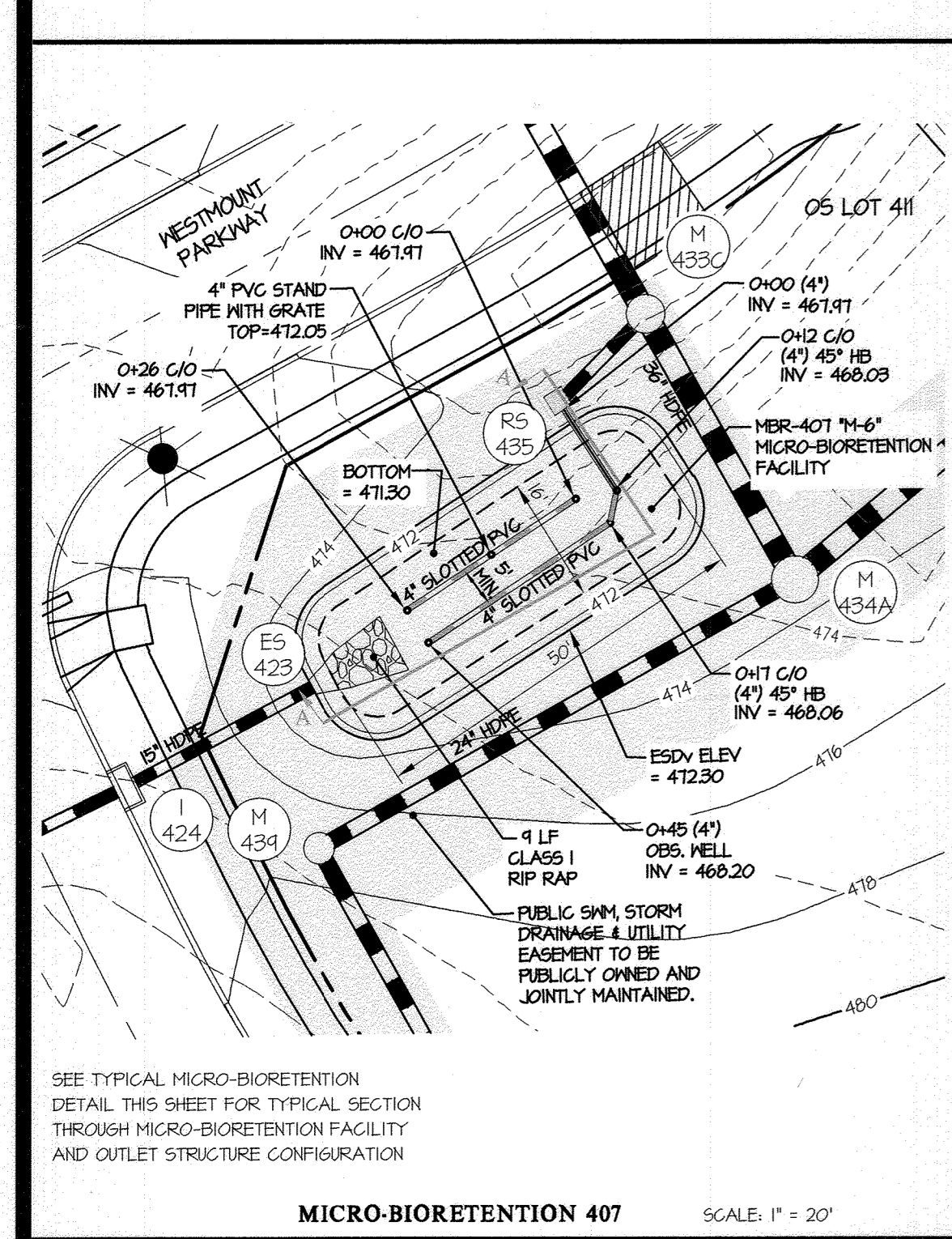
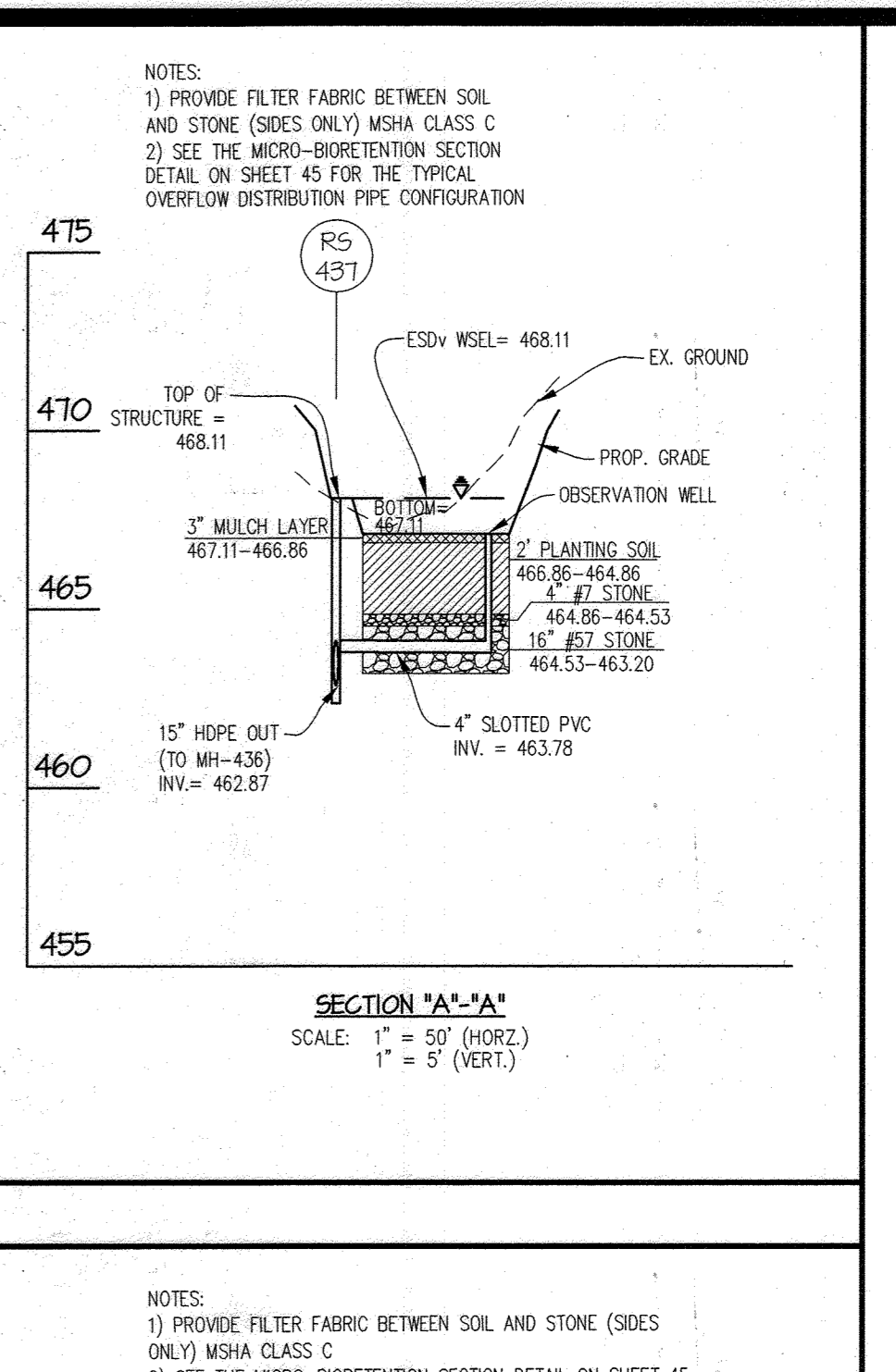
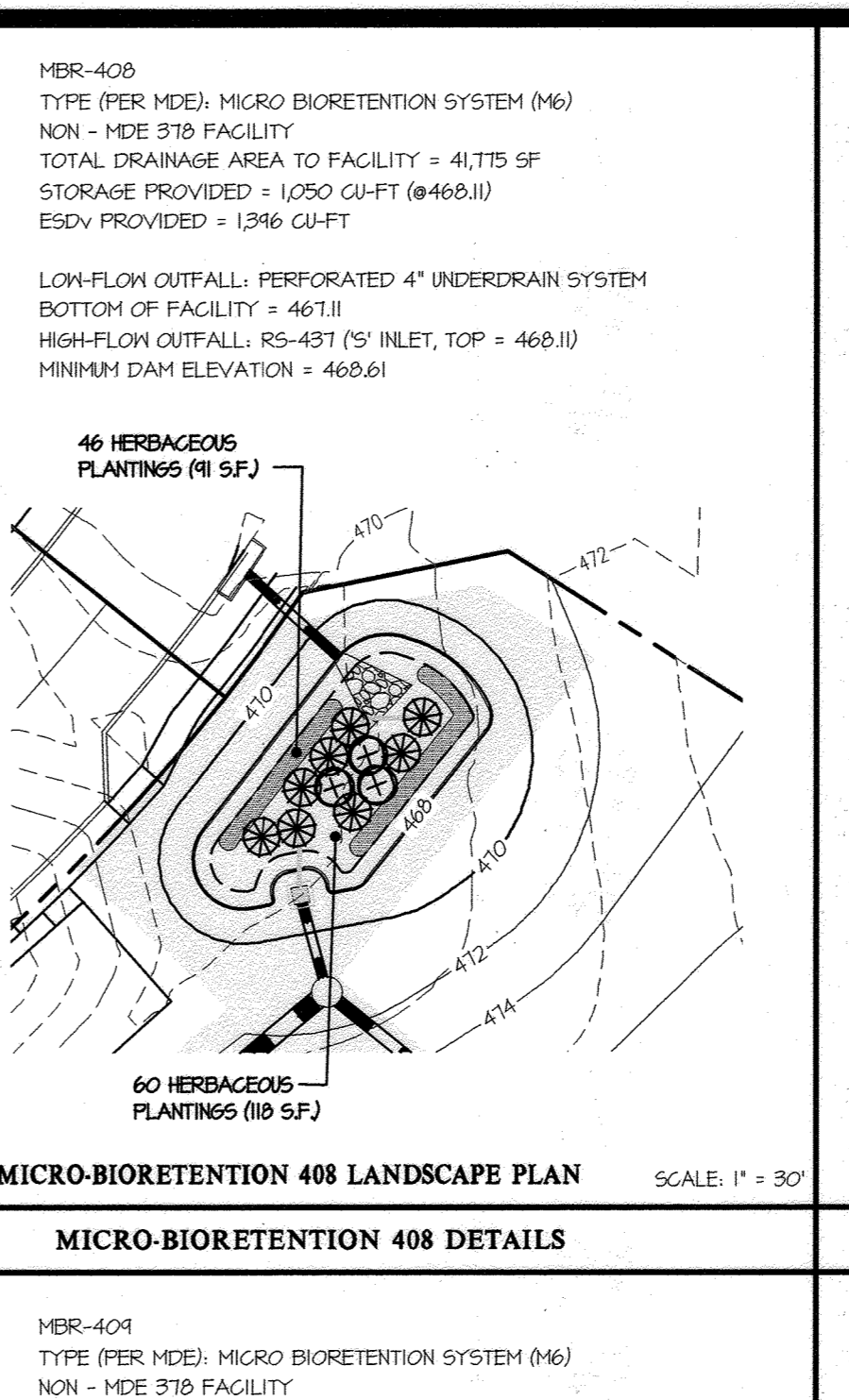
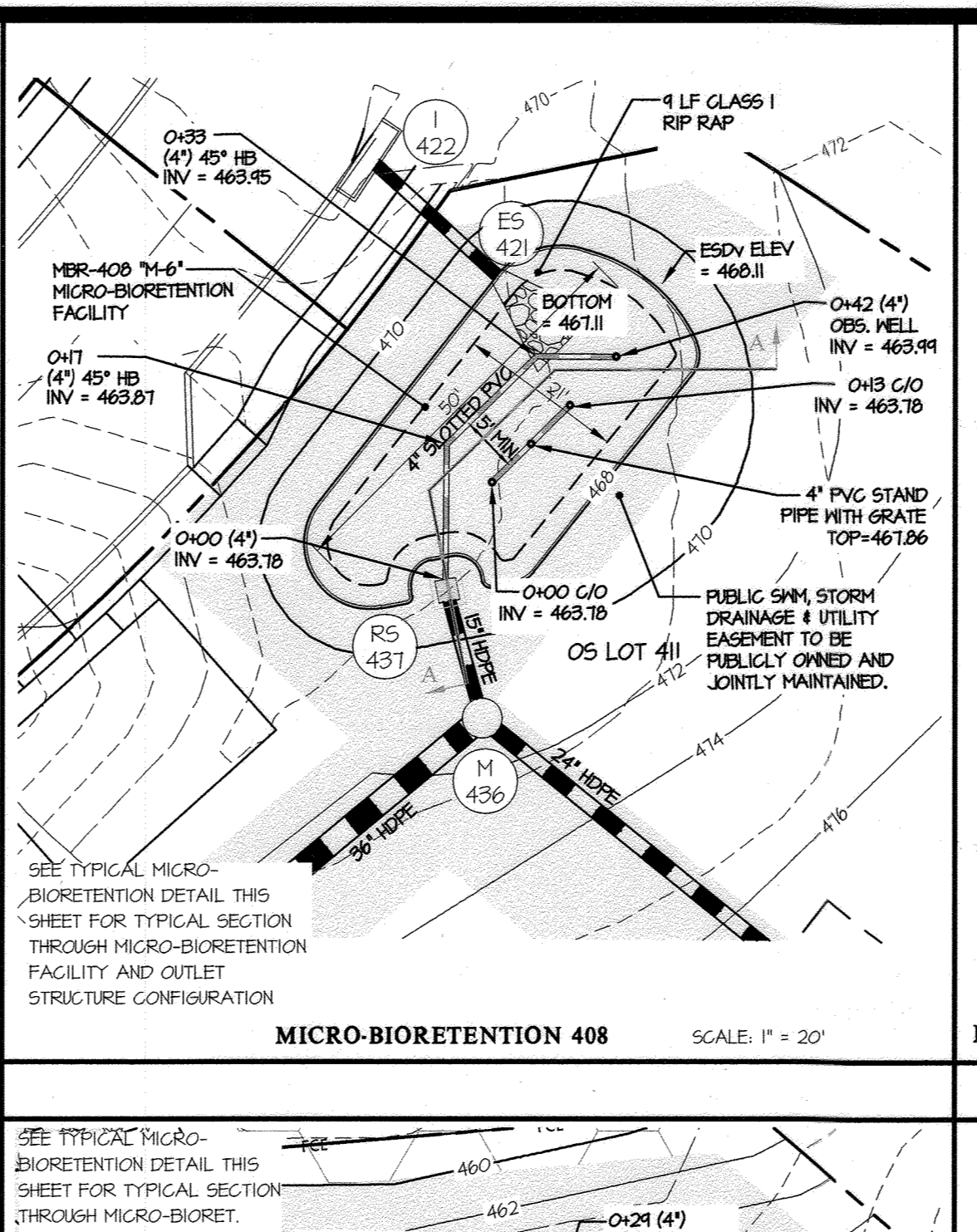
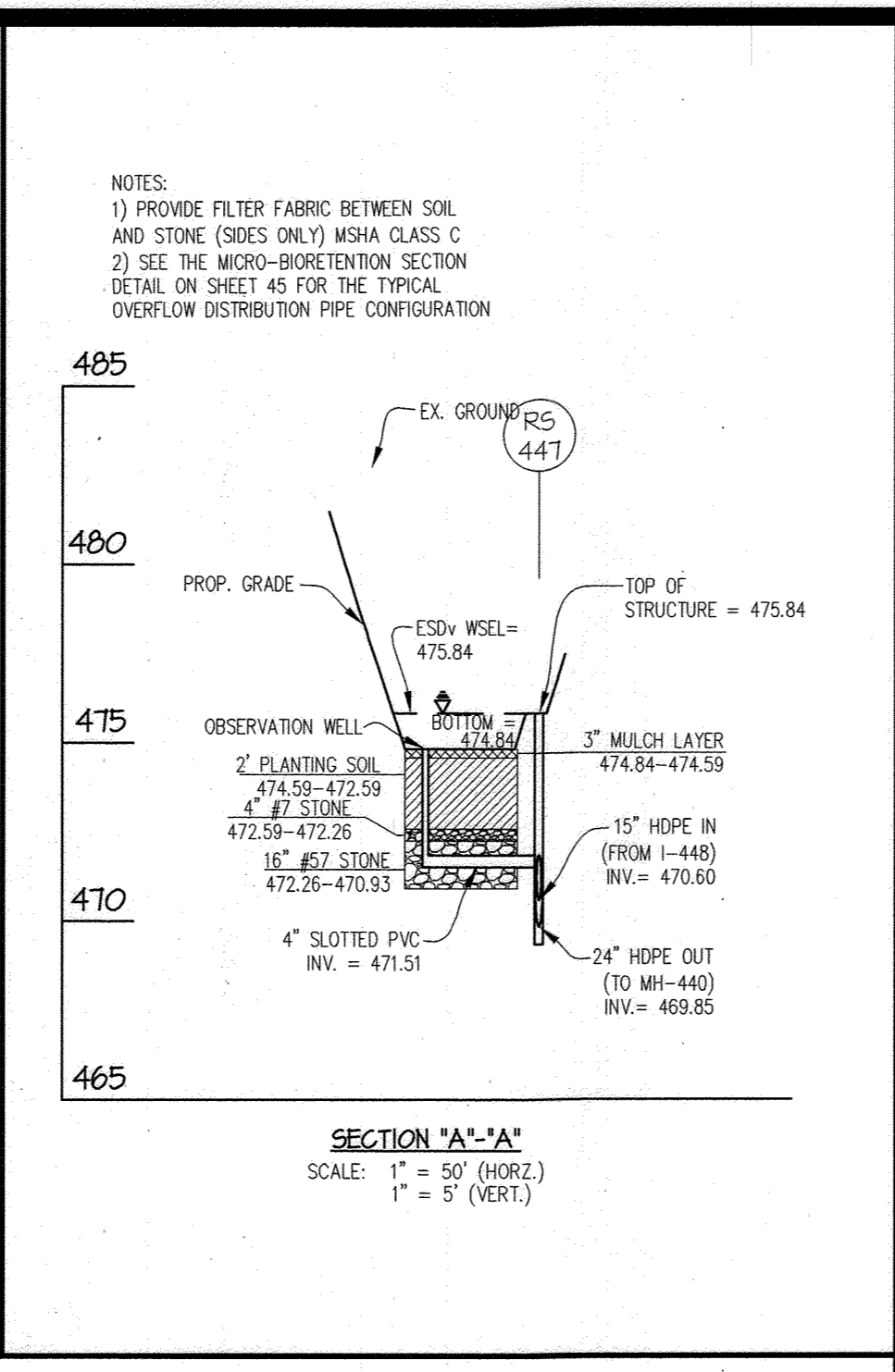
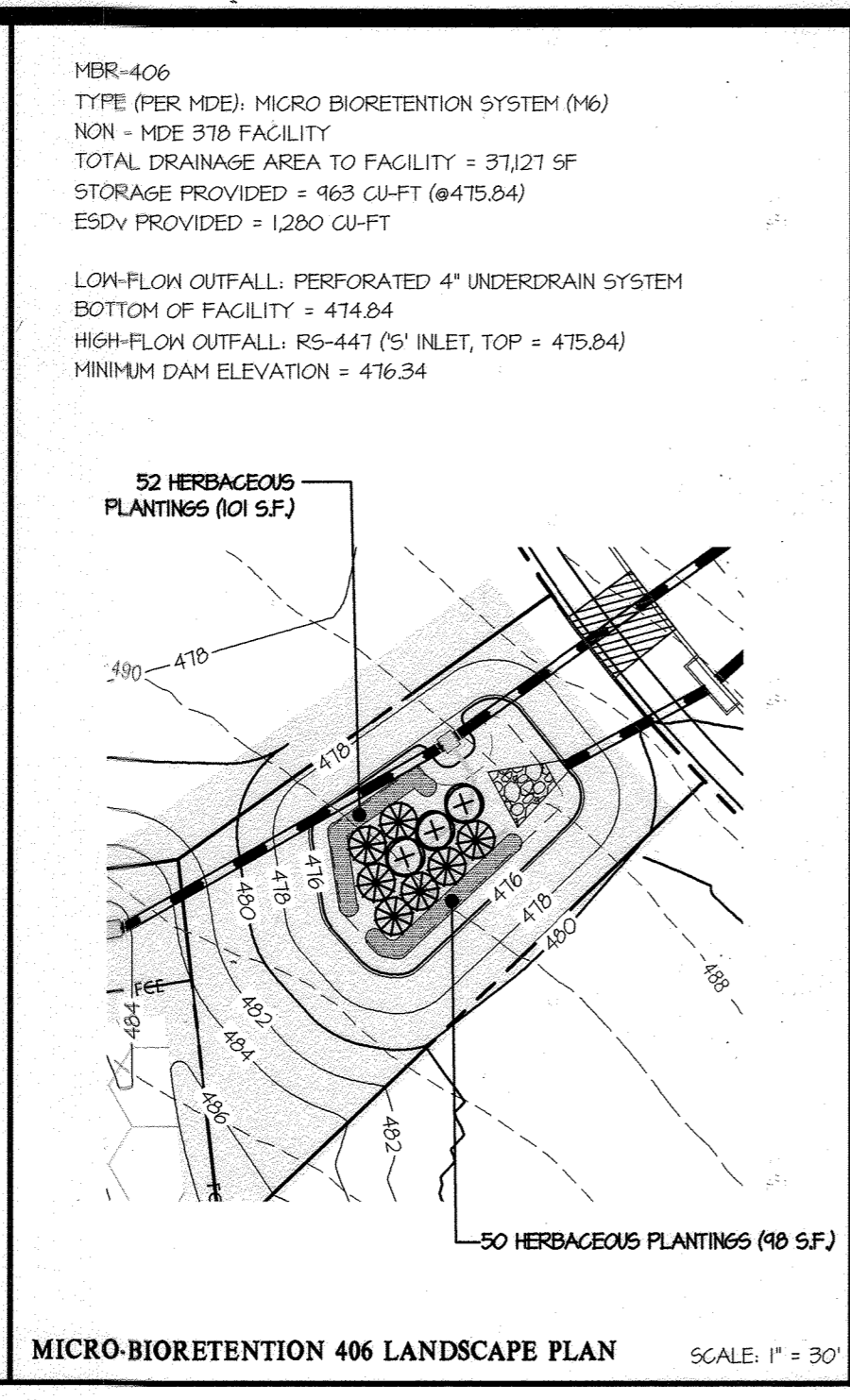
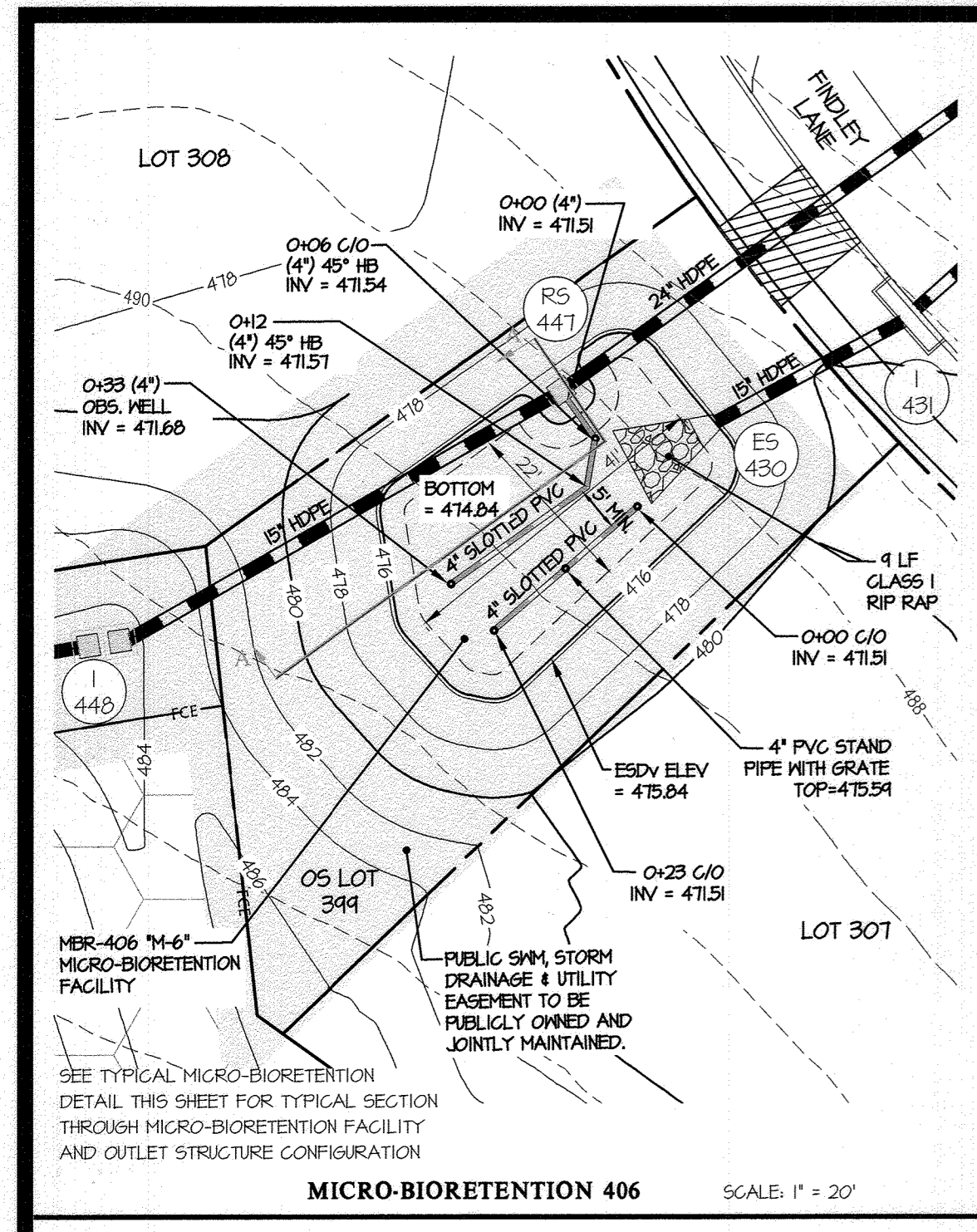
DESIGNED BY:	AWL	DATE:	03/06/2023	REVISION:	REVISED MBRS PER GRADING CHANGES
DRAWN BY:	LMW	CHECKED BY:	DEV	DATE:	03/06/2023

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 3/8/23

REVISED STORMWATER MANAGEMENT DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	38 OF 45



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Chief, Bureau of Highways MK
Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Bureau of Land Development ML
Date: 6/16/23

Chief, Development Engineering Division JP
Date: 6-5-23

MICRO-BIORETENTION PLANT LIST (for this sheet)				
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHRUBS *				
⊗	13	CORNUS SERICEA 'RUBY' / RUBY RED OSIER DOGWOOD	18"-24" SPR.	CONTAINER
⊗	31	ITEA VIRGINICA 'SWEET'S GARNET' / VIRGINIA SWEETSPHIRE	18"-24" SPR.	CONTAINER
HERBACEOUS *				
■	622	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO. -HERBERCALLIS 'STRAWBERRY CANDY' DAYLILY -HERBERCALLIS 'LOAN SENIOR' DAYLILY -KALINIA ANGIUSTIFOLIA/SHEEP LAUREL -ELEOCHARIS OVATA OBTUSA/BLUNT SPIKE RUSH	18" O.G.	CONTAINER

DESIGNED BY: AWL
DRAWN BY: LMW
CHECKED BY: DEV
DATE: 03/06/2023

REVISION: REVISED MBRS PER GRADING CHANGES

AWL
LMW
DEV

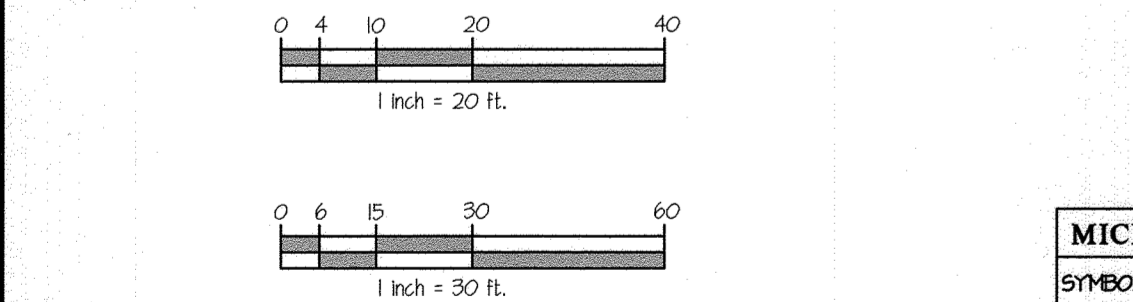
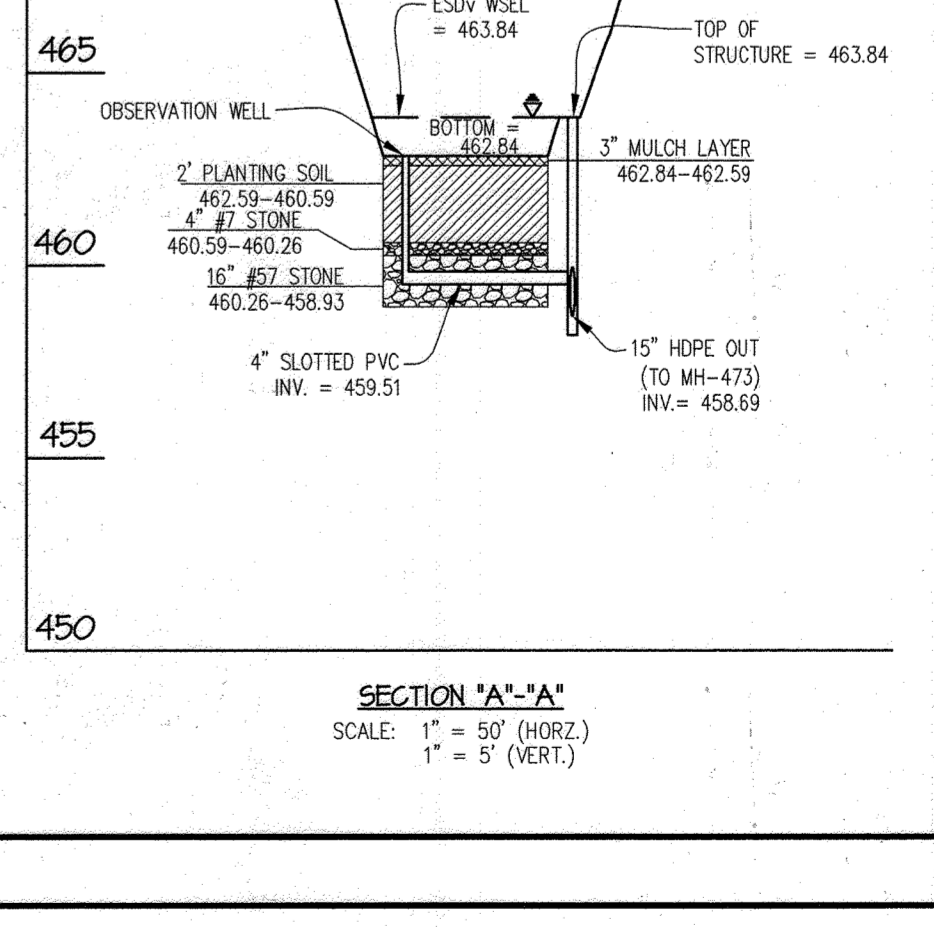
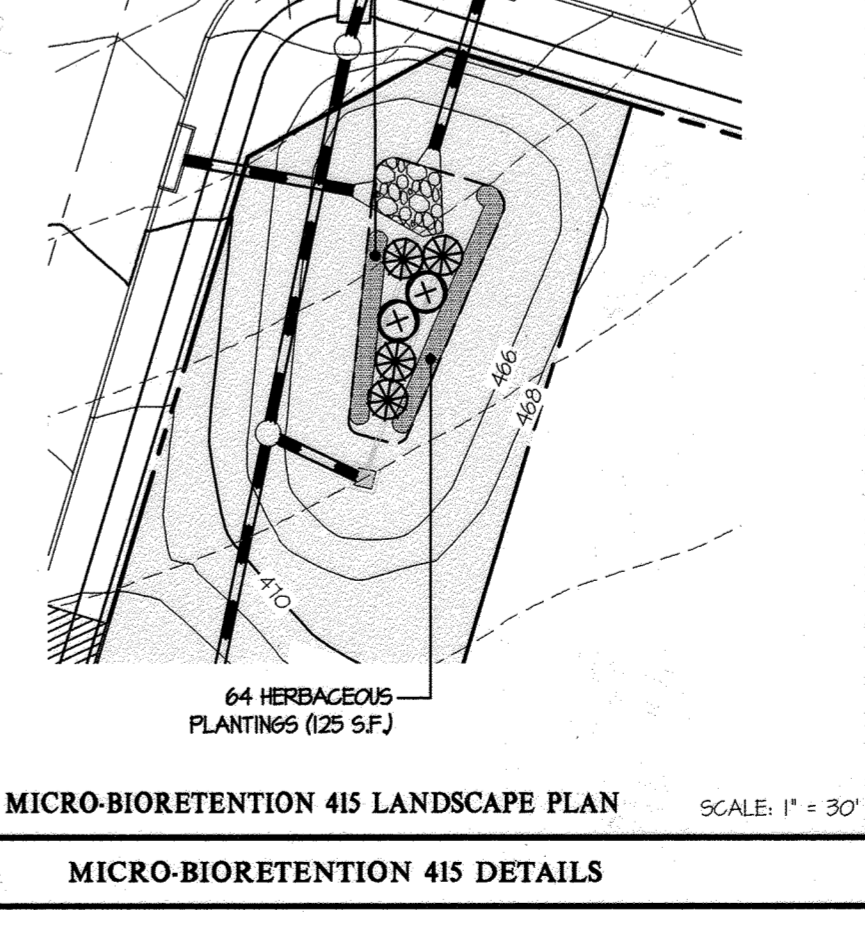
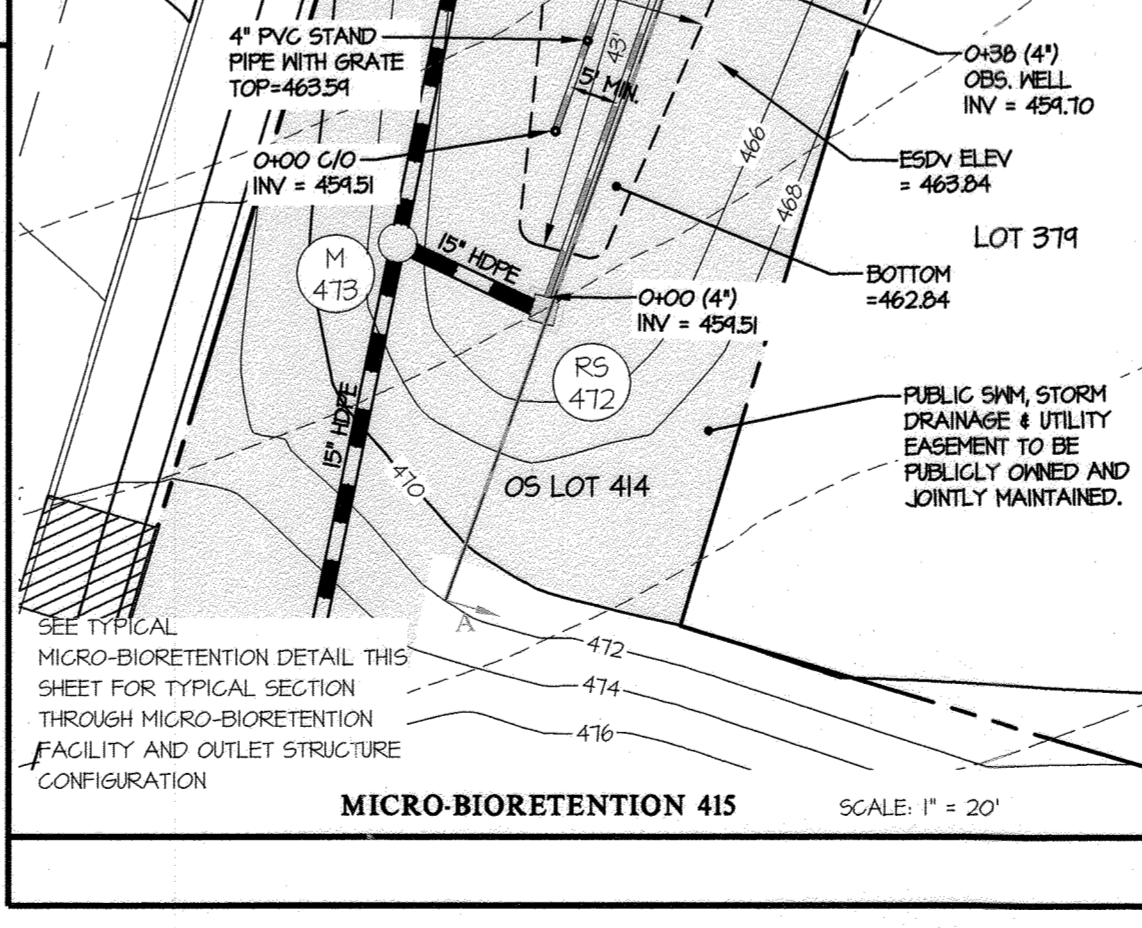
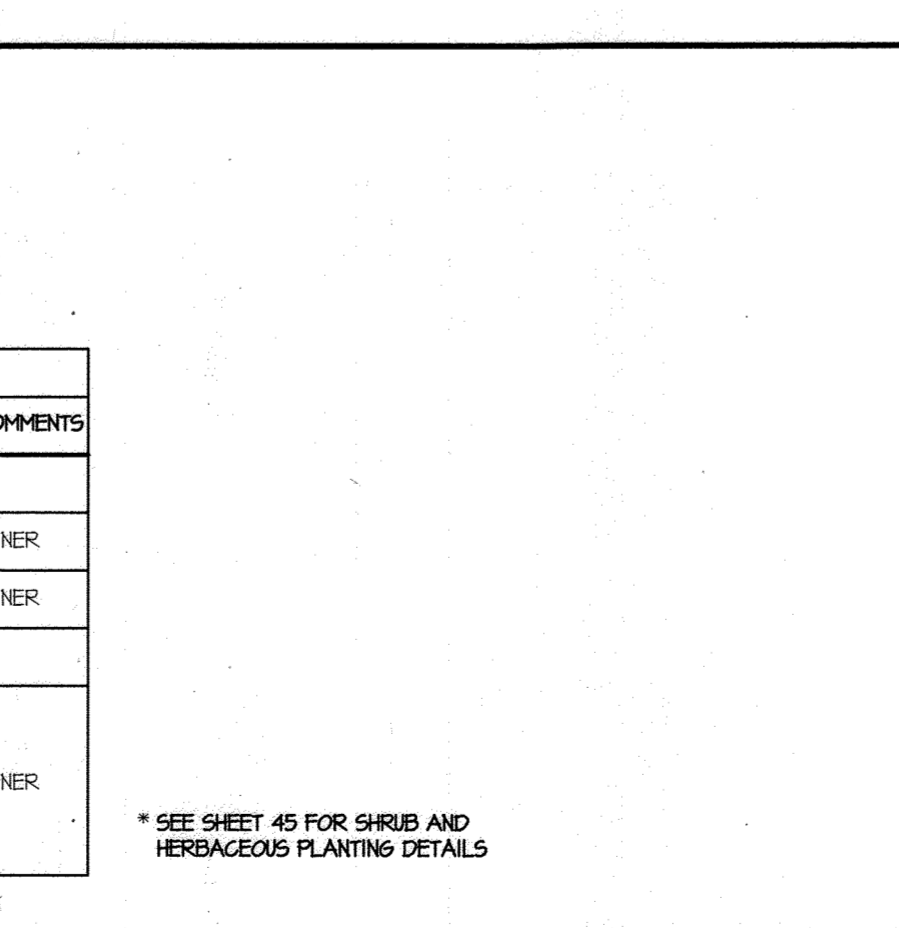
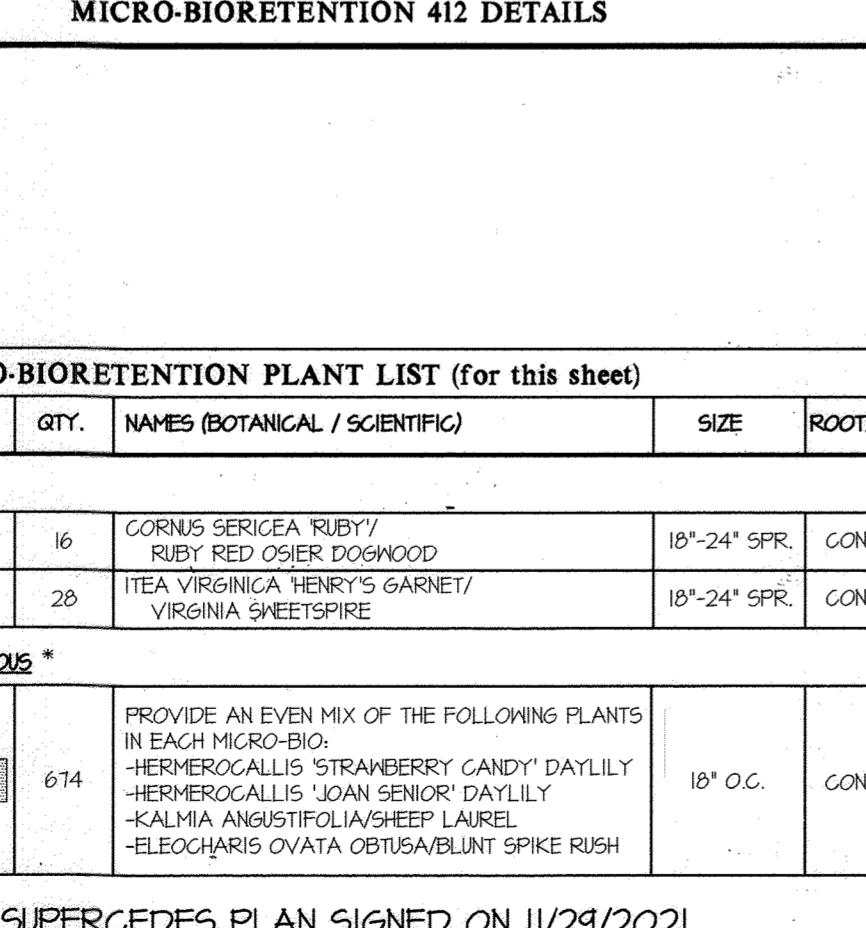
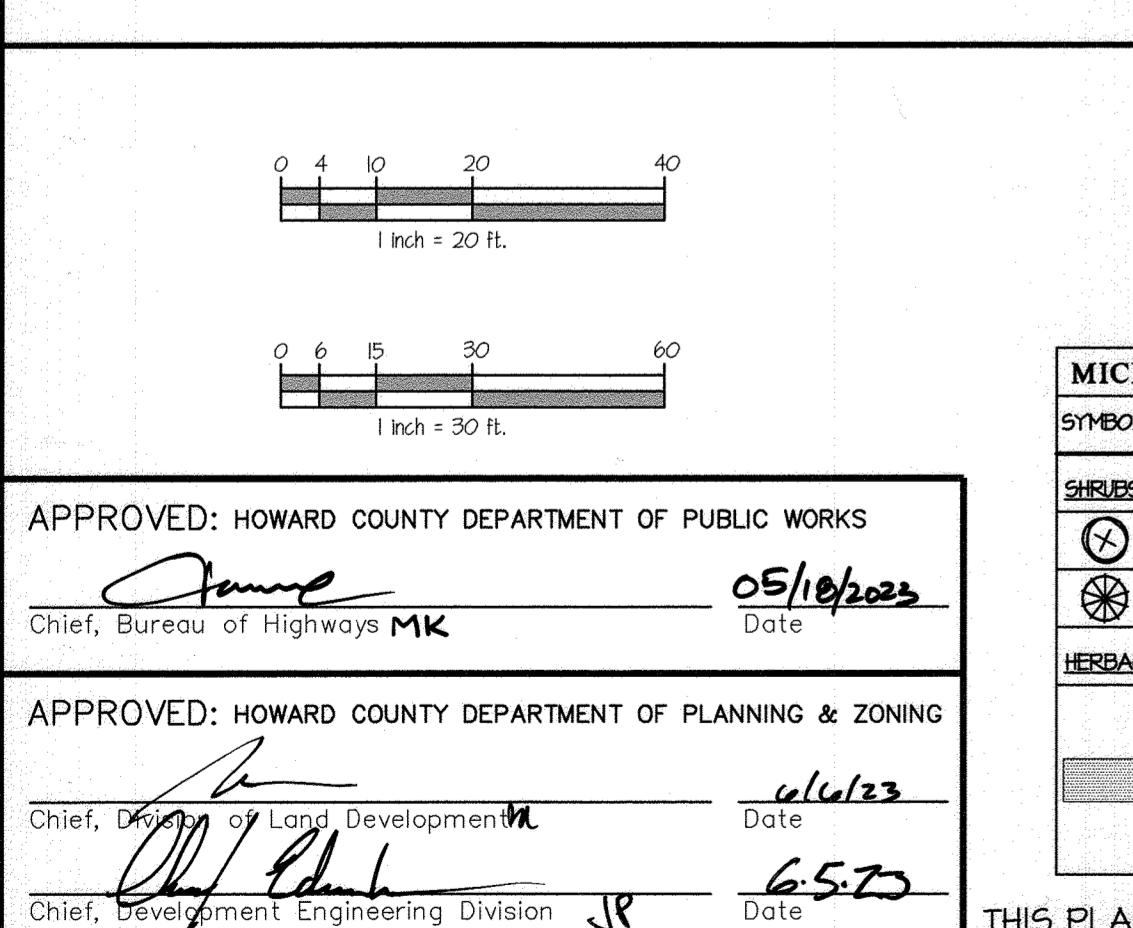
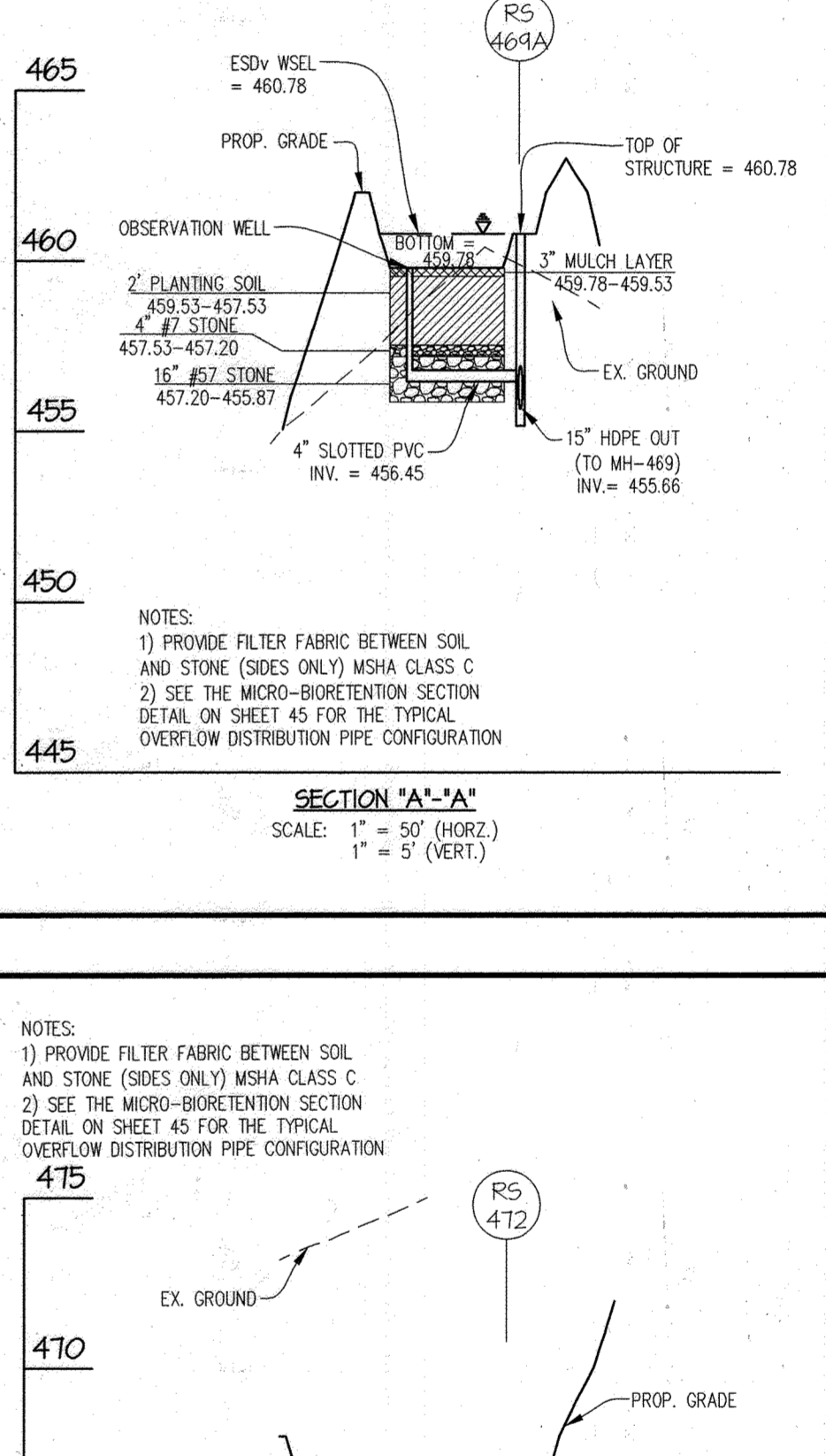
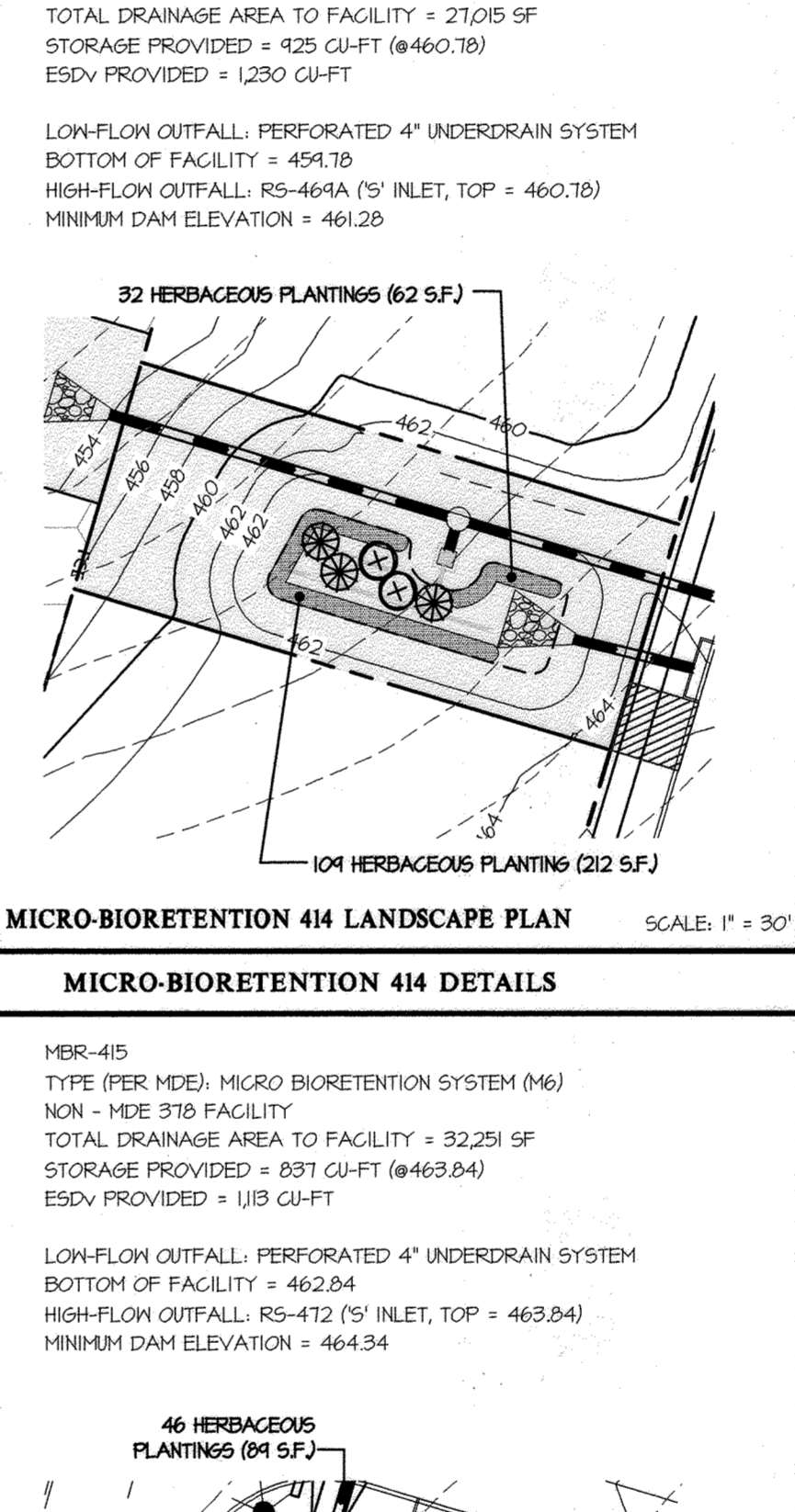
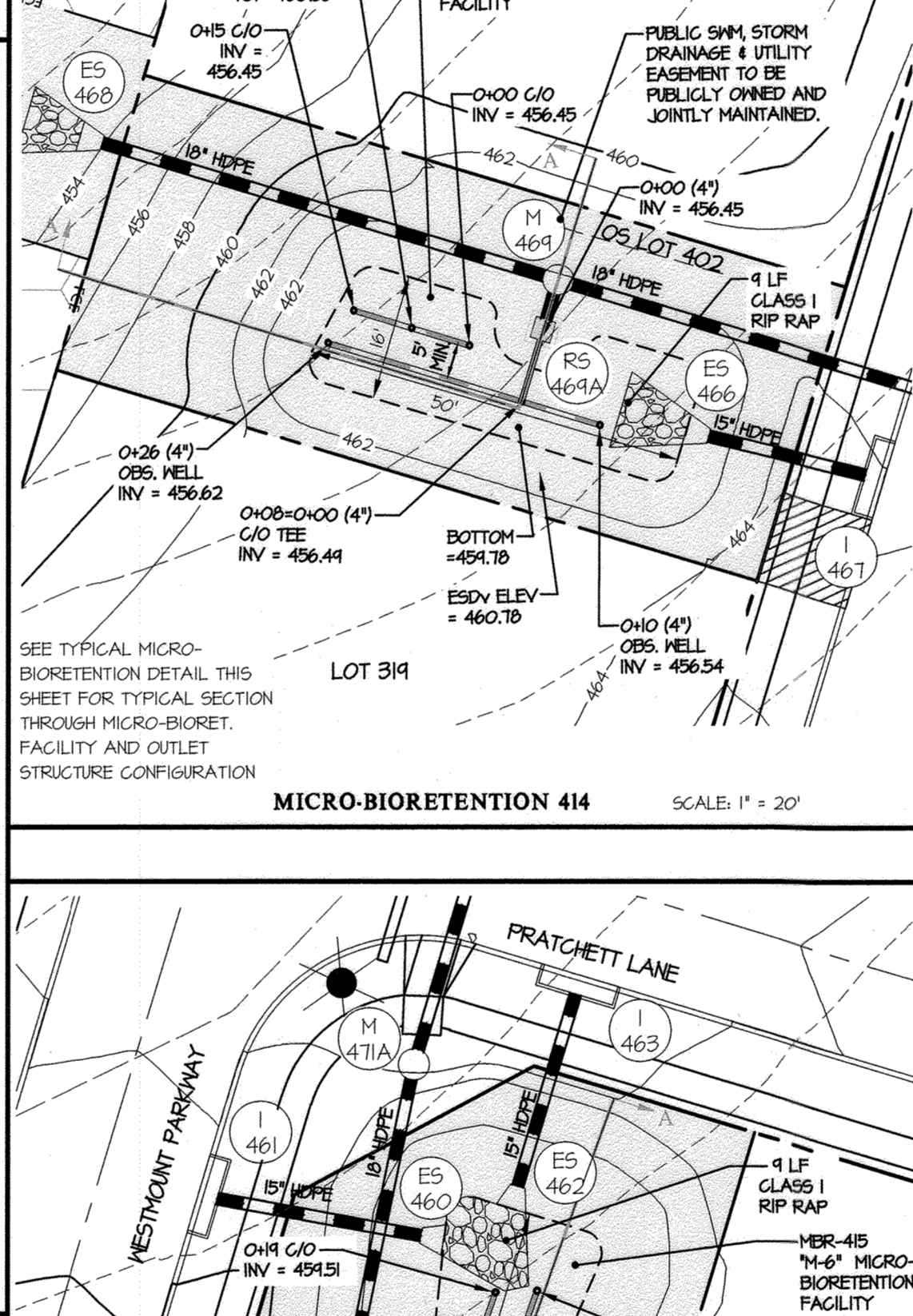
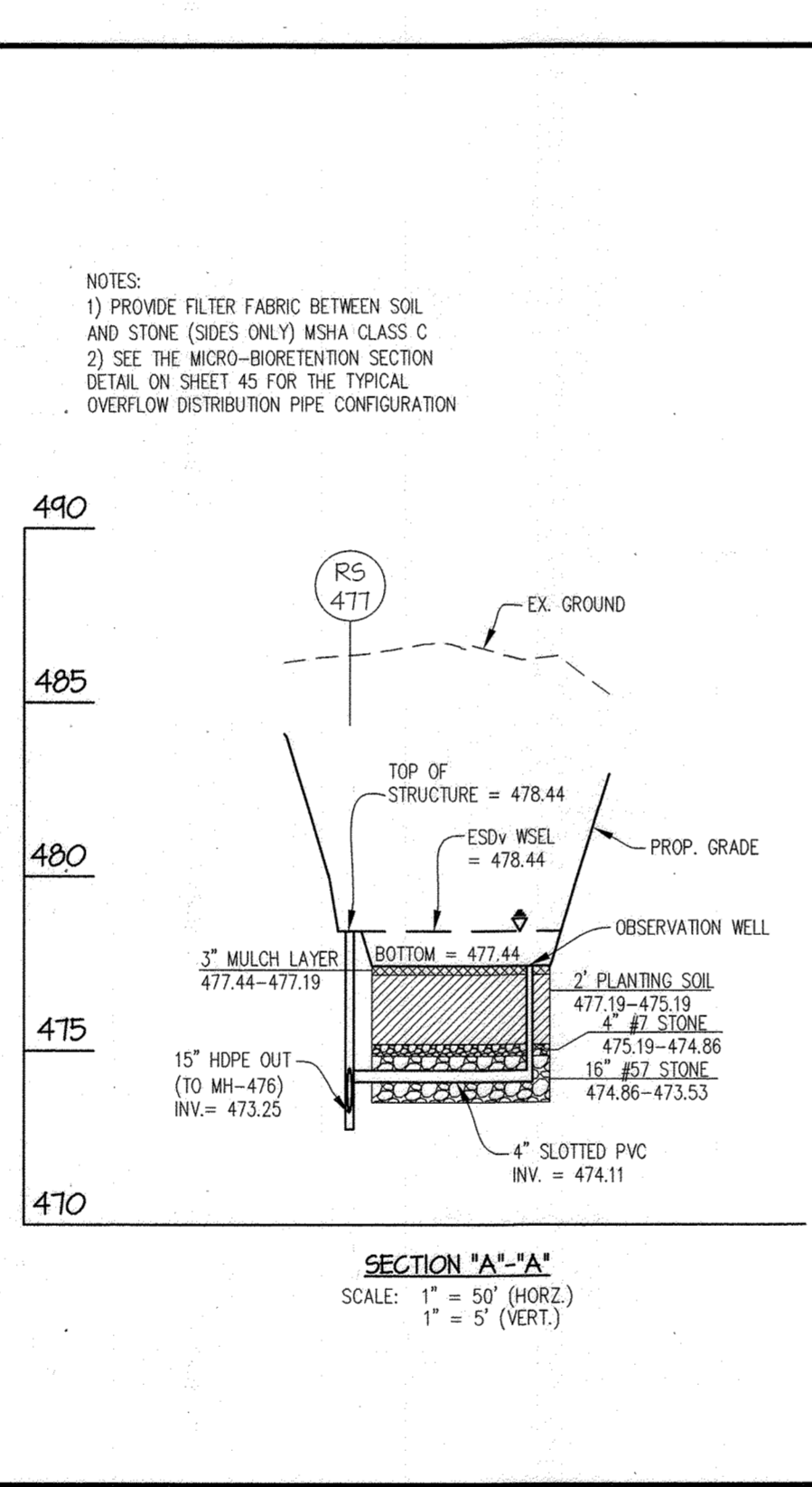
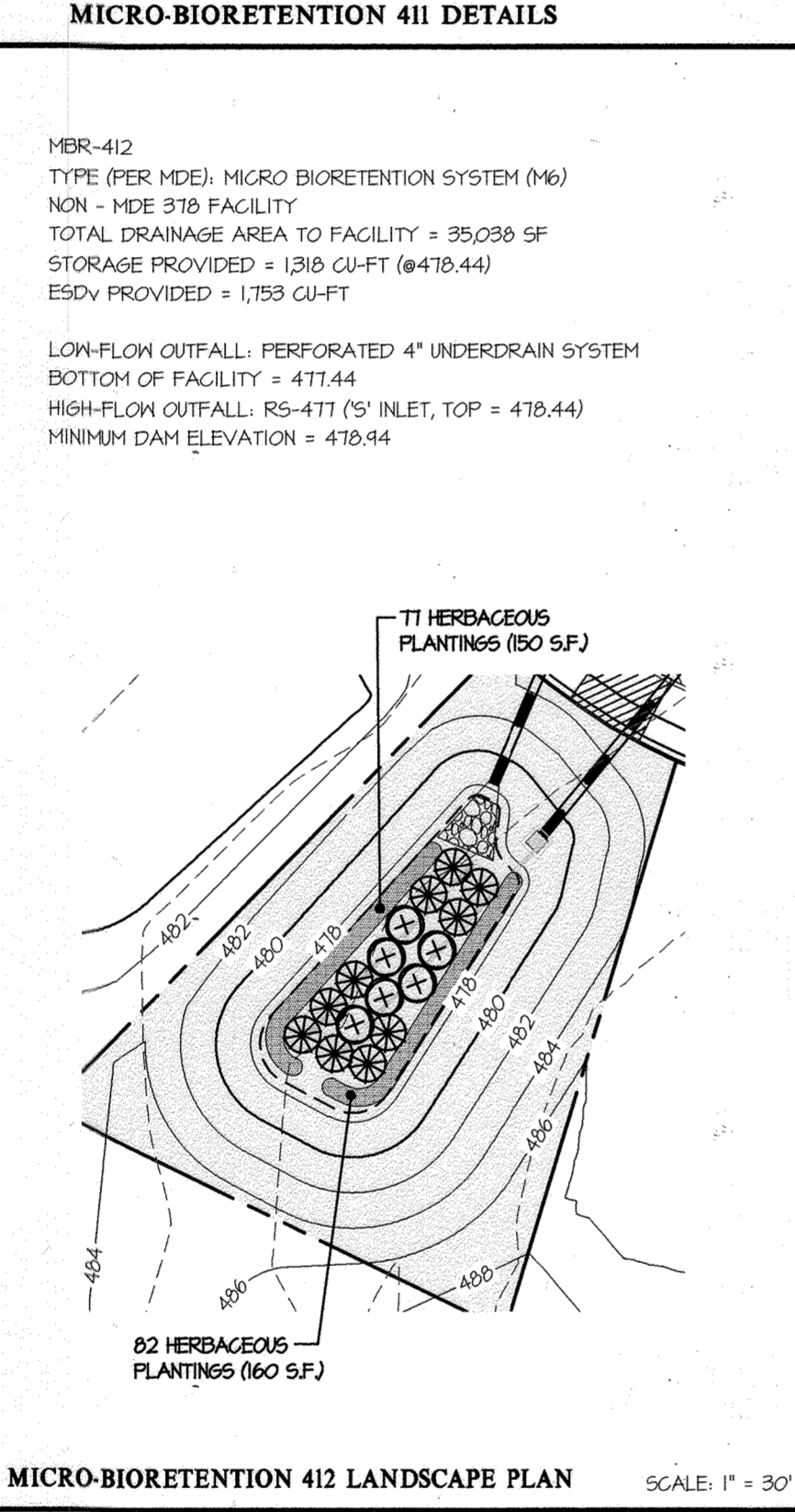
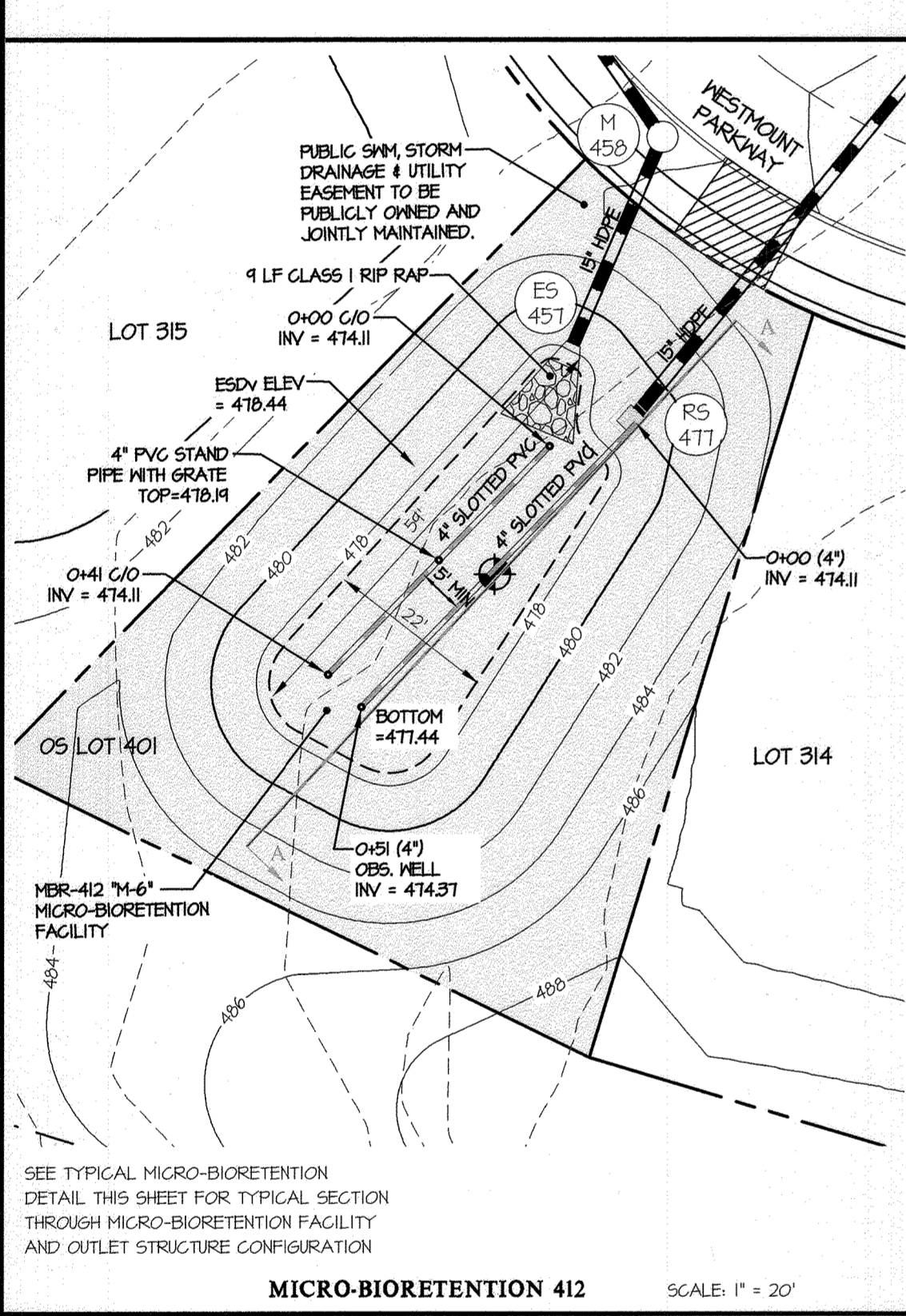
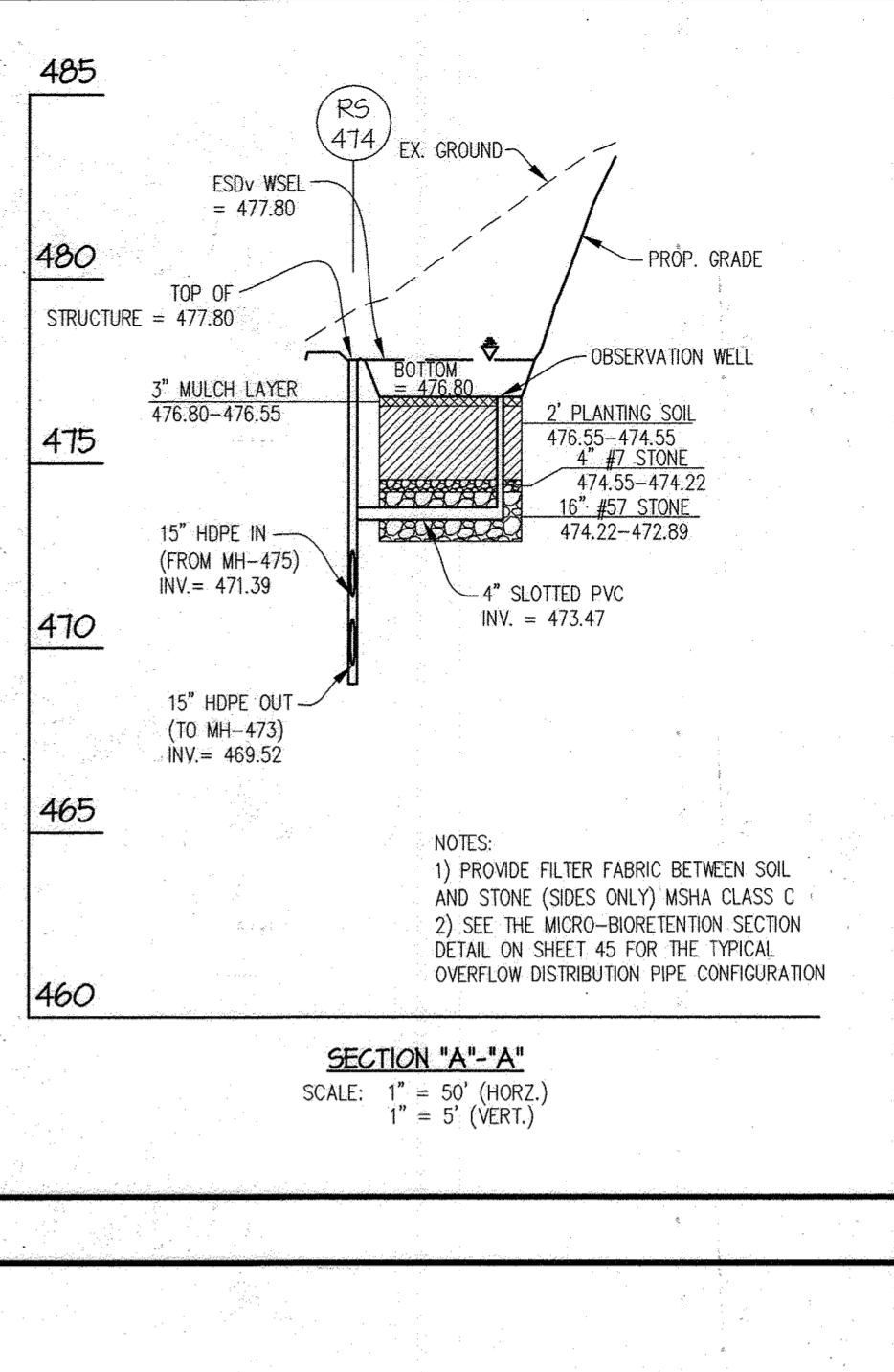
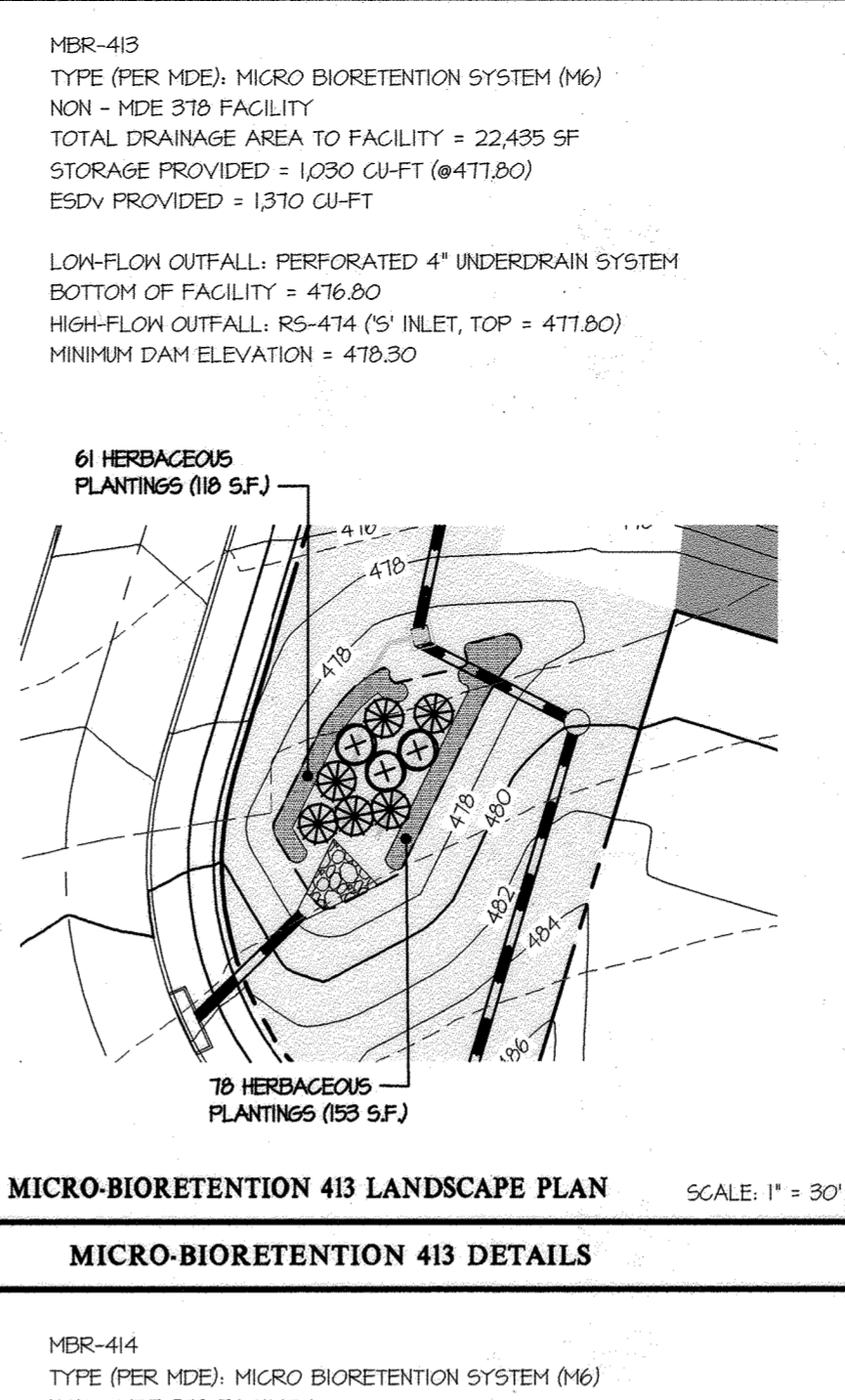
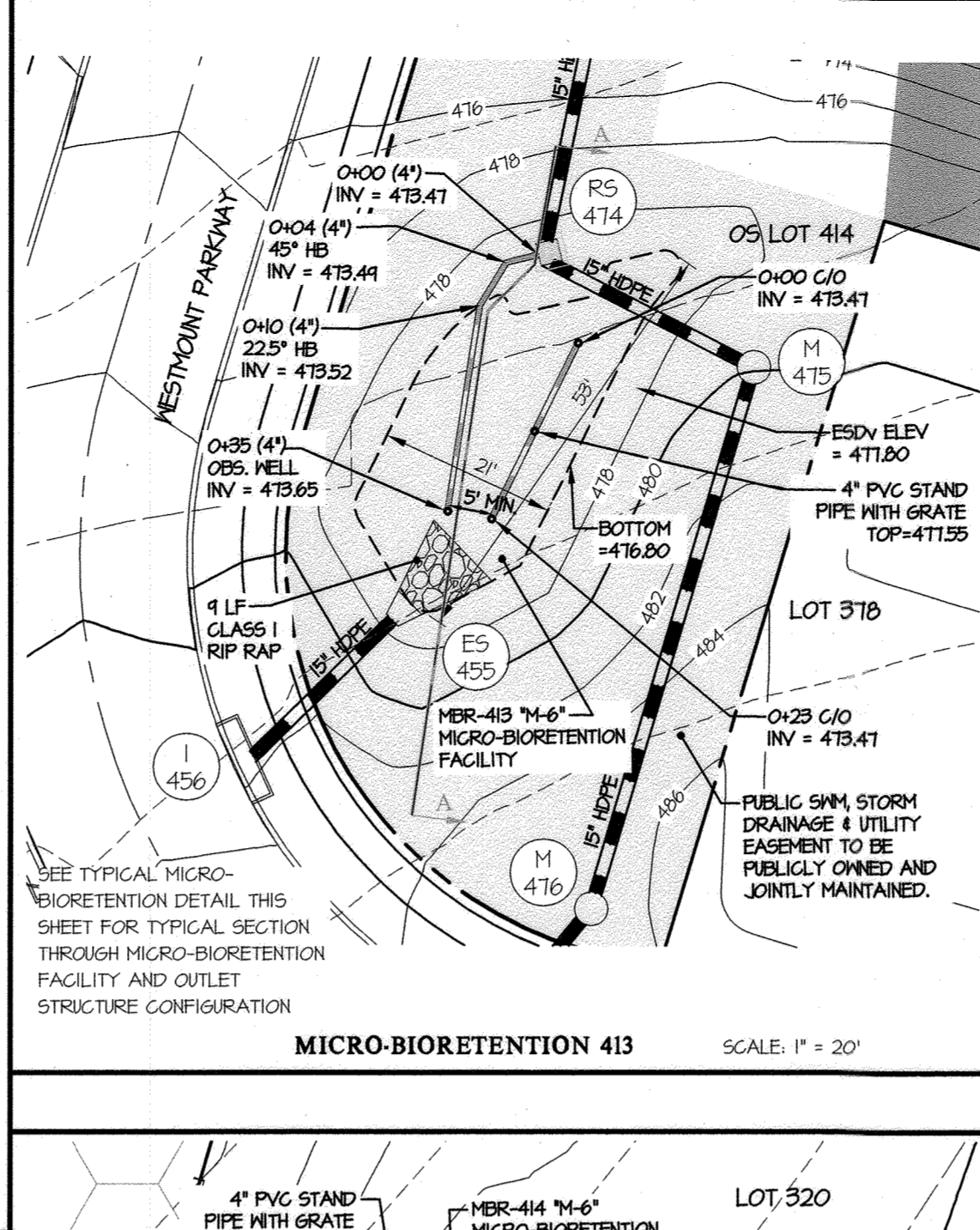
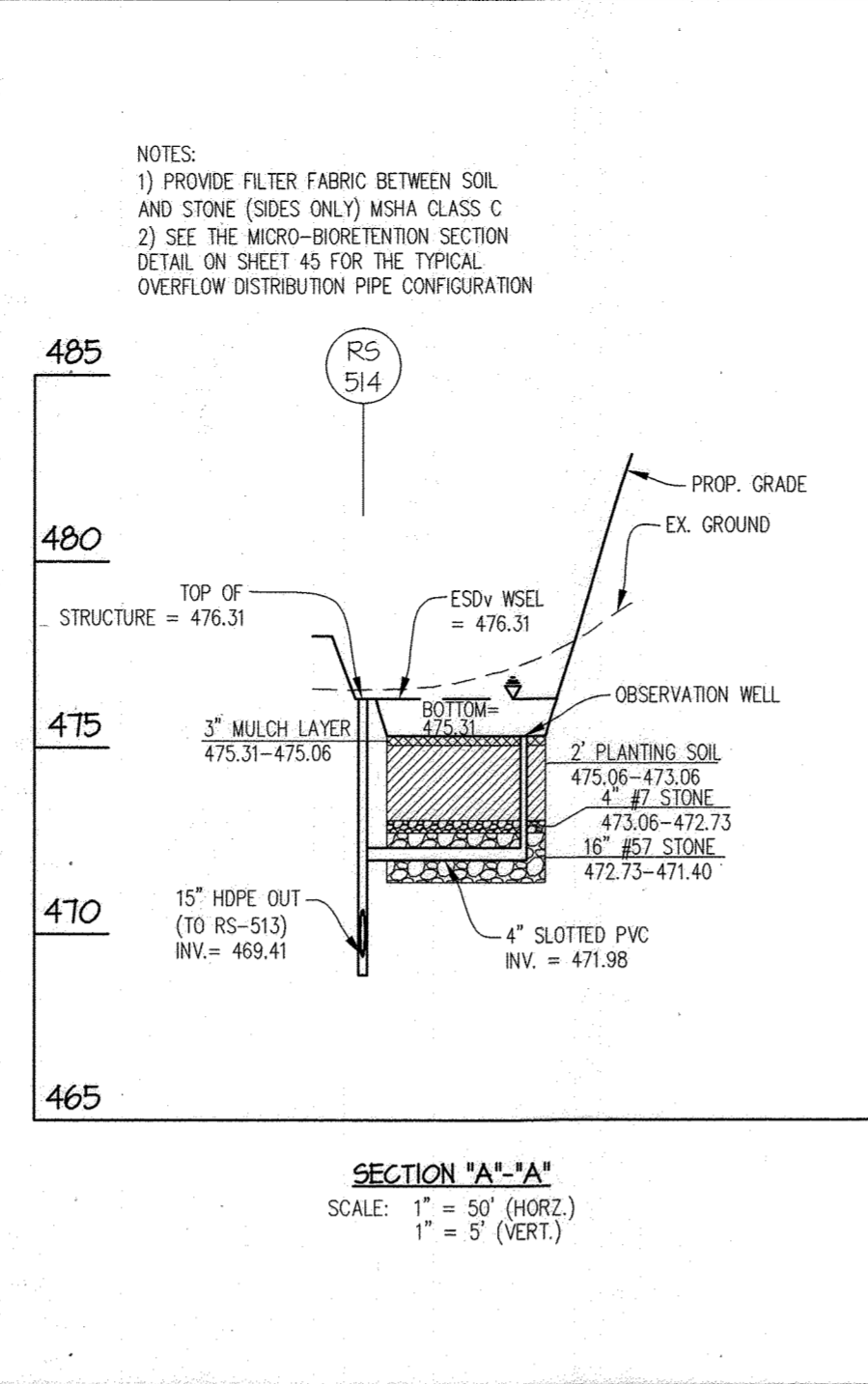
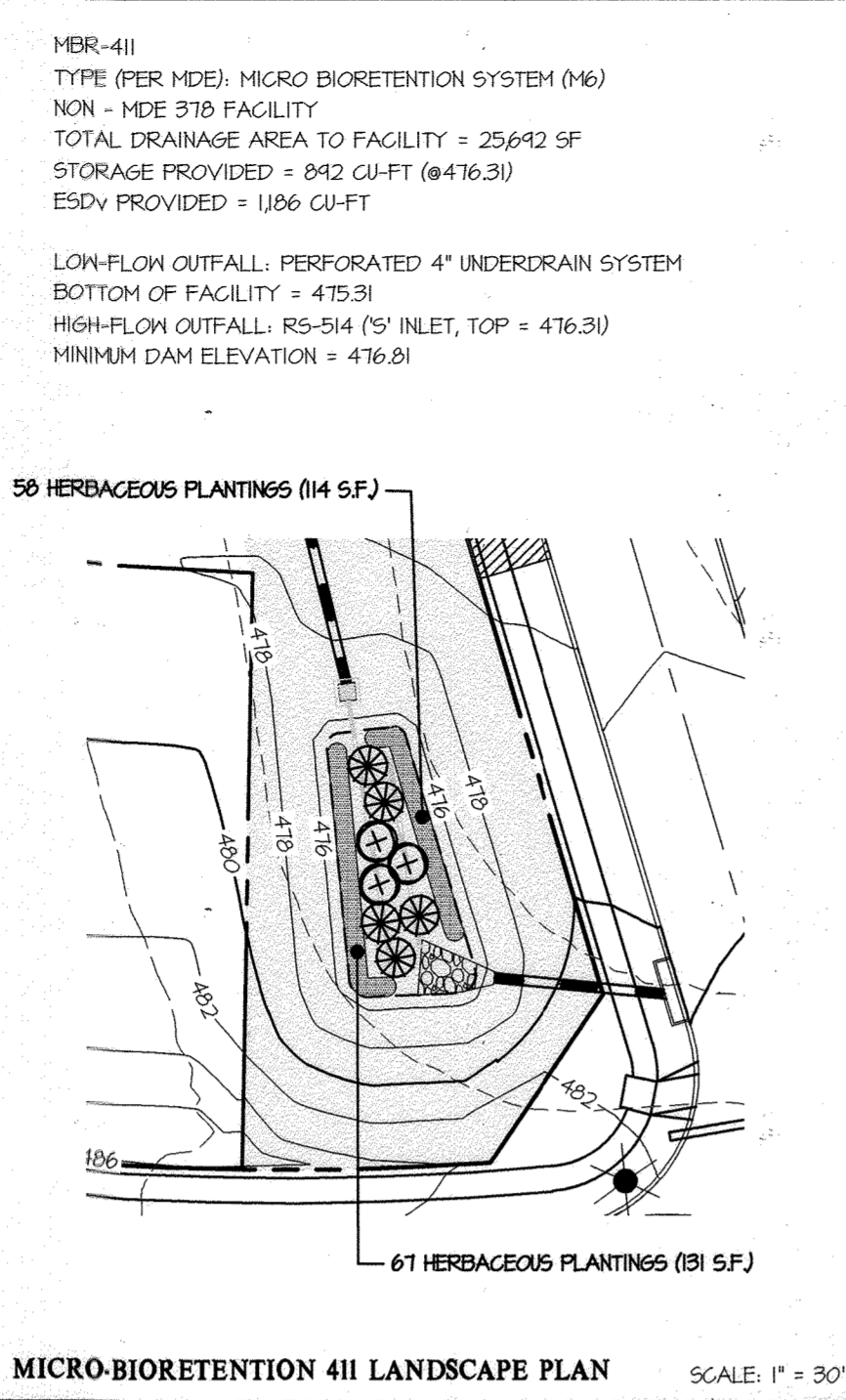
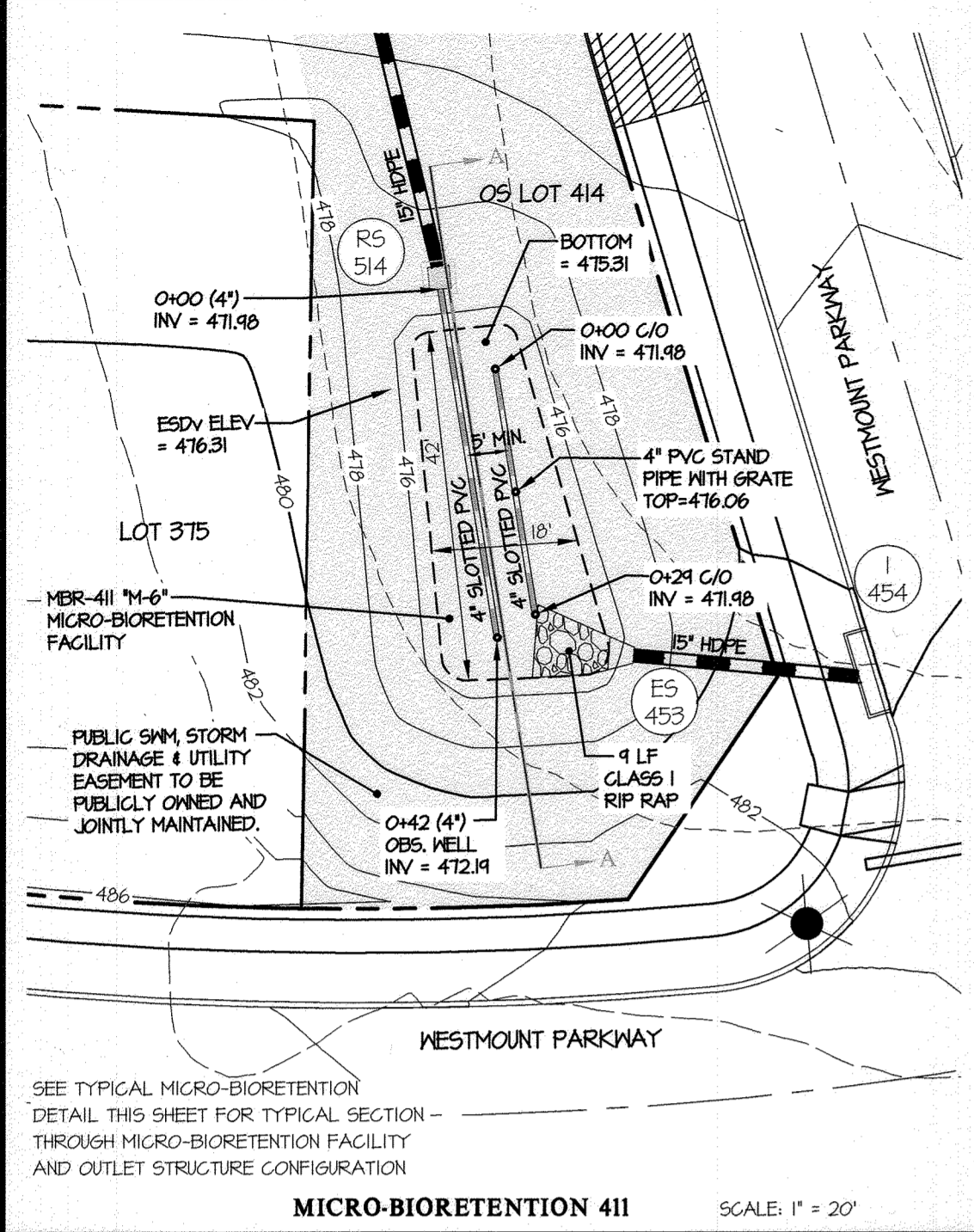
THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024
3/18/23

REVISED STORMWATER MANAGEMENT DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	39 OF 45



SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
	16	CORNUS SERICEA RUBY/ RUBY RED OSIER DOGWOOD	18"-24" SPR.	CONTAINER
	20	ITEA VIRGINICA HENRY'S GARNET/ VIRGINIA SWEETSPIRE	18"-24" SPR.	CONTAINER
	614	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO: -HERBEROCALLIS 'SIAM SENIOR' DAYLILY -KALMIA ANGUSTIFOLIA/SHEEP LAUREL -ELEOCHARIS OVATA OBTUSA/BLUNT SPIKE RUSH	18" O.C.	CONTAINER

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/10/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/5/23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3908 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4186

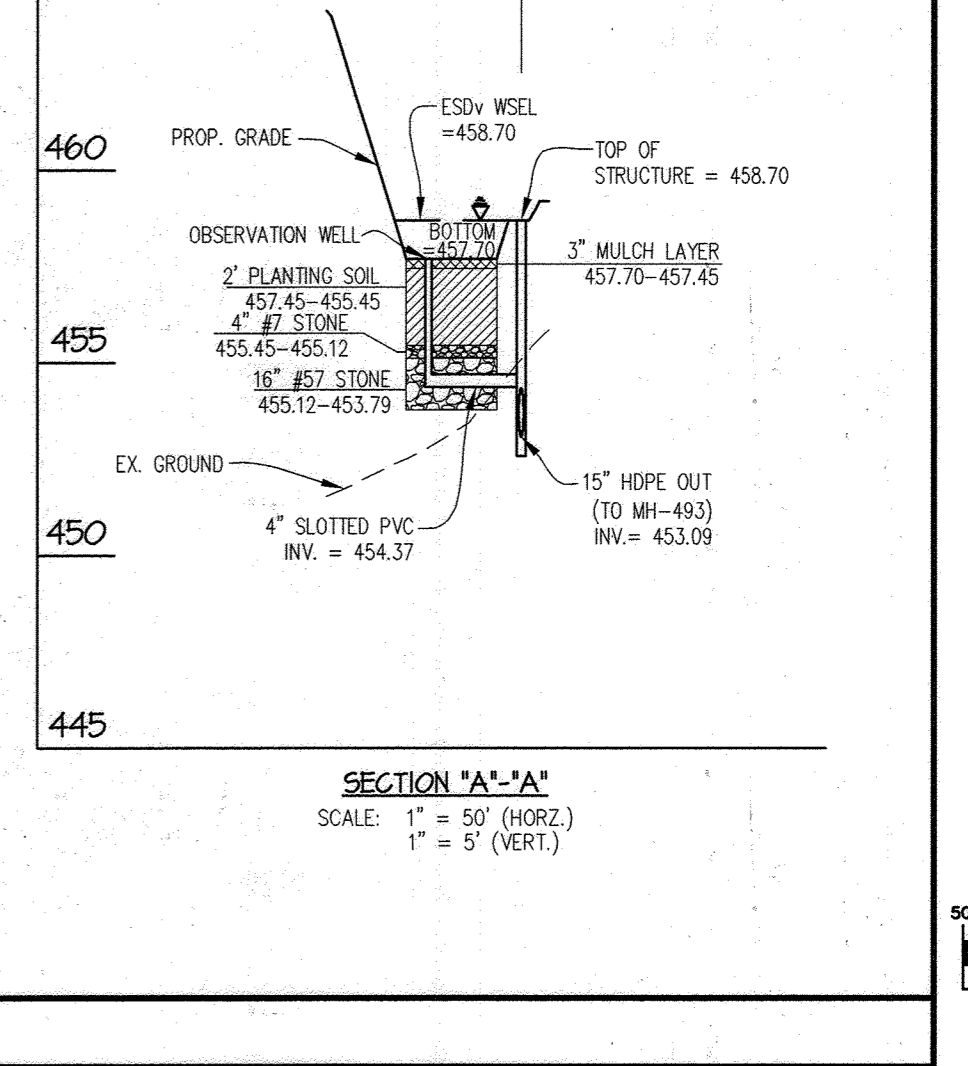
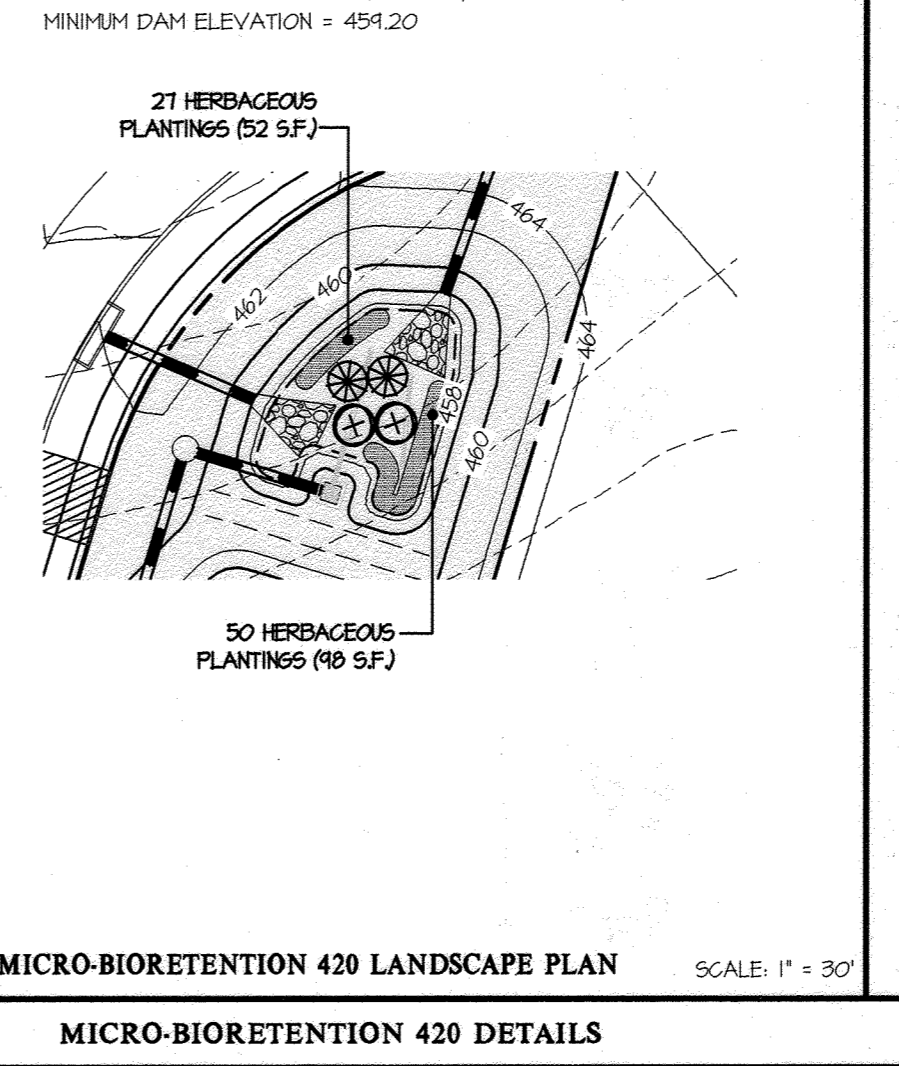
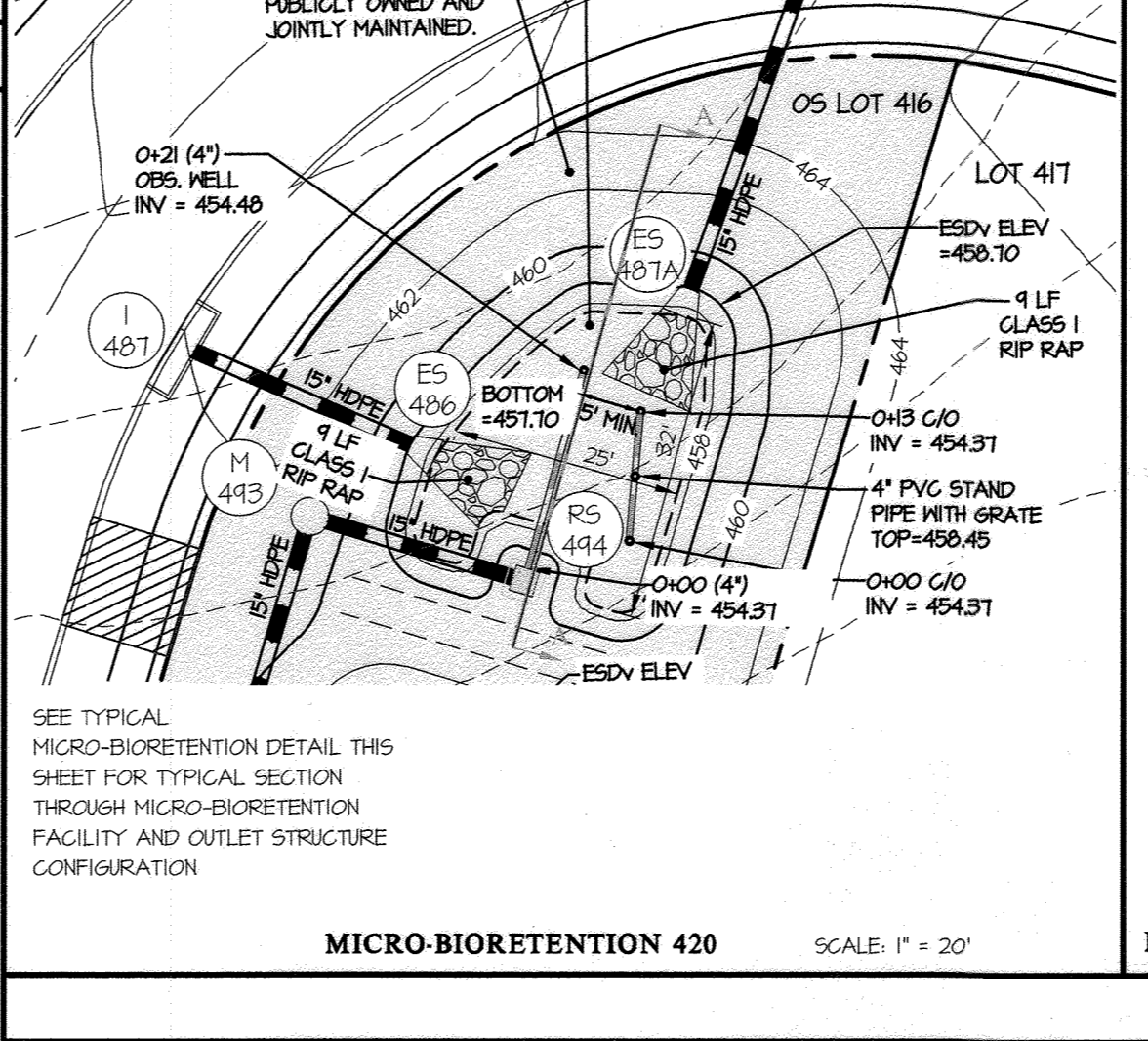
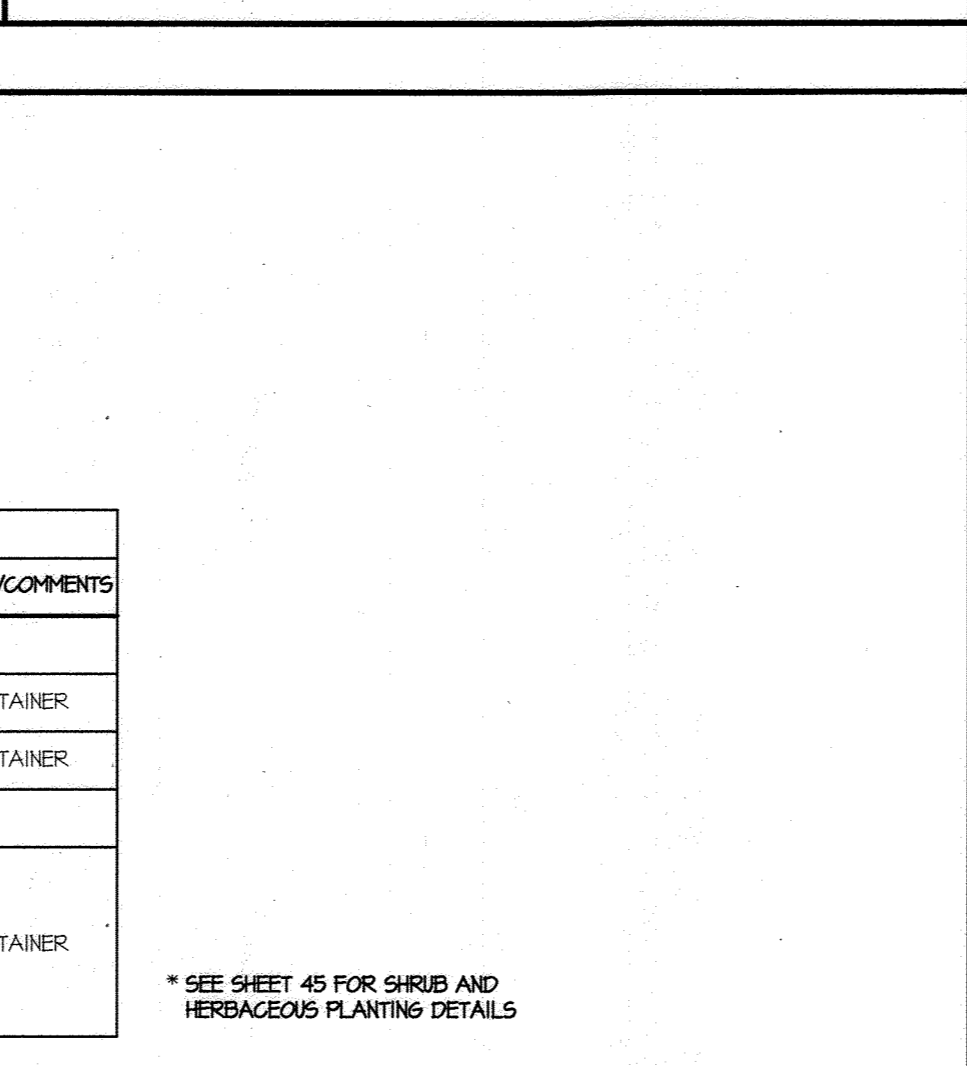
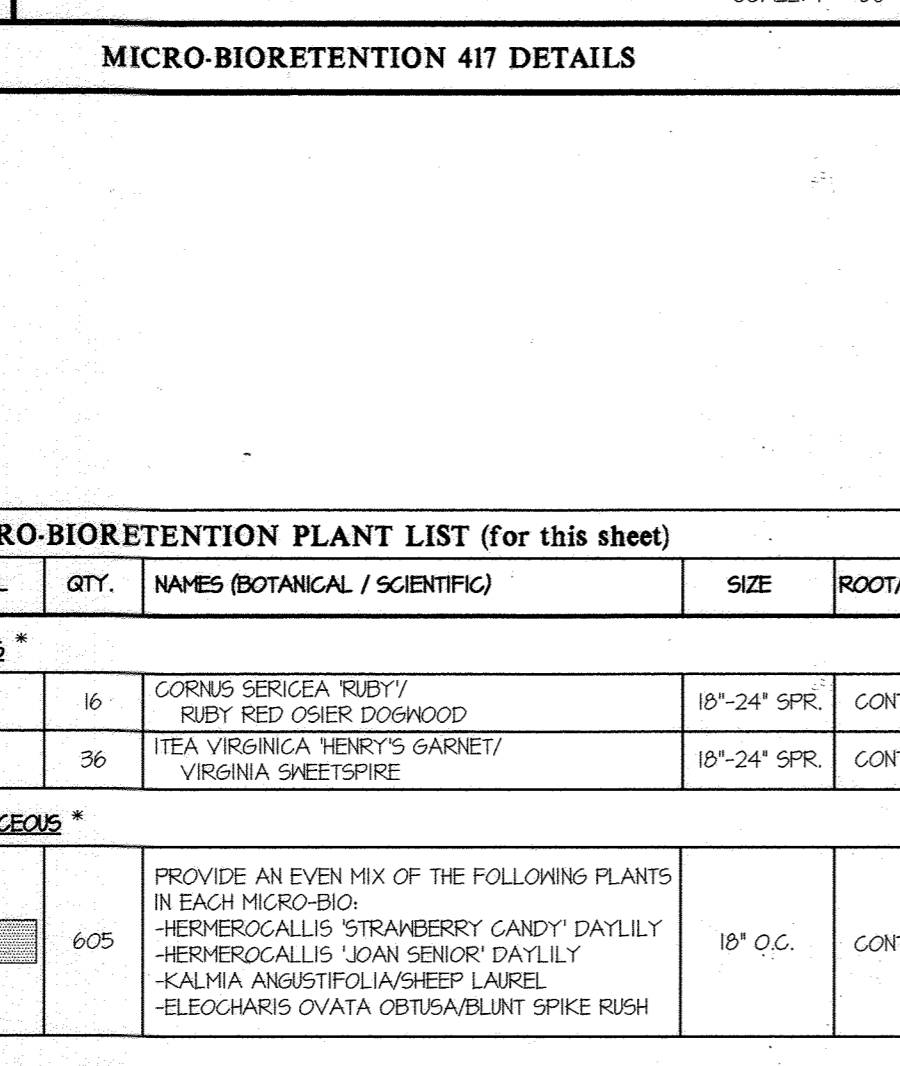
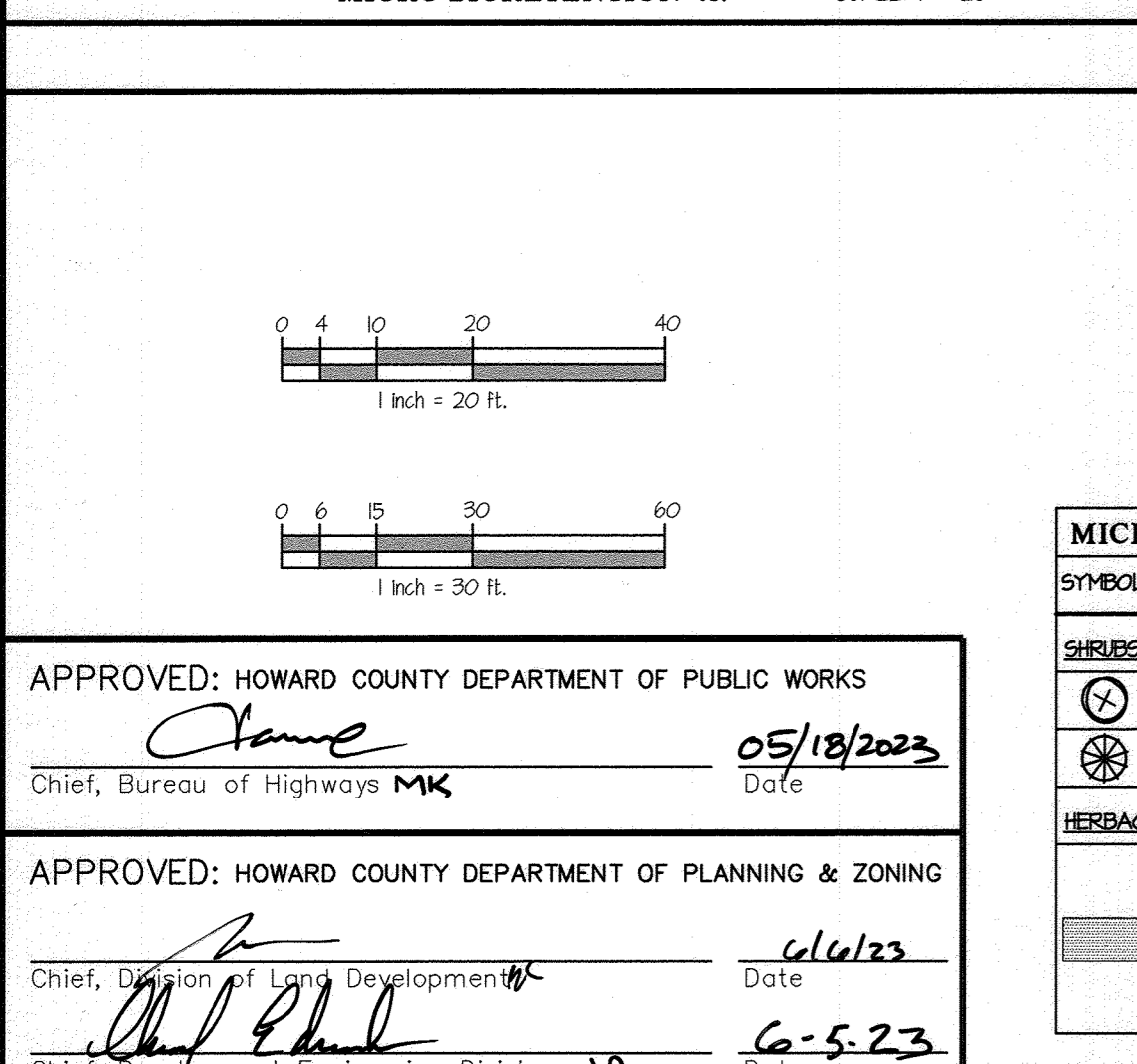
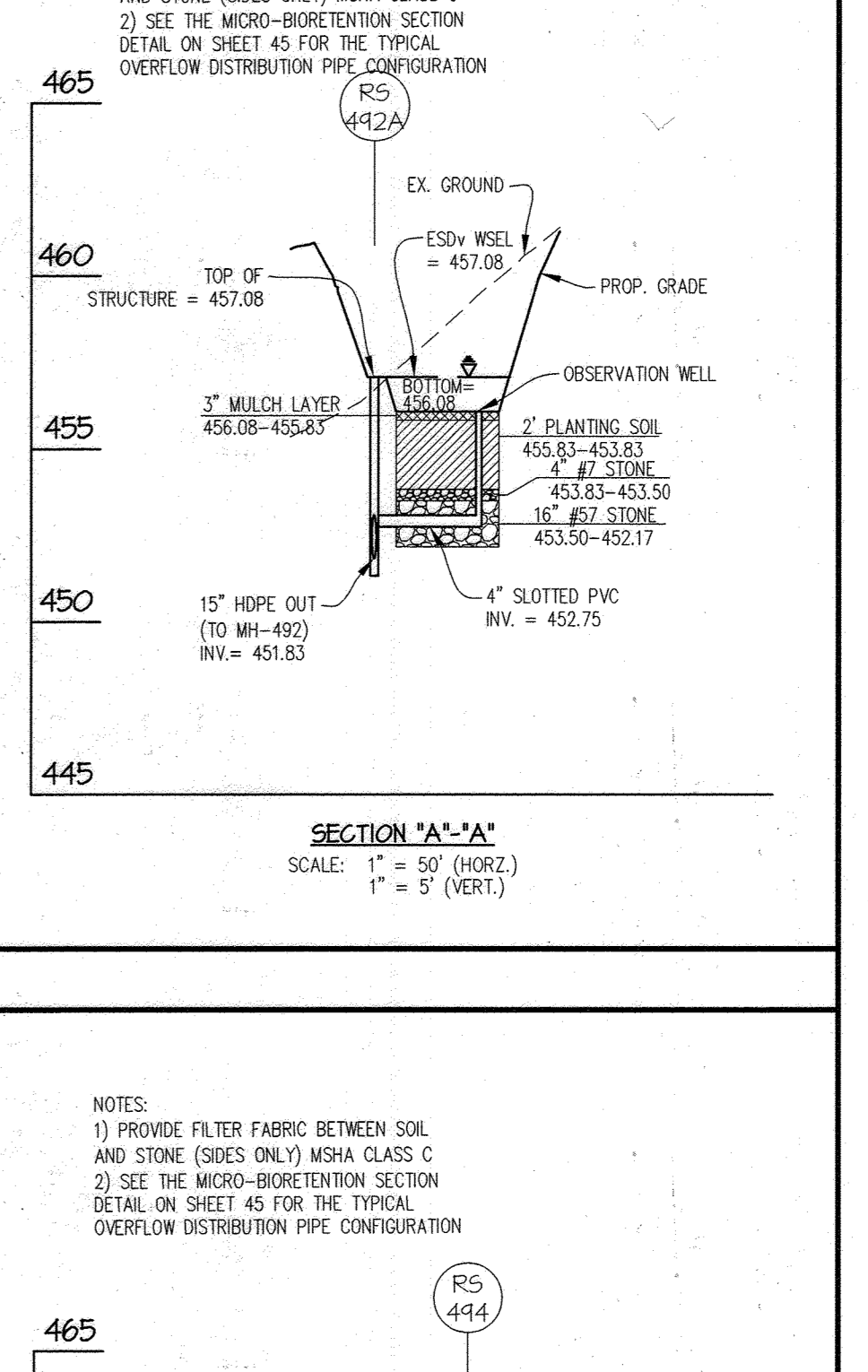
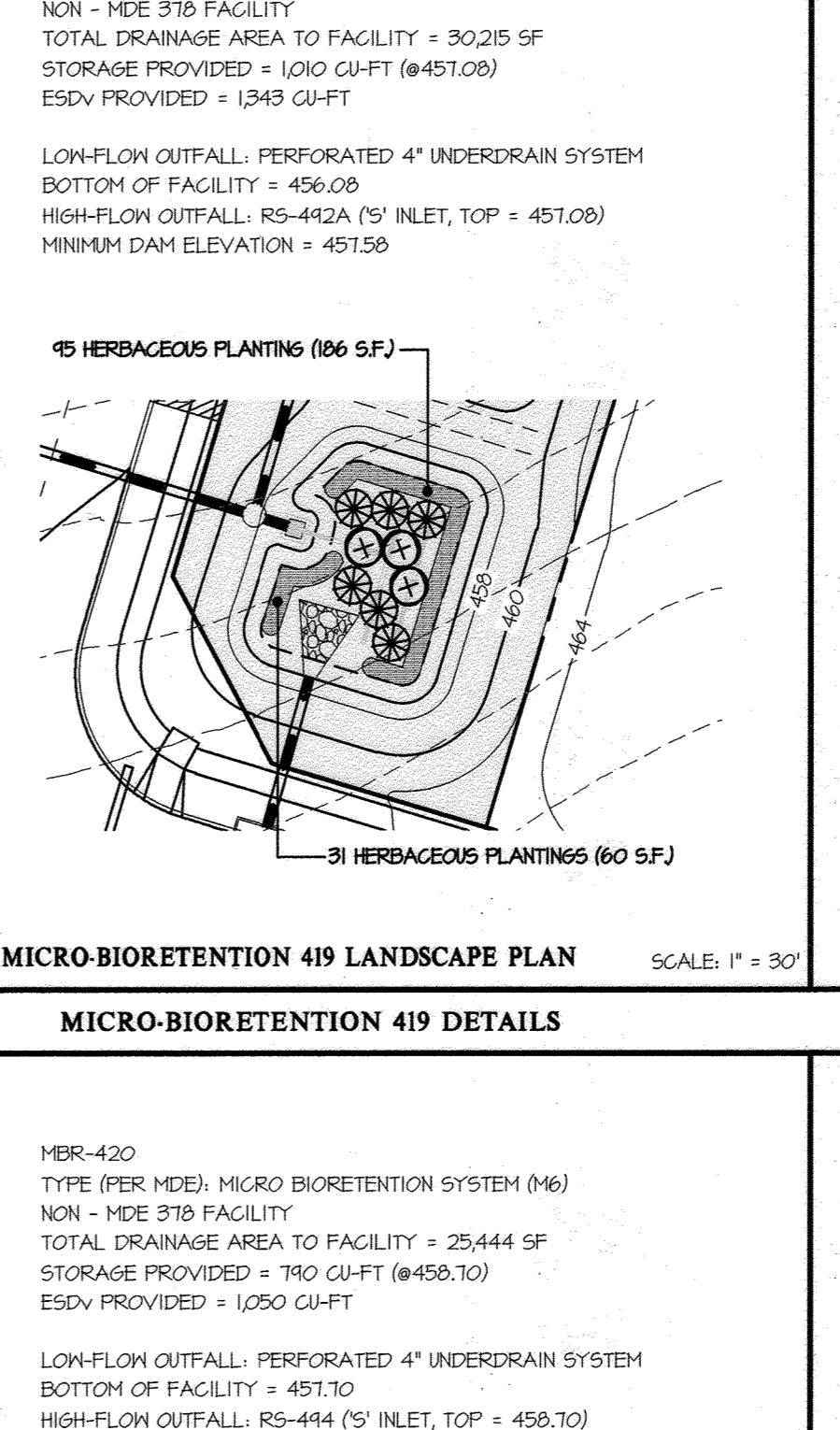
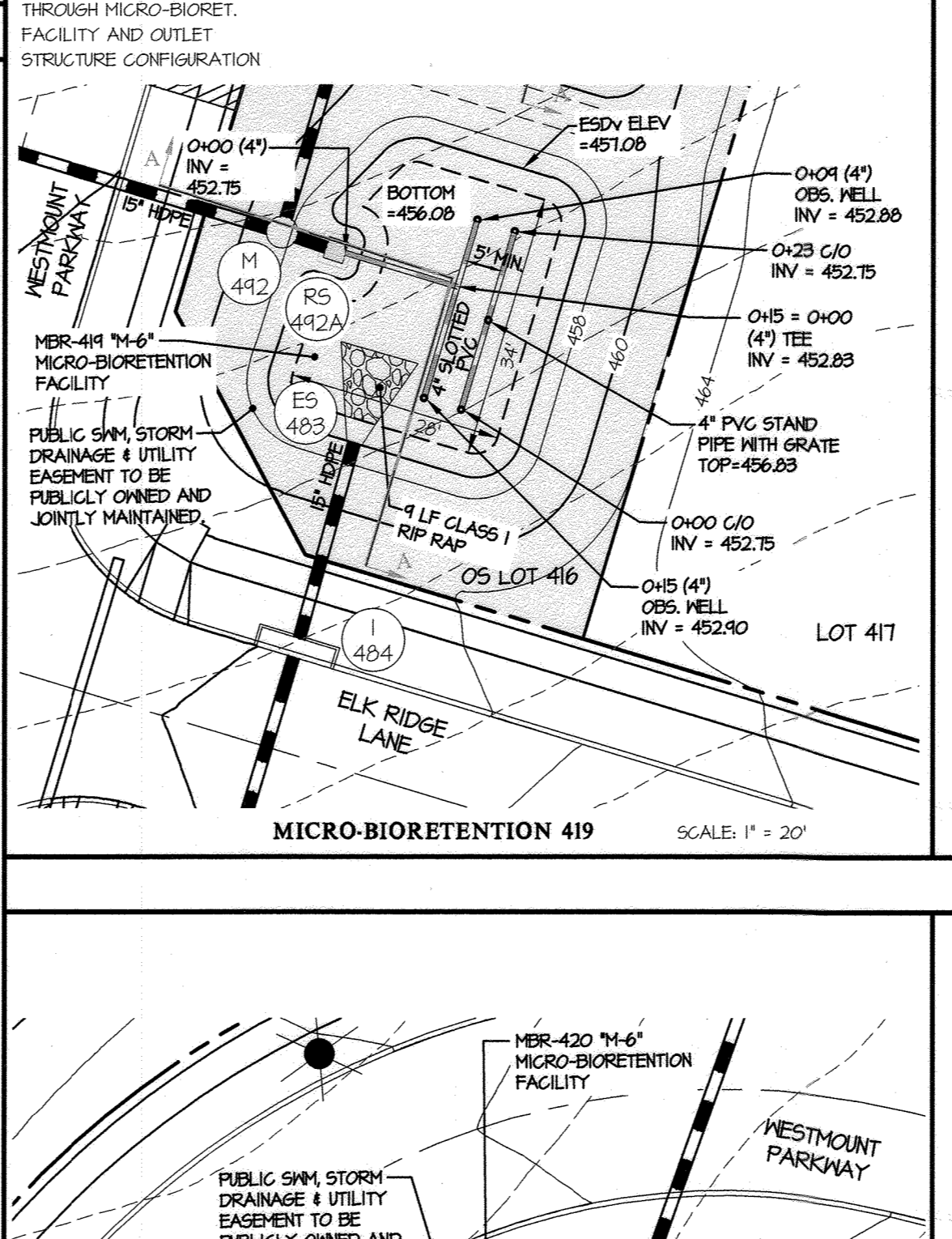
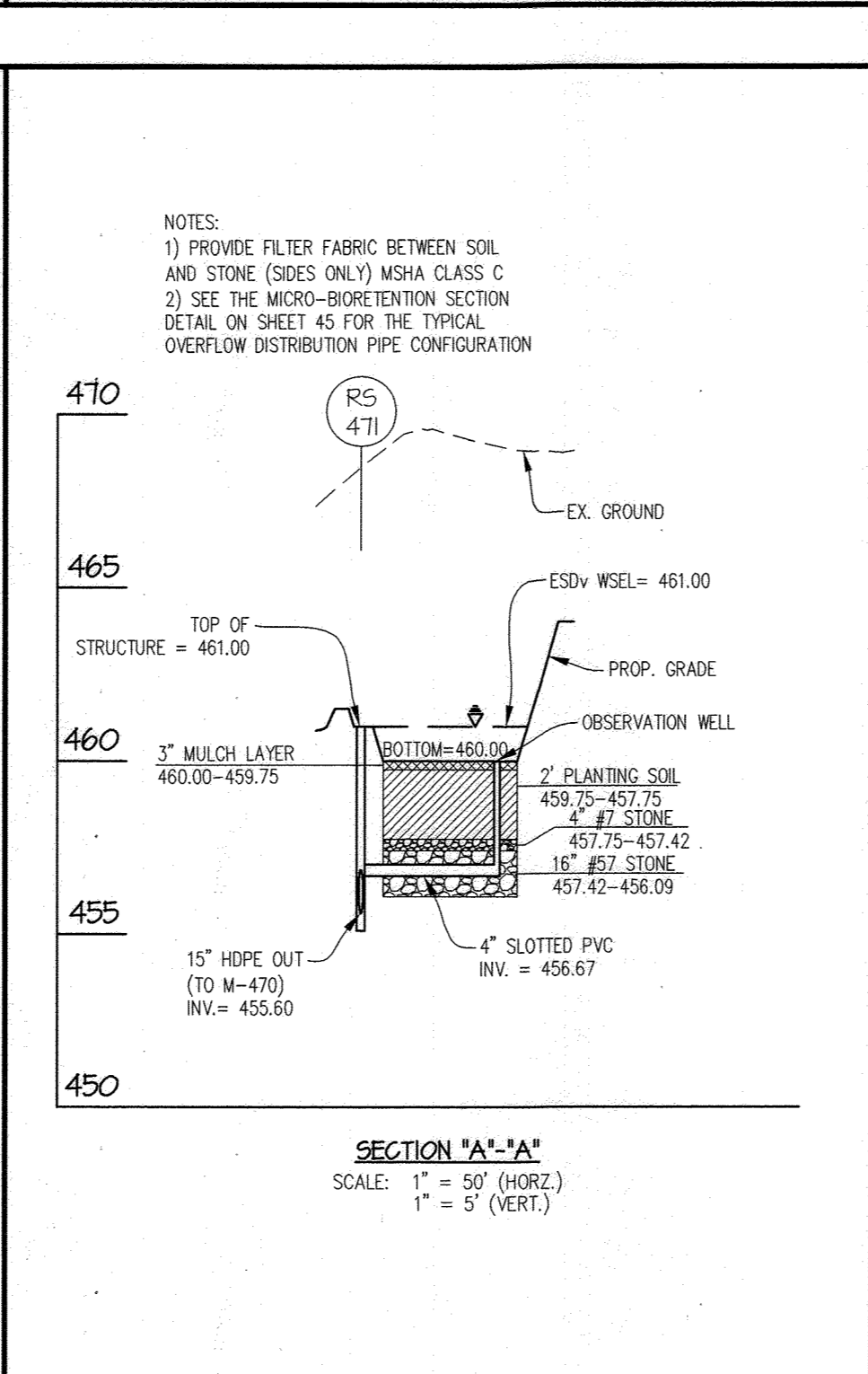
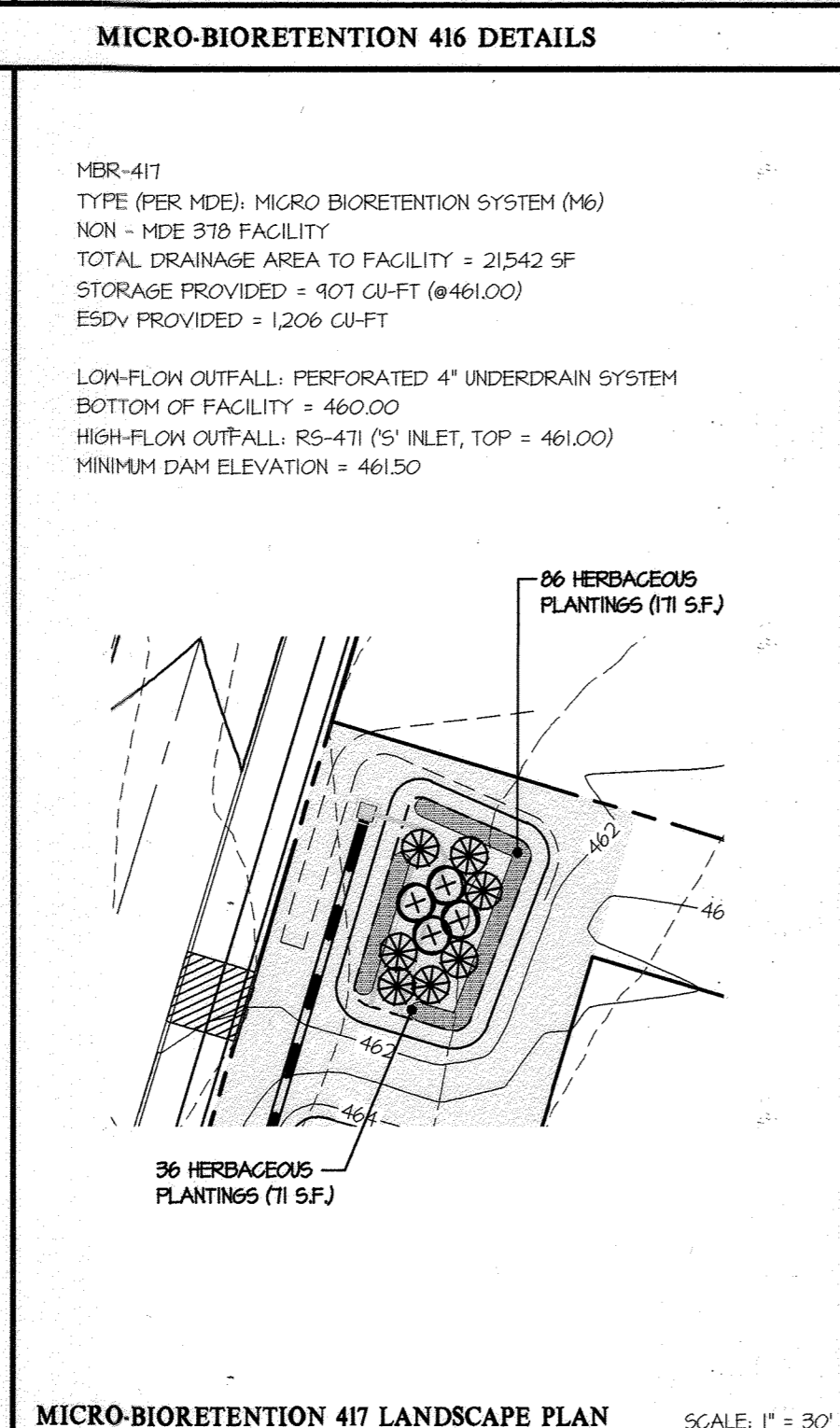
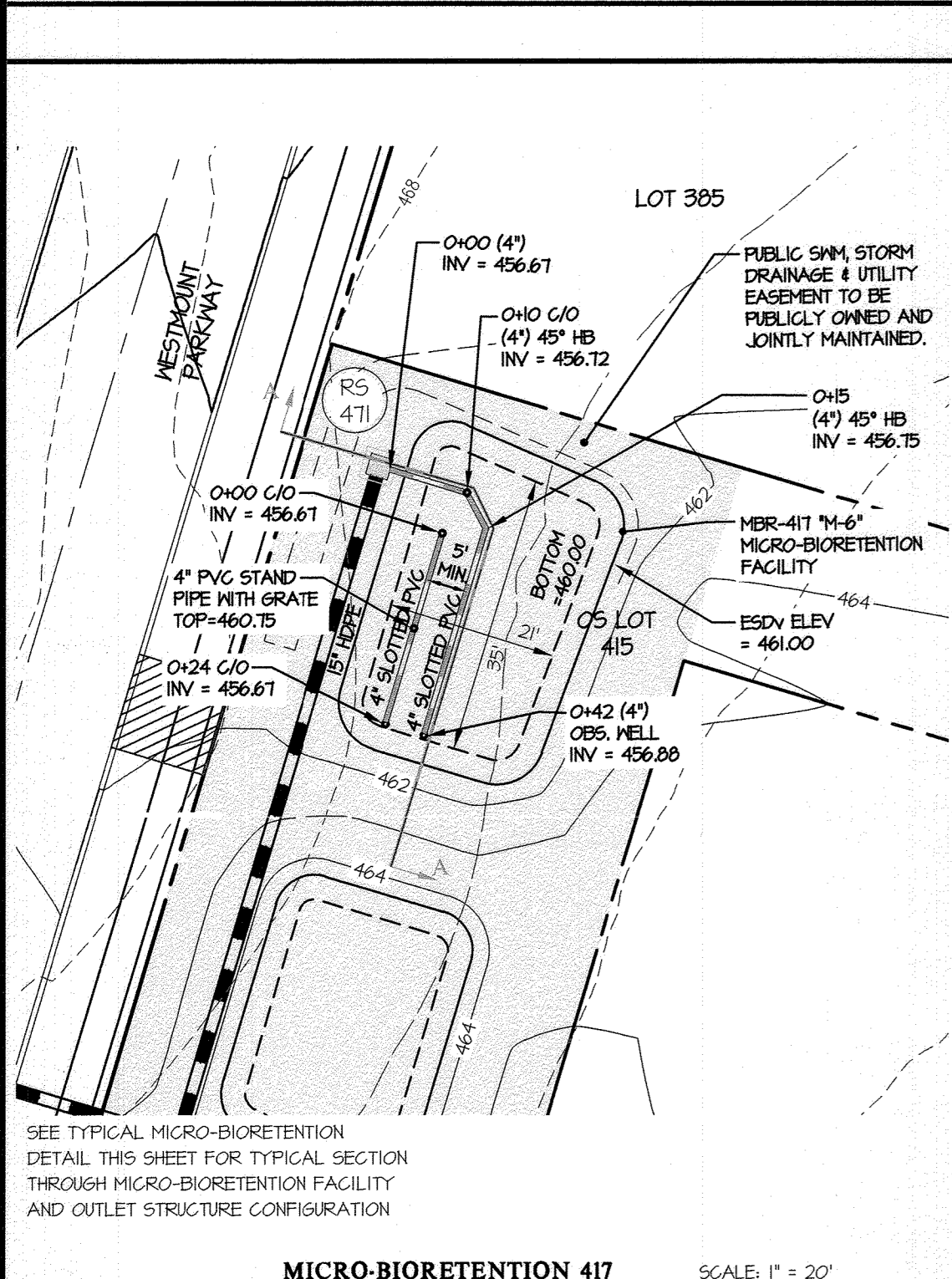
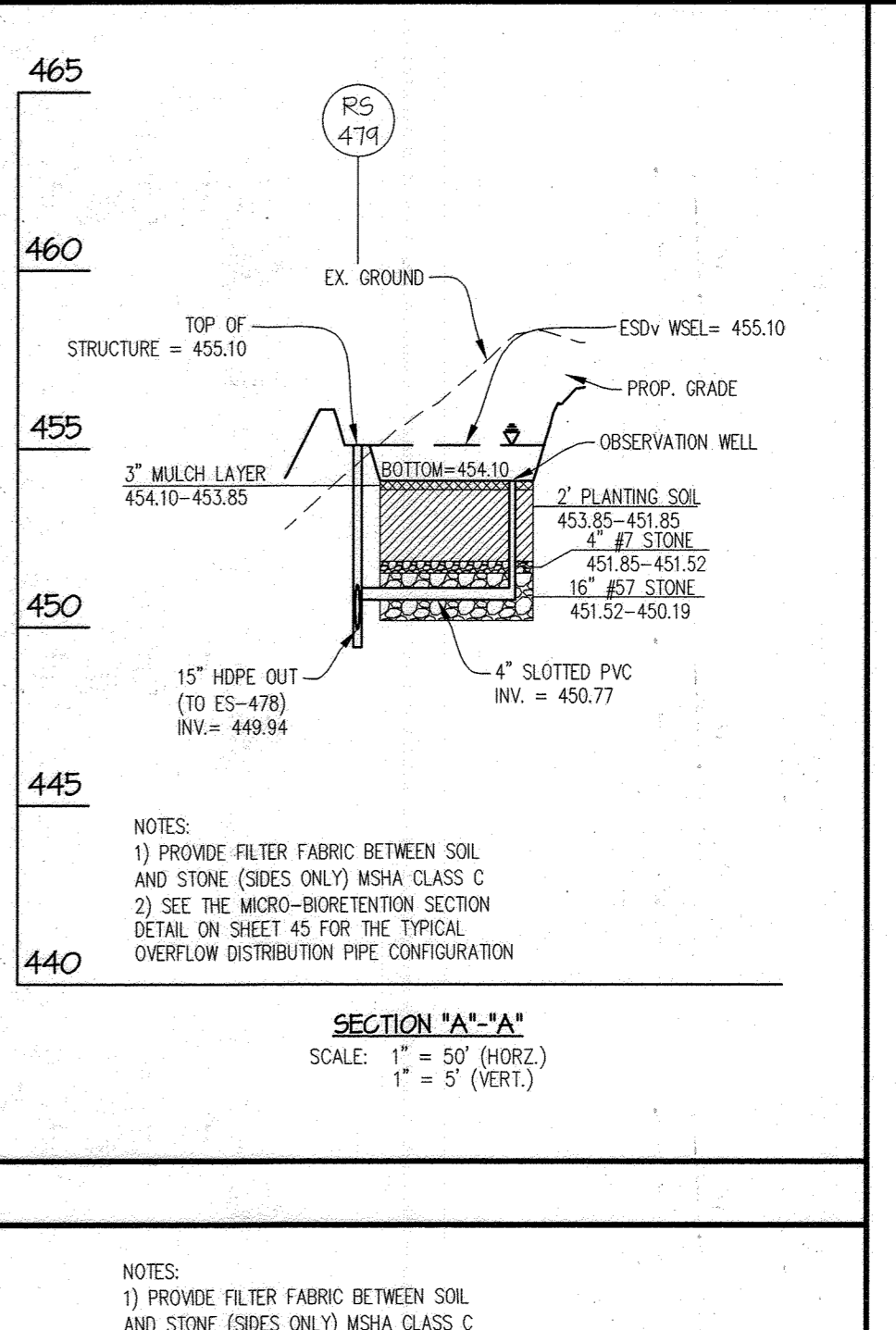
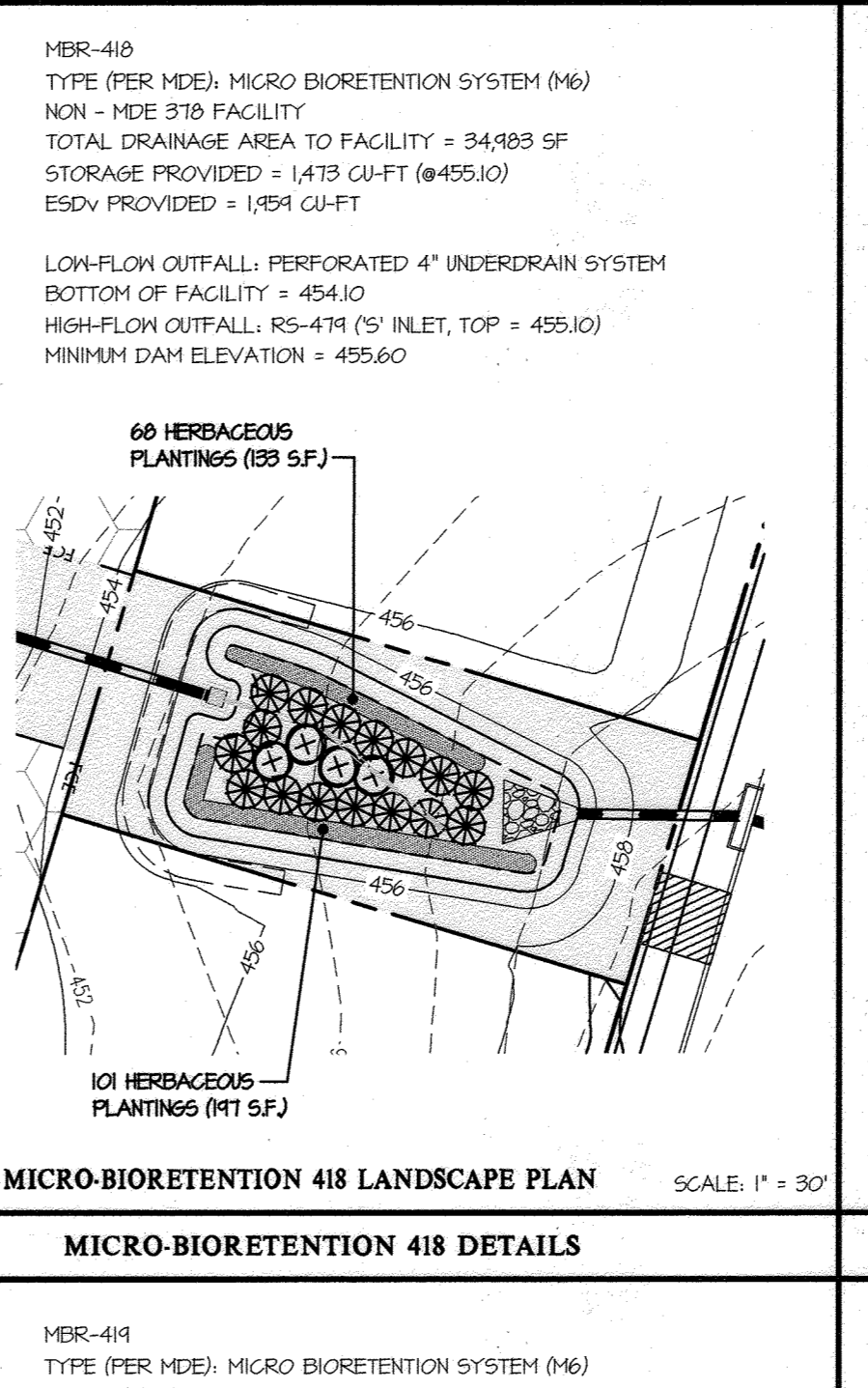
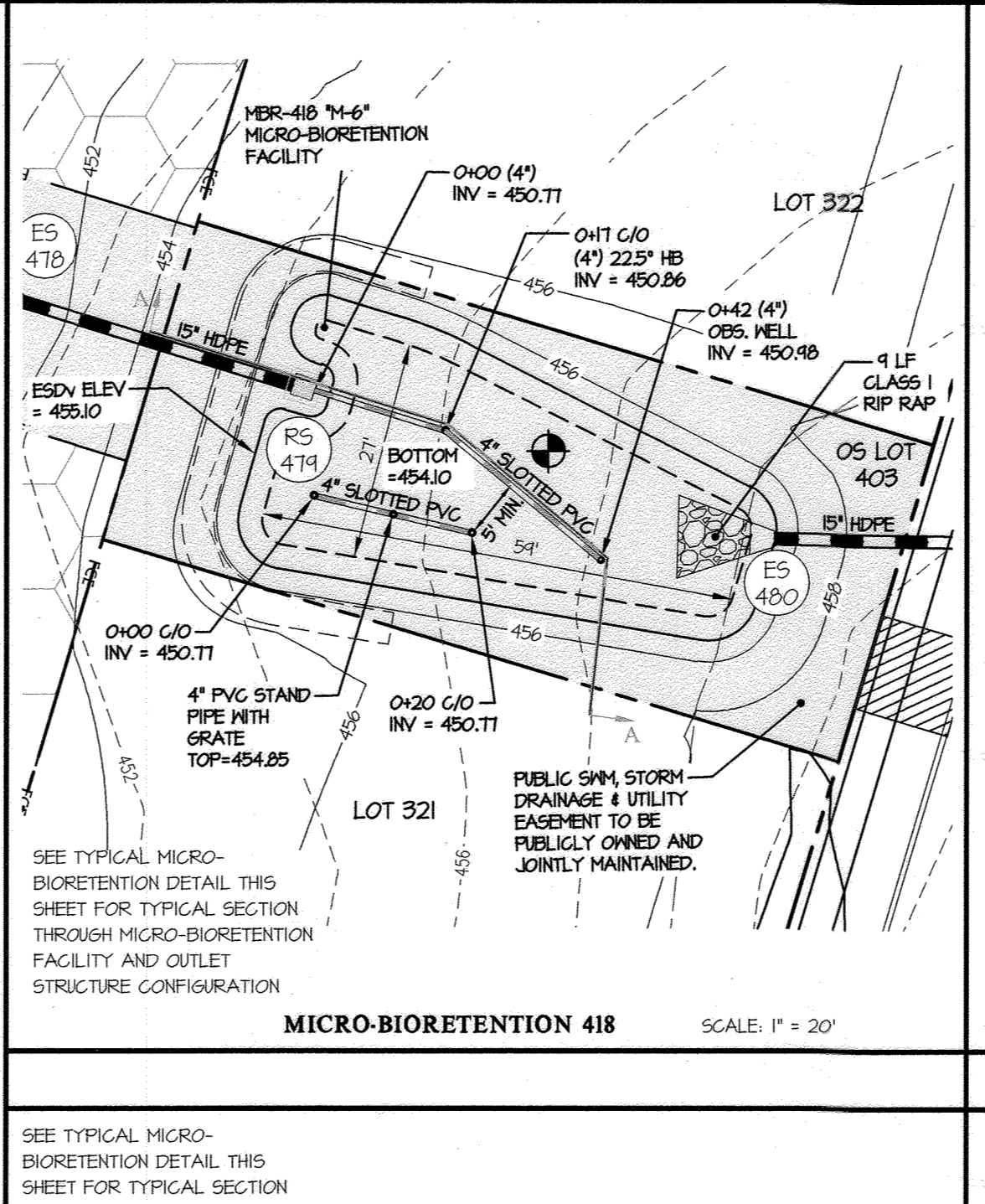
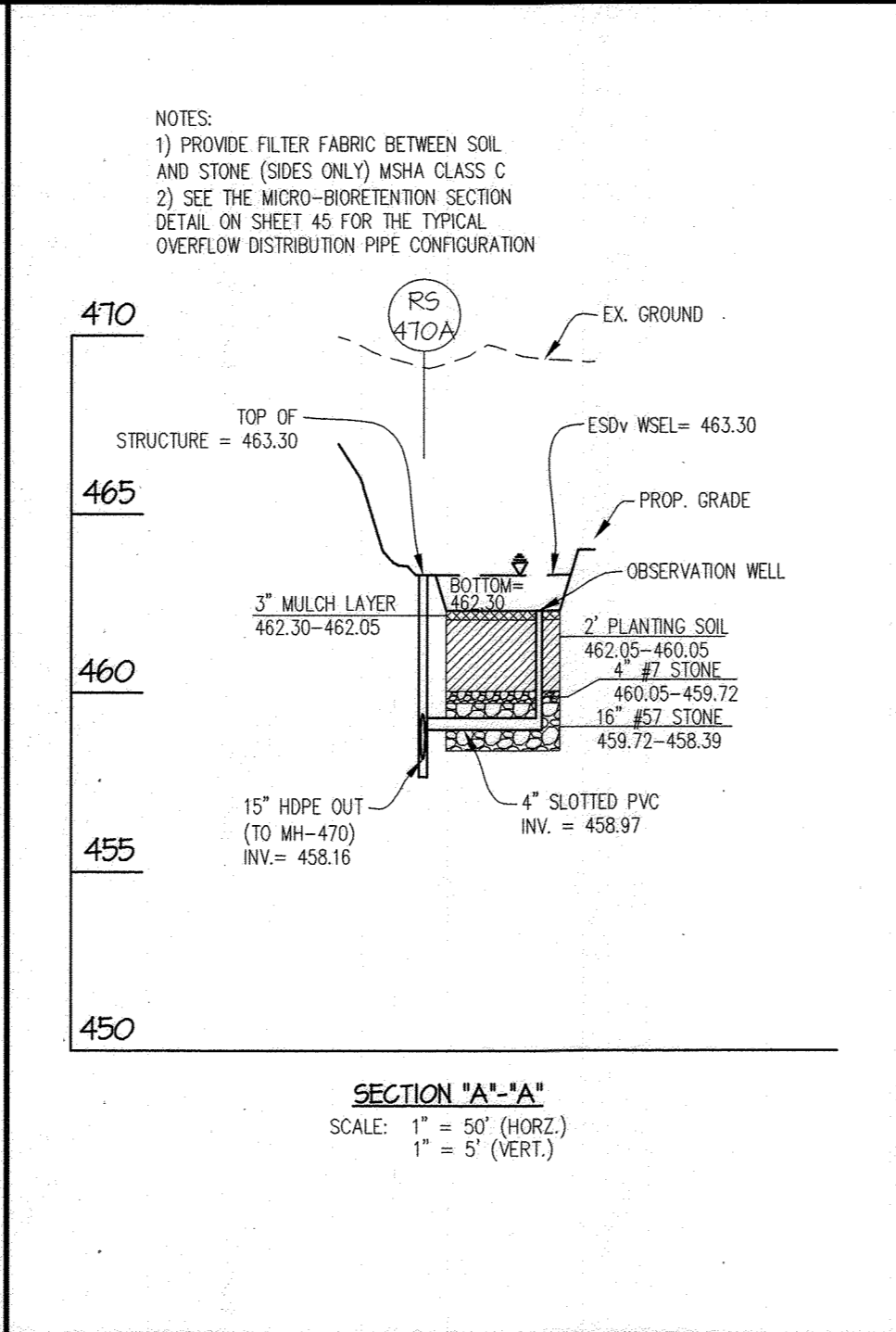
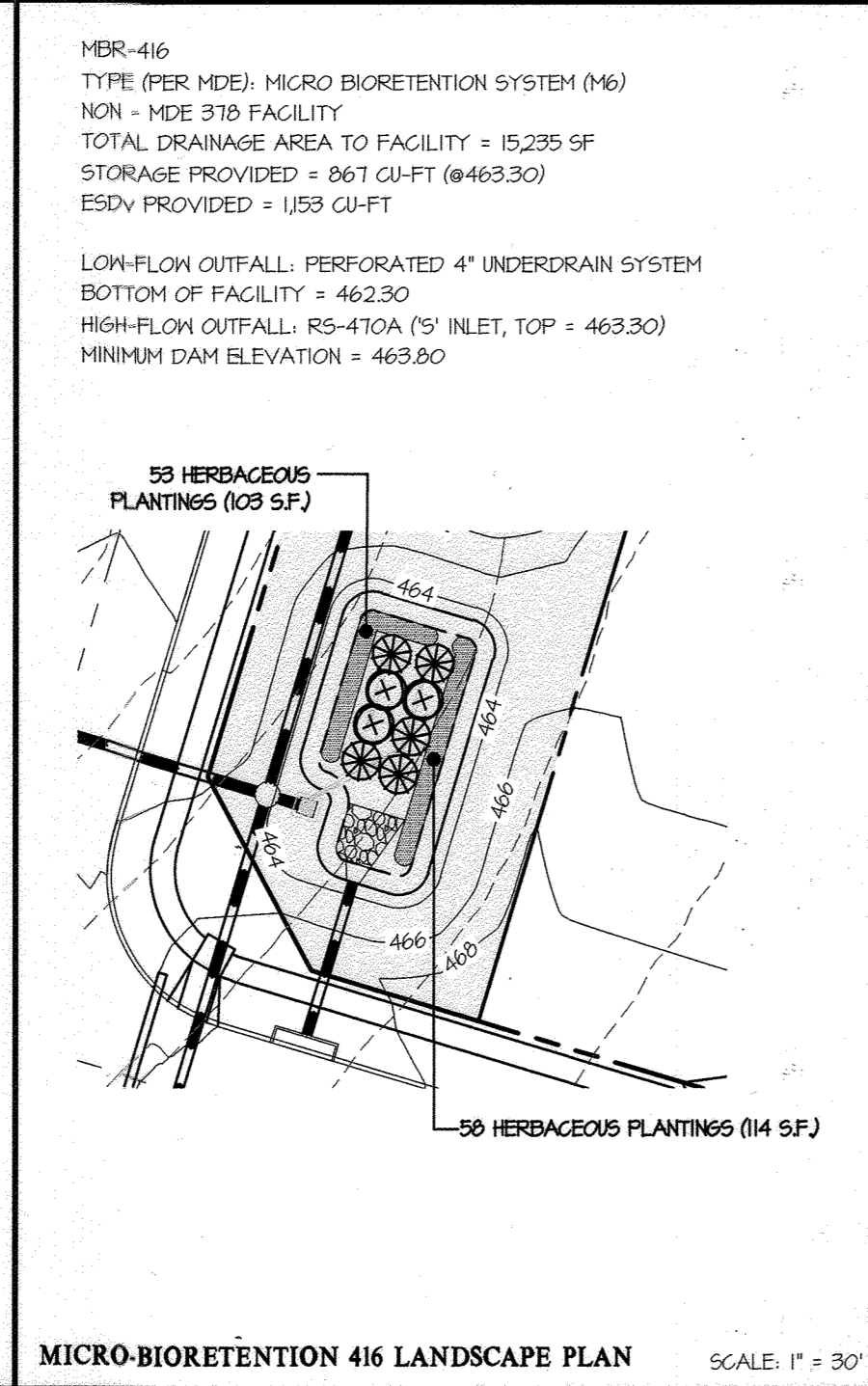
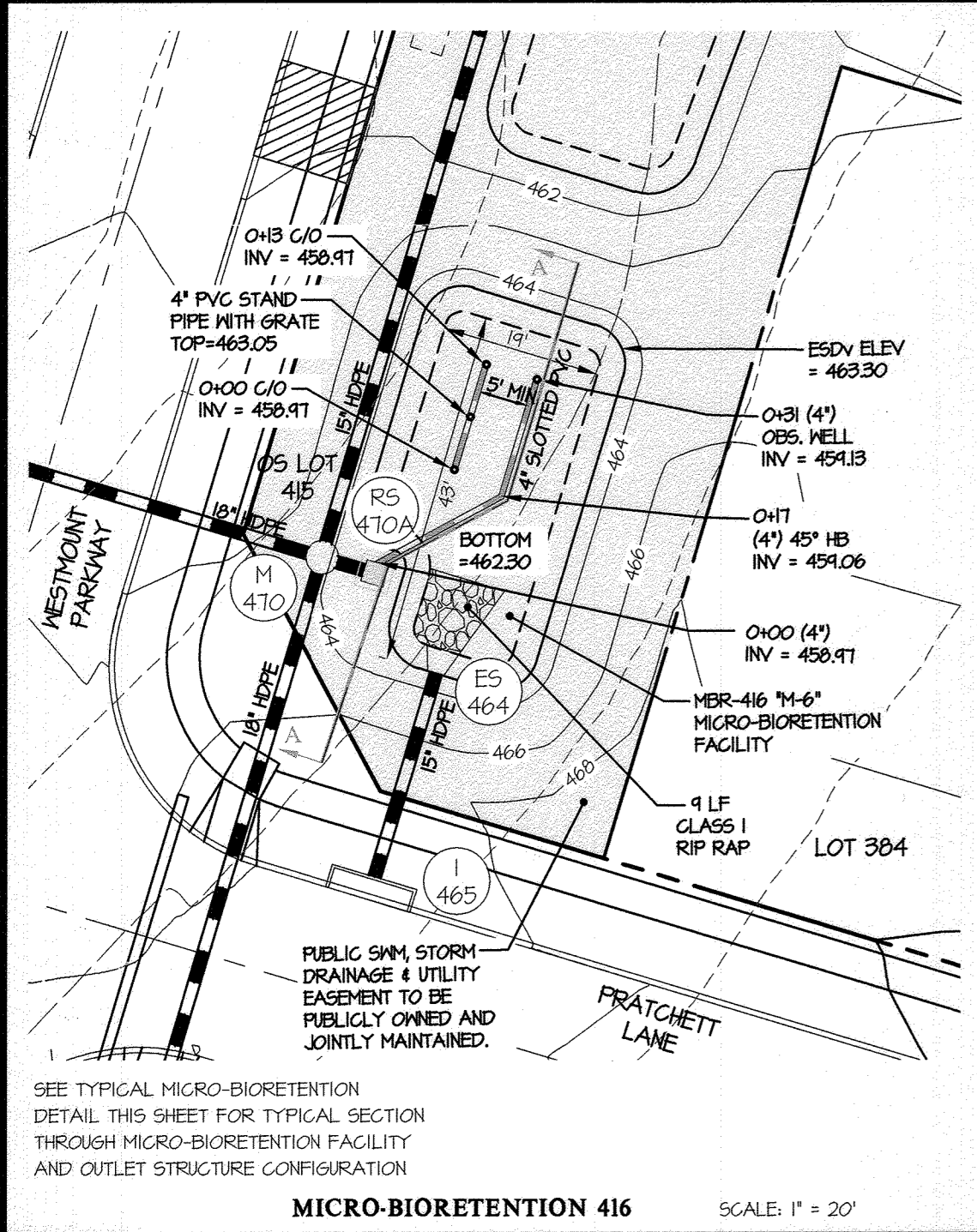
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION
AWL	LMTW	DEV	03/06/2023	REVISED MBRS PER GRADING CHANGES

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 12975
 EXPIRATION DATE: MAY 28, 2024

REVISED STORMWATER MANAGEMENT DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	40 OF 45



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Chief, Bureau of Highways MK
Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Division of Land Development
Date: 6/6/23

Chief, Development Engineering Division JP
Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

MICRO-BIORETENTION PLANT LIST (for this sheet)				
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHRUBS *				
⊗	16	CORNUS SERICEA RUBY/ RUBY RED OSIER DOGWOOD	18"-24" SFR.	CONTAINER
⊗	36	ITEA VIRGINICA HENRY'S GARNET/ VIRGINIA SHEETSPIRE	18"-24" SFR.	CONTAINER
HERBACEOUS *				
⊗	605	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO: -HERMERCALLIS 'STRAWBERRY CANDY' DAYLILY -HERMERCALLIS 'LOAN SENIOR' DAYLILY -KALMA ANGSTIFOLIA/SHEEP LAUREL -ELEOCHARIS OVATA OBTUSA/BLUNT SPIKE RUSH	18" O.C.	CONTAINER

DESIGNED BY:	AWL	DATE:	REVISION
DRAWN BY: <td>LMW</td> <td></td> <td></td>	LMW		
CHECKED BY: <td>DEV</td> <td>03/06/2023</td> <td>REVISED MBRS PER GRADING CHANGES</td>	DEV	03/06/2023	REVISED MBRS PER GRADING CHANGES

PREPARED FOR:
WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN.: ROBERT GOODIER

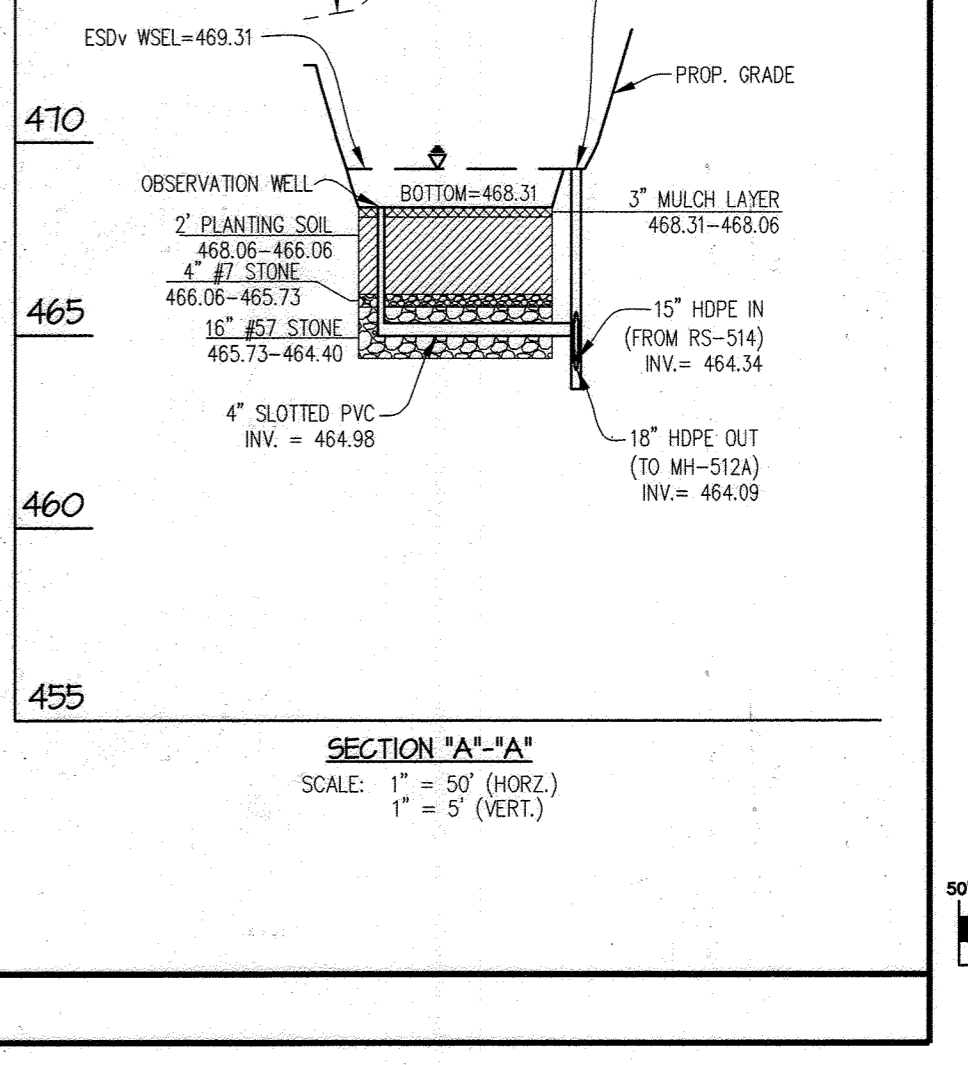
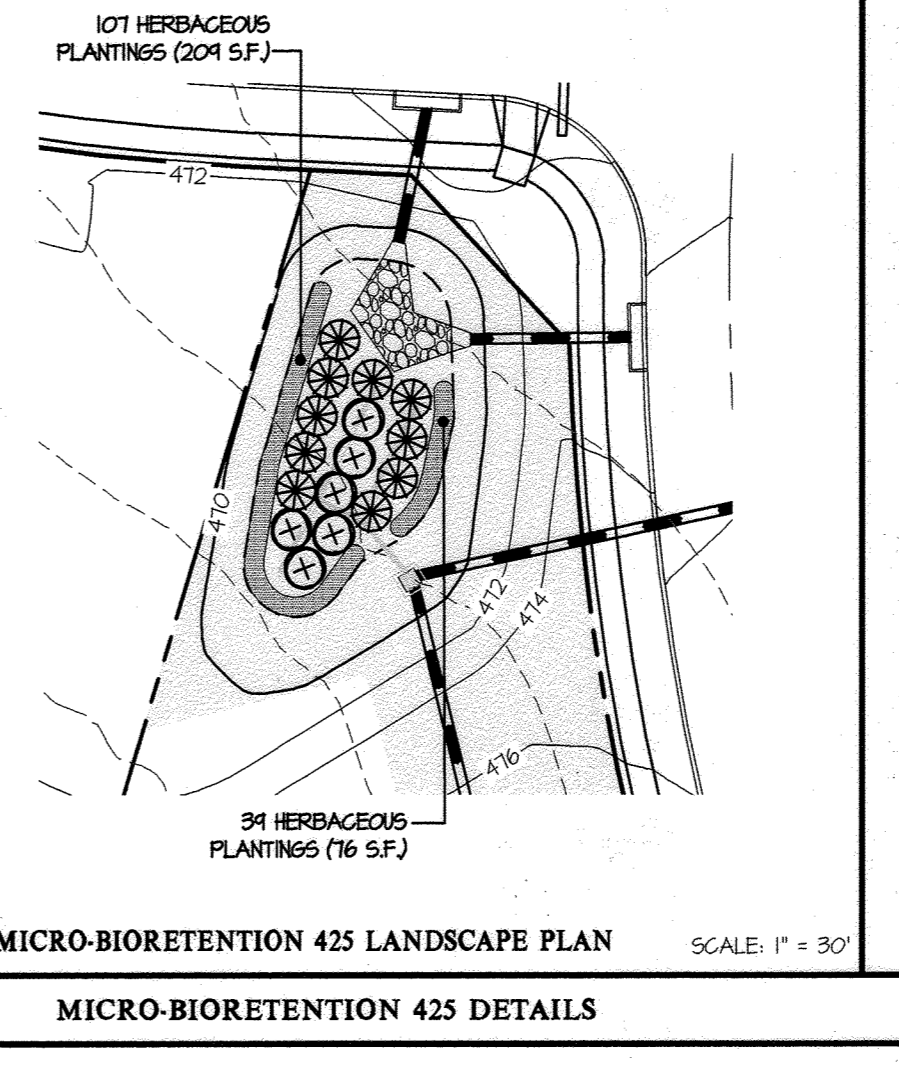
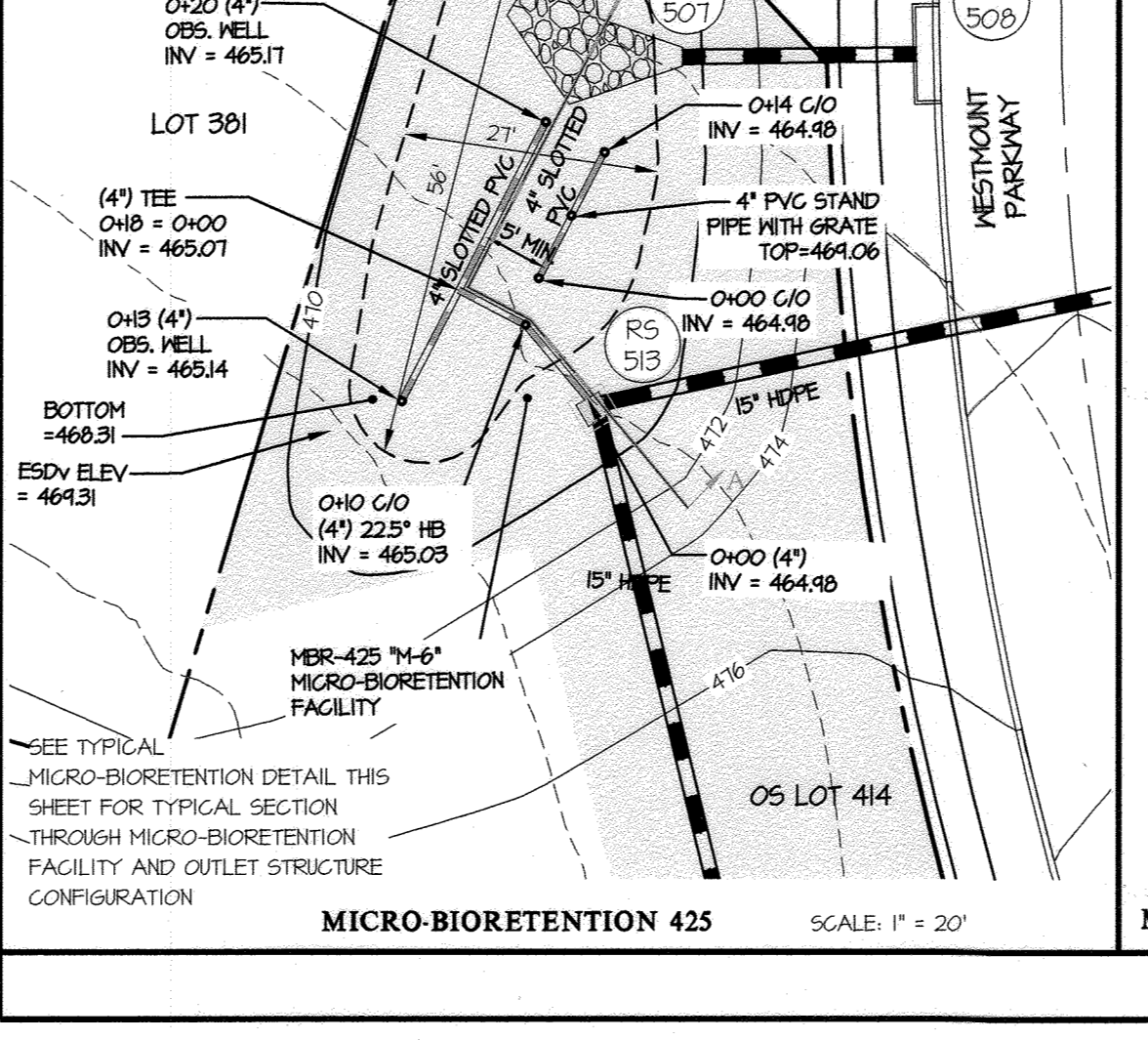
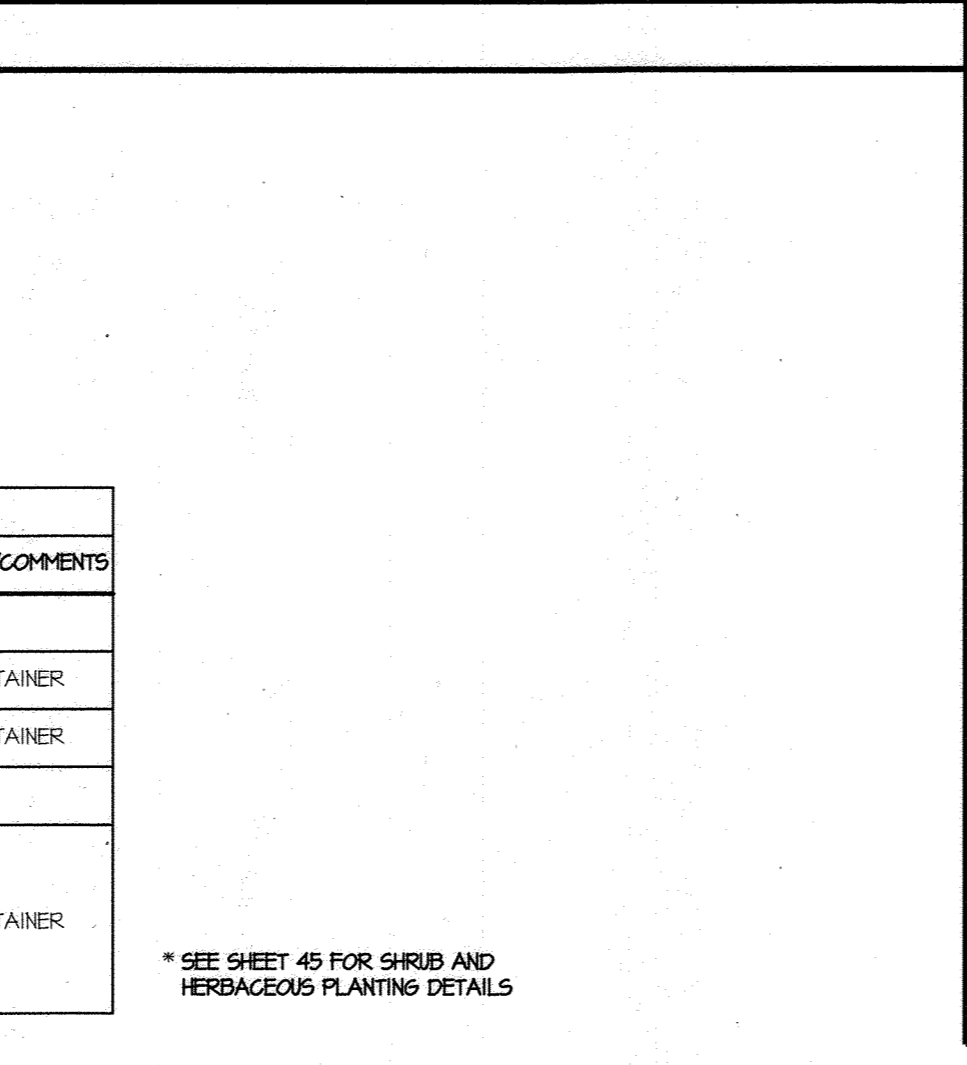
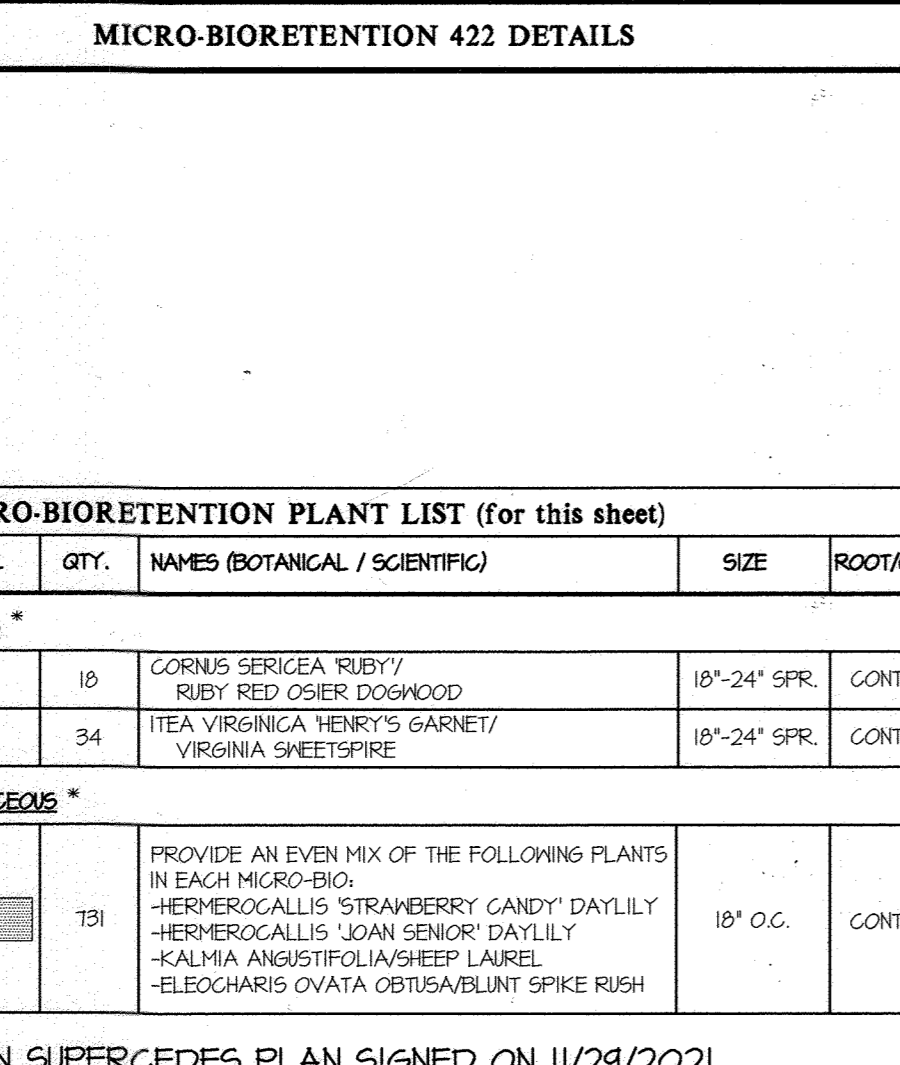
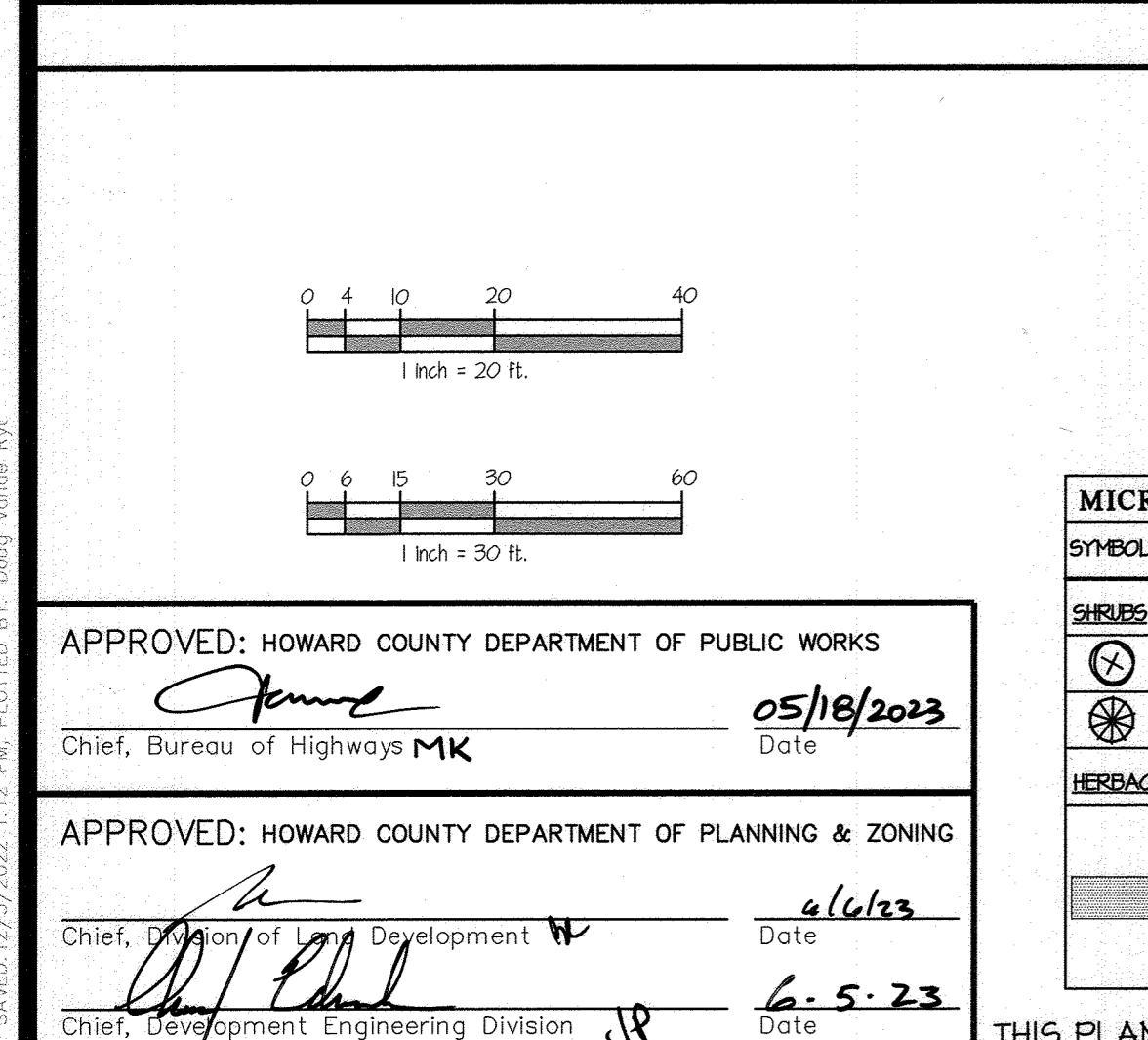
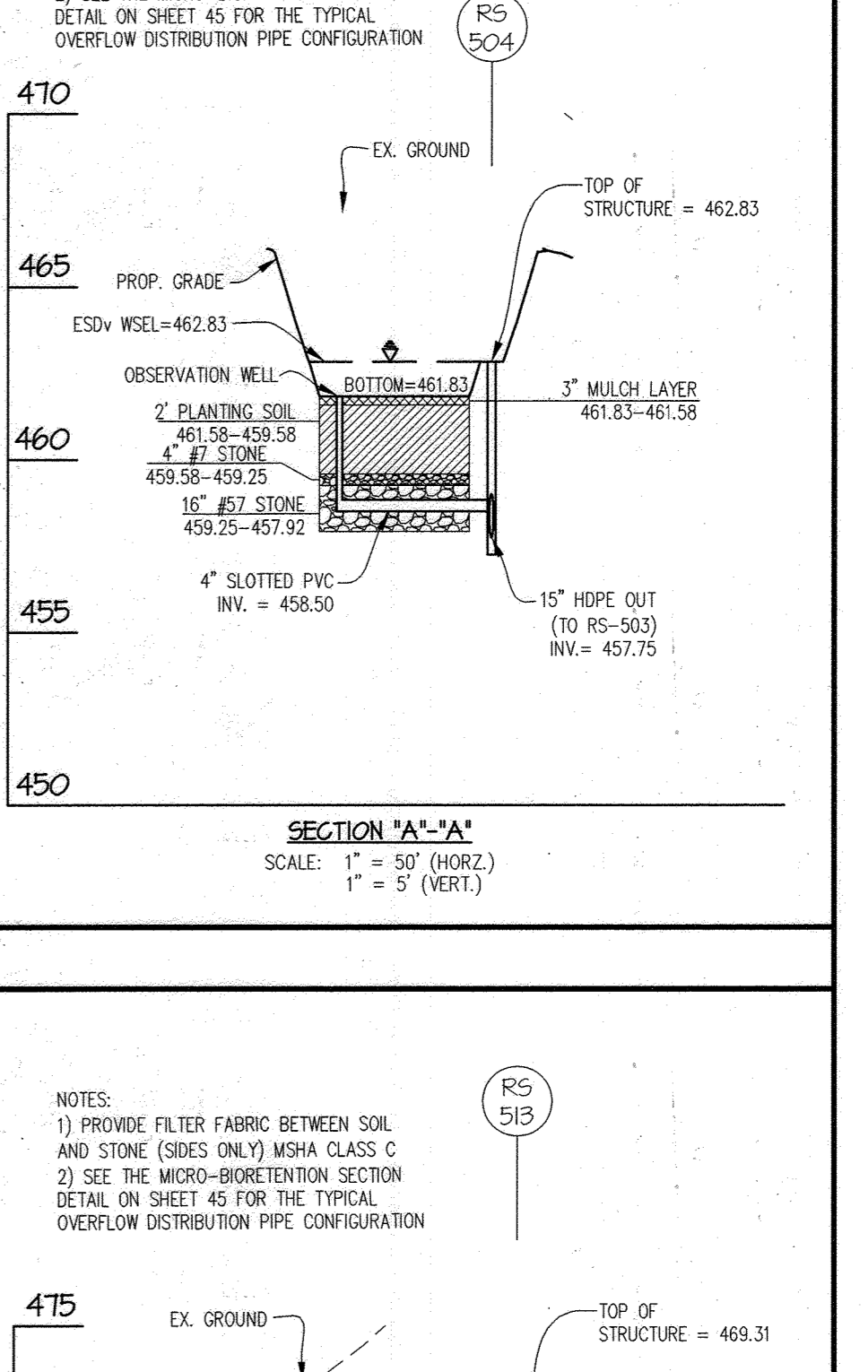
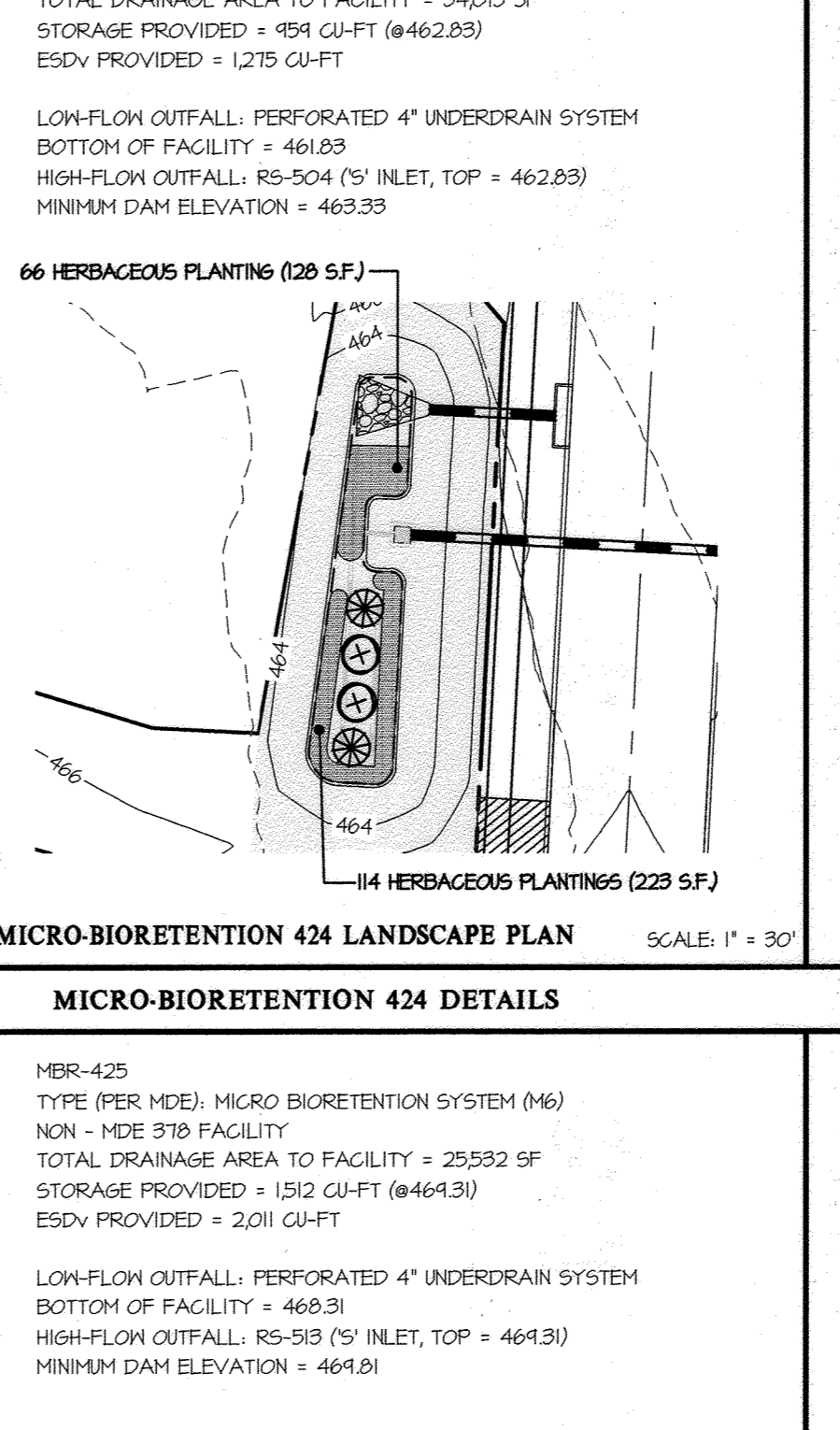
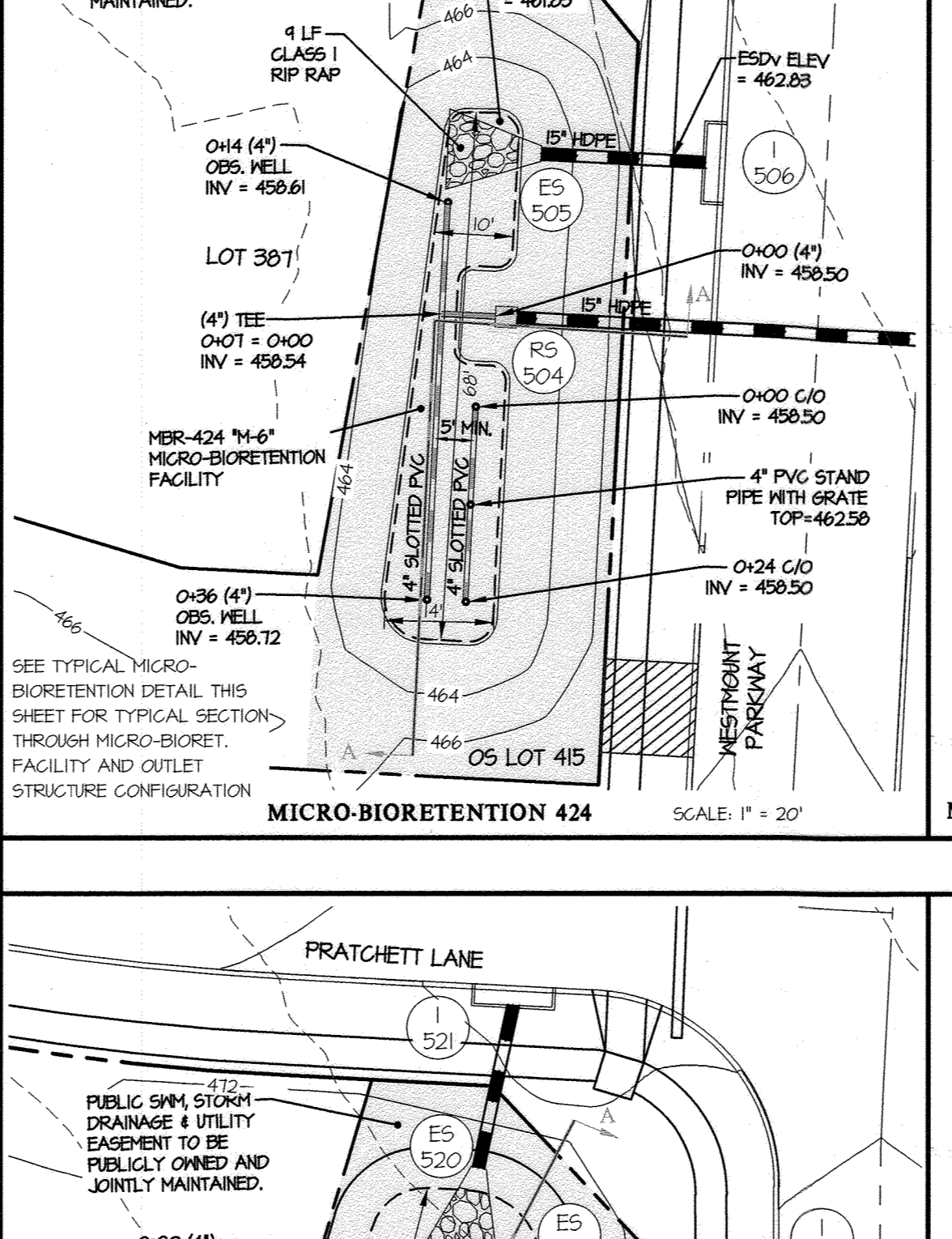
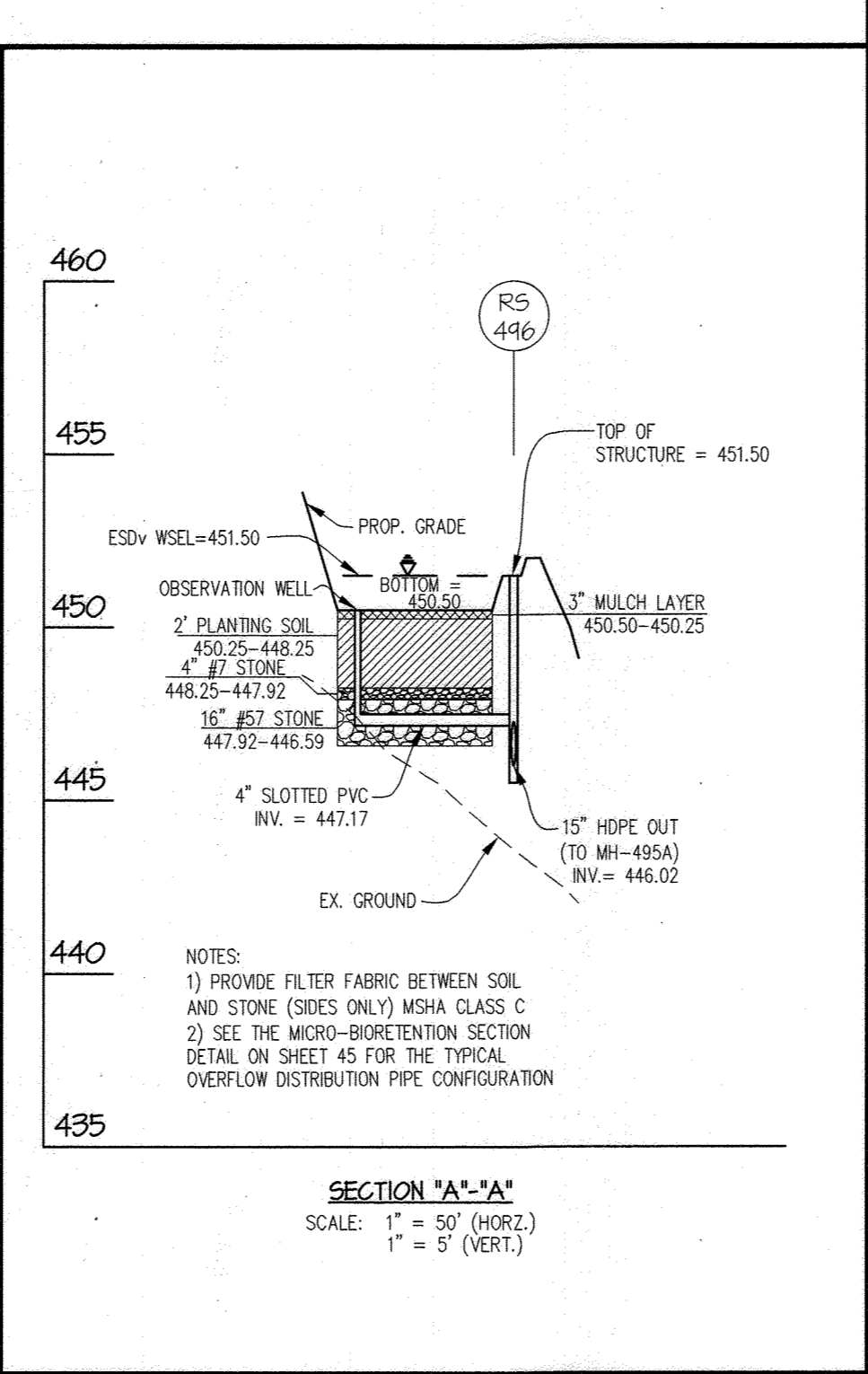
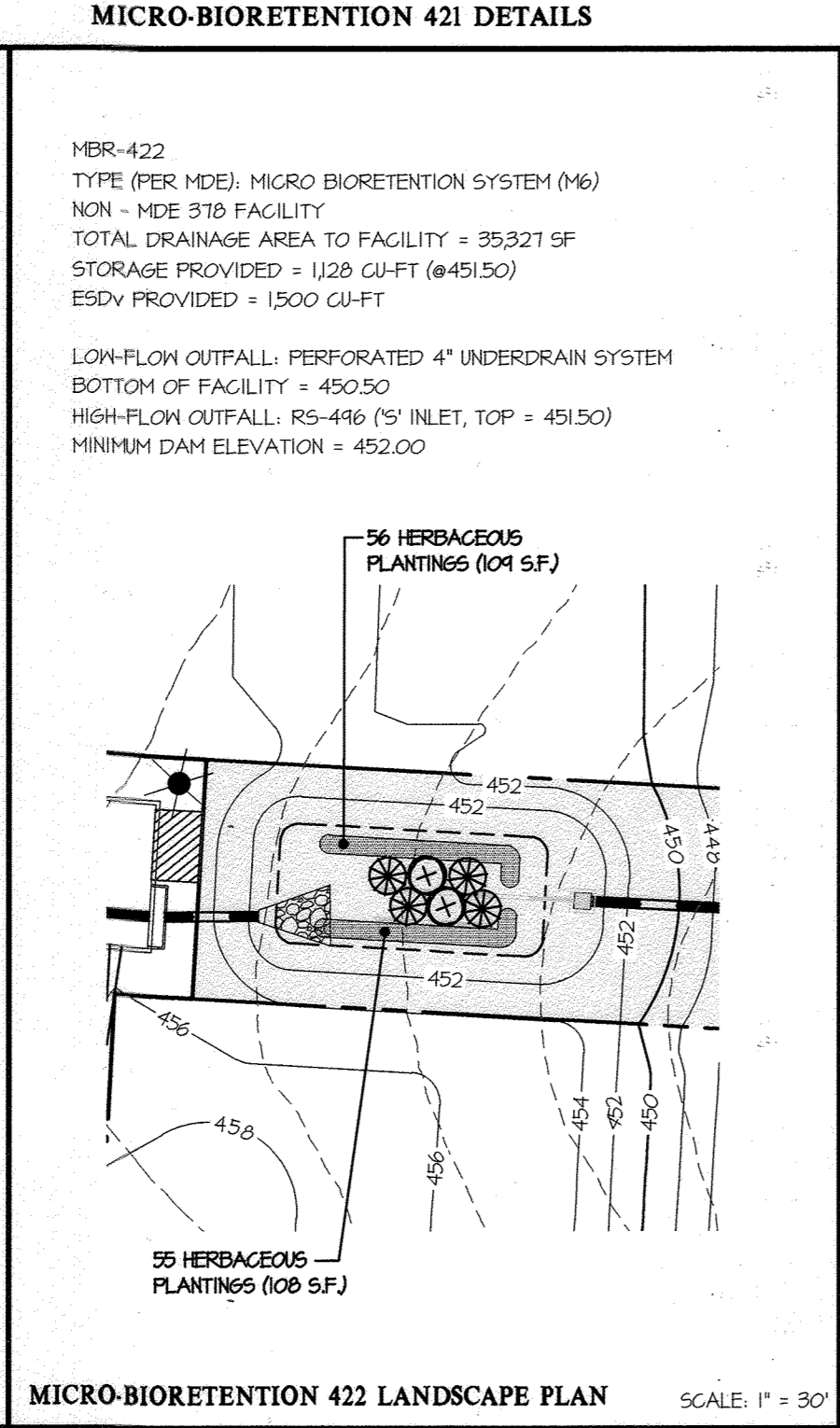
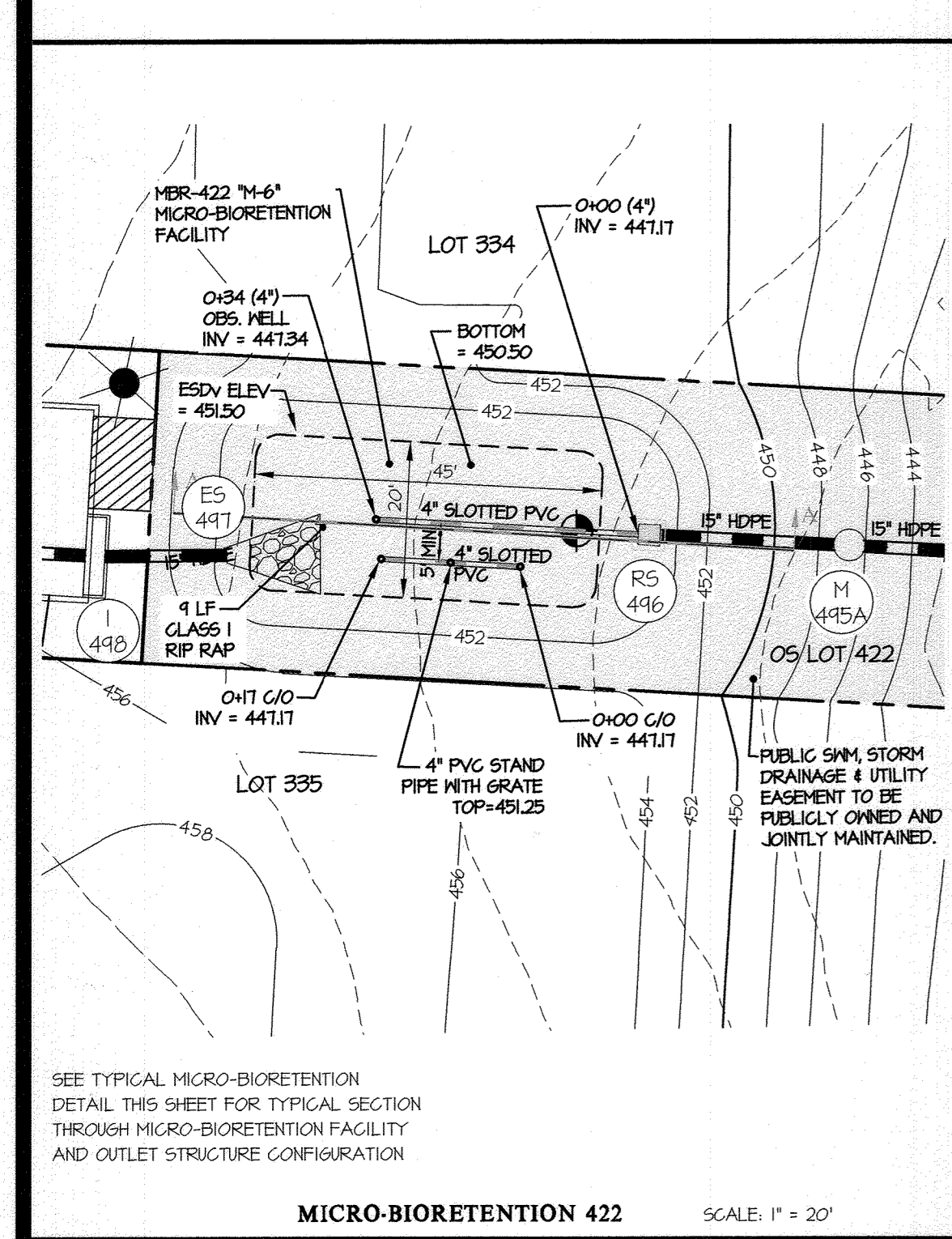
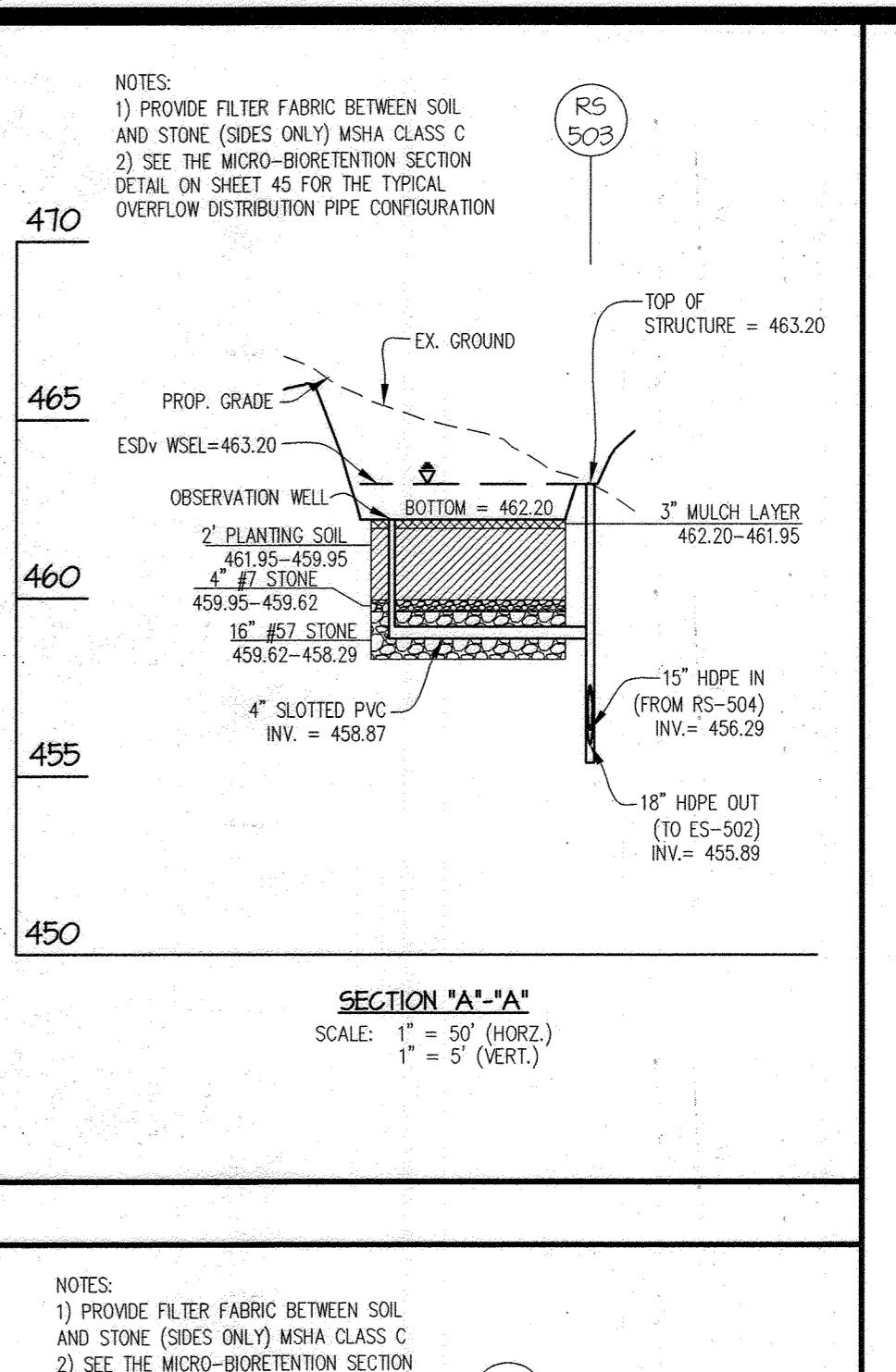
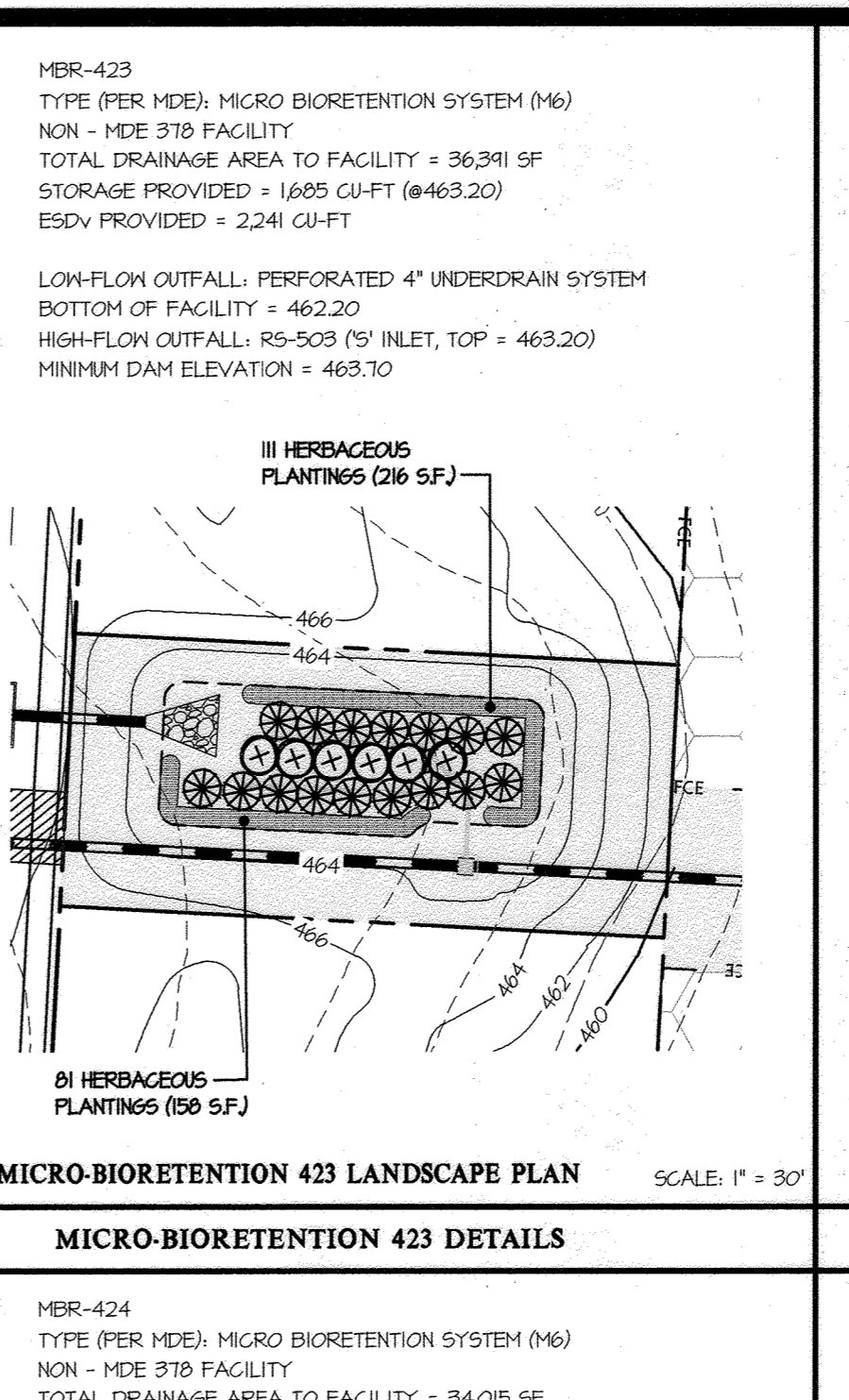
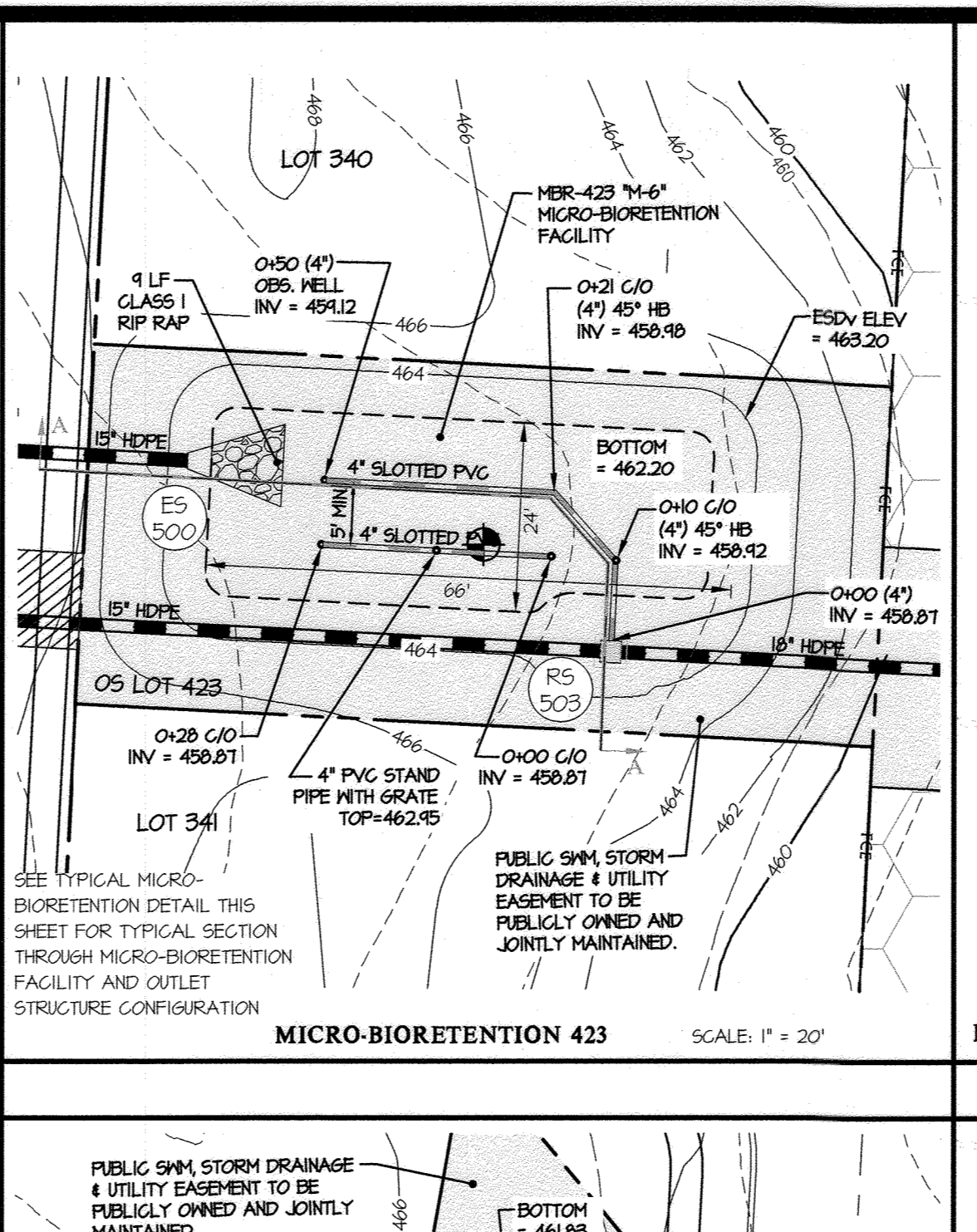
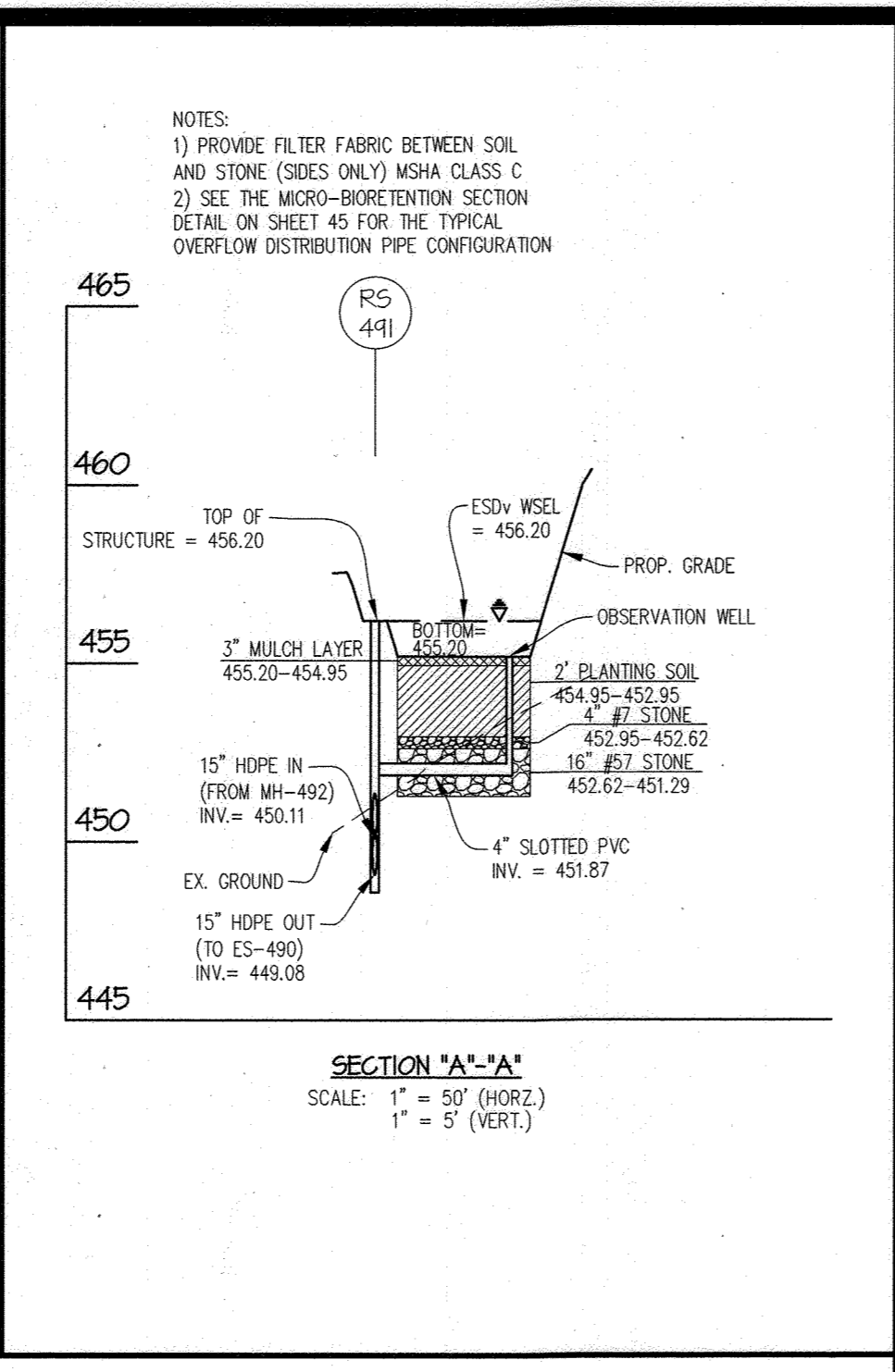
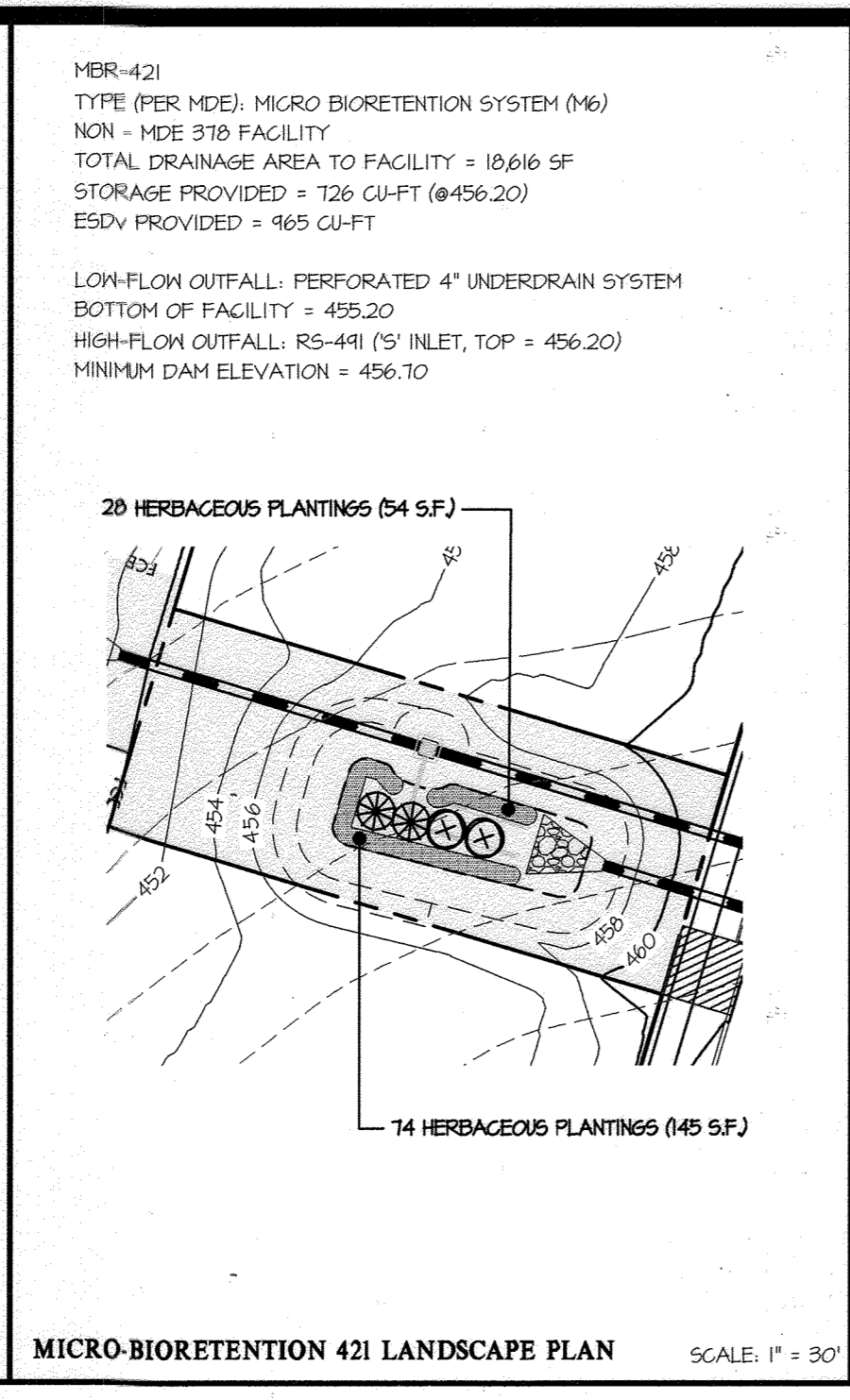
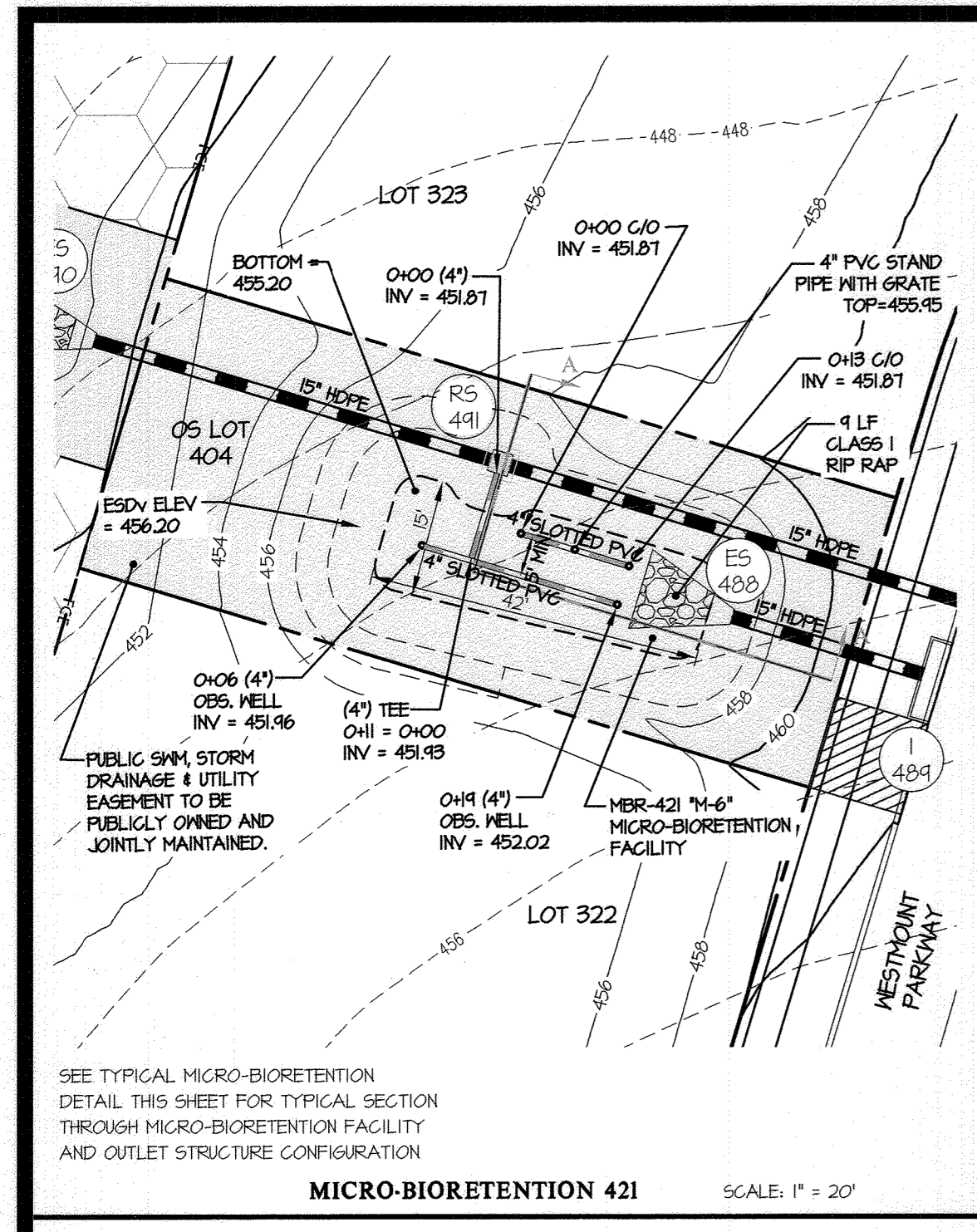
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024

REVISED STORMWATER MANAGEMENT DETAILS

WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	41 OF 45



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6-5-23

Chief, Development Engineering Division JR

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHRUBS *				
⊗	18	CORNUS SERICEA RUBY/ RUBY RED OSIER DOGWOOD	18"-24" SFR.	CONTAINER
⊗	34	ITEA VIRGINICA 'HERIT'S GARNET'/ VIRGINIA SHEETSPIRE	18"-24" SFR.	CONTAINER
HERBACEOUS *				
⊗	731	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO: -HERPETOCALLIS 'STRAWBERRY CANDY' DAYLILY -HERPETOCALLIS 'LOAN SENIOR' DAYLILY -KALINA ANGSTIFOLIA/SHEEP LAUREL -ELEOCHARIS OVATA OBUSA/BLUNT SPIKE RUSH	18" O.G.	CONTAINER

DESIGNED BY: AWL
 DRAWN BY: LMW
 CHECKED BY: DEV
 DATE: 03/06/2023

REVISION: REVISED MBRS PER GRADING CHANGES

AWL
 LMW
 DEV

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/24/2021

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024.

3/8/23

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024

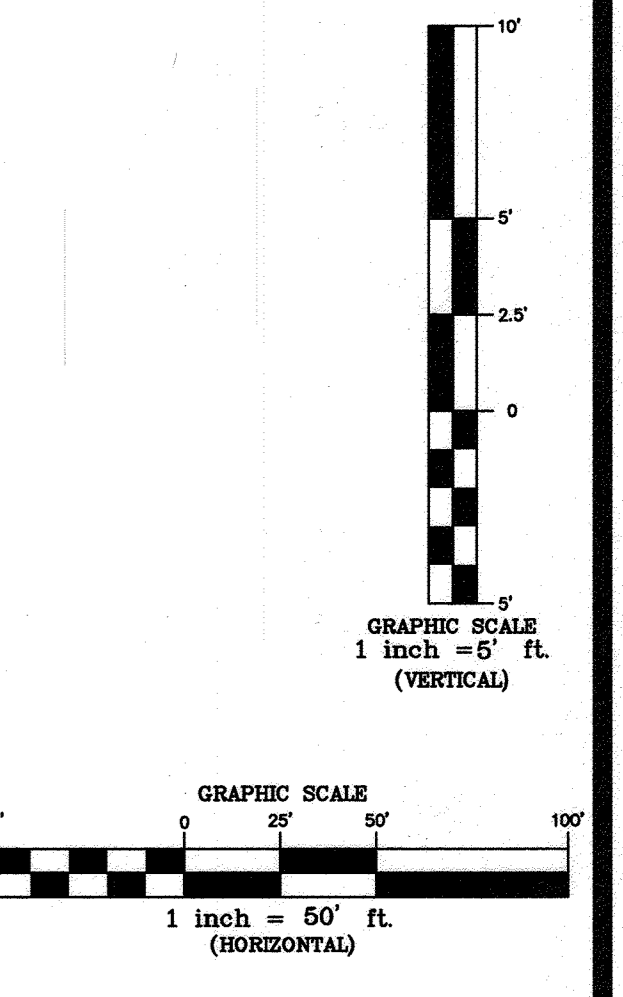
REVISED STORMWATER MANAGEMENT DETAILS

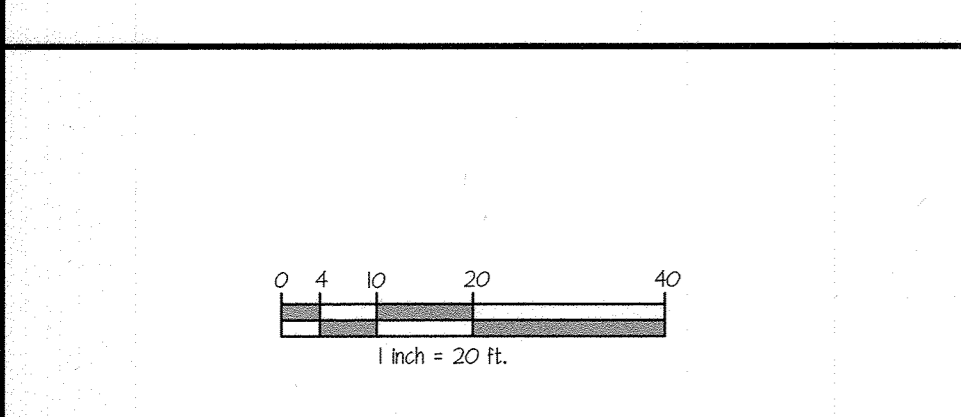
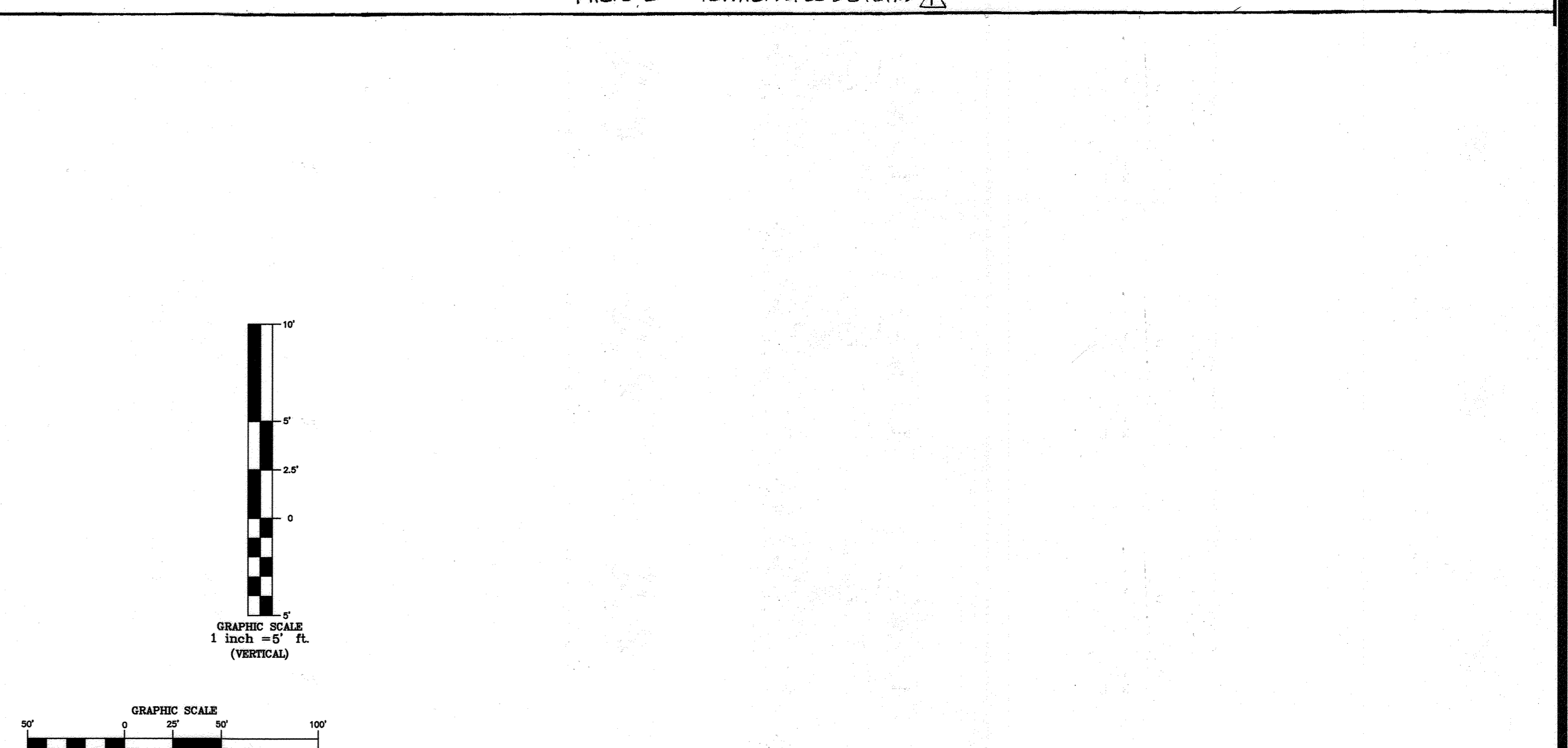
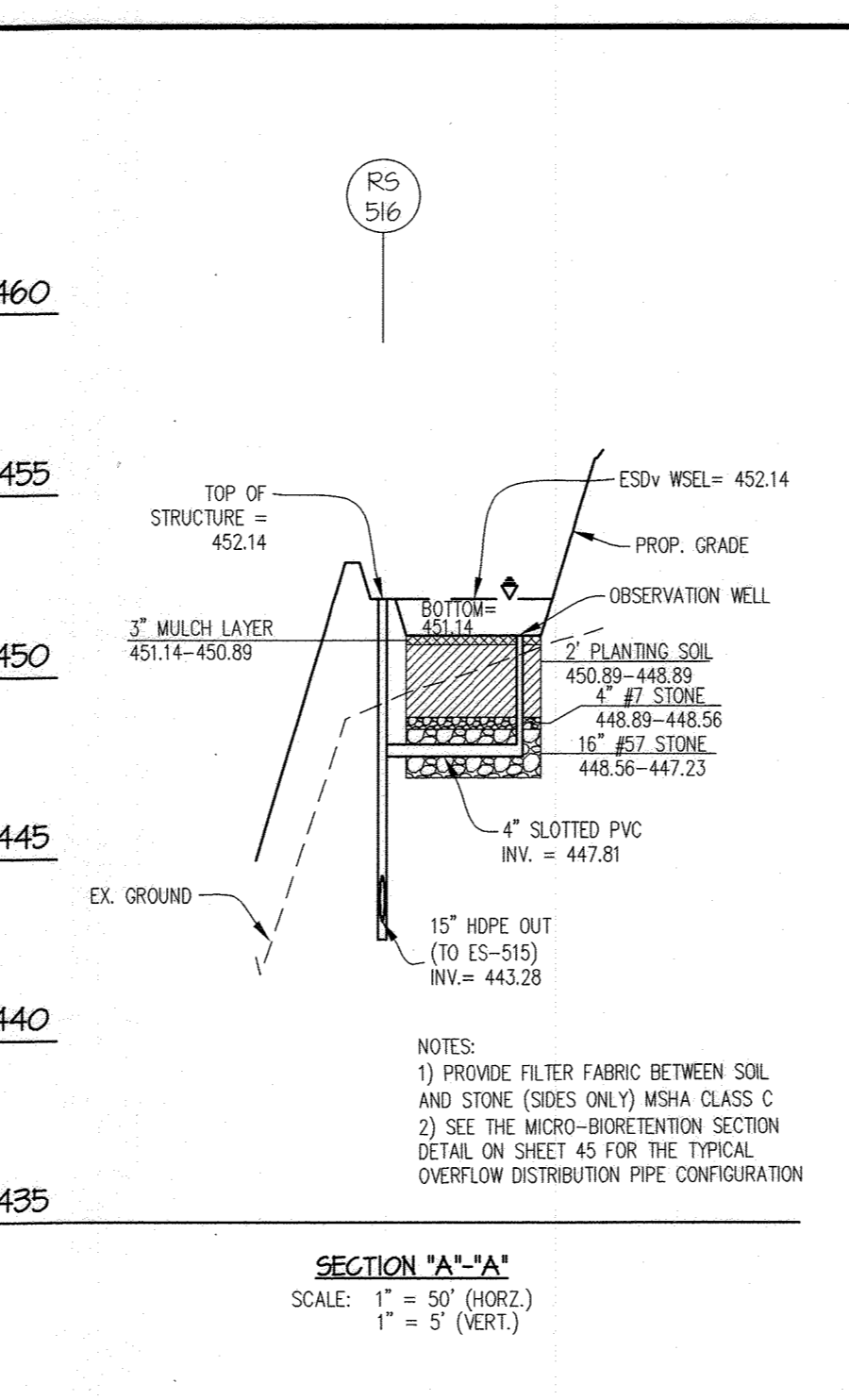
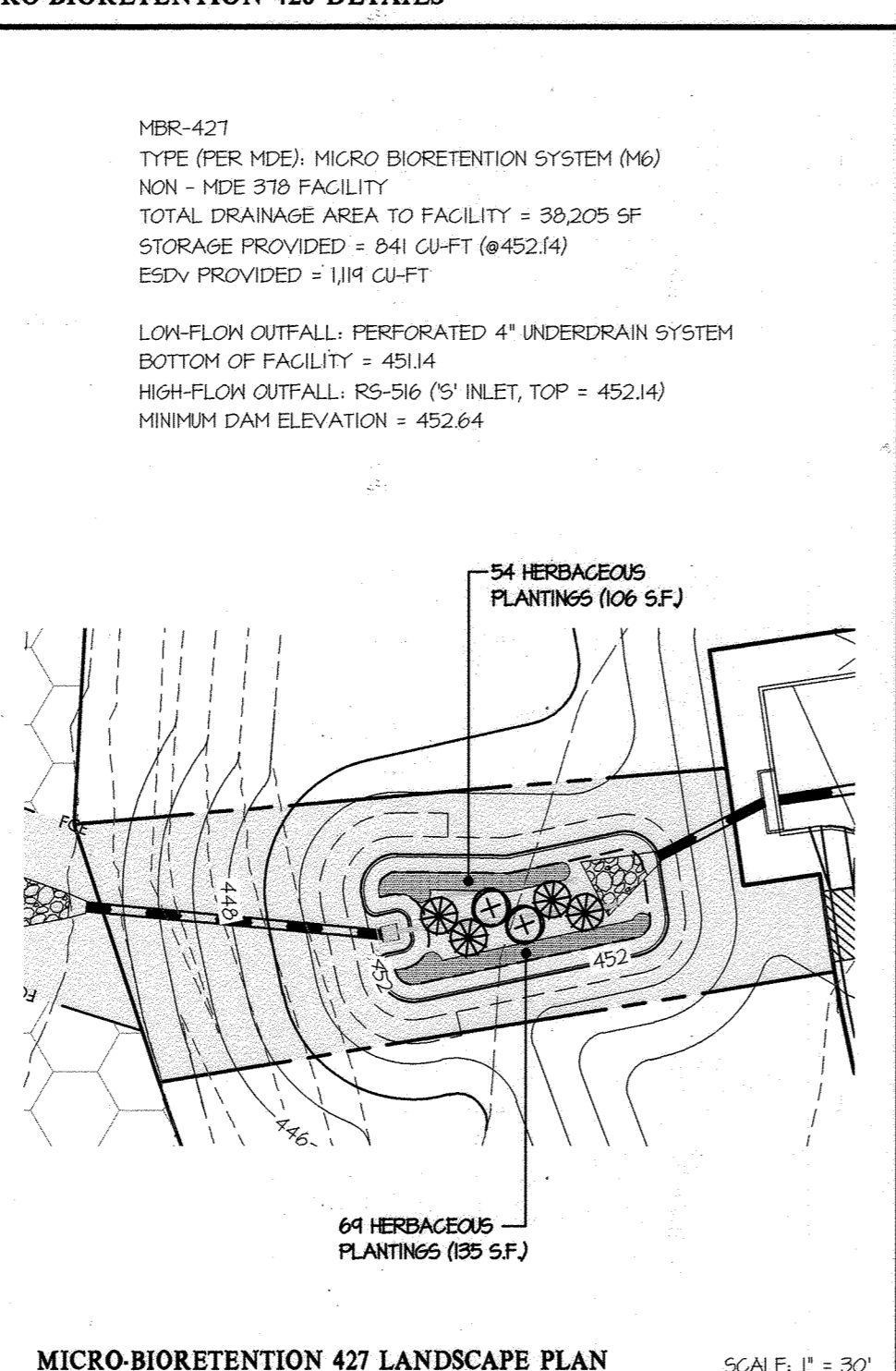
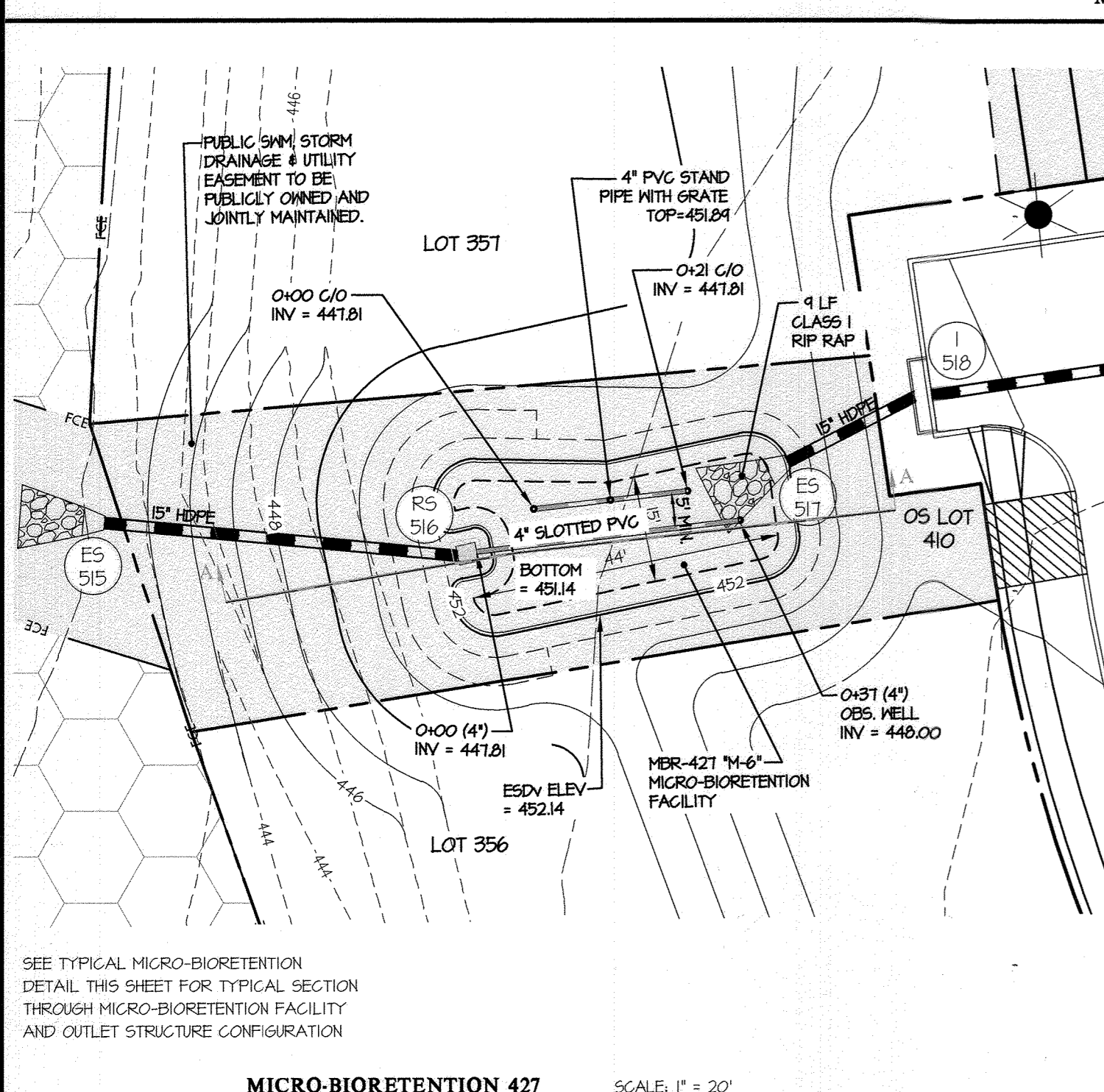
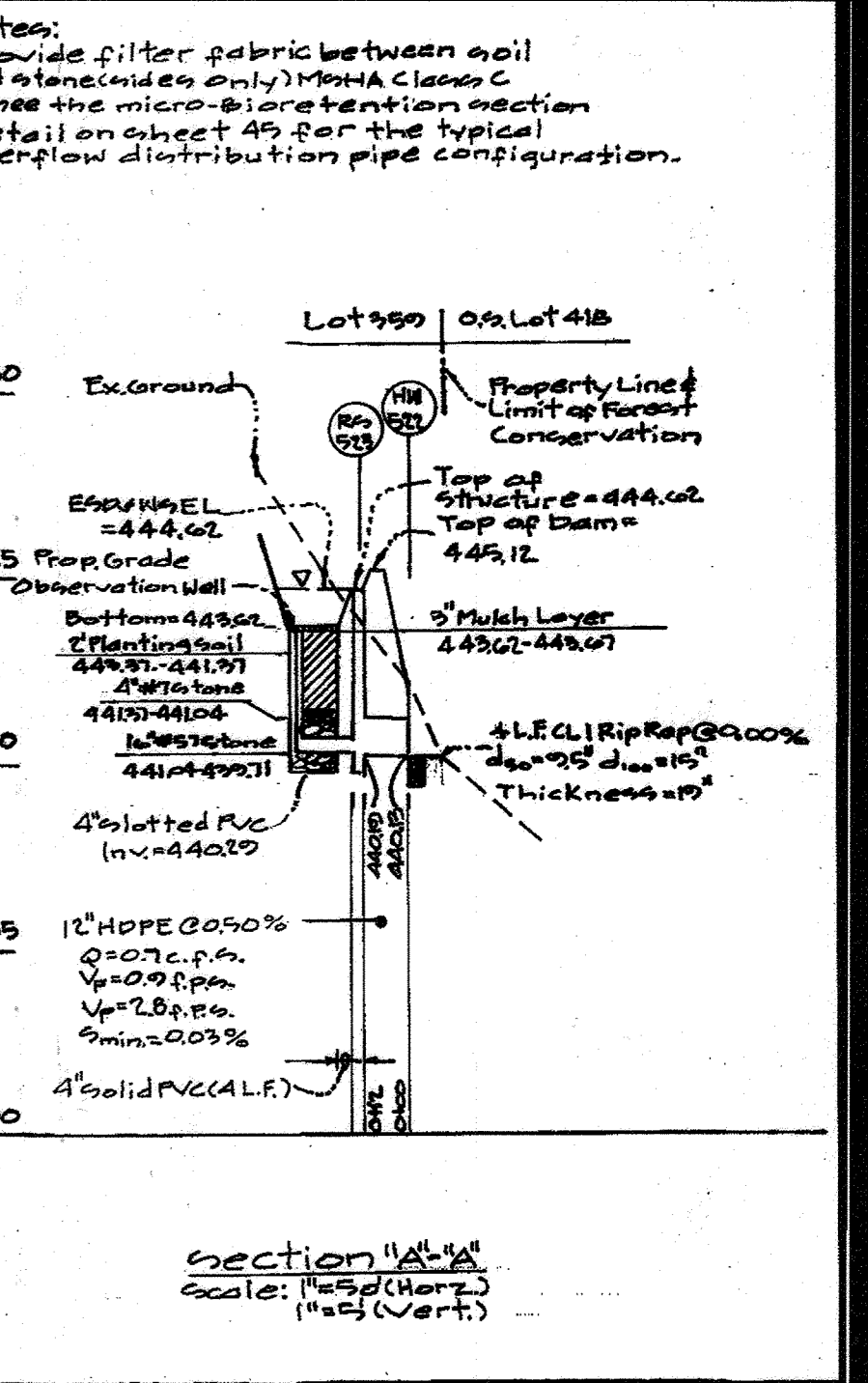
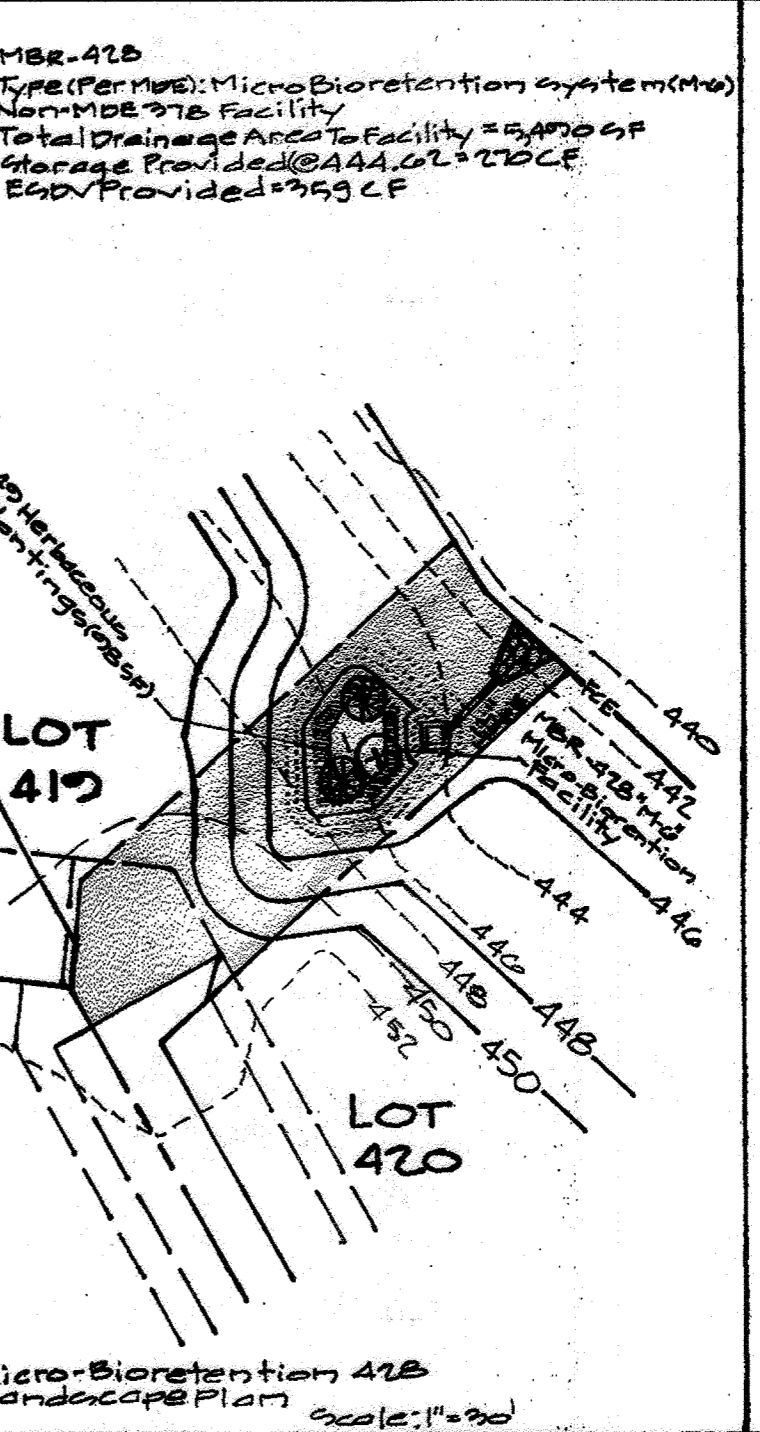
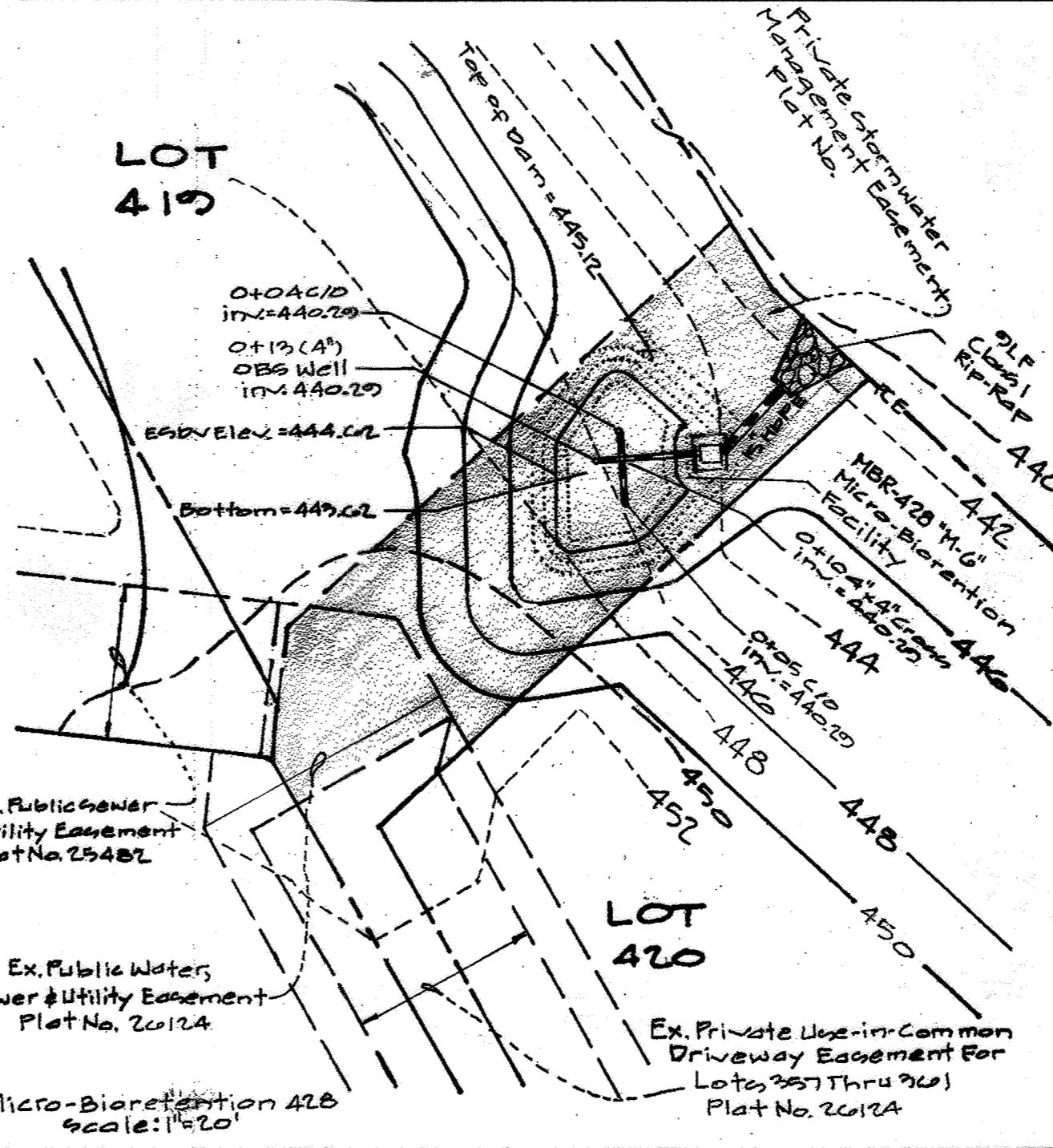
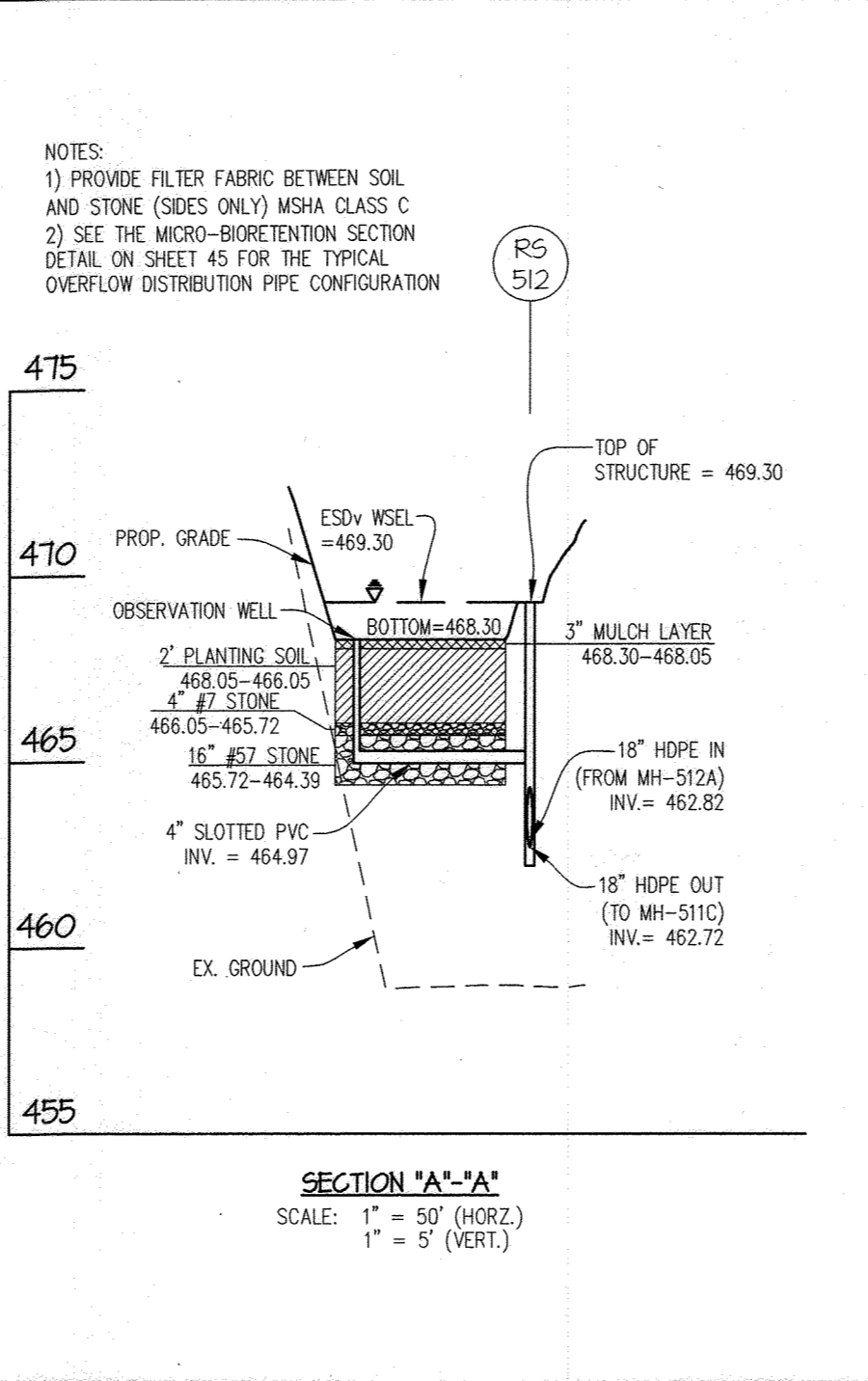
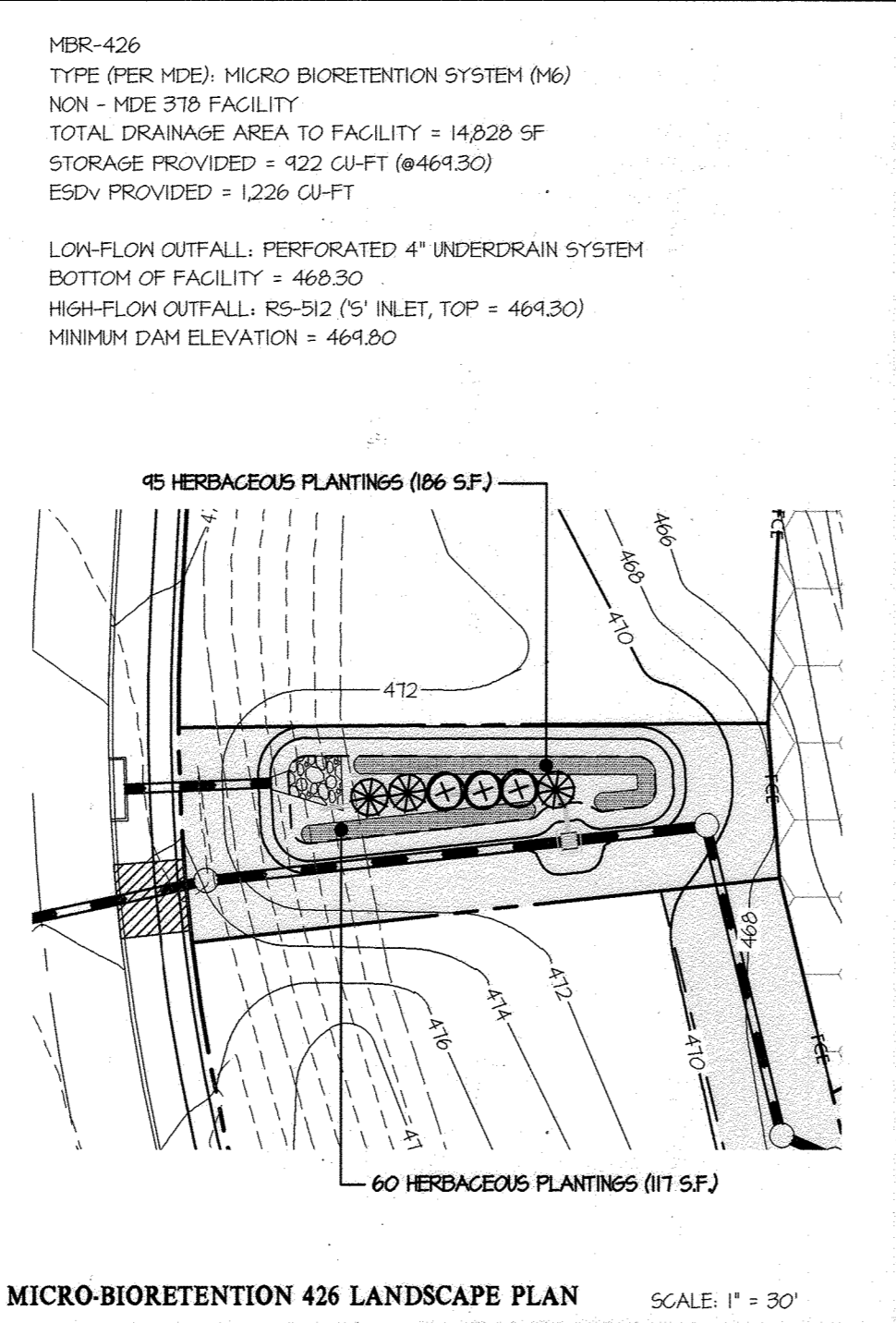
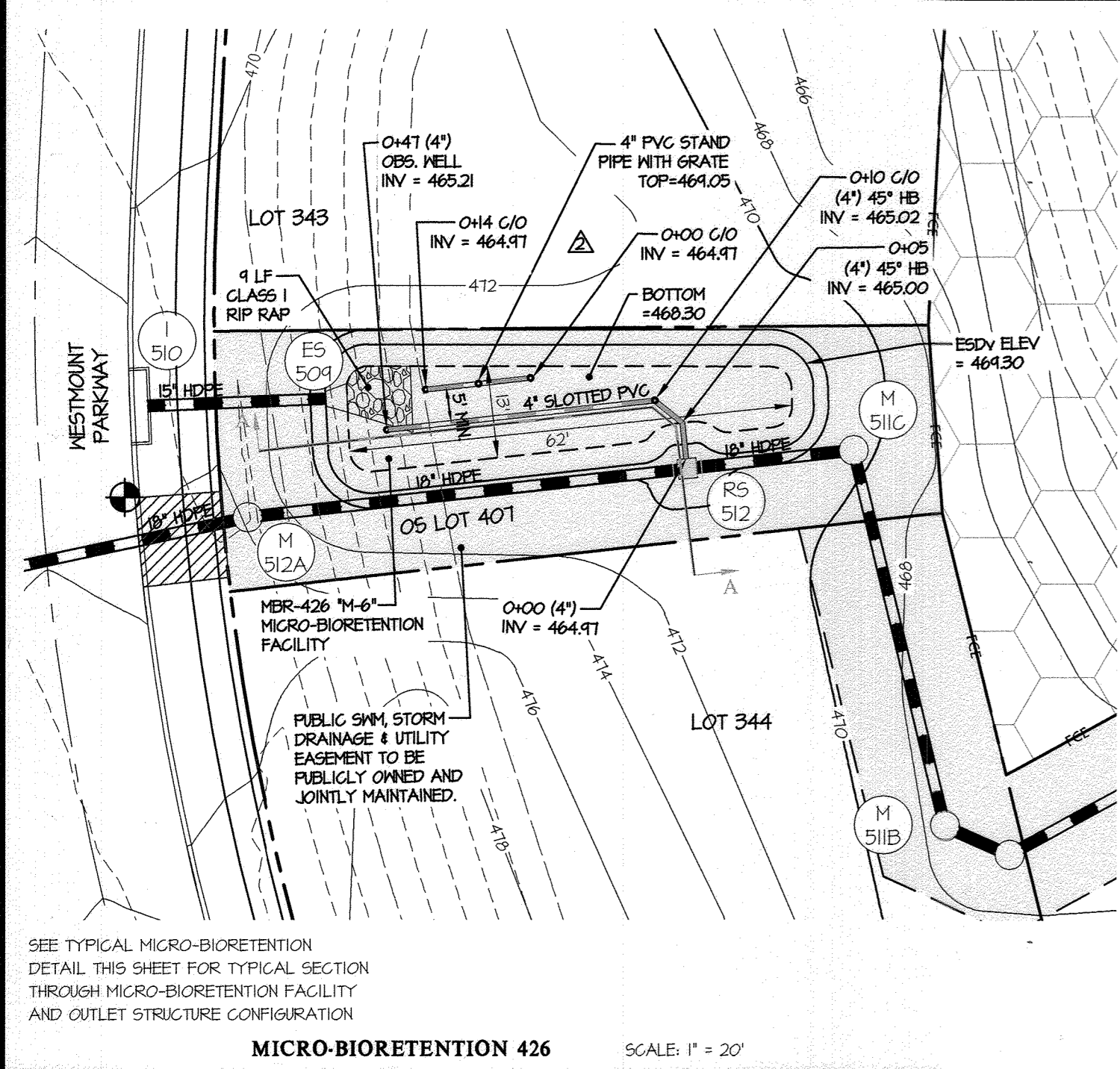
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418

A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN
 ZONING: R-ED
 G. L. W. FILE NO.: 13-013

DATE: MARCH, 2023
 TAX MAP - GRID: 23-6&12
 SHEET: 42 OF 45





SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHRUBS *				
⊗	5	CORNUS SERICEA 'RUBY'	18"-24" SPR.	CONTAINER
⊗	1	ITEA VIRGINICA 'HENRI'S GARNET'	18"-24" SPR.	CONTAINER
HERBACEOUS *				
⊗	210	PROVIDE AN EVEN MIX OF THE FOLLOWING PLANTS IN EACH MICRO-BIO: -HERMEROCALLIS 'STRAWBERRY CANDY' DAYLILY -HERMEROCALLIS 'LOAN SENIOR' DAYLILY -KALMIA ANGUSTIFOLIA/SHEEP LAUREL -ELEGCHARIS OVATA OBTUSA/BLUNT SPIKE RUSH	18" O.C.	CONTAINER

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways MK
 Date: 05/18/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 6/6/23

Chief, Development Engineering Division JP
 Date: 6-5-23

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-1186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	REVISION
AWL	LMW	DEV	03/05/2023	REVISED MBR'S PER GRADING CHANGES
			2022-10-26	ADDED INFO TO CONSTRUCT MBR-428 & UPDATED TABLES ACCORDINGLY

PREPARED FOR:
 WESTMOUNT DEVELOPMENT CORPORATION
 307 INTERNATIONAL CIRCLE, SUITE 130
 HUNT VALLEY, MARYLAND 21030
 410-489-4489
 ATTN.: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2975
 EXPIRATION DATE: MAY 28, 2024
 3/8/23

REVISED STORMWATER MANAGEMENT DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
 A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	R-ED	13-013
DATE	TAX MAP - GRID	SHEET
MARCH, 2023	23-6&12	43 OF 45

ESD COMPUTATION SUMMARY

ON LOT STORMWATER MANAGEMENT PRACTICES

NARRATIVE

INTRODUCTION

THIS REPORT SUMMARIZES THE STORMWATER MANAGEMENT DESIGN FOR THE PHASE FOUR SITE OF WESTMOUNT. IT INCLUDES STORMWATER MANAGEMENT PRACTICES, JUSTIFIES WHY THOSE PRACTICES ARE USED, AND THE COMPUTATIONS THAT SUPPORT THEM. THE REPORT REVIEWS EXISTING AND PROPOSED SITE CONDITIONS, WHILE INDICATING ANY IMPACTS OR AFFECTS THAT THE LATTER MAY HAVE ON THE FORMER, AND HOW THOSE POSSIBLE IMPACTS ARE BEING CONTROLLED.

SITE DESCRIPTION

WESTMOUNT IS LOCATED IN THE SECOND ELECTION DISTRICT OF HOWARD COUNTY. IT IS BOUNDED BY FREDERICK ROAD (MD ROUTE 144A) TO THE NORTH, THE KINANS-WALLACE PARK AND NEIGHBORHOODS SUCH AS CHATEAU RIDGE AND CENTENNIAL MANOR ARE TO THE EAST, AND THE DOUGHERGAN MANOR IS TO THE WEST. KINGSBRIDGE AT BURLEIGH MANOR IS ADJACENT TO A PORTION OF THE SOUTH BOUNDARY OF THE SITE. IT SHOULD BE MENTIONED THAT THE REMAINING PROPERTY ADJACENT TO OUR SITE TO THE SOUTH AND ALL OF THE AREA TO THE WEST HAS BEEN PLACED IN AGRICULTURAL PRESERVATION PARCELS AND CAN NEVER BE DEVELOPED. THE OWNER OF THE PROPERTY BEING DEVELOPED ALSO HAS CONTROL OF THE PRESERVATION PARCELS TO THE WEST. THE LIMIT OF PHASE FOUR IS LOCATED IN THE SOUTHERN SIDE OF WESTMOUNT. IT IS BOUNDED BY THE PHASE THREE DEVELOPMENT TO THE NORTH, RESIDENTIAL NEIGHBORHOODS TO THE SOUTH AND EAST, WITH THE AGRICULTURAL PRESERVATION TO THE WEST.

THE ZONING FOR THIS PROPERTY IS R-ED AND THE PHASE FOUR LIMIT IS APPROXIMATELY 40 ACRES. ACCESS TO THE SITE WILL BE FROM FINDLEY LANE AND WESTMOUNT PARKWAY. BOTH OF THESE WERE CONSTRUCTED UNDER PHASE THREE. THE PORTION OF WESTMOUNT PARKWAY CONSTRUCTED UNDER PHASE THREE WAS A CONTINUATION OF WESTMOUNT PARKWAY FROM PHASES ONE AND TWO, WHICH ULTIMATELY INTERSECTS WITH MD ROUTE 144A. THE MAIN ROAD (WESTMOUNT PARKWAY) HAS BEEN DESIGNED WITH THE INPUT OF FIRE AND RESCUE. OUR CLIENT RECOGNIZED EARLY ON IN THE PROCESS THAT SERVING THIS MANY LOTS WITH ONLY ONE WAY IN AND OUT WOULD GIVE FIRE AND RESCUE CONCERN. TO ADDRESS THEIR CONCERNS, WESTMOUNT PARKWAY WAS DESIGNED WITH LARGE SKEWING RADI AND PERIODIC BREAKS IN THE MEDIAN FOR THE FIRE TRUCK TO GET TO THE OTHER SIDE IF THE NEED SHOULD ARISE.

PHASE FOUR HAS BEEN GRADED AS PART OF THE PHASE THREE CONSTRUCTION (P 17-00). THIS WAS DONE SO THAT THE FOREST CONSERVATION OBLIGATION FOR THE SITE COULD BE SATISFIED WITH THOSE PLANS AND THE PLANTED MATERIAL COULD BE MORE MATURE WHEN THE HOMES WITHIN PHASE FOUR WERE CONSTRUCTED. AS A RESULT OF THE MASS GRADING, THE SITE IS CONSIDERED A MEADOW WITH MILD GRASSES IN THE AREAS OF THE FUTURE ROADS AND MUCH OF THE FUTURE LOT AREAS WITH SOME STEEPER SLOPES ALONG THE PERIMETER. THE SITE DRAINS PREDOMINANTLY FROM THE SOUTH AND WEST TO A TRIBUTARY THAT RUNS UP A PORTION OF THE PHASE FOUR LIMITS. THE TRIBUTARY HAS ANALYZED AS PART OF THE PRELIMINARY EQUIVALENT SKETCH PLAN. THE COMPUTATIONS FOR THE FLOODPLAIN STUDY HAVE BEEN PROVIDED IN A SEPARATE REPORT. THESE AREAS EVENTUALLY DRAIN TO THE LITTLE PATUXENT RIVER. THE SITE LIES WITHIN THE LITTLE PATUXENT WATERSHED. THE LITTLE PATUXENT RIVER IS A TYPE IV-P STREAM.

IN ADDITION TO THE FLOODPLAIN, THE SITE CONTAINS STEEP SLOPES, NETLANDS, AND STREAMS. ANY DISTURBANCES OF THESE AREAS HAVE BEEN DETERMINED AS NECESSARY BY THE DEPARTMENT OF PLANNING AND ZONING IN REVIEW OF THE PRELIMINARY EQUIVALENT SKETCH PLAN.

THE SITE IS SUBJECT TO A DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT (DRRA) WHICH IDENTIFIES THE DEVELOPMENT CRITERIA FOR THE PROJECT.

STORM DRAIN

STORM DRAIN INLETS ARE USED TO COLLECT RUNOFF FROM THE ROAD AND LOT DRAINAGE. THE STORM DRAIN WILL TAKE THE RUNOFF TO A MICRO-BIORETENTION FACILITY. THE RUNOFF THAT DOES NOT INFILTRATE AT THE MICRO-BIORETENTION FACILITY, WILL BE COLLECTED BY THE UNDER DRAIN OR OVERFLOW RISER AND ENTER A STORM DRAIN SYSTEM THAT WILL OUTFALL THE RUNOFF TO AN OPEN SPACE. OTHER WATER WILL ENTER THE STORM DRAIN SYSTEM BY OVERLAND FLOW TO A MICRO-BIORETENTION FACILITY, EITHER AS SHEET FLOW OR BY A SWALE.

FACTORS FOR THE STORM DRAIN DRAINAGE AREAS WERE ESTABLISHED BASED ON TWO TYPICAL CONDITIONS FOUND THROUGHOUT THE SITE: 1) DRAINAGE AREA CONSISTS PRIMARILY OF OPEN SPACE (C=0.34), AND 2) DRAINAGE AREA CONSISTS PRIMARILY OF RESIDENTIAL LOTS (C=0.73).

WE BELIEVE THAT THE MANNER IN WHICH WE WILL OUTFALL THE RUNOFF, ALONG WITH THE SEDIMENT CONTROL MEASURES TAKEN DURING CONSTRUCTION, THE NATURAL VEGETATION AND ECO-SYSTEM THAT EXISTS TODAY WILL NOT BE ADVERSELY IMPACTED AND WILL CONTINUE TO THRIVE. ALSO, BECAUSE THE STORM DRAIN SYSTEM OUTFALLS TO OPEN SPACE, IT DOES NOT AFFECT ANY EXISTING STORM DRAIN UTILITIES.

WATER AND SEWER

PROPOSED STORMWATER MANAGEMENT FACILITIES HAVE BEEN LOCATED IN SUCH A WAY SO THAT SEWER OUTFALLS AND WATER MAINS CONNECTING MULTIPLE PHASES DO NOT RUN ALONG COMMON PROPERTY LINES. THIS ALLOWS FOR BOTH THE INITIAL CONSTRUCTION AND FUTURE MAINTENANCE OF THE PUBLIC SYSTEMS.

SEDIMENT CONTROL

SEDIMENT CONTROL FOR THE SITE WILL CONSIST OF PERIMETER BARTH DIGS TO DIRECT THE RUNOFF TO SEDIMENT TRAPS AND SEDIMENT BASINS. SILT FENCE OR SUPER SILT FENCE WILL BE UTILIZED IN AREAS THAT ARE CLOSE IN PROXIMITY AND THE DRAINAGE AREA TO THE DEVICE IS APPROPRIATE. THE LOCATION OF PERMANENT STORMWATER MANAGEMENT WAS TAKEN INTO CONSIDERATION DURING THE DESIGN OF SEDIMENT CONTROL. WE HAVE ALSO PROVIDED STOCKPILE AREAS FOR THE TEMPORARY STORAGE OF EXCESS MATERIAL THAT WILL BE GENERATED BY THE STORMWATER MANAGEMENT FACILITIES. AGAIN, BECAUSE THIS AREA HAS BEEN MASS GRADED, WE DO NOT ANTICIPATE THE NEED FOR STOCKPILING MATERIAL, BUT AREAS HAVE BEEN DESIGNATED. THE SITE DOES BALANCE WITHIN ITSELF, THEREFORE, AN OFFSITE AREA FOR EXCESS OR BORROW MATERIAL WILL NOT BE REQUIRED.

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE RECENTLY REVISED MDE STORMWATER MANAGEMENT DESIGN MANUAL. BASED ON TABLE 5.3, THIS SITE HAS A TARGET PE OF 18". THE METHODOLOGY APPLIED IN OUR DESIGN AND THE FACILITIES BEING USED TO SATISFY OUR ESD VOLUMES FOLLOW THE HIERARCHY OF THE DESIGN MANUAL GUIDELINES AS THE PREFERRED MEANS OF PROVIDING ESD TO THE BMP. IN ORDER TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS, A COMBINATION OF RAIN BARRELS, DRY WELLS, AND MICRO-BIORETENTION FACILITIES WILL BE USED.

ALTHOUGH THE PERCENT IMPERVIOUS FOR THE AREA WITHIN OUR LIMIT OF DISTURBANCE IS 40%, THE TARGET PE VALUES WERE DETERMINED BASED ON A CONSERVATIVE SITE IMPERVIOUSNESS OF 50%. THIS SITE HAS MANY GREEN AREAS WITHIN IT, WHICH BRINGS THE COMPOSITE PERCENT IMPERVIOUS AREA DOWN, BUT EACH FACILITY HAS BEEN DESIGNED ON A CASE BY CASE BASIS AND THE PERCENTS OF IMPERVIOUS AREA WILL VARY. THE EXISTING SITE CONDITION CONSISTED OF NO IMPERVIOUS AREA.

DEPENDS ON THE LOT CONFIGURATION, THE ROOFTOP DRAINAGE WILL BE TREATED BY A COMBINATION OF RAIN BARRELS AND DRY WELLS. FOR LOTS THAT BACK TO OPEN SPACE, THE BACK HALF OF THE ROOF WILL BE TREATED BY DRY WELLS AND RAIN BARRELS. THE DRY WELLS WERE DESIGNED TO PROVIDE THE FULL ESD VOLUME FOR THE ROOF. THE NUMBER OF DRY WELLS BEING PROPOSED AND THE USE OF MICRO-BIORETENTION FACILITIES WILL GENERATE THE R_{av} REQUIRED FOR THE SITE. THE RAINWATER HARVESTING WILL BE FULFILLED BY 200 GALLON RAIN BARRELS TO ASSIST IN TREATING THE RUNOFF FROM THE BACK HALF OF ROOFS. A BENEFIT OF USING MANY OF THE STORMWATER MANAGEMENT DEVICES IS THAT THEY REDUCE THE SURFACE AREA REQUIRED FOR THE MICRO-BIORETENTION FACILITIES, WHILE REQUIRING LITTLE SURFACE AREA THEMSELVES.

MICRO-BIORETENTION FACILITIES WILL BE LOCATED THROUGHOUT THE SITE ON OPEN SPACE LOTS. THESE FACILITIES WILL TREAT THE ROAD AREA AND ANY LOT AREA DRAINING TO THE FACILITY BY EITHER OVERLAND FLOW OR PIPING. ESD STORAGE IN MICRO-BIORETENTION FACILITIES IS PROVIDED IN THE 1/2 OF PONDING ABOVE THE FACILITY. ALL OF THE MICRO-BIORETENTION FACILITIES WILL HAVE AN UNDER DRAIN SYSTEM AND AN OVERFLOW INLET TO PASS LARGE STORMS. IF THE FACILITY CAN PROVIDE THE FULL PE AND IS ADJACENT TO AN OPEN SPACE LOT DRAINING AWAY FROM THE SITE, THE FACILITY WILL OUTFALL TO THE OPEN SPACE LOT.

THE ENVIRONMENTAL SITE DESIGN PRESENTED IN THIS REPORT UTILIZES VARIOUS TYPES OF FACILITIES, SWALES, ETC. TO CAPTURE THE RUNOFF IN A NUMBER OF LOCATIONS WITHIN A WATERSHED IN AN ATTEMPT TO RECHARGE THE GROUNDWATER IN SEVERAL LOCATIONS. WE BELIEVE THIS IS MUCH BETTER THAN RELYING ON ONE OR TWO LOCATIONS, MANY TIMES LOWER IN THE SITE'S WATERSHED, AND NOT BEING EFFECTIVE. THE PROPOSED APPROACH REDUCES THE FOOTPRINT REQUIRED FOR THE ABOVE GROUND FACILITY NEEDED TO PROVIDE THE WATER QUALITY, THEREBY PRESERVING THE EXISTING VEGETATION.

MOST MICRO-BIORETENTION FACILITIES WILL BE COUNTY OWNED AND JOINTLY MAINTAINED BY THE COUNTY AND THE HOMEOWNERS ASSOCIATION (HOA). ANY FACILITIES THAT PRIMARILY TREAT LOT RUNOFF WILL BE PRIVATELY OWNED AND MAINTAINED BY HOA. ALL ON LOT DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE INDIVIDUAL HOME OWNERS.

CONCLUSION

WE BELIEVE THAT BY PROVIDING THE NUMBER OF MICRO-BIORETENTION FACILITIES AS WE HAVE, ALONG WITH THEIR LOCATIONS AND THE OTHER DEVICES BEING PROPOSED, WE HAVE CREATED A STRATEGY THAT ALLOWS FOR THE PROPOSED DEVELOPMENT WITHOUT ADVERSELY AFFECTING THE RECEIVING WATERS AND OTHER ENVIRONMENTALLY SENSITIVE AREAS.

THE DESIGN FOR BOTH STORMWATER MANAGEMENT AND SEDIMENT CONTROL, PRESENTED IN THIS REPORT AND ON THE FINAL PLAN DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES BOTH DURING AND AFTER CONSTRUCTION.

THE DESIGN ALSO DOES NOT ADVERSELY IMPACT THE EXISTING UTILITIES IN THE AREA. THE PROPOSED WATER AND SEWER ARE CONSISTENT WITH THE MASTER PLAN.

THIS FINAL PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE LATEST HOWARD COUNTY STANDARDS. THE DESIGN PRESENTED WILL SERVE TO UPHOLD THE INTEGRITY OF THE WATERSHED.

THE FOLLOWING RESOURCES WERE USED IN THE DESIGN OF THESE PLANS:

- TR-55 - PREPARED BY USDA SOIL CONSERVATION SERVICE;
- TR-20 - PREPARED BY USDA SOIL CONSERVATION SERVICE;
- HOWARD COUNTY SHM DESIGN MANUAL VOLUMES 1-4;
- BENTLEY CULVERTMASTER;
- 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL;

GENERAL PERFORMANCE STANDARDS FOR STORMWATER MANAGEMENT

- STANDARD #1 THROUGH THE USE OF PERVIOUS CONCRETE IN THE DRIVEWAYS AND SIDEWALKS, DRYWELLS, AND MICRO BIORETENTION FACILITIES, WE HAVE REDUCED THE FOOTPRINT OF ABOVE GROUND FACILITIES.
- STANDARD #2 THROUGH THE USE OF THE DEVICES MENTIONED IN NUMBER 1 ABOVE, WE HAVE ADEQUATELY TREATED THE RUNOFF BEFORE IT ENTERS A JURISDICTIONAL NETLAND OR WATERS OF THE STATE OF MARYLAND.
- STANDARD #3 WE BELIEVE THE LOCATIONS OF THE DEVICES AND THE TYPES OF DEVICES BEING USED PROVIDES THE ABILITY FOR THE GROUNDWATER TO BE RECHARGED AT PRE-DEVELOPMENT RATES.
- STANDARD #4 MANAGEMENT HAS BEEN PROVIDED WITH THE USE OF PERVIOUS CONCRETE, DRYWELLS MICRO BIORETENTION FACILITIES, AND RAINBARRELS.
- STANDARD #5 SINCE THE DEVICES PROPOSED HAVE BEEN SIZED TO CAPTURE THE REQUIRED VOLUME DRAINING TO IT, AND HAVE BEEN DESIGNED TO THE CRITERIA OUTLINED IN THE DESIGN MANUAL, THE FIRST ASPECT OF THIS STANDARD HAS BEEN SATISFIED. SECONDLY, WE WILL PROVIDE AT FINAL PLAN STAGE THE OPERATIONS AND MAINTENANCE SCHEDULE TO BE IMPLEMENTED TO INSURE THE DEVICES' LONGEVITY. THE FACT THAT THE SITE WILL BE MONITORED BY A HOWARD COUNTY INSPECTOR AS WELL AS THE GEOTECHNICAL ENGINEER WILL ALSO PROVIDE CONFIDENCE THAT THE FACILITIES WILL BE CONSTRUCTED PROPERLY. NO DETERMINATION HAS BEEN MADE THAT ANY MORE THAN THE MANAGEMENT OF THE ONE YEAR STORM WILL BE REQUIRED. HOWEVER, IF HOWARD COUNTY SHOULD DECIDE THAT MANAGEMENT OF THE LARGER STORM EVENTS IS REQUIRED, OUR DESIGN WILL BE MODIFIED TO PROVIDE THE ADDITIONAL MANAGEMENT.
- STANDARD #6 THE ENTIRE ONE YEAR VOLUME HAS BEEN ESTABLISHED FOR THE SITE. THEREFORE, NO ADDITIONAL MEASURES ARE REQUIRED TO PROVIDE CFV.
- STANDARD #7 RUNOFF FROM THIS SITE DOES NOT DISCHARGE TO CRITICAL AREAS. THEREFORE, THIS STANDARD DOES NOT APPLY.
- STANDARD #8 THE OPERATIONS AND MAINTENANCE SCHEDULES ARE PROVIDED WITH THESE PLANS. AGREEMENTS WILL BE PUT IN PLACE BETWEEN THE OWNER AND THE COUNTY TO ENSURE THE LONG TERM CARE OF THE FACILITIES AT THAT TIME.
- STANDARD #9 THE FACT THAT EACH FACILITY HAS BEEN DESIGNED IN ACCORDANCE WITH THE MDE DESIGN MANUAL, WOULD INDICATE THAT EACH FACILITY HAS AN ACCEPTABLE FORM OF PRE-TREATMENT.
- STANDARD #10 THIS SITE DOES NOT QUALIFY FOR RE-DEVELOPMENT. THEREFORE, THIS STANDARD DOES NOT APPLY.
- STANDARD #11 THIS PROJECT IS RESIDENTIAL AND DOES NOT REQUIRE AN NOI FOR THE NPDES GENERAL PERMIT. THEREFORE, THIS STANDARD DOES NOT APPLY.
- STANDARD #12 THIS SITE DOES NOT MEET THE DEFINITION OF A SITE THAT HAS THE POTENTIAL FOR HIGHER POLLUTANT LOADS. THEREFORE, THIS STANDARD DOES NOT APPLY.
- STANDARD #13 THIS SITE IS BEING REVIEWED BY HOWARD COUNTY. UPON RECEIPT OF THEIR APPROVAL, THE PLAN WILL BE IN COMPLIANCE WITH THE DESIGN REQUIREMENTS OF HOWARD COUNTY.
- STANDARD #14

Table with columns: DRAINAGE AREA NO., DRAINAGE AREA (AC), IMPERVIOUS AREA (AC), PVIOUS AREA (AC), ESDV REQUIRED (G.F.), ESDV PROVIDED (G.F.), REQUIRED P (IN), PROVIDED P (IN), PUBLIC/PRIVATE/JOINT OWNERSHIP, PUBLIC/PRIVATE/JOINT MAINTENANCE. Includes sub-tables for DA 401-404 and DA 405-418.

Table with columns: LOT NUMBER, ADDRESS, RAINWATER HARVESTING M-1 (NUMBER), DRY WELLS M-5 (NUMBER), LOT NUMBER, ADDRESS, RAINWATER HARVESTING M-1 (NUMBER), DRY WELLS M-5 (NUMBER). Lists lots 295 through 344.

NOTES:

- ALL ON LOT STORMWATER MANAGEMENT DEVICES WILL BE PRIVATE AND OWNED/MAINTAINED BY THE HOMEOWNER.
- PRIVATE STORMWATER MANAGEMENT DEVICES FOR EACH LOT SUBJECT TO A D.O.C.

3) STORMWATER MANAGEMENT FOR THESE LOTS WAS PROVIDED UNDER F 17-00.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (Signature, Date: 05/18/2023)
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING (Signature, Date: 6/16/23)
Chief, Development Engineering Division JP

THIS PLAN SUPERCEDES PLAN SIGNED ON 11/29/2021

GLW PLANNING ENGINEERING SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4188

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, DATE, REVISION. Includes revision notes for MBRs and area changes.

PREPARED FOR: WESTMOUNT DEVELOPMENT CORPORATION
307 INTERNATIONAL CIRCLE, SUITE 130
HUNT VALLEY, MARYLAND 21030
410-489-4489
ATTN: ROBERT GOODIER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2024

REVISED STORMWATER MANAGEMENT NOTES and DETAILS
WESTMOUNT - PHASE 4
LOTS 295-394 AND OPEN SPACE LOTS 395-418
A RESUBDIVISION OF NON-BUILDABLE BULK PARCELS E & F
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: AS SHOWN, R-ED, 13-013, MARCH, 2023, 23-6&12, 44 OF 45

