

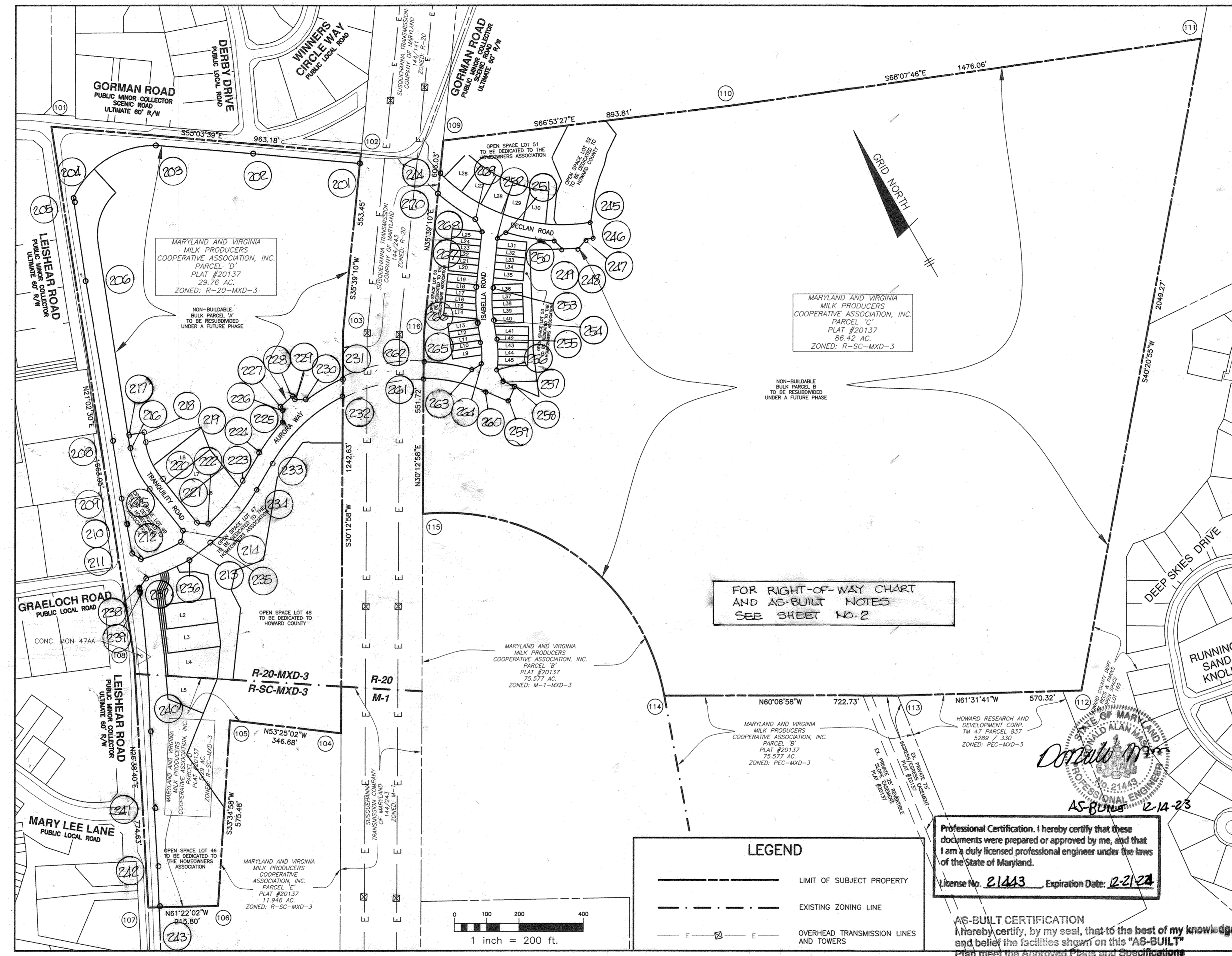
**GENERAL NOTES**

- SUBJECT PROPERTY IS ZONED R-20-MXD-3 AND R-SC-MXD-3 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROJECT BOUNDARY IS BASED ON RECORDED PLAT #20136-37.
- THE EXISTING TOPOGRAPHY IS BASED ON AERIAL SURVEY FLOWN BY POTOMAC AERIAL SURVEYS, INC. IN OCTOBER, 2019 AND SUPPLEMENTED WITH FIELD SURVEY PERFORMED BY BENCHMARK ENGINEERING IN NOVEMBER, 2018.
- THE WETLANDS, STREAMS, THEIR BUFFERS, AND SPECIMEN TREES WERE IDENTIFIED AND FLAGGED BY WETLANDS STUDIES AND SOLUTIONS, INC. IN FEBRUARY, 2018 AND WERE FIELD LOCATED BY BENCHMARK ENGINEERING, INC. IN FEBRUARY, 2018. THE US ARMY CORPS OF ENGINEERING ISSUED AN APPROVED JURISDICTIONAL DETERMINATION OF THE WETLAND AREAS ON THIS SITE, DATED NOVEMBER 30, 2018.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING, AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, THEIR REQUIRED BUFFERS, 100-YEAR FLOODPLAIN OR 25% OR GREATER STEEP SLOPES WITH MORE THAN 20,000 SF OF CONTIGUOUS AREA UNLESS AN ALTERNATIVE COMPLIANCE IS APPROVED OR A NECESSARY DISTURBANCE DETERMINATION HAS BEEN MADE BY DEPARTMENT OF PLANNING AND ZONING AND NOTED IN THESE GENERAL NOTES.
- THIS SITE IS WITHIN THE METROPOLITAN DISTRICT PER THE HOWARD COUNTY PLAN FOR WATER AND SEWER, DATED NOVEMBER, 2015.
- WATER AND SEWER IS PUBLIC. WATER AND SEWER SERVICE TO THESE LOTS SHALL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF, THERE ARE NO CEMETERIES OR HISTORIC STRUCTURES LOCATED ON THIS SITE.
- THE REQUIRED PRE-SUBMISSION MEETING WAS HELD ON APRIL 12, 2018. A SECOND MEETING WAS HELD ON JUNE 20, 2018 AND A THIRD WAS HELD ON NOVEMBER 13, 2018.
- THE FOREST STAND DELINEATION AND REPORT AND THE WETLANDS DELINEATION PLAN AND REPORT WERE PREPARED BY WETLANDS STUDIES AND SOLUTIONS, INC. IN JUNE, 2018 AND APPROVED UNDER S-18-003.
- THE FOREST CONSERVATION OBLIGATION FOR PLAT #21-025, PHASE 1 SECTION 1, IS BEING MET BY THE ONSITE RETENTION OF 4.6 ACRES OF NET TRACT AREA FOREST WITHIN A FOREST CONSERVATION AND THE PLANTING OF 2.8 ACRES. THE ADDITIONAL 1.5 ACRES OF PLANTING PROVIDED UNDER THIS PLAN SHALL BE CREDITED TOWARDS THE OBLIGATION OF FUTURE PHASES.
- A NOISE STUDY IS NOT REQUIRED. THIS PROJECT IS NOT WITHIN THE LIMITS IDENTIFIED IN SECTION 5.2.F.2. OF THE DESIGN MANUAL FOR A NOISE STUDY.
- THE TRAFFIC IMPACT STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC. ON JUNE 29, 2018 AND REVISED ON NOVEMBER 26, 2018 AND FEBRUARY 6, 2019. IT WAS APPROVED WITH THE APPROVAL OF S-18-003.
- THE SPEED STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC. ON SEPTEMBER 10, 2018 WITH THE ACTUAL SPEED COUNTS BEING TAKEN ON APRIL 5, 2018 AND APRIL 6, 2018. IT WAS APPROVED WITH THE APPROVAL OF S-18-003.
- THE GEOTECHNICAL REPORT WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES IN DECEMBER, 2019.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED VIA ENVIRONMENTAL SITE DESIGN TO THE MAXIMUM EXTENT PRACTICAL (ESD TO THE MFP) AND COMPLIES WITH THE "MARYLAND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT ACT OF 2007" AND THE "HOWARD COUNTY DESIGN MANUAL VOLUME 1, CHAPTER 5". THE REPORT WAS PREPARED BY BENCHMARK ENGINEERING IN JANUARY, 2020.
- PROPOSED DEVELOPMENT ON PARCEL 'D' WITHIN THE R-20 ZONE UTILIZES THE OPTIONAL LOT SIZE METHOD SINCE THERE ARE WETLANDS, STREAMS, AND FLOODPLAIN LOCATED ON THAT PARCEL WHICH WILL BE WITHIN AN OPEN SPACE LOT PROPOSED TO BE DEDICATED TO THE HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (SECTION 16.121.a.2. OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS). THE OPTIONAL LOT SIZE SELECTED WAS 12,000 SF WHICH REQUIRES 40% OPEN SPACE AND APPROVED BY DPZ UNDER S-18-003.
- APPLICABLE DPZ FILE REFERENCES: F-08-148, ECP-18-042, S-18-003, WP-20-039, WP-20-099, WP-20-117, P-20-006.
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS AN ALTERNATIVE COMPLIANCE HAS BEEN APPROVED.
- GORMAN ROAD IS DESIGNATED AS A SCENIC ROAD EAST OF LEISHEAR ROAD. A 100-FOOT SCENIC ROAD BUFFER FROM THE GORMAN ROAD RIGHT-OF-WAY HAS BEEN ESTABLISHED PER SECTION 16.125(c)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5751 FOR DETAILS AND COST ESTIMATES.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (DECEMBER, 2017), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ON THE APPROACH SIDE OF A STOP SIGN, NO STREET TREE CAN BE PLANTED WITHIN 30' OF A STOP SIGN.
- TRAFFIC CONTROL DEVICES:
  - THE R-1 "STOP" SIGN AND STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
  - THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
  - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
  - ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED "QUICK PUNCH", SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THE MARYLAND DEPARTMENT OF NATURAL RESOURCES WILDLIFE AND HERITAGE SERVICE HAS DETERMINED THAT THERE ARE NO OFFICIAL STATE OR FEDERAL RECORDS FOR LISTED PLANT OR ANIMAL SPECIES FOR THE SUBJECT SITE, PER DNR LETTER DATED APRIL 19, 2018.
- WP-20-039, AN ALTERNATIVE COMPLIANCE TO SECTION 16.1205(c)(3) TO ALLOW FOR THE REMOVAL OF 6 SPECIMEN TREES WAS APPROVED ON MAY 1, 2020 SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE TREES SHALL BE REPLACED AT A MITIGATION RATE OF 2:1 PER SECTION 16.1216(d) OF THE COUNTY CODE. 12 NATIVE TREES WITH A DBH OF AT LEAST 3 INCHES MUST BE PLANTED AS MITIGATION.
  - THE 12 TREES MUST BE DEPICED ON THE FOREST CONSERVATION AND LANDSCAPE PLAN AND SHALL BE BOND AS PART OF THE LANDSCAPE SURETY. FINAL SUBDIVISION PLAN APPROVAL AND A GRADING PERMIT MUST BE OBTAINED PRIOR TO REMOVAL OF THE SPECIMEN TREES.
  - ONLY SPECIMEN TREES 49, 51, 56, 57, 90, AND 91 ARE TO BE REMOVED.
  - DEPARTMENT OF RECREATION AND PARKS MUST PROVIDE DEVELOPER WRITTEN PERMISSION TO REMOVE SPECIMEN TREES 90 AND 91 WITHIN 30 DAYS OF APPROVAL AND A COPY SUBMITTED TO DPZ. THAT LETTER WAS OBTAINED AND SUBMITTED TO DPZ ON MAY 18, 2020.
  - COMPLIANCE WITH ANY CONDITION IMPOSED BY THE OFFICE OF COMMUNITY SUSTAINABILITY AND DEPARTMENT OF RECREATION AND PARKS.
  - INCLUDE WP-20-039 DECISION AS A GENERAL NOTE ON ALL FUTURE PLANS.
- WP-20-099, AN ALTERNATIVE COMPLIANCE TO SECTION 16.120.c.4 TO ALLOW FOR THE TOWNHOUSE LOTS ALONG THE PRIVATE ROADS LOCATED MORE THAN 200 FEET FROM THE PUBLIC RIGHT-OF-WAY TO NOT HAVE PUBLIC ROAD FRONTAGE WAS APPROVED ON JUNE 24, 2020 SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE APPROVAL IS TO APPLY ONLY TO THE SEVEN PRIVATE ROADS LISTED IN THE REQUEST.
  - THE SEVEN PRIVATE ROADS MUST MEET THE DESIGN STANDARDS FOR PUBLIC ROADS AS REQUIRED BY DPW'S DESIGN MANUAL.
  - INCLUDE THIS NOTE ON THE PRELIMINARY PLAN, FINAL PLAN, AND SITE DEVELOPMENT PLAN(S).
- WP-20-117, AN ALTERNATIVE COMPLIANCE TO SECTION 16.116(c)(2)(i) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO DISTURB A 50-FOOT INTERMITTENT STREAM BANK BUFFER FOR THE CONSTRUCTION OF A MINOR COLLECTOR ROAD (AURORA WAY) AND ASSOCIATED UTILITIES AND STORMWATER MANAGEMENT PRACTICES WAS APPROVED ON JULY 20, 2020 SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE DISTURBANCE TO THE STREAM BANK BUFFER SHALL BE LIMITED TO THE 7,987 SF AREA THAT IS SHOWN ON THE PLAN EXHIBIT FILED WITH THIS PETITION. THE STREAM BUFFER MUST BE APPROPRIATELY STABILIZED, AND ADDITIONAL MEASURES MUST BE PROVIDED TO PROHIBIT EROSION WITHIN THE REMAINING STREAM CHANNELS. ALL OUTFALLS AND DISCHARGE POINTS SHALL BE ARMORED TO ENSURE THE PRESERVATION OF DOWNSTREAM CHANNELS.
  - MITIGATION FOR THE DISTURBED AREA MUST BE IN THE FORM OF ADDITIONAL REFORESTATION AND INCLUDED AS PART OF THIS PROJECT'S REFORESTATION PLAN FOR FOREST CONSERVATION.
  - INCLUDE THIS ALTERNATIVE COMPLIANCE PETITION DECISION AS A GENERAL NOTE ON THE PRELIMINARY PLAN, THE FINAL PLAN AND SITE DEVELOPMENT PLAN(S). THIS NOTE SHALL INCLUDE THE ALTERNATIVE COMPLIANCE FILE NUMBER, THE REGULATORY SECTION, THE DECISION DATE, AND THE CONDITIONS OF APPROVAL.
  - THE APPLICANT SHALL OBTAIN ALL FEDERAL, STATE, AND LOCAL AUTHORIZATIONS FOR DISTURBANCES TO ENVIRONMENTAL FEATURES. REFERENCE THE APPLICABLE PERMITS AND TRACKING NUMBERS ON ALL GRADING PERMITS.
- ON JUNE 5, 2020, THE DEPARTMENT OF PLANNING AND ZONING, AFTER CONSULTATION WITH THE PLANNING DIVISION, APPROVED A REQUEST TO ALTER THE STREAM CHANNEL, STREAM BUFFER, WETLANDS BUFFER, 100-YEAR FLOODPLAIN, SPECIMEN TREE, AND STEEP SLOPE DISTURBANCES ASSOCIATED WITH THE OFFSITE SEWER CONSTRUCTION ON OPEN SPACE LOT 169 AND THE ON-SITE STREAM CROSSING OF THE SEWER AS ESSENTIAL OR NECESSARY DISTURBANCES IN ACCORDANCE WITH SECTION 16.116(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

# FINAL ROAD CONSTRUCTION PLANS

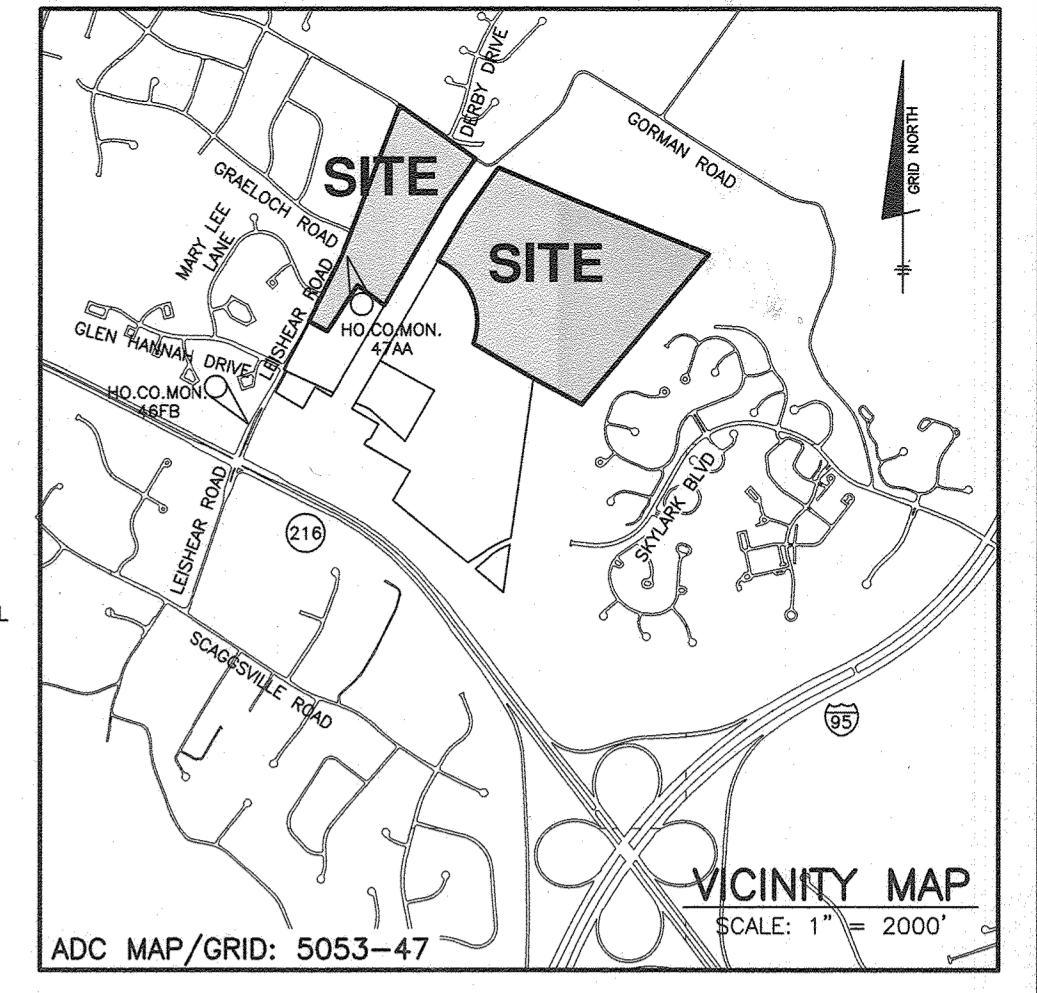
# WELLINGTON FARMS

## PHASE 1 SECTION 1



**Phasing Chart**

Phase	No. of Units	Allocation Year	F-Plan Filing Milestone
1	250	2021	August 10, 2021
2	144	2022	Within 1-year of initial submittal of Phase 1 F-plans



**BENCHMARKS**

NAD '83 HORIZONTAL - NAVD88 VERTICAL

HO. CO. #4679  
STAMPED BRASS DISK SET ON TOP OF A 3/8" DEEP COLUMN OF CONCRETE.  
N 537149.785' E 1347468.998'  
ELEVATION: 317.217'

HO. CO. #474A  
STAMPED BRASS DISK SET ON TOP OF A 3/8" DEEP COLUMN OF CONCRETE.  
N 538961.645' E 1348439.009'  
ELEVATION: 362.621'

**Site Analysis Data Chart**

	Phase 1 Section 1		Total
	R-20	R-SC	
<b>Zoning</b>			
Gross Area	29.76 acres	91.71 acres	121.47 acres
100-yr Floodplain	0.07 acres	0.82 acres	0.89 acres
Steep Slopes 25% or greater (outside floodplain)	0.20 acres	0.82 acres	1.02 acres
<b>Net Area</b>	29.49 acres	90.07 acres	119.56 acres
Number of Units Proposed (SFD)	7	6	13
Number of Units Proposed (SFA)	0	32	32
Number of lots/units proposed (Total)	7	38	45
Area of Open Space Required *	11.90 acres	22.93 acres	34.83 acres
Area of Open Space Provided	8.70 acres	7.99 acres	16.69 acres
Non-Credited	0.02 acres	0.42 acres	0.44 acres
Credited	8.68 acres	7.57 acres	16.25 acres
Area of Buildable Lots (SFD)	2.22 acres	1.03 acres	3.25 acres
Area of Buildable Lots (SFA)	0.00 acres	1.57 acres	1.57 acres
Area of Bulk Parcels	14.77 acres	78.99 acres	93.76 acres
Area of Proposed Public Road Right-of-way	4.07 acres	2.13 acres	6.20 acres

\* Open Space Required based on 40% of gross for R-20 (Section 16.121.a.2) and 25% of gross for R-SC (Section 16.121.a.2)

**R-SC Density Chart**

Gross Area	91.71 ac
100-yr floodplain	0.82 ac
Steep slopes (outside floodplain)	0.82 ac
<b>Net Area</b>	90.07 ac
Density Allowed (4 units per net acre)	360
Density Proposed	38
Density Remaining	322

**MODERATE INCOME HOUSING UNIT (MIHU) APPLICATION EXEMPTIONS TRACKING**

Total Number of Lots/Units Proposed	45
Total Number of MIHUs Required	5
Number of MIHUs Provided Onsite (Exempt from APFO allocations)	5
Number of APFO Allocations Required (Remaining Lots/Units)	40
MIHU Fee-in-Lieu (Indicate Lot/Unit numbers)	NA

**Parking Chart**

Item	Unit	Zoning Section	Requirement	spaces req.	spaces prov.
SFD Units	13 units	133.D.2.a	2.5 spaces per unit	33	52
SFA Units	32 units	133.D.2.a	2.5 spaces per unit	80	64
<b>Total:</b>				113	116

- Spaces provided include 2 spaces per garage, 2 spaces per driveway.
- Spaces provided include 1 space per garage and 1 space per driveway. additional off-street parking shall be provided upon resubdivision of NBBP 'B' which shall occur immediately after Phase 1 Section 1.

**Recreational Open Space Chart**

Property Zone	Subdivision Section	Requirement	Units	Required (sf)	Credit (sf)	Remainder (sf)
R-20	16.121.a.4.v	200 sf per unit	7	1,400	0	1,400
R-SC	16.121.a.4.vi (SFD)	300 sf per unit	6	1,800	0	1,800
R-SC	16.121.a.4.vi (SFA)	400 sf per unit	32	12,800	0	12,800
<b>Total:</b>				16,000	0	16,000

Note: Recreational Open Space is to be provided via a clubhouse and/or pool which shall be shown upon resubdivision of NBBP 'B' under a future phase/section.

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS

8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BEG-ENGINEERING.COM

**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
previously recorded as Plat No. 20136-20137)

OWNER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

DEVELOPER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
ZONED: R-20-MXD-3 / R-SC-MXD-3  
ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**COVER SHEET**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
SCALE: AS SHOWN SHEET 1 OF 47

**Stormwater Management Information Chart**

MDE Designation	Practice Description	Quantity of Each Practice	ESDv (cf) Required based on individual DA	ESDv (cf) Provided	REv (cf) Provided	Ownership
M-2	Submerged Gravel Wetland	3	23,517	25,609	NA	Private
M-5	Dry Well	37	3,461	3,744	3,744	Private
M-6	Micro Bio-Retention	8	16,584	18,084	4,146	Private
N-2	Disconnect of Non-Rooftop	3	1,740	1,740	NA	Private
<b>Total from P1S1 (F-21-025)</b>			45,302	49,178	7,890	

**THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.**

**THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.**

**NOTE: DEVELOPER TO COORDINATE WITH BUREAU OF UTILITIES SERVICE DIVISION PRIOR TO START OF CONSTRUCTION ABOUT THE RELOCATION OF HO.CO. MONUMENT 47AA**

**NOTE: SEE SHEET 2 FOR MORE DETAILED STORMWATER MANAGEMENT SUMMARY TABLES, LEGEND OF SYMBOLS, ROAD CHART, BOUNDARY COORDINATE CHART, AND CONTINUATION OF GENERAL NOTES.**

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21443 Expiration Date: 2-21-24

**AS-BUILT CERTIFICATION**  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.

Donald Mason, P.E. Date: 2-14-23

**SHEET INDEX**

SHEET	TITLE
1-2	COVER SHEET
3-6	ROAD PLAN AND PROFILES
7-12	LEISHEAR ROAD IMPROVEMENT PLANS
13	GRAELOCH ROAD SIDEWALK IMPROVEMENT PLAN
14-15	STRIPING, SIGNAGE, AND STREET LIGHT PLAN
16	STORM DRAIN DRAINAGE AREA MAP
17-19	STORM DRAIN PROFILES AND DETAILS
20	STORMWATER MANAGEMENT DRAINAGE AREA MAP
21-26	STORMWATER MANAGEMENT DETAILS
27-28	SOIL BORING LOGS
29-31	LANDSCAPE PLAN
32-35	FOREST CONSERVATION PLAN
36-45	GRADING, SEDIMENT, AND EROSION CONTROL PLANS
46-47	TRAFFIC CONTROL PLANS

SEE SHEET 2 FOR CONTINUATION OF GENERAL NOTES

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*James* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS DATE

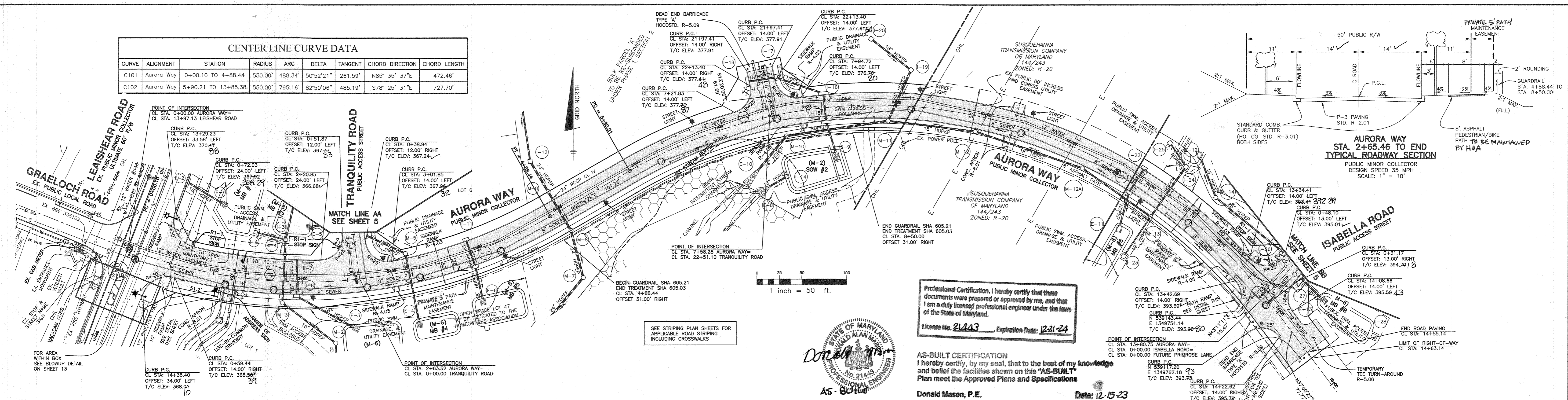
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Jim J. Morris Jr.* 7/16/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John* 7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



**CENTER LINE CURVE DATA**

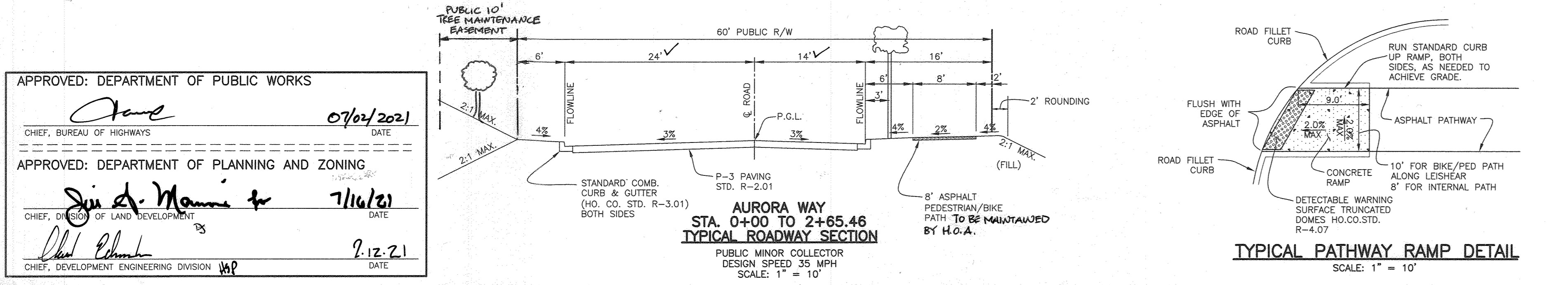
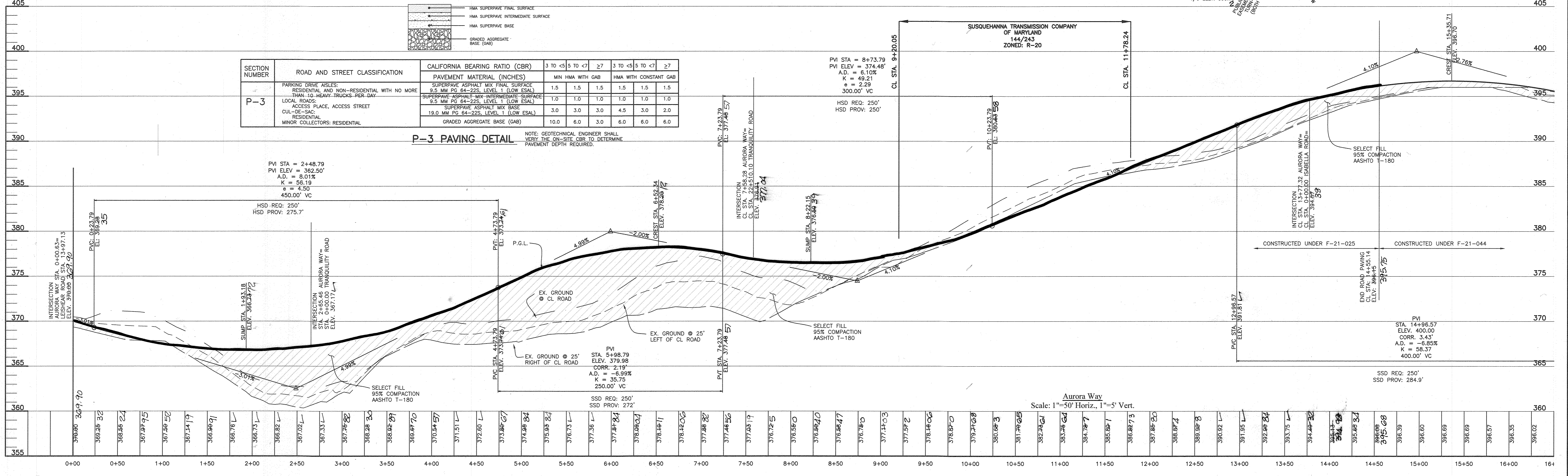
CURVE	ALIGNMENT	STATION	RADIUS	ARC	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C101	Aurora Way	0+00.10 TO 4+88.44	550.00'	488.34'	50°52'21"	261.59'	N85° 35' 37"E	472.46'
C102	Aurora Way	5+90.21 TO 13+85.38	550.00'	795.16'	82°50'06"	485.19'	S78° 25' 31"E	727.70'



Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-31-24



AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-15-23



**BENCHMARK ENGINEERING, INC.**  
 840 BALTIMORE NATIONAL PIKE & SUITE 310A, ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-4105 (F) 410-465-4844  
 WWW.BE-ENGINEERING.COM

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 22390, Expiration Date: 6-30-2023

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MO-3 / R-SC-MO-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

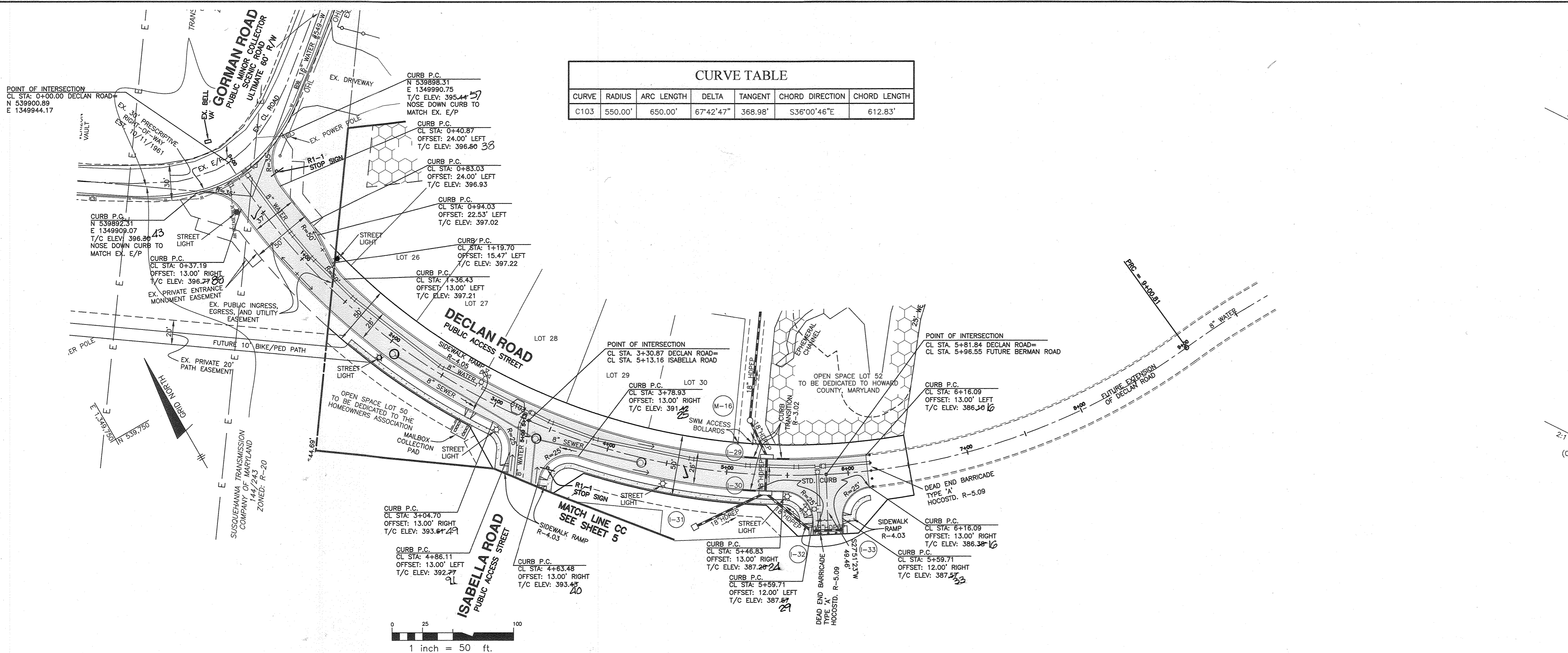
**ROAD PLAN AURORA WAY**

OWNER: ESC WELLINGTON, L.C., 5074 DORSEY HALL DRIVE, SUITE 205, ELLICOTT CITY, MARYLAND 21042, 410-720-3021

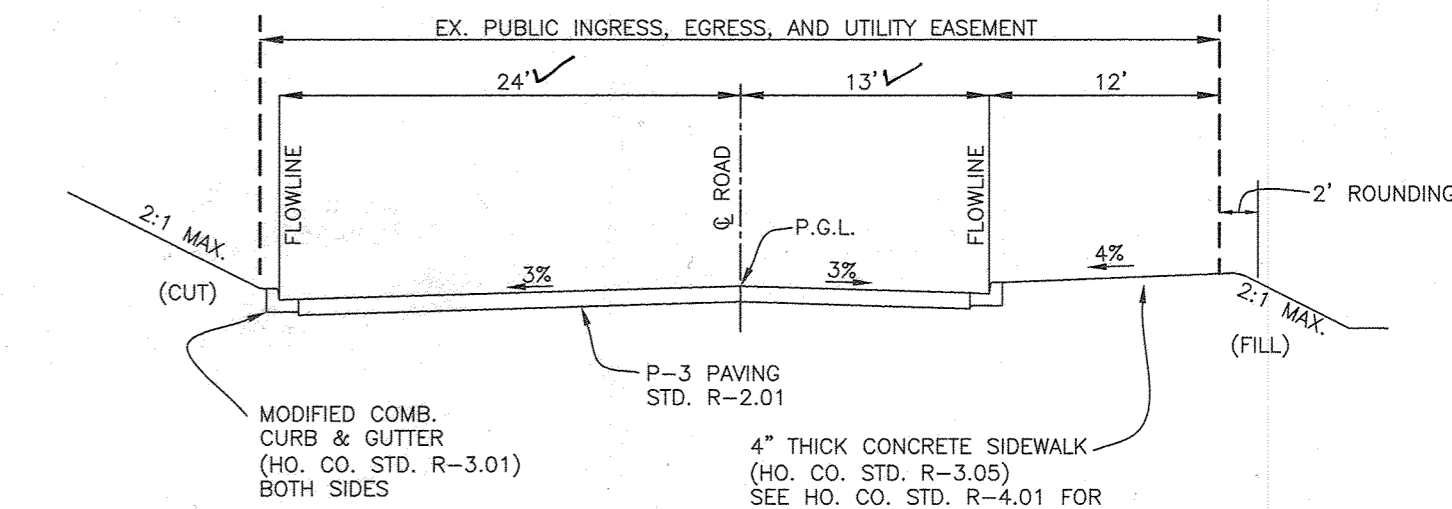
DEVELOPER: ESC WELLINGTON, L.C., 5074 DORSEY HALL DRIVE, SUITE 205, ELLICOTT CITY, MARYLAND 21042, 410-720-3021

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879

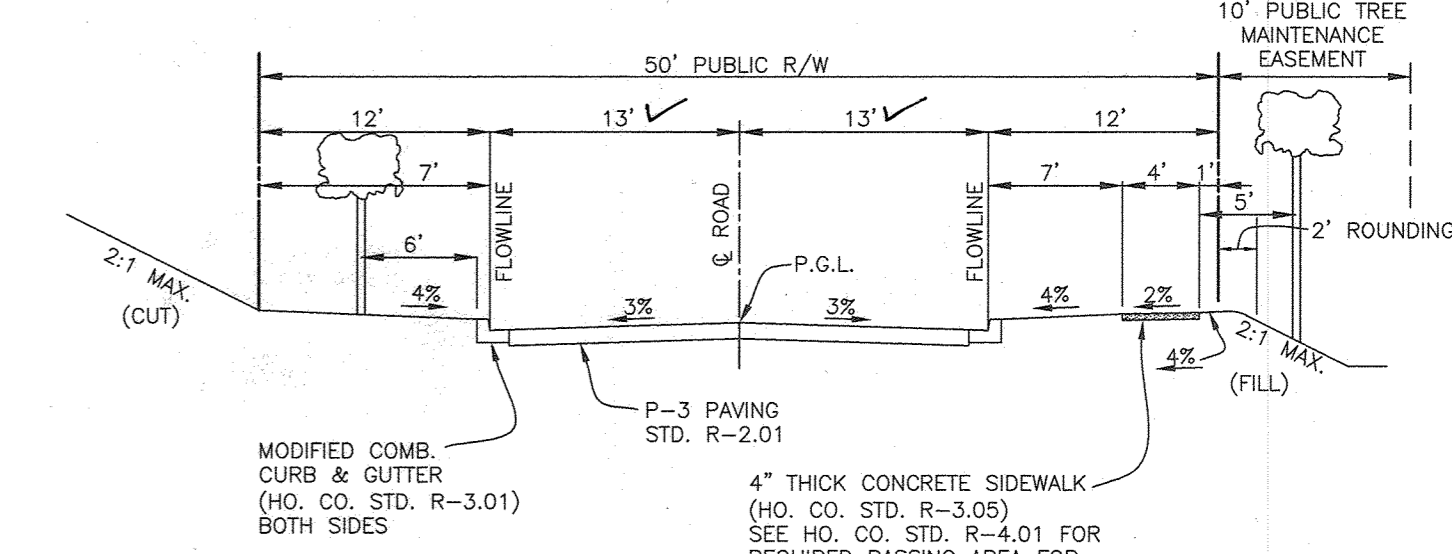
DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 3 OF 47



CURVE	RADIUS	ARC LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C10.3	550.00'	650.00'	67°42'47"	368.98'	S36°00'46"E	612.83'

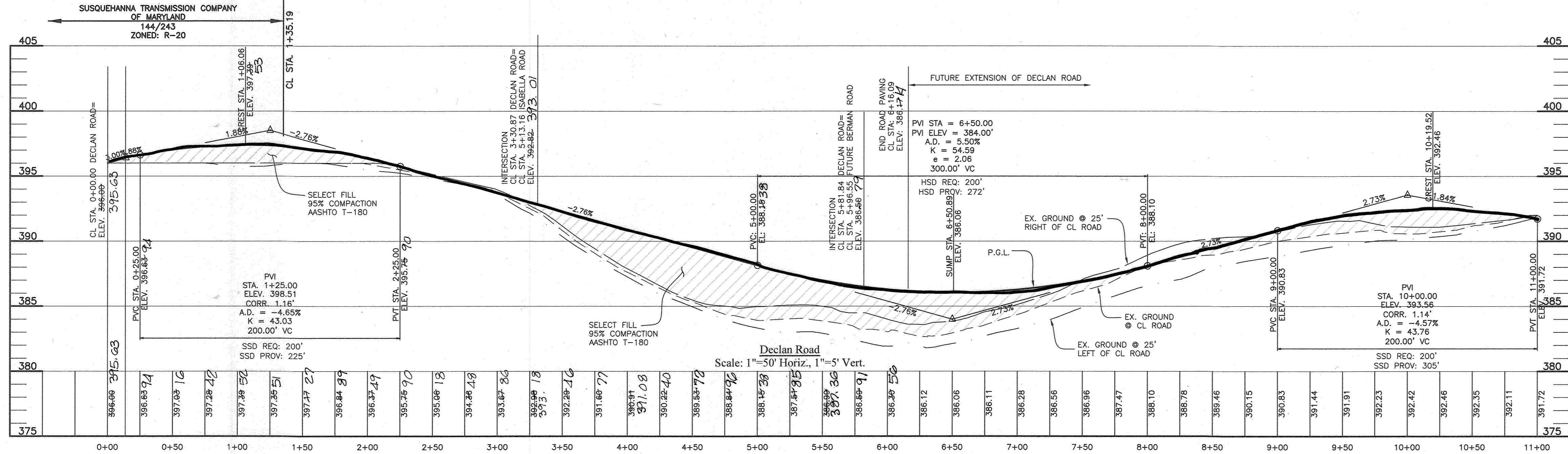


**DECLAN ROAD  
STA. 0+00 TO 0+83.03  
TYPICAL ROADWAY SECTION**  
PUBLIC ACCESS STREET  
DESIGN SPEED: 30 MPH  
SCALE: 1" = 10'



**DECLAN ROAD  
STA. 1+36.43 TO 12+33.50  
TYPICAL ROADWAY SECTION**  
PUBLIC ACCESS STREET  
DESIGN SPEED: 30 MPH  
SCALE: 1" = 10'

NOTE: SEE SHEET 3 FOR P-3 PAVING SECTION DETAIL.



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/14/21  
CHIEF, BUREAU OF PLANNING AND ZONING

*[Signature]* 7-12-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-31-21

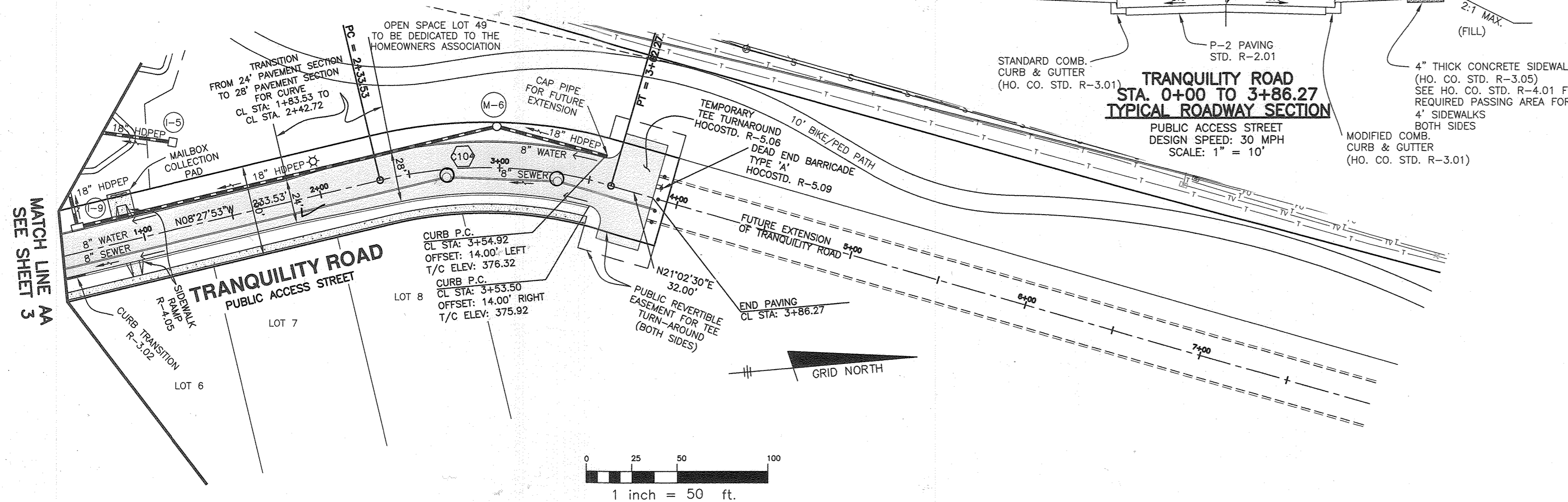
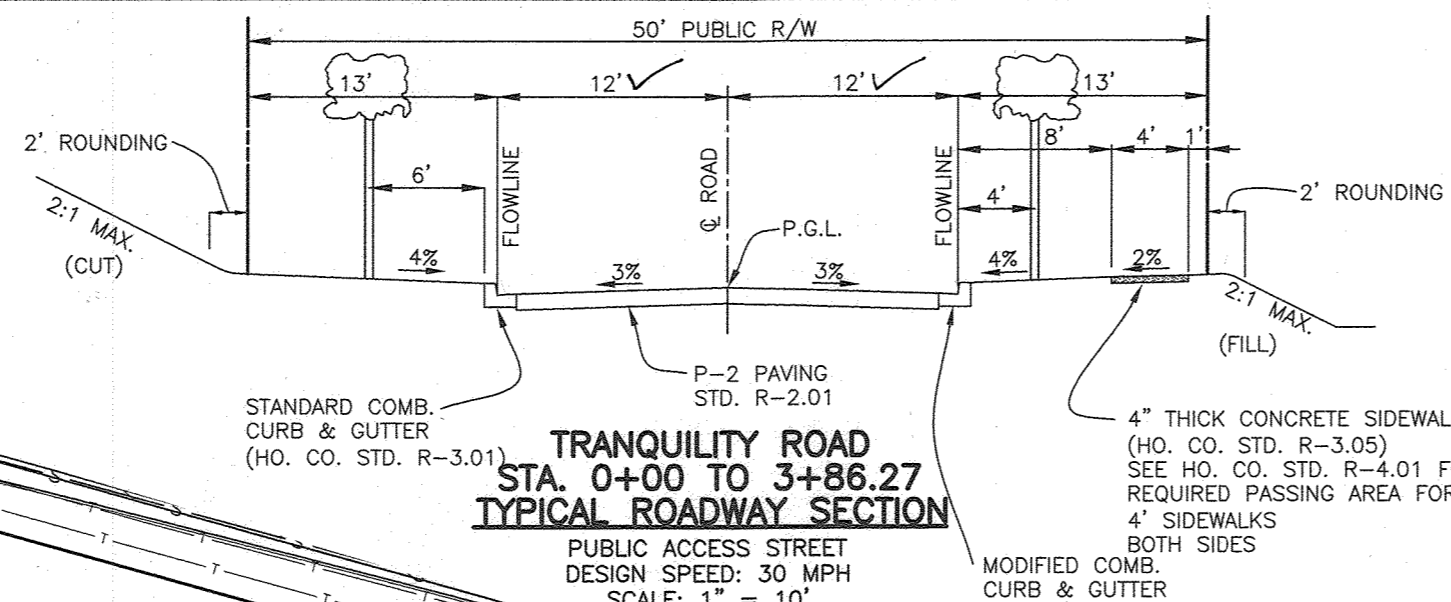
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I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
Donald Mason, P.E. Date: 12-15-23

<p>REVISION STREET LIGHT TYPE (SYMBOL) AT 1120 DECLAN</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	REVISION			
NO.	DATE	REVISION					
<p><b>BENCHMARK ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE &amp; SUITE 315 &amp; ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CVLENGINEERING.COM</p>							
<p><b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)</p>							
<p>OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>							
<p>DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>							
<p>ROAD PLAN DECLAN ROAD</p>							
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879						
DESIGN: DBT	DRAFT: DBT						
SCALE: AS SHOWN	SHEET 4 OF 47						

CENTER LINE CURVE DATA

CURVE	ALIGNMENT	STATION	RADIUS	ARC	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
* C104	Tranquility Road	2+33.53 TO 3+62.27	250.00'	128.75'	29°30'23"	65.83'	N06° 17' 18"E	127.33'

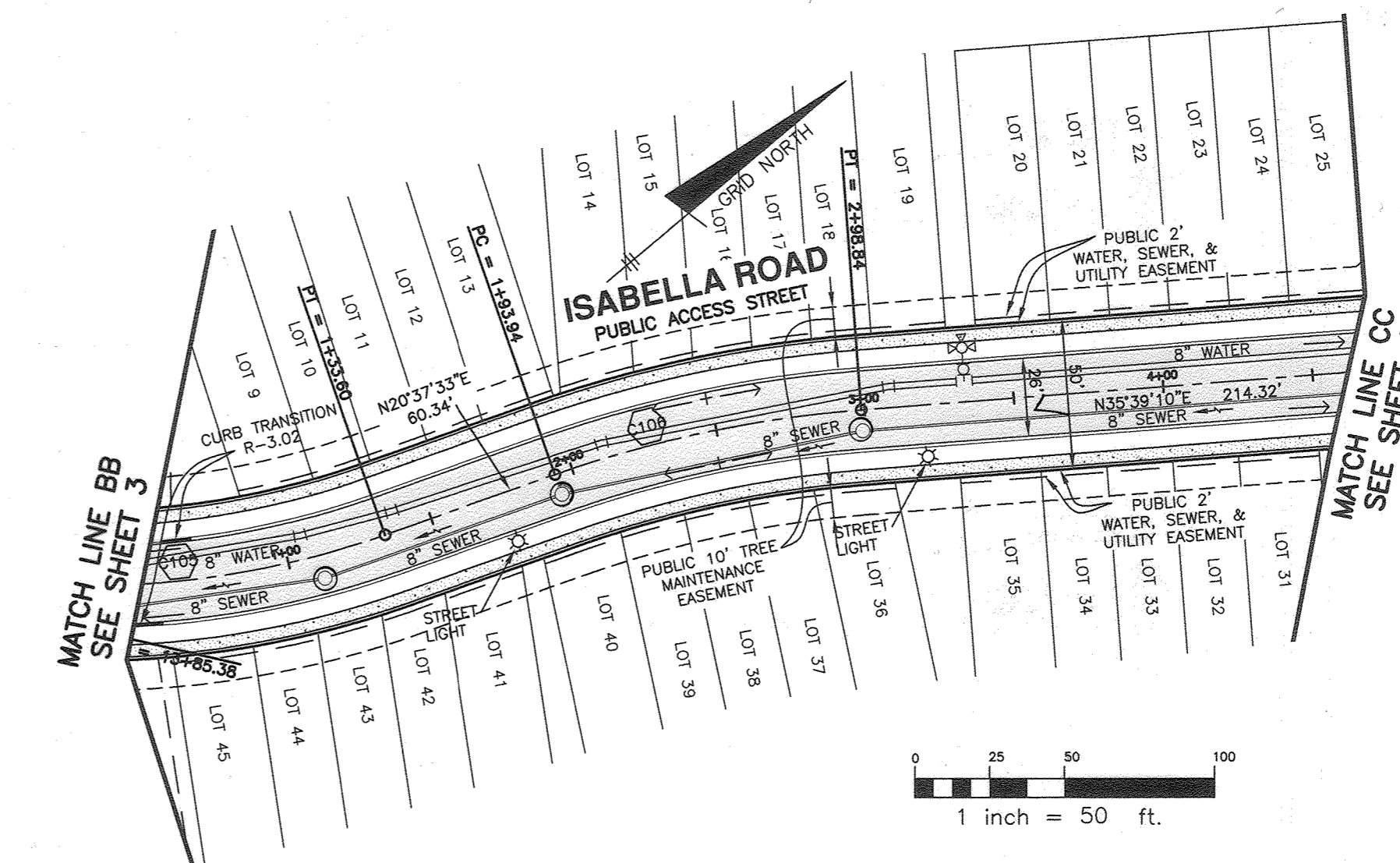
\* DESIGN MANUAL WAIVER APPROVED ON FEBRUARY 13, 2020. SEE GENERAL NOTE 34 ON SHEET 2.



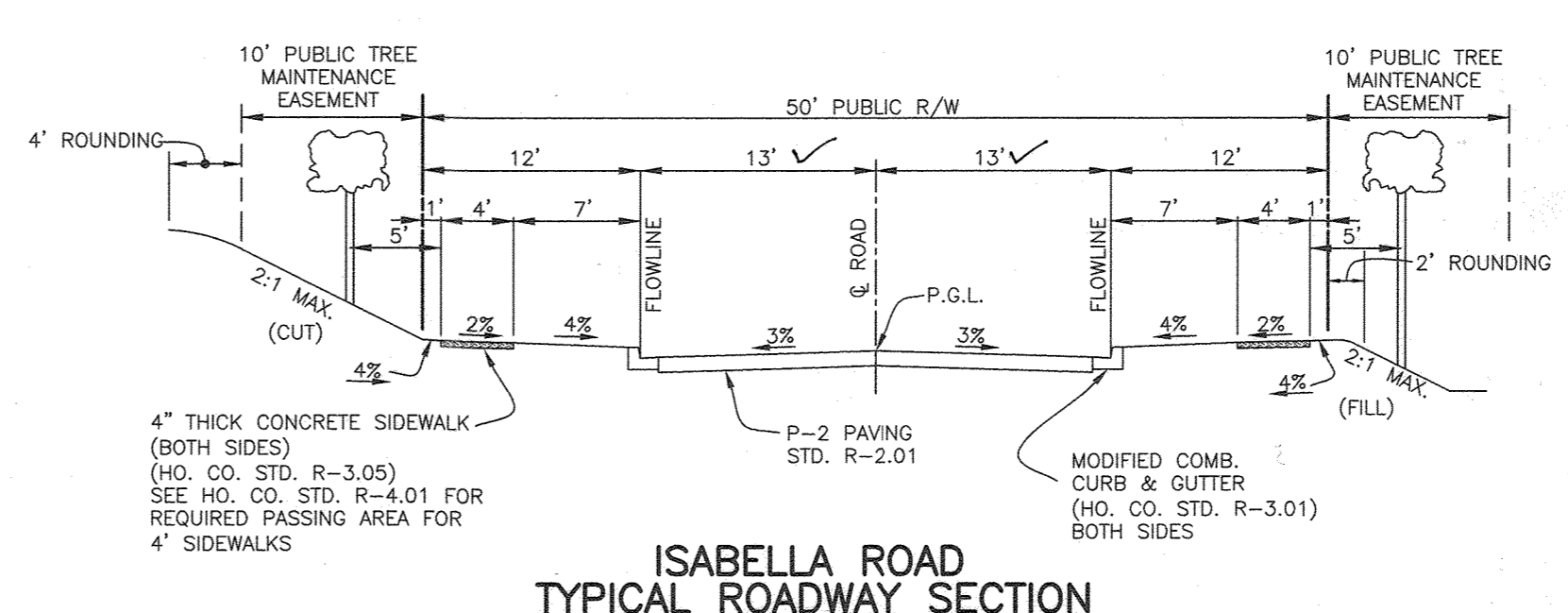
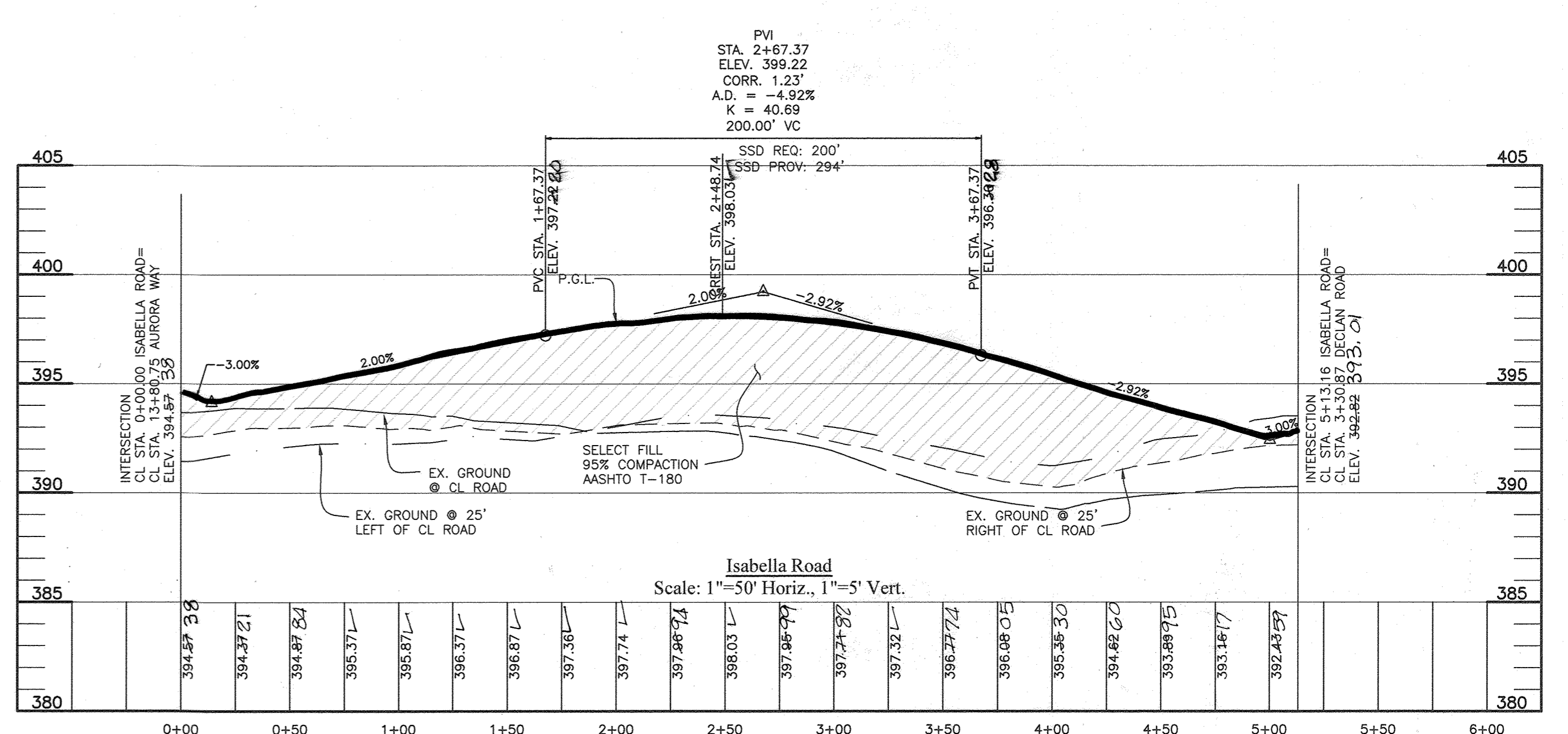
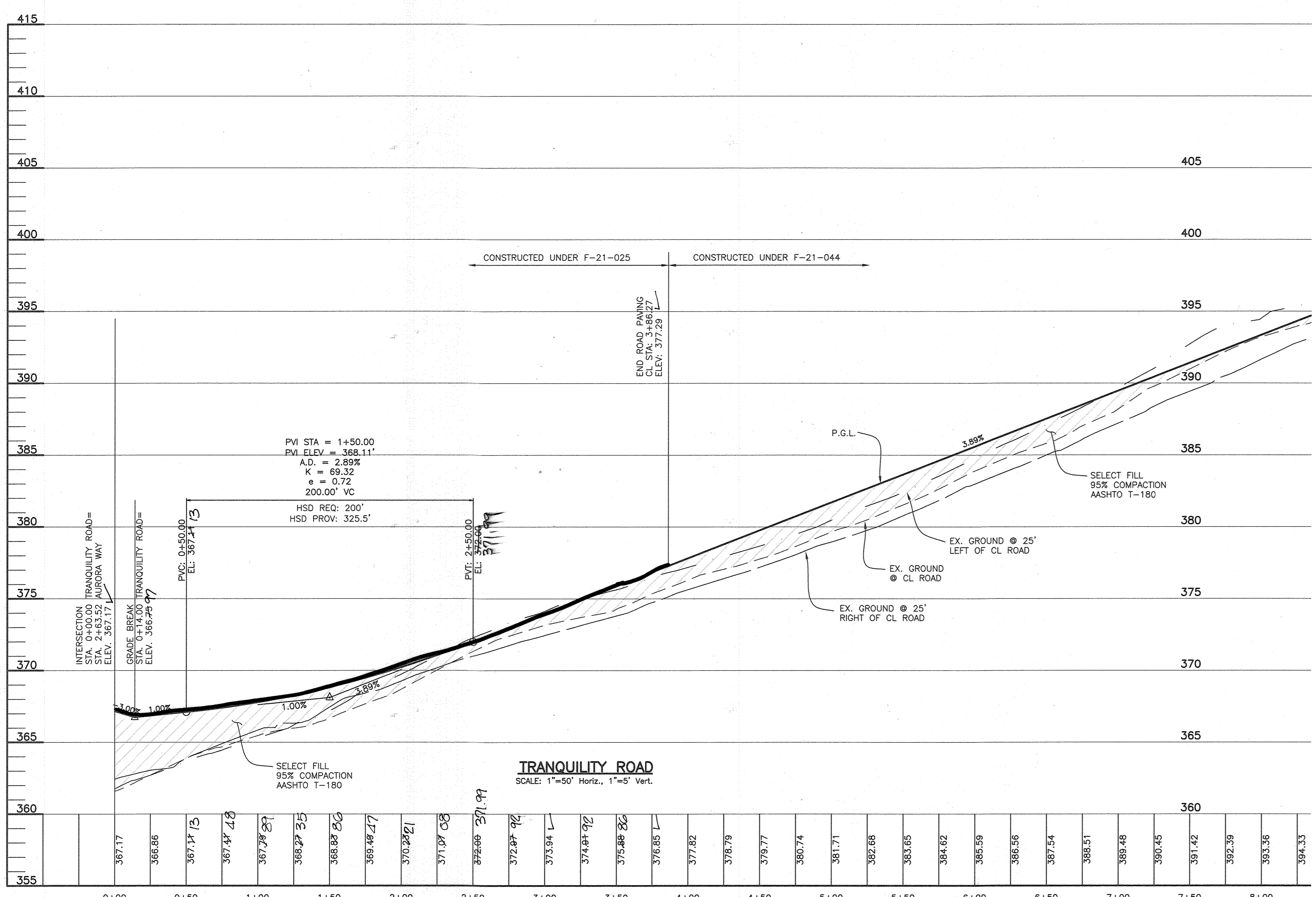
1 inch = 50 ft.

CENTER LINE CURVE DATA

CURVE	ALIGNMENT	STATION	RADIUS	ARC	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C105	Isabella Road	0+15.47 TO 1+33.60	300.00'	118.13'	22°33'38"	59.84'	N31° 54' 22"E	117.37'
C106	Isabella Road	1+93.94 TO 2+98.84	400.00'	104.91'	15°01'37"	52.76'	N28° 08' 21"E	104.61'



1 inch = 50 ft.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-31-24

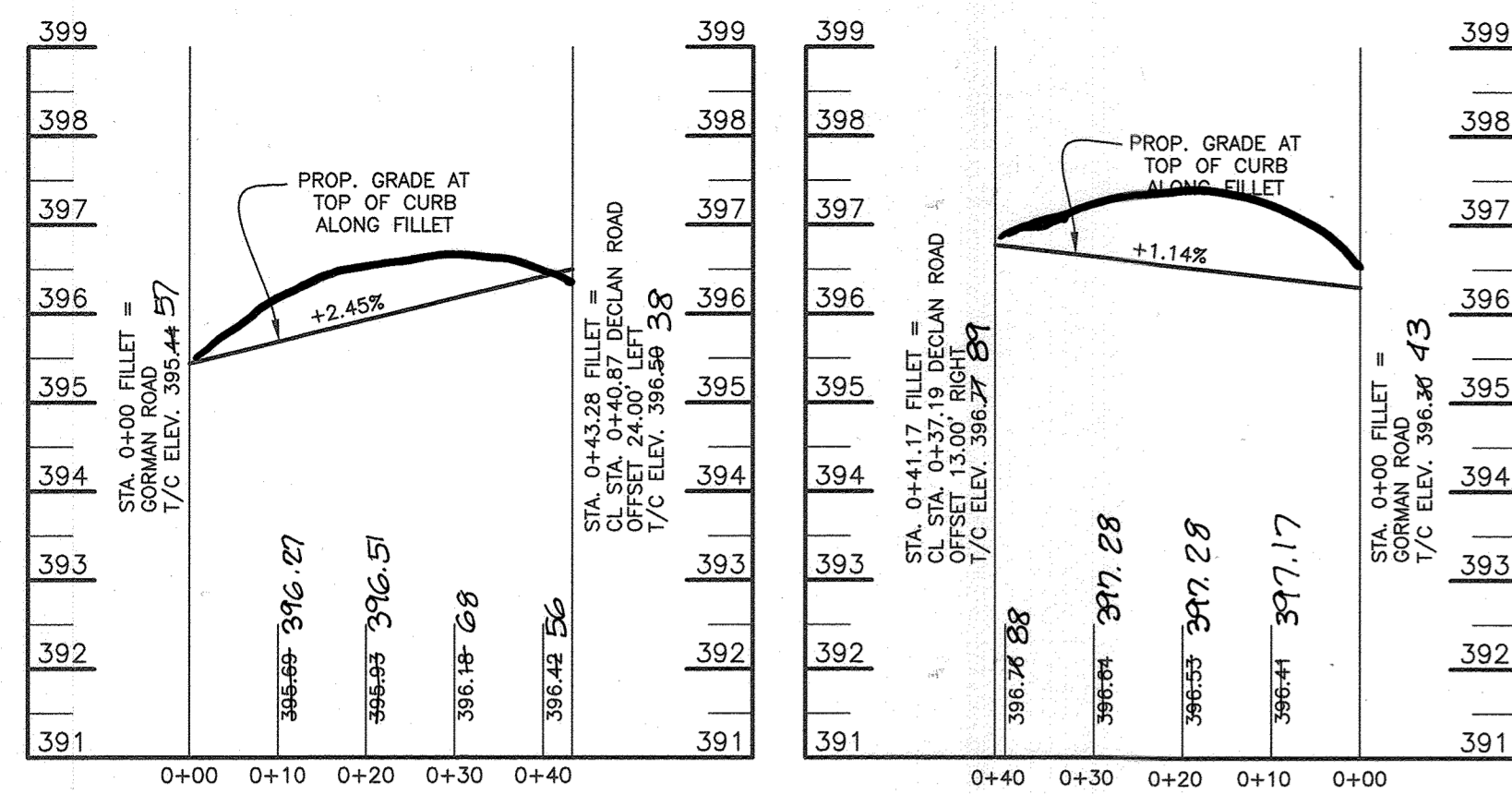
AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-15-23

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/14/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

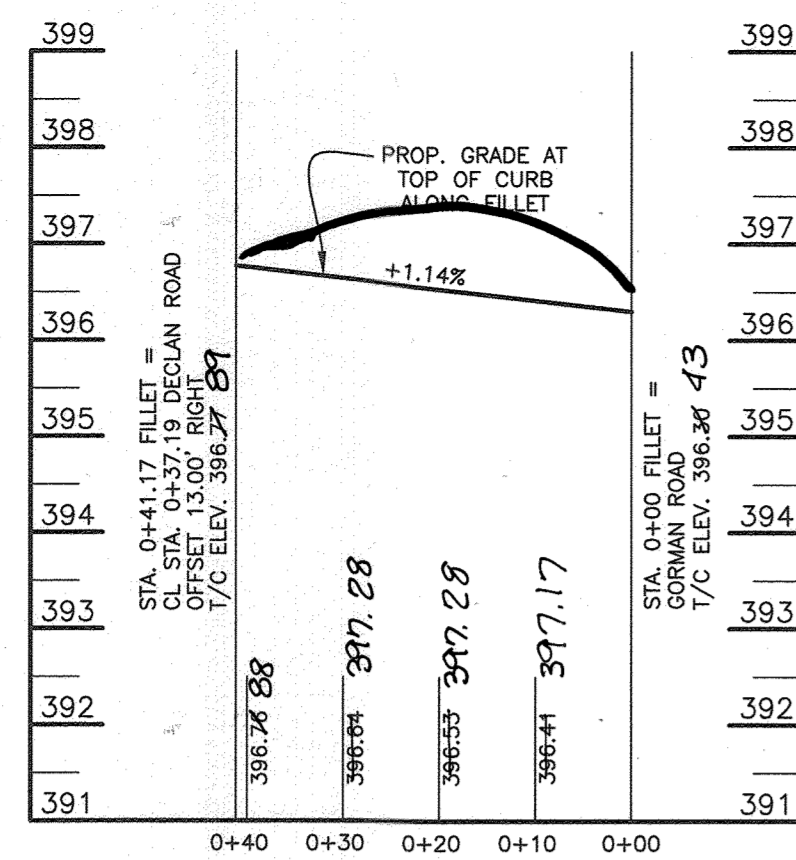
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5 TO <7			3 TO <5 TO <7		
			MIN	HMA WITH GAB	HMA WITH CONSTANT GAB	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SAC: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)						
		SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-22S, LEVEL 1 (LOW ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM PG 64-22S, LEVEL 1 (LOW ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX BASE 19.0 MM PG 64-22S, LEVEL 1 (LOW ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0

P-2 PAVING DETAIL NOTE: GEOTECHNICAL ENGINEER SHALL VERIFY THE ON-SITE CBR TO DETERMINE PAVEMENT DEPTH REQUIRED.

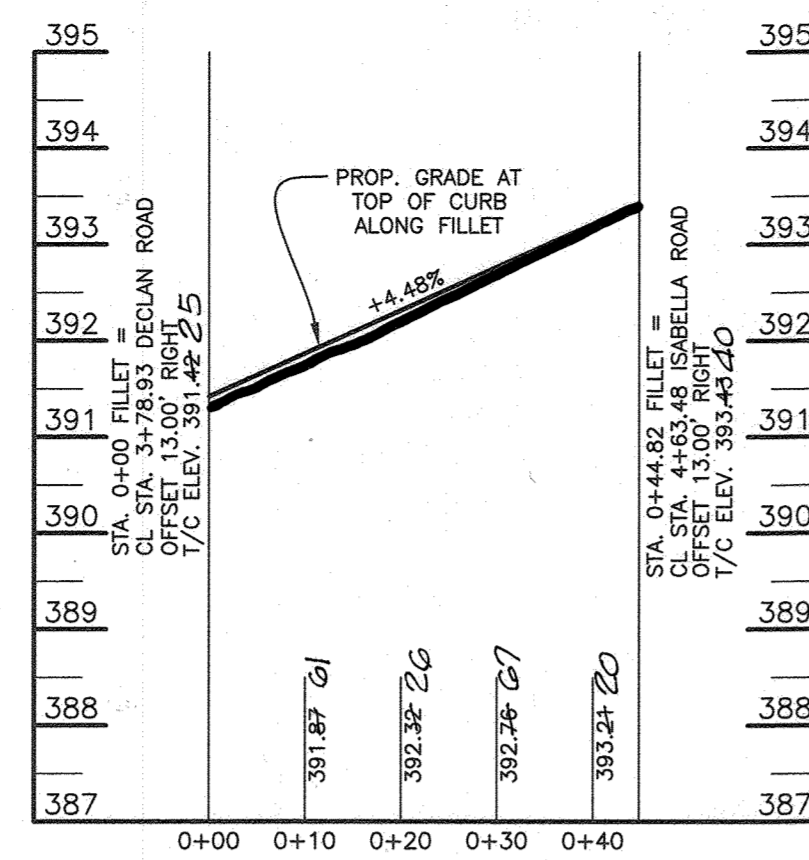
<p>NO. DATE REVISION</p>	
<p><b>BENCHMARK ENGINEERING, INC.</b>                  8480 BALTIMORE NATIONAL PIKE &amp; SUITE 315 &amp; ELLICOTT CITY, MARYLAND 21043                  (P) 410-465-6105 (F) 410-465-6644                  WWW.BE-CIVILENGINEERING.COM</p>	
<p>Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.                  License No. 21443, Expiration Date: 12-31-24</p>	
<p><b>WELLINGTON FARMS</b>                  Phase 1 Section 1                  Lots 1 thru 45; Open Space Lots 46 thru 53;                  Non-Buildable Bulk Parcels A and B                  (A Resubdivision of Parcels 'C' and 'D'                  previously recorded as Plat No. 20136-20137)</p>	
<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163                  ZONED: R-20-MKD-3 / R-SC-MKD-3                  ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>	
<p>ROAD PLAN                  TRANQUILITY ROAD &amp; ISABELLA ROAD</p>	
OWNER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DEVELOPER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DATE:	JUNE 4, 2021
BEI PROJECT NO.:	2879
DESIGN:	DBT
DRAFT:	DBT
SCALE:	AS SHOWN
SHEET:	5 OF 47



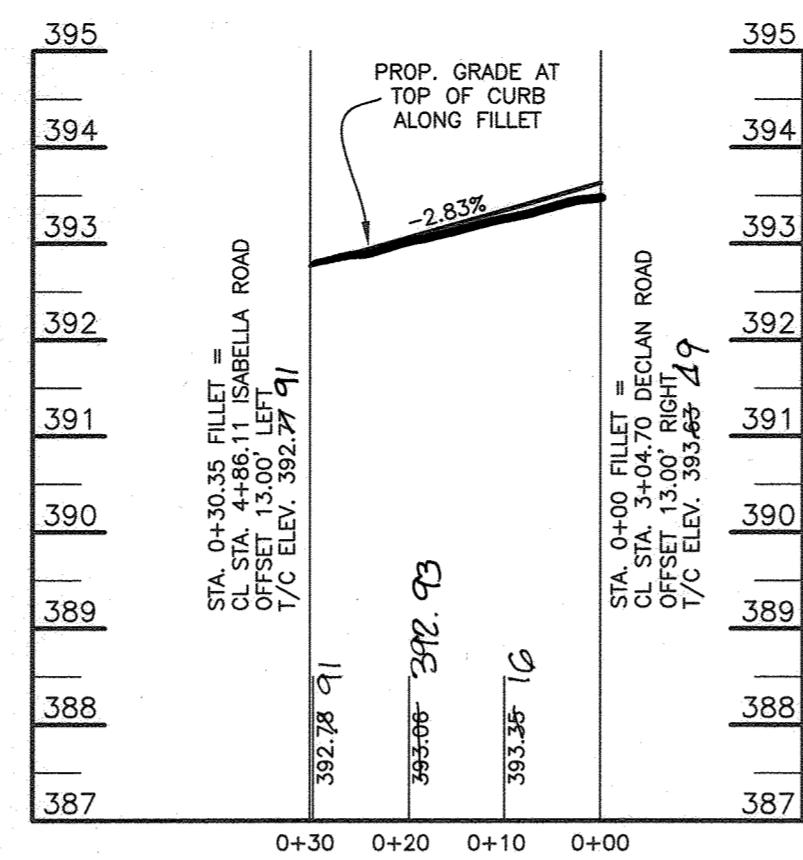
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GORMAN/DECLAN: EAST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



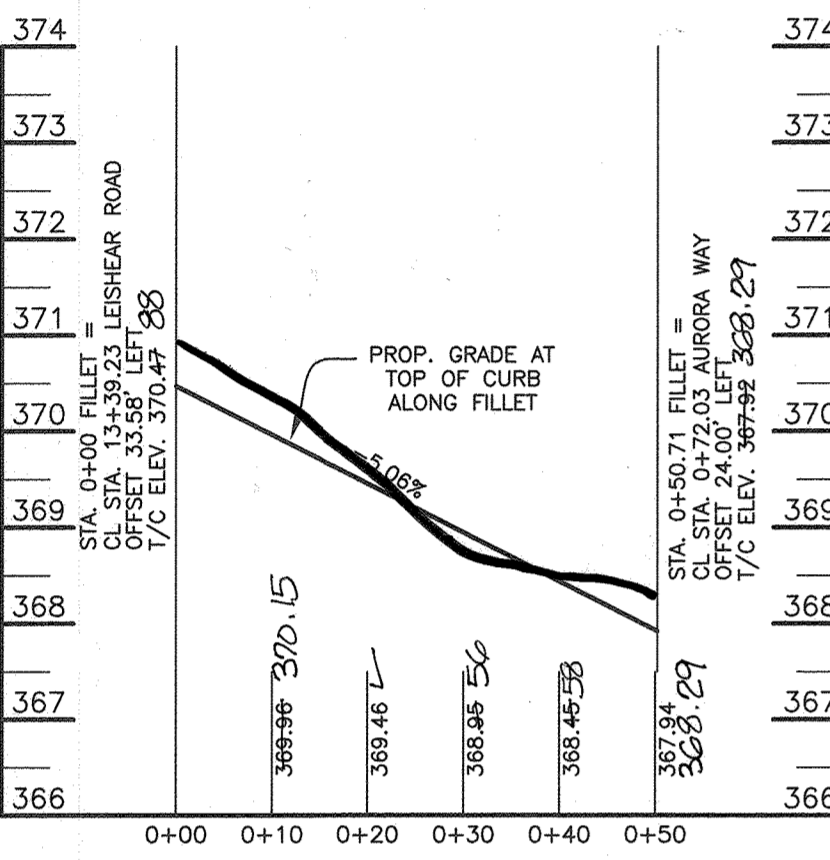
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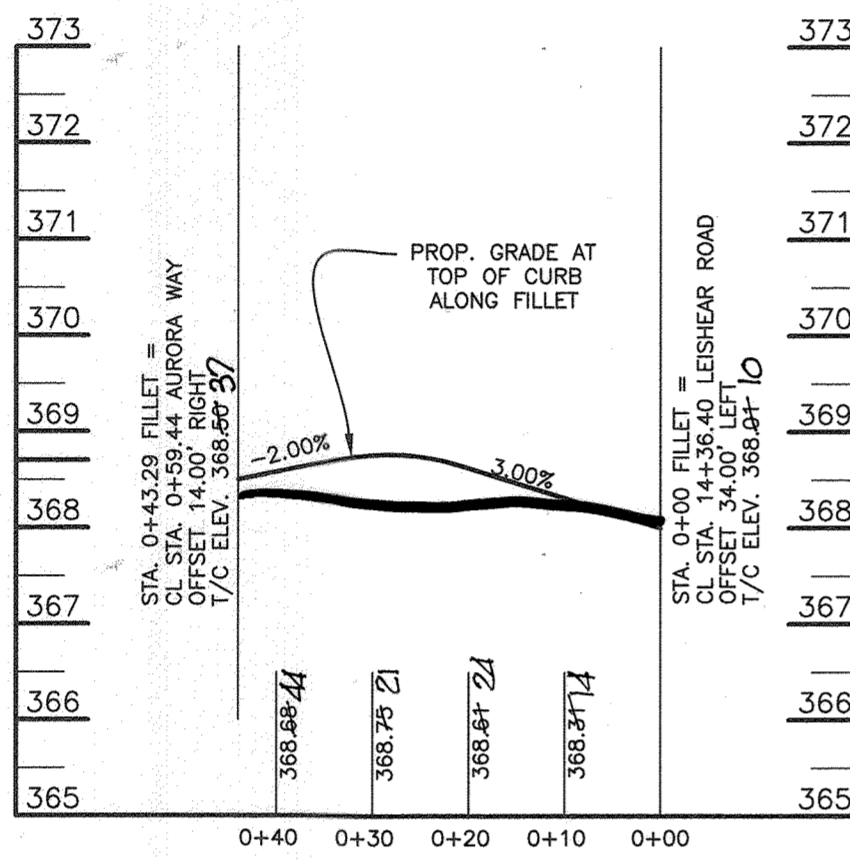
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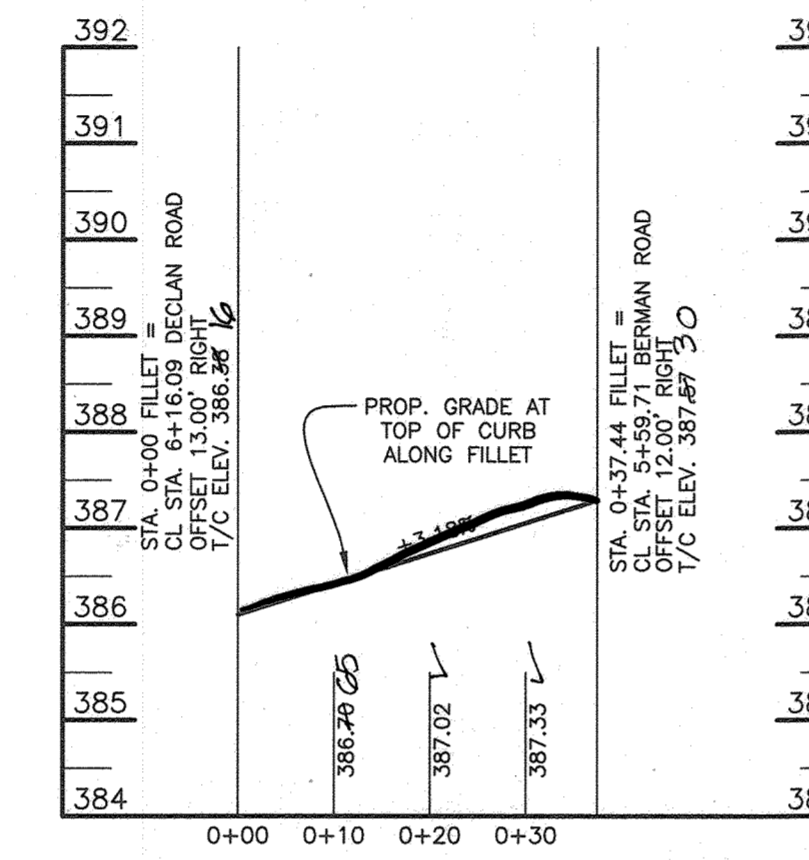
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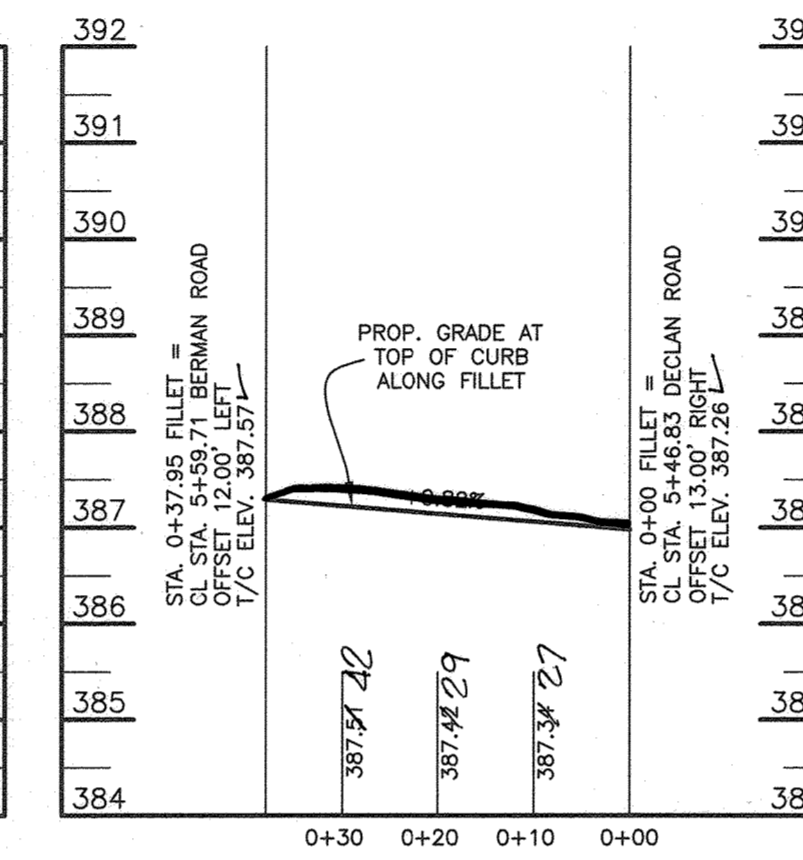
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LEISHEAR/AURORA: NORTH  
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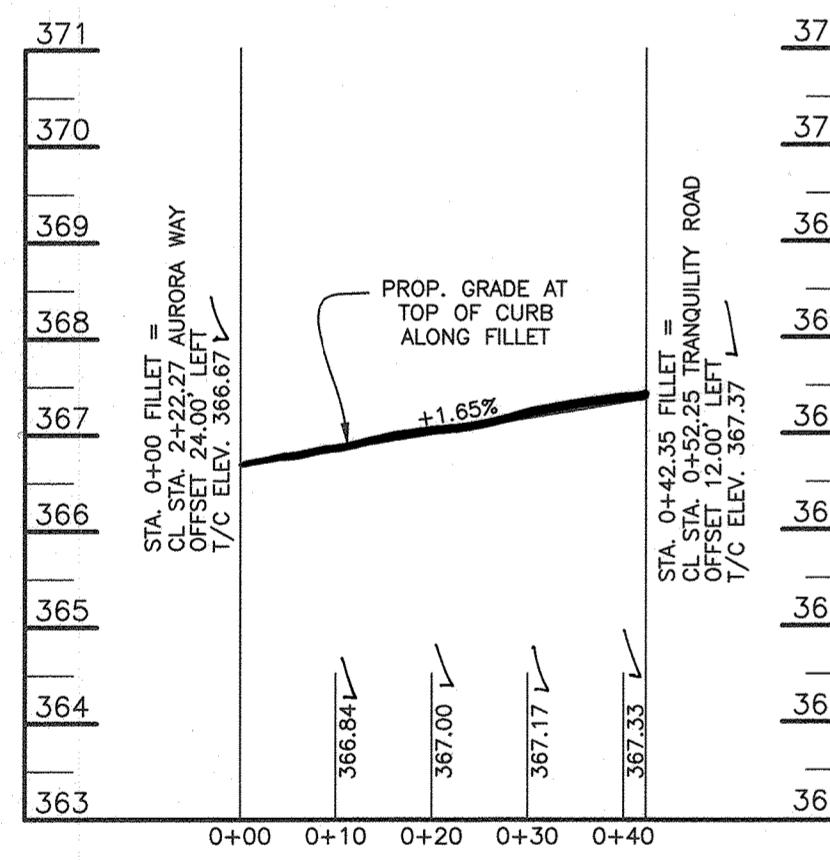
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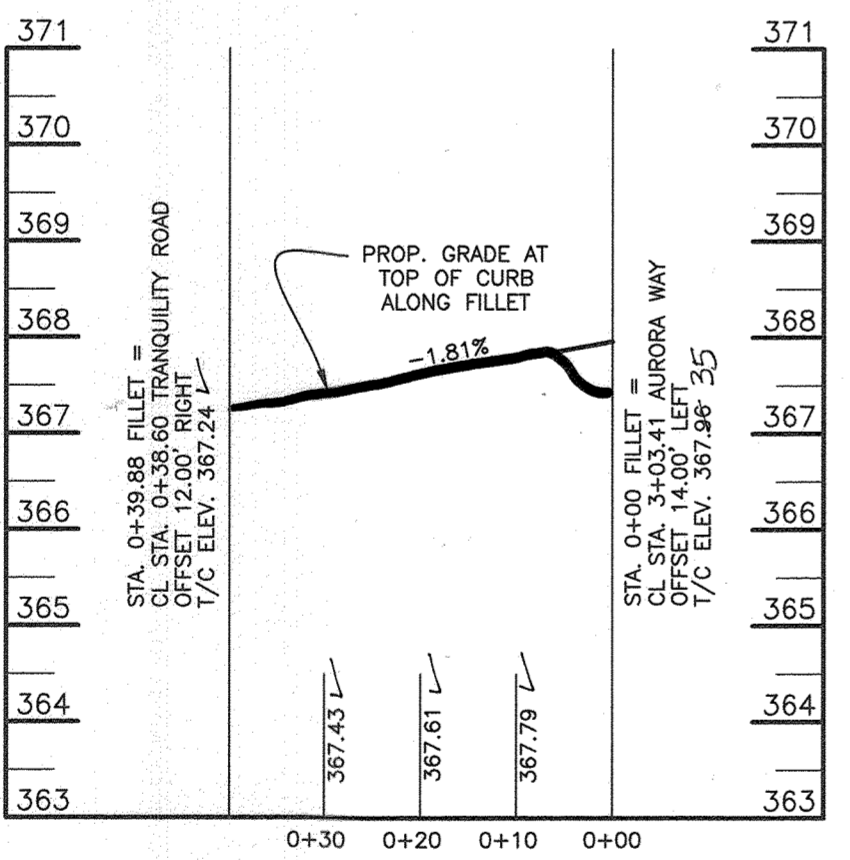
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DECLAN/BERMAN: EAST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



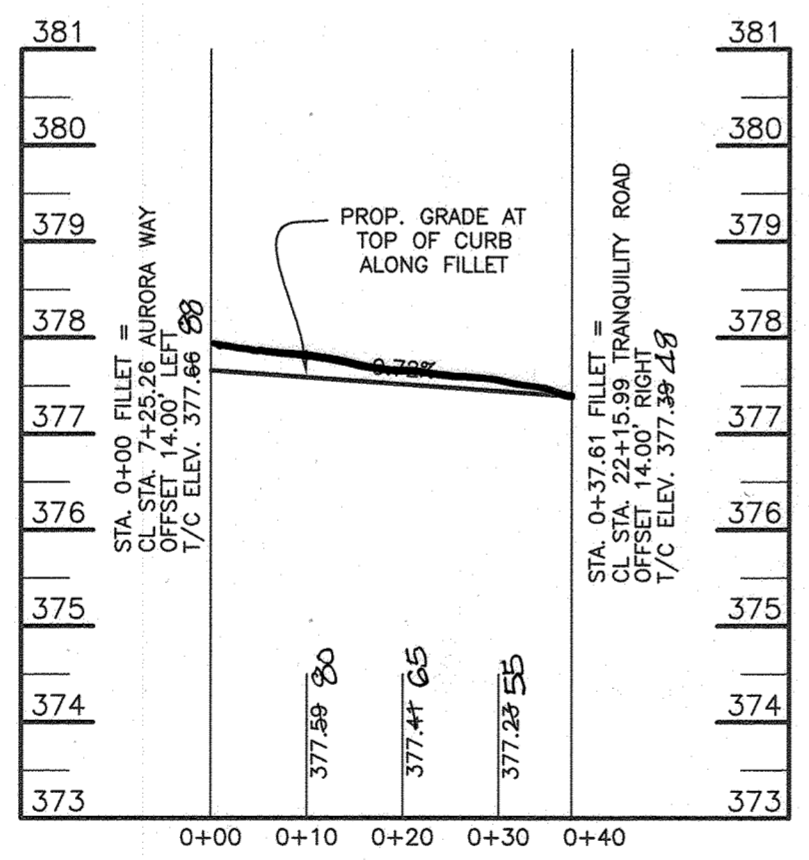
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DECLAN/BERMAN: WEST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



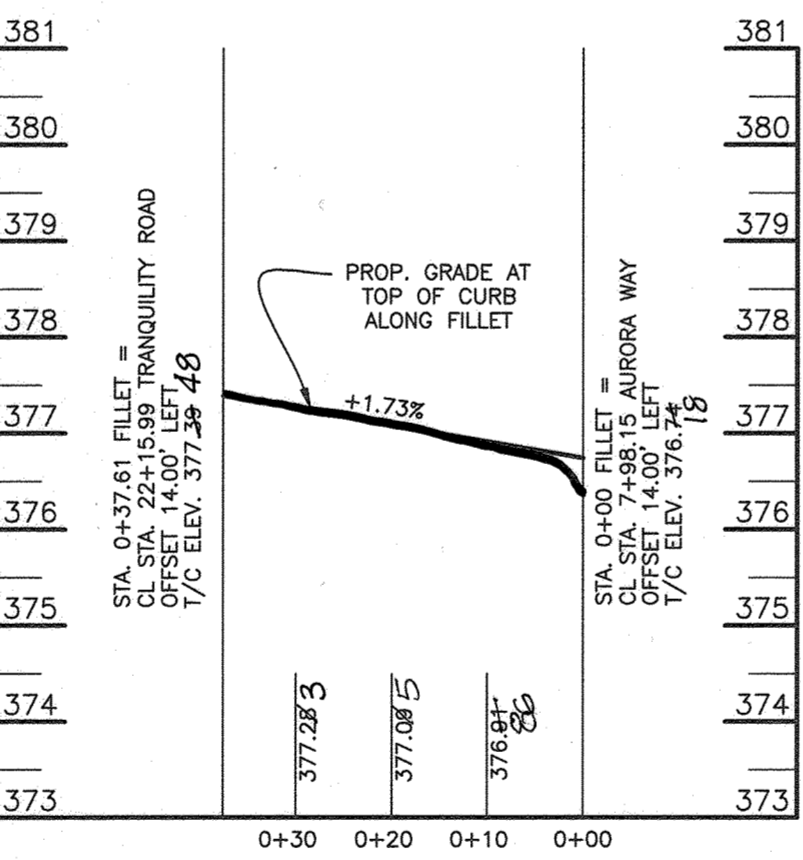
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AURORA/TRANQUILITY #1: WEST  
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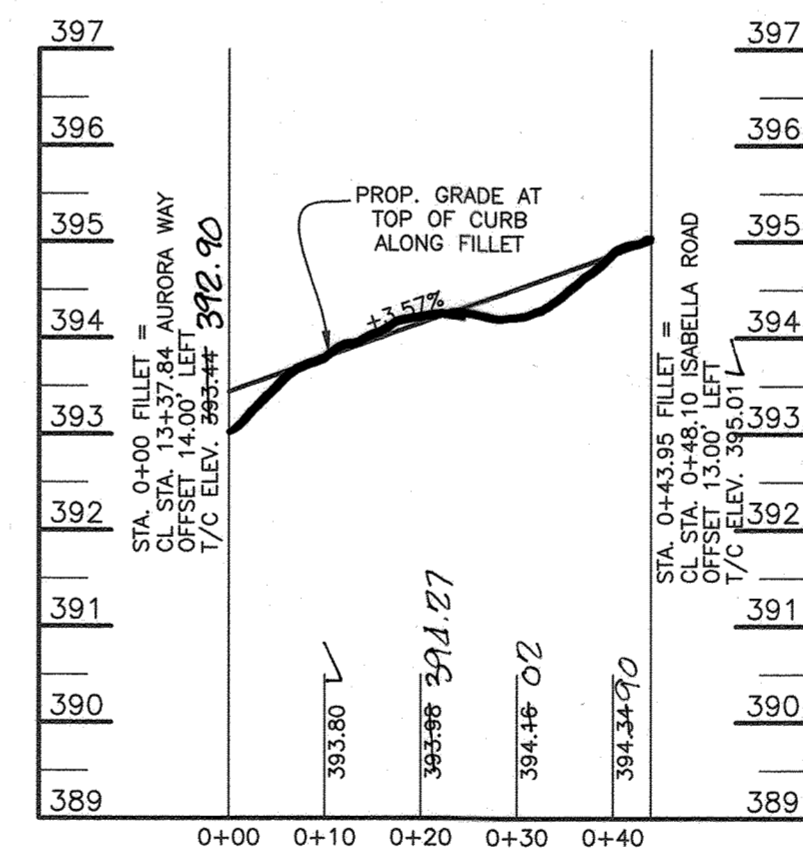
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AURORA/TRANQUILITY #1: EAST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



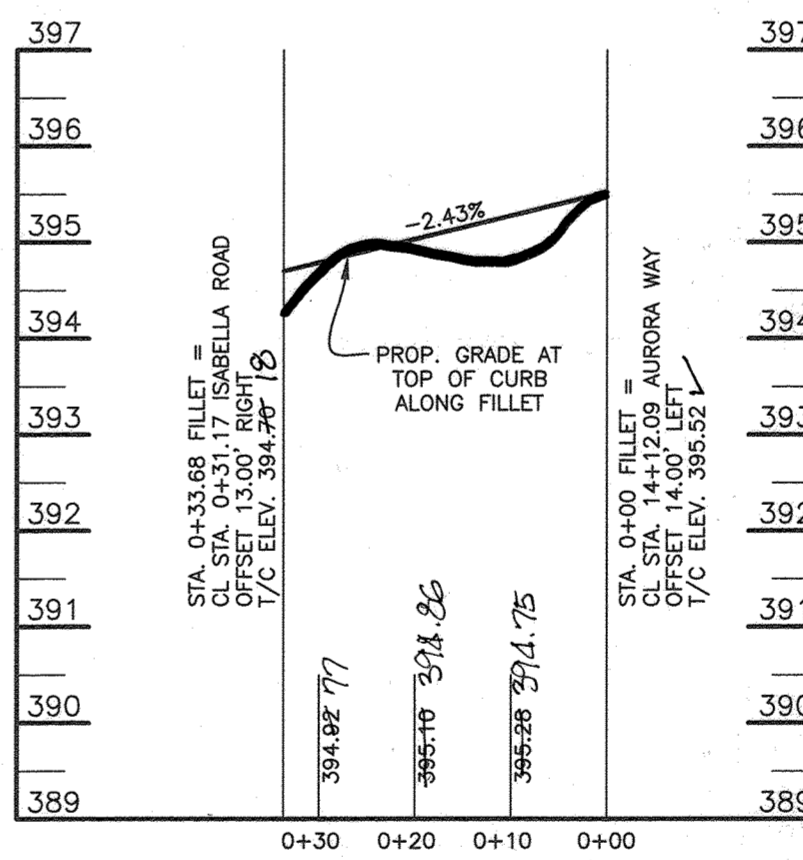
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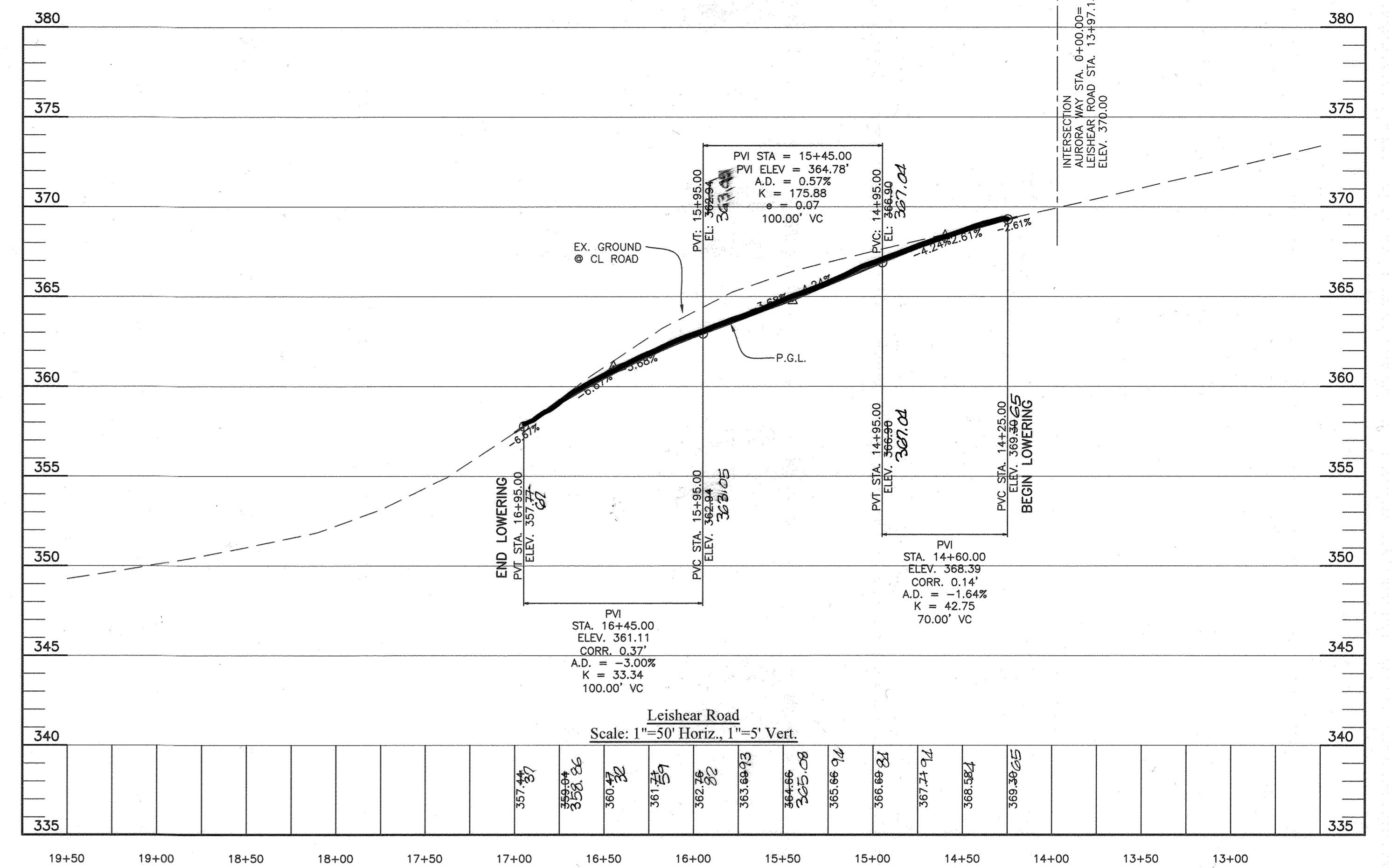
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AURORA/TRANQUILITY #2: EAST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



FILLET PROFILE:  
AURORA/ISABELLA: NORTH  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



FILLET PROFILE:  
AURORA/ISABELLA: EAST  
SCALE: 1"=20' HORIZ., 1"=2' VERT.



Leishear Road  
Scale: 1"=50' Horiz., 1"=5' Vert.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443 Expiration Date: 12-21-24

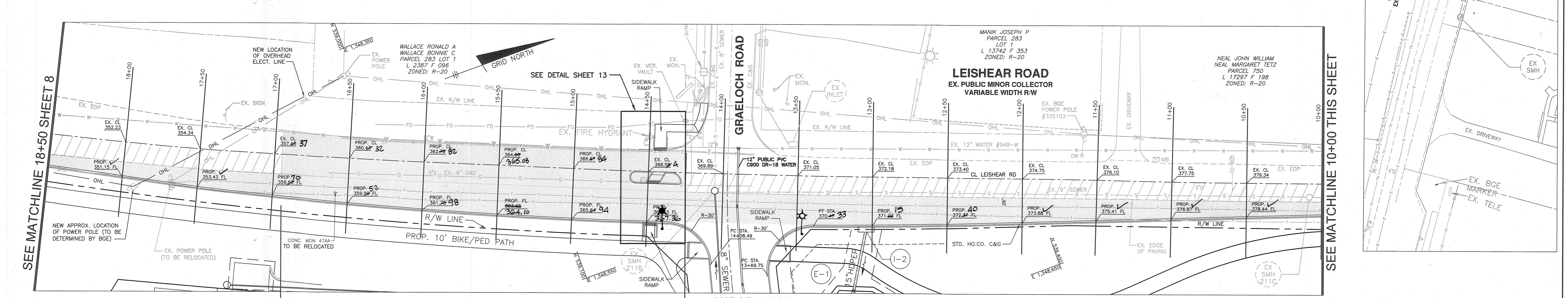
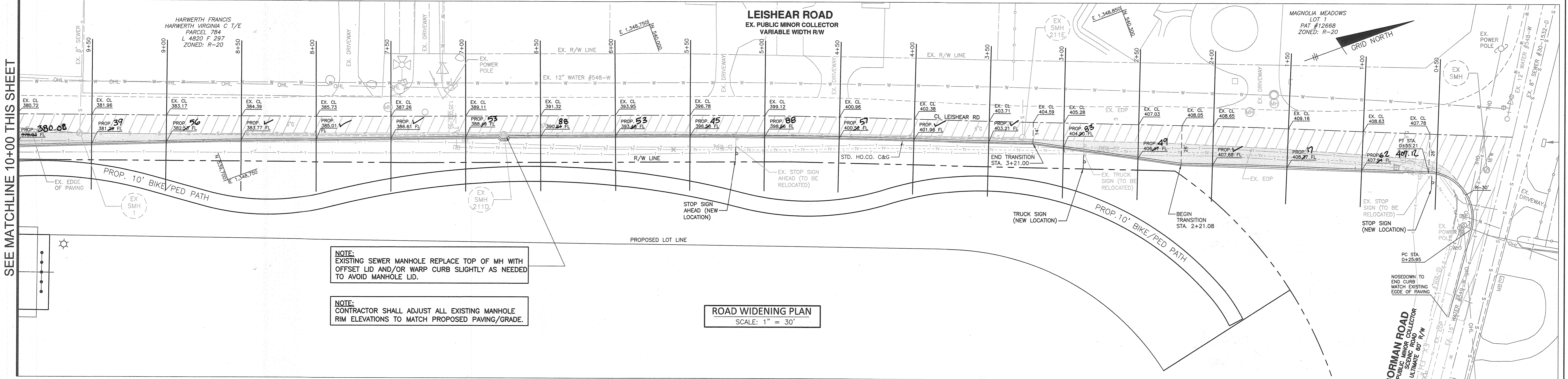


AS-BUILT CERTIFICATION  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.  
Donald Mason, P.E. Date: 12-15-23

APPROVED: DEPARTMENT OF PUBLIC WORKS  
[Signature] 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] 7/11/21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 7-12-21

NO.	DATE	REVISION
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8844 WWW.BEI-CIVILENGINEERING.COM		
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)		
TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONE: R-20-MX-3 / R-50-MX-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND		
<b>ROAD PLAN LEISHEAR ROAD AND CURB RETURN PROFILES</b>		
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879	
DESIGN: DBT	DRAFT: DBT	SCALE: AS SHOWN SHEET 6 OF 47

AS-BUILT F-21-025

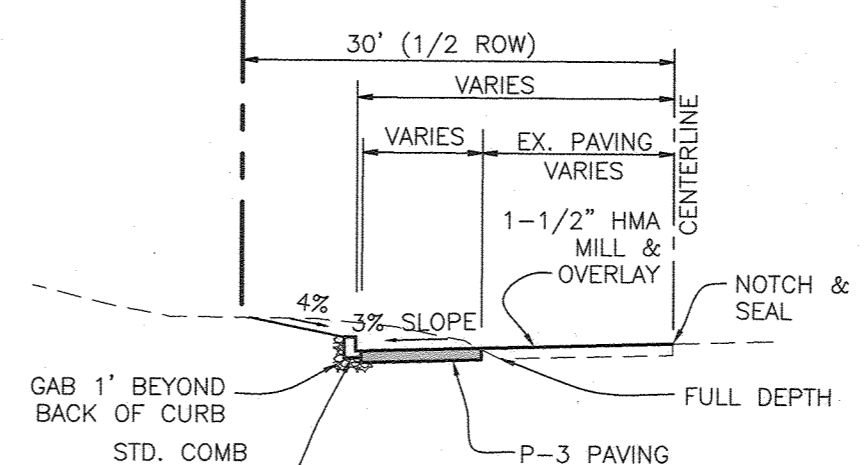
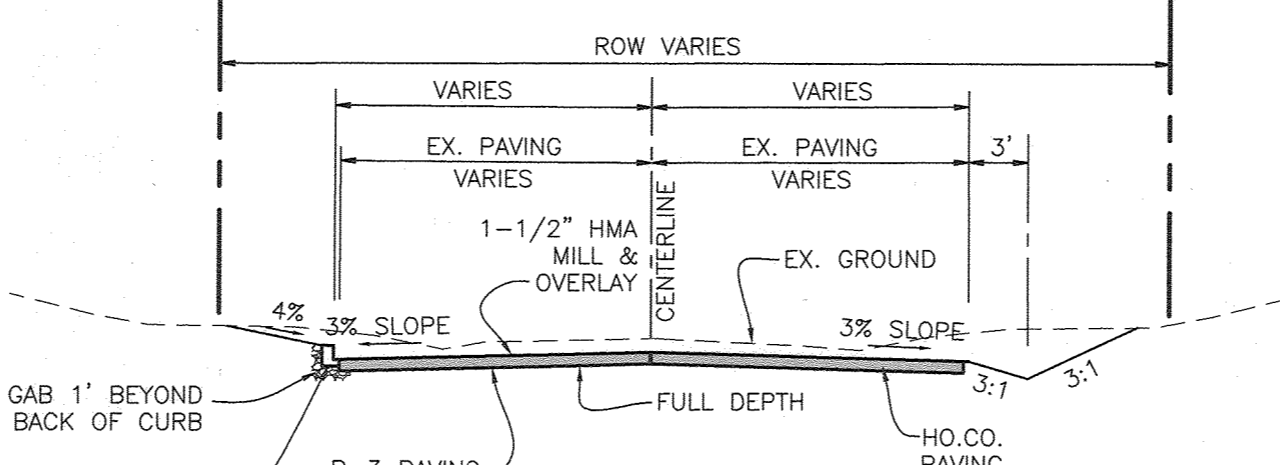


**LEGEND**

[Solid Grey Box]	FULL DEPTH PAVING
[Hatched Box]	MILL AND OVERLAY

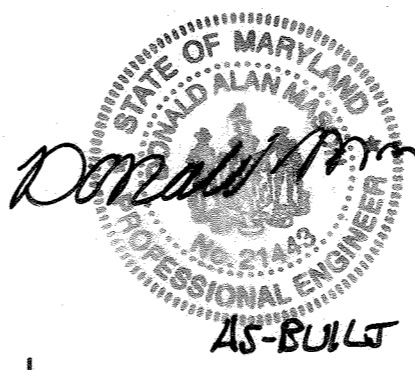
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	
		3 TO <5	5 TO <7
P-3	PARKING DRIVE AISLES; RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY; LOCAL ROADS; ACCESS PLACE, ACCESS STREET; CUL-DE-SAC; RESIDENTIAL MINOR COLLECTORS; RESIDENTIAL	PAVEMENT MATERIAL (INCHES)	
		SUPERPAVE ASPHALT MIX FINAL SURFACE	
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE	
		SUPERPAVE ASPHALT MIX BASE	
		10.0	6.0

**P-3 PAVING DETAIL**  
NOTE: GEOTECHNICAL ENGINEER SHALL VERIFY THE ON-SITE CBR TO DETERMINE PAVEMENT DEPTH REQUIRED.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443 Expiration Date: 12/1/24

AS-BUILT CERTIFICATION  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
Donald Mason, P.E. Date: 12-18-23



APPROVED: DEPARTMENT OF PUBLIC WORKS  
07/02/2021  
CHIEF, BUREAU OF HIGHWAYS

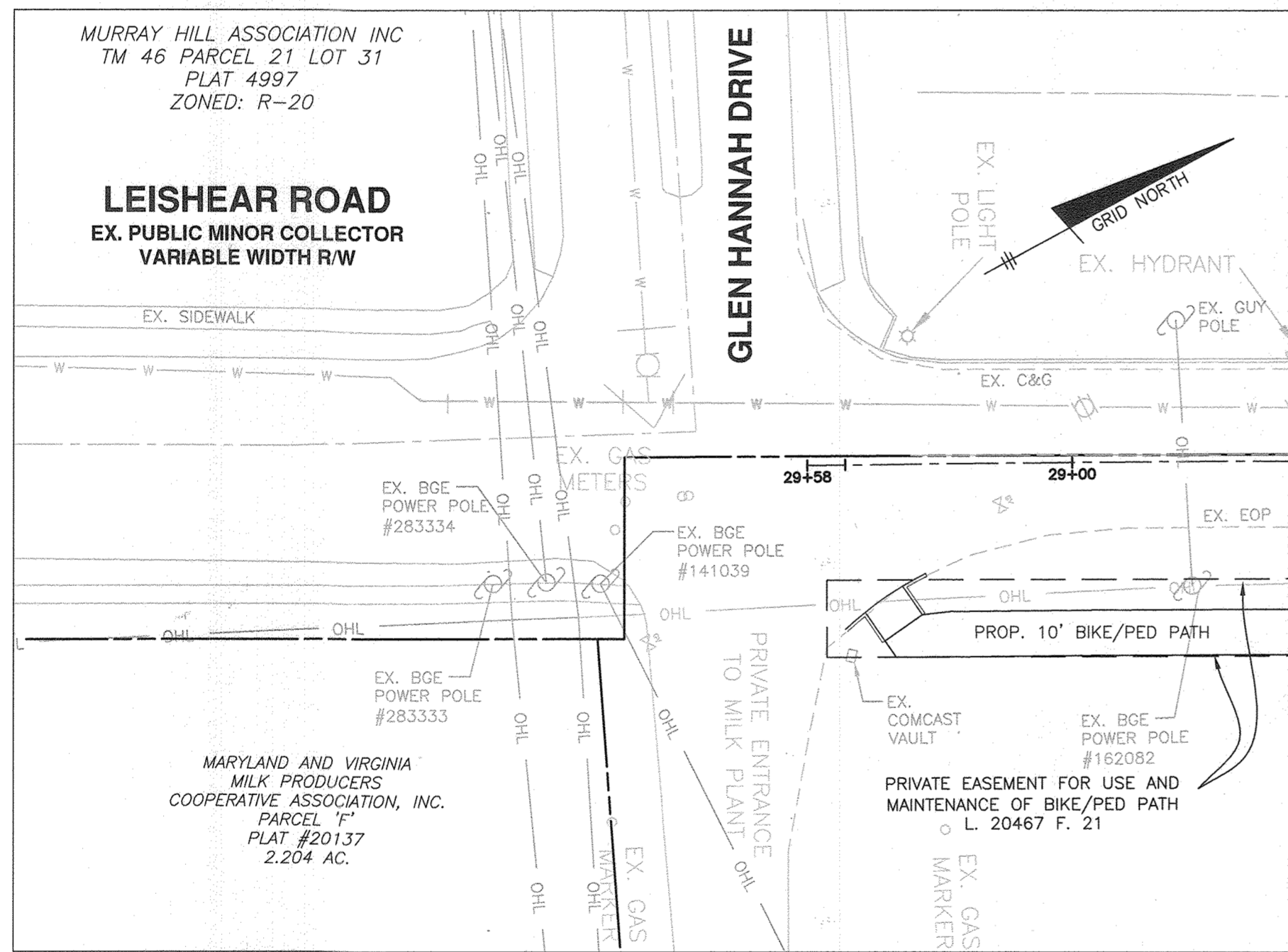
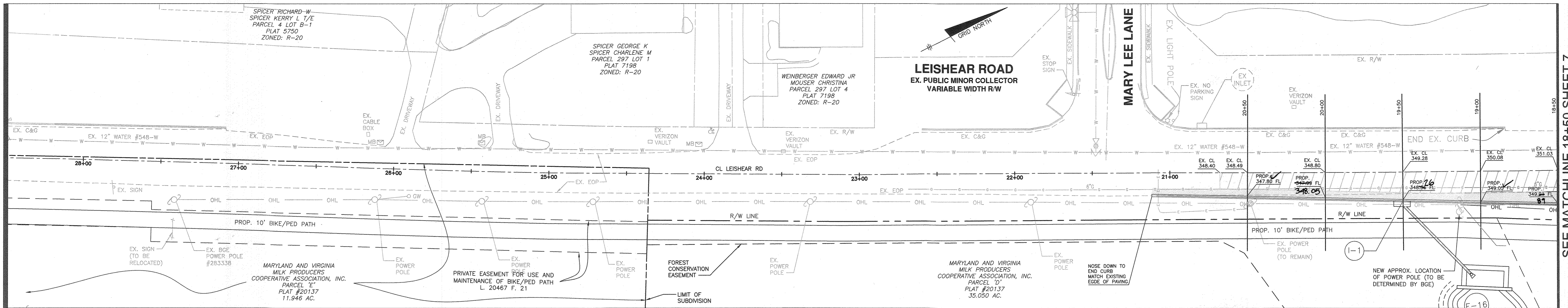
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/14/21  
CHIEF, DIVISION OF PLANNING AND ZONING

12-12-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

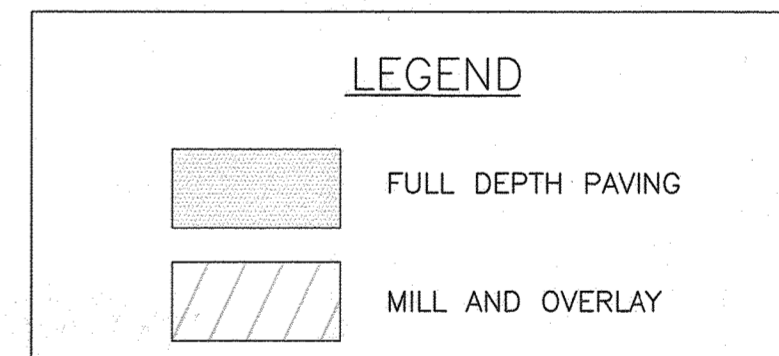
NO.	11-27-2021	REVISE STREET LIGHTS AT LEISHEAR/AURORA INTERSECTION
DATE		REVISION
<b>BENCHMARK ENGINEERING, INC.</b>		
8480 BALTIMORE NATIONAL PIKE SUITE 315 A ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BE-CIVLENGINEERING.COM		
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
<b>WELLINGTON FARMS</b>		
Phase I Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)		
TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-SC-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND		
<b>LEISHEAR ROAD WIDENING PLAN</b>		
DATE:	JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN:	LDD	DRAFT: LDD
SCALE:	AS SHOWN	SHEET 7 OF 47

SEE MATCHLINE 28+50 THIS SHEET


SEE MATCHLINE 18+50 SHEET 7





SEE MATCHLINE 28+50 THIS SHEET

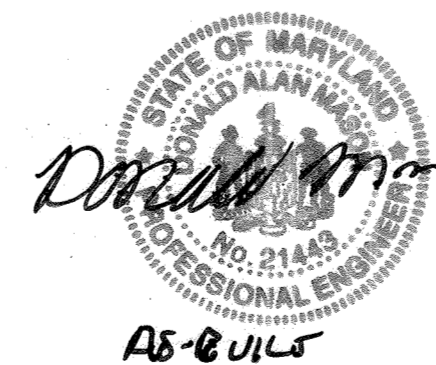


NO.		DATE		REVISION	
<p align="center"><b>BENCHMARK</b> ENGINEERS &amp; LAND SURVEYORS &amp; PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE &amp; SUITE 315 • ELLICOTT CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8644 WWW.BEI-CIVILENGINEERING.COM</p>					
<p>OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>			<p>Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443, Expiration Date: 12-21-24</p>		
<p>DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>			<p>WELLINGTON FARMS Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)</p>		
<p>DATE: JUNE 4, 2021 BEI PROJECT NO. 2879</p>			<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXO-3 / R-20-MXO-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>		
<p>DESIGN: LDD DRAFT: LDD</p>			<p>SCALE: AS SHOWN SHEET 8 OF 47</p>		

APPROVED: DEPARTMENT OF PUBLIC WORKS  
  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 07/02/2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 7/12/21

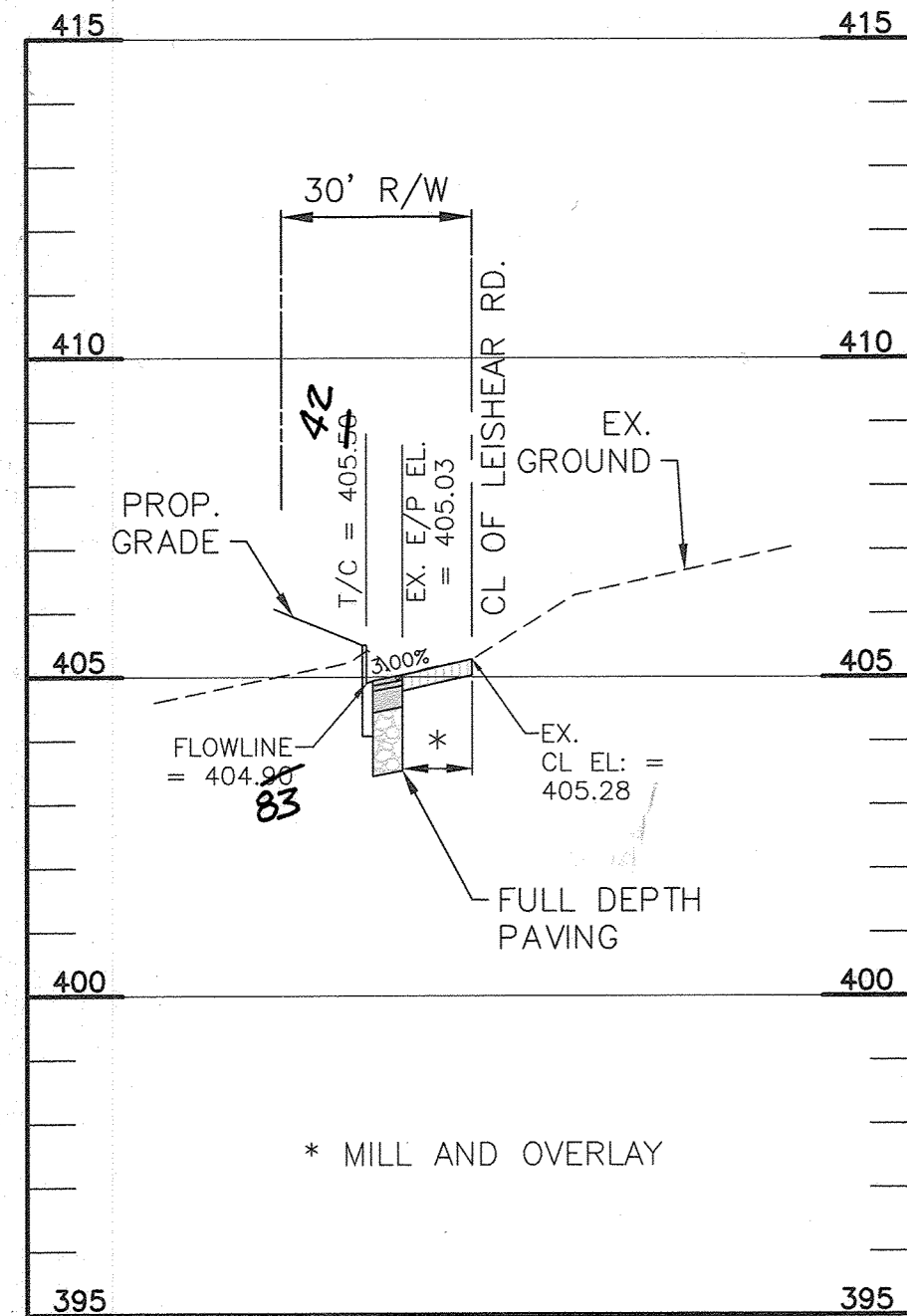
APPROVED: DEPARTMENT OF PUBLIC WORKS  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 7.12.21



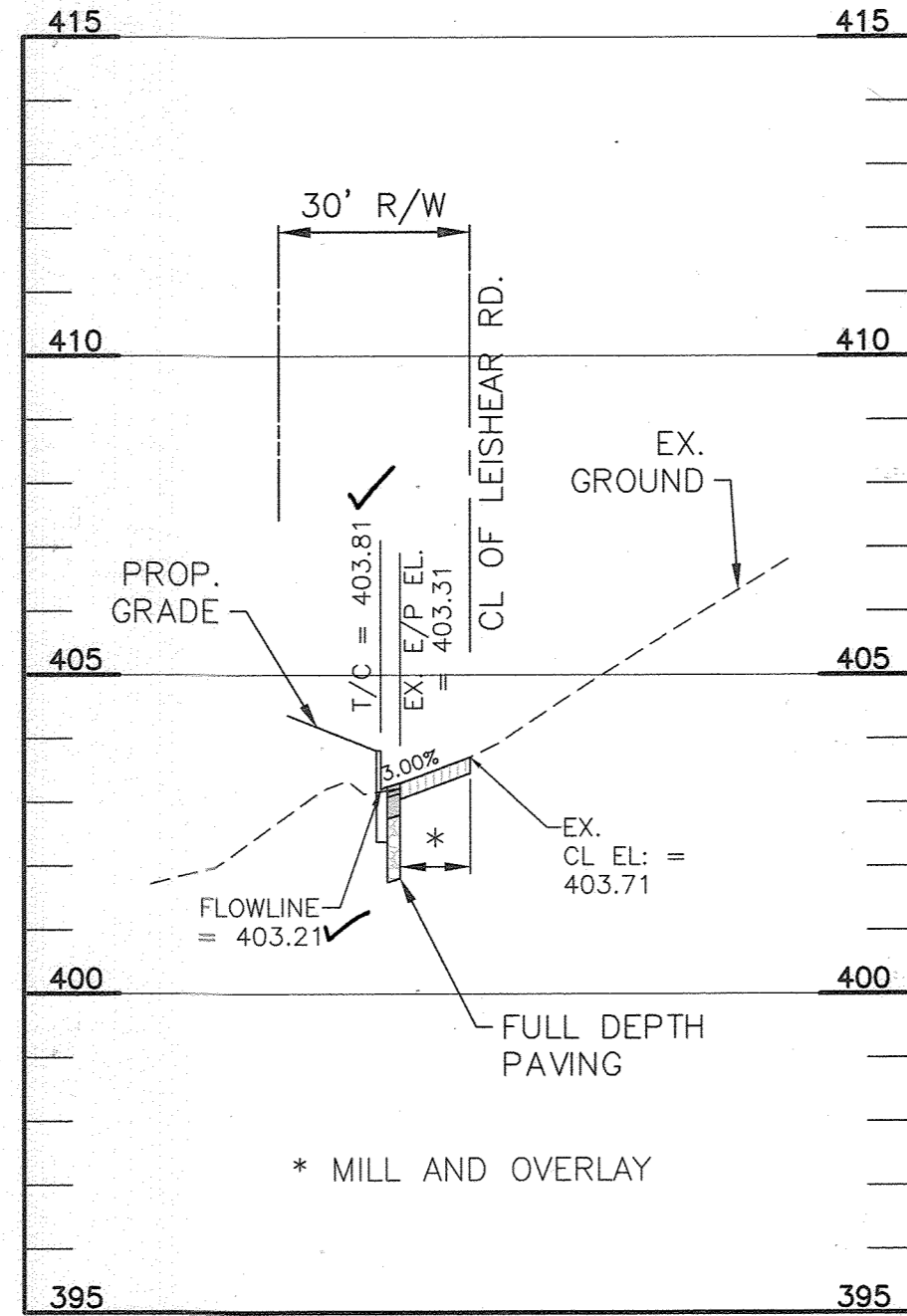
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-19-23

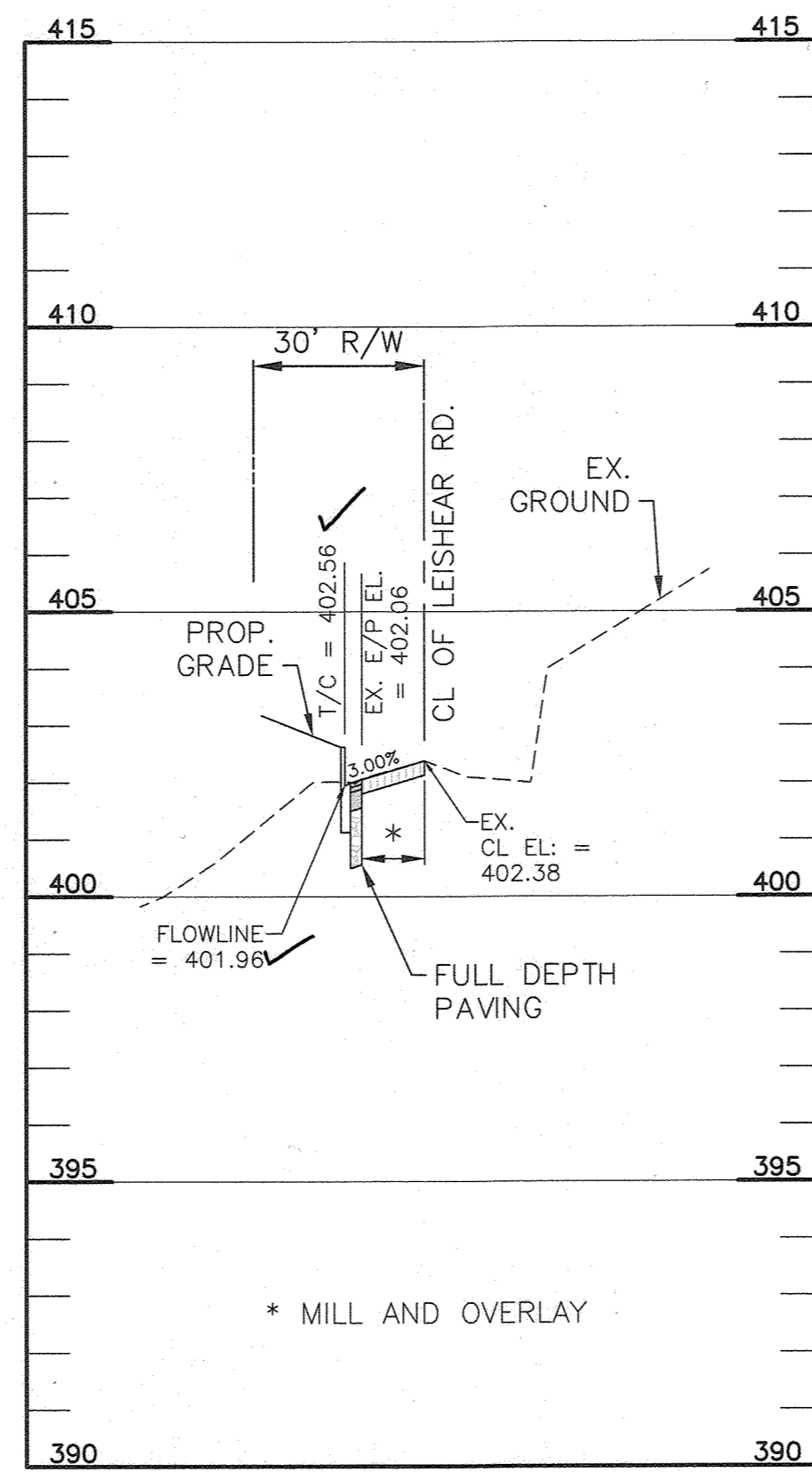




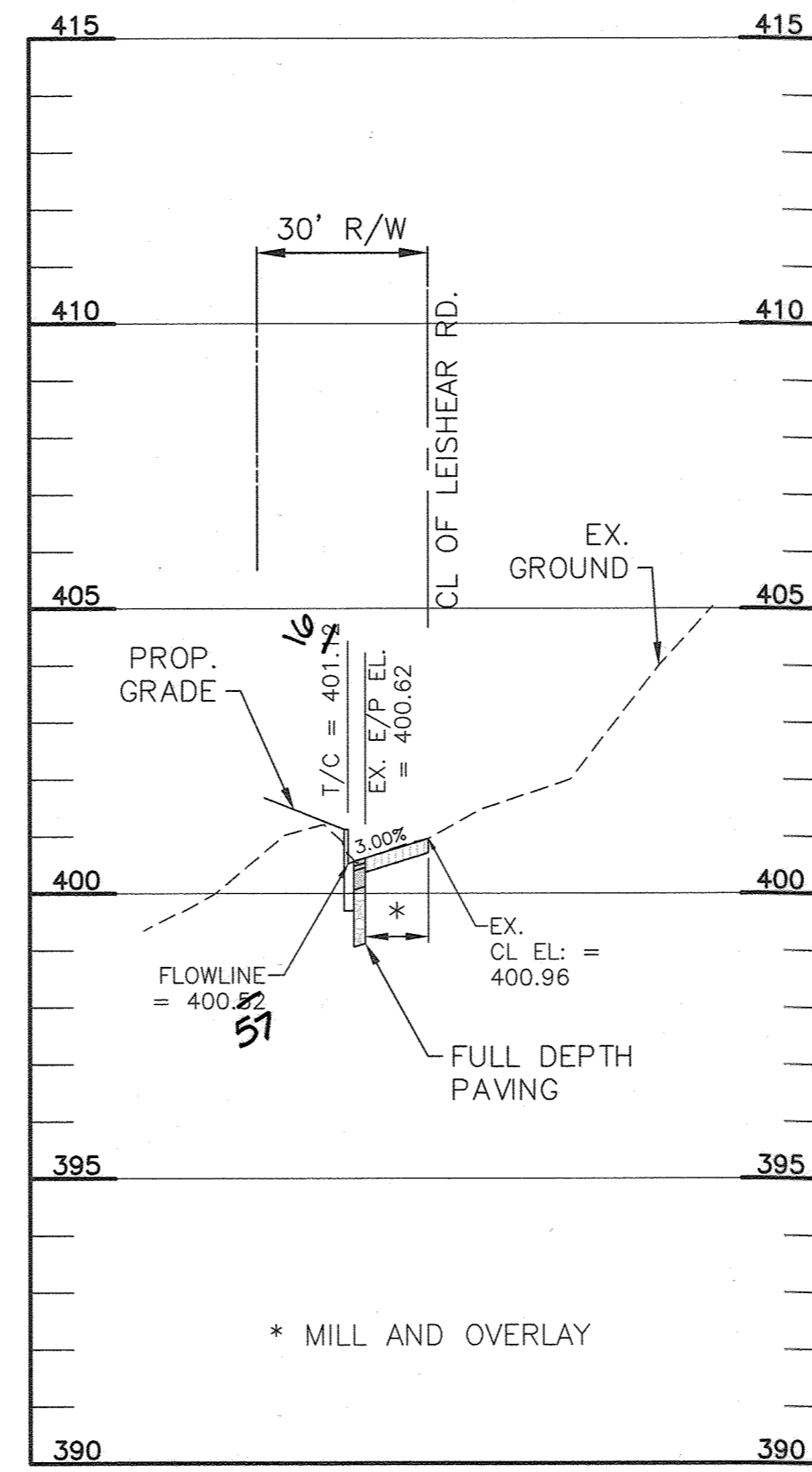
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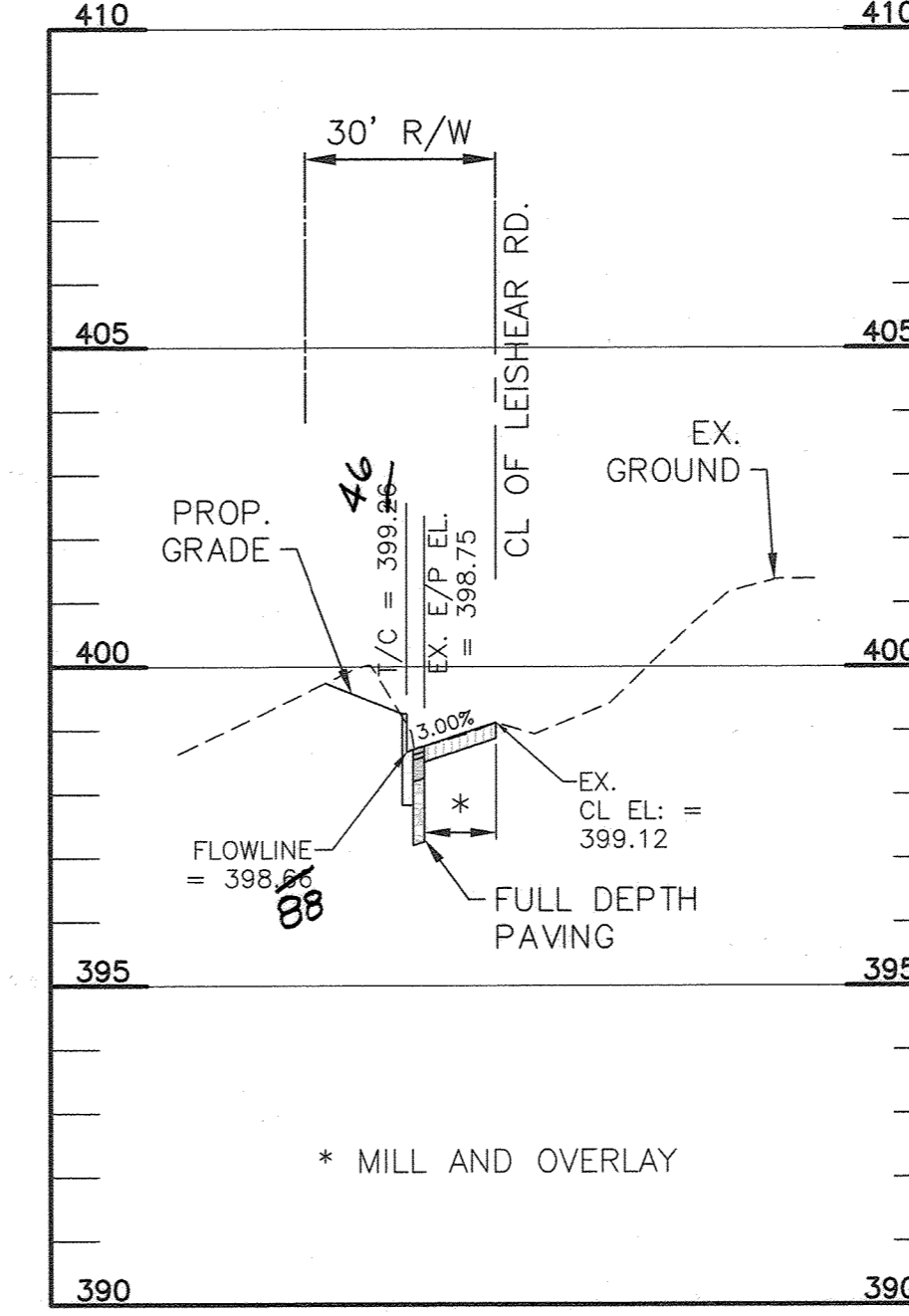
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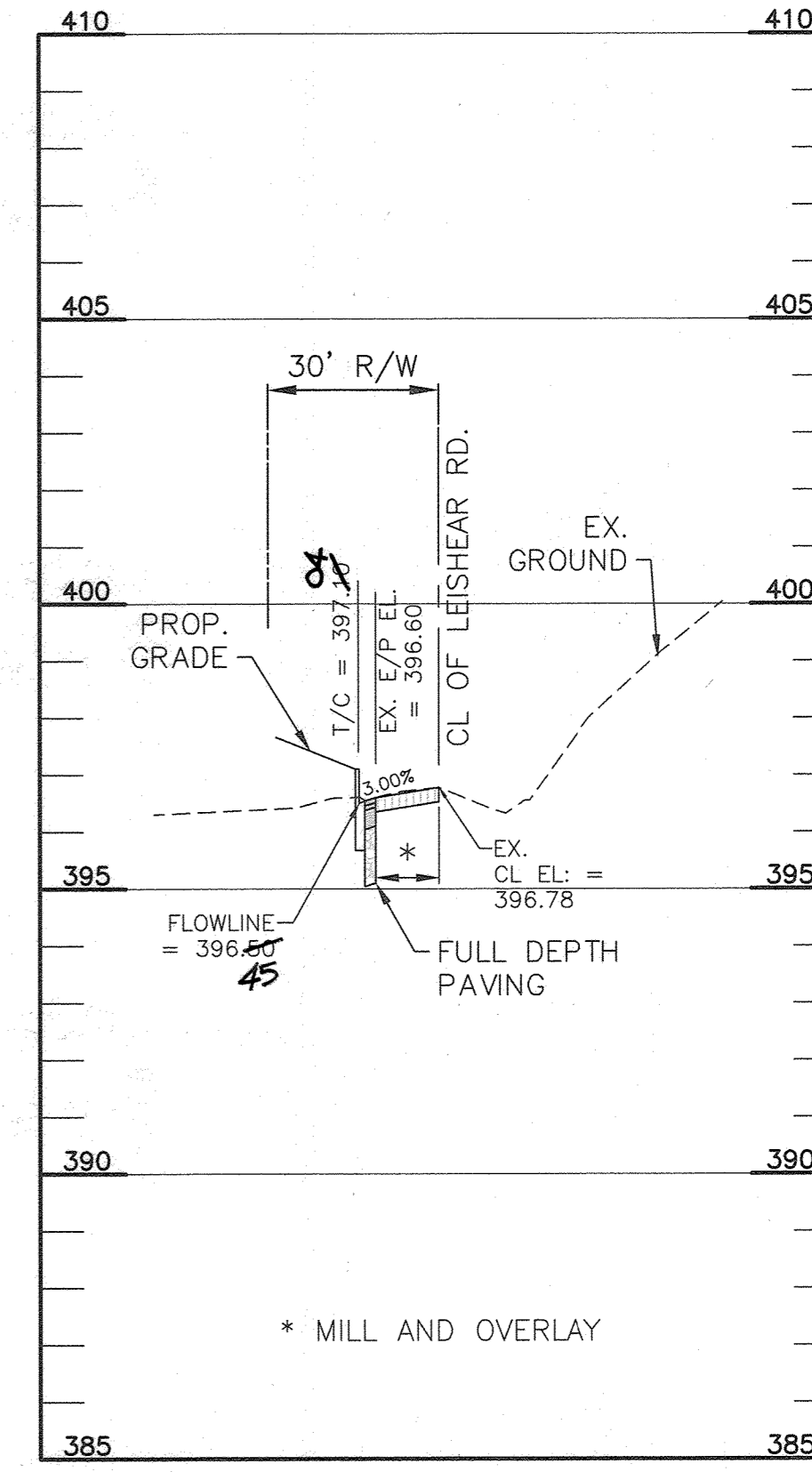
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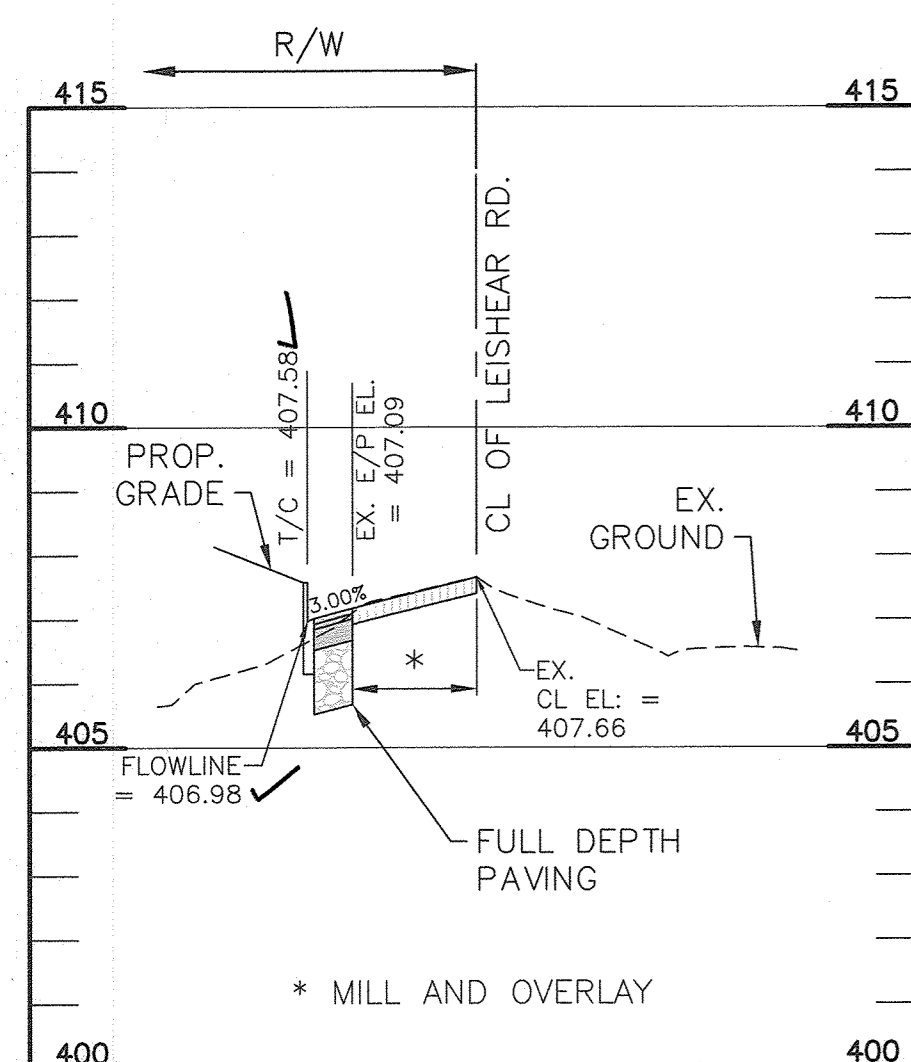
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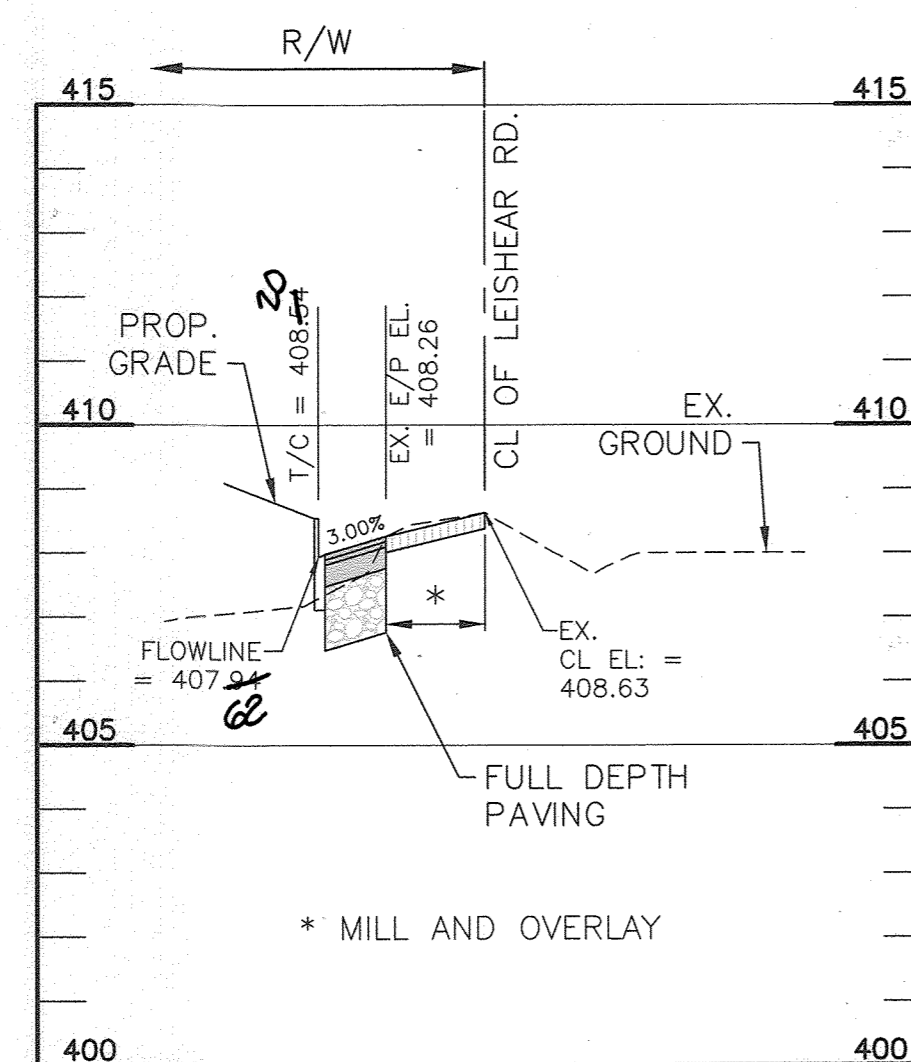
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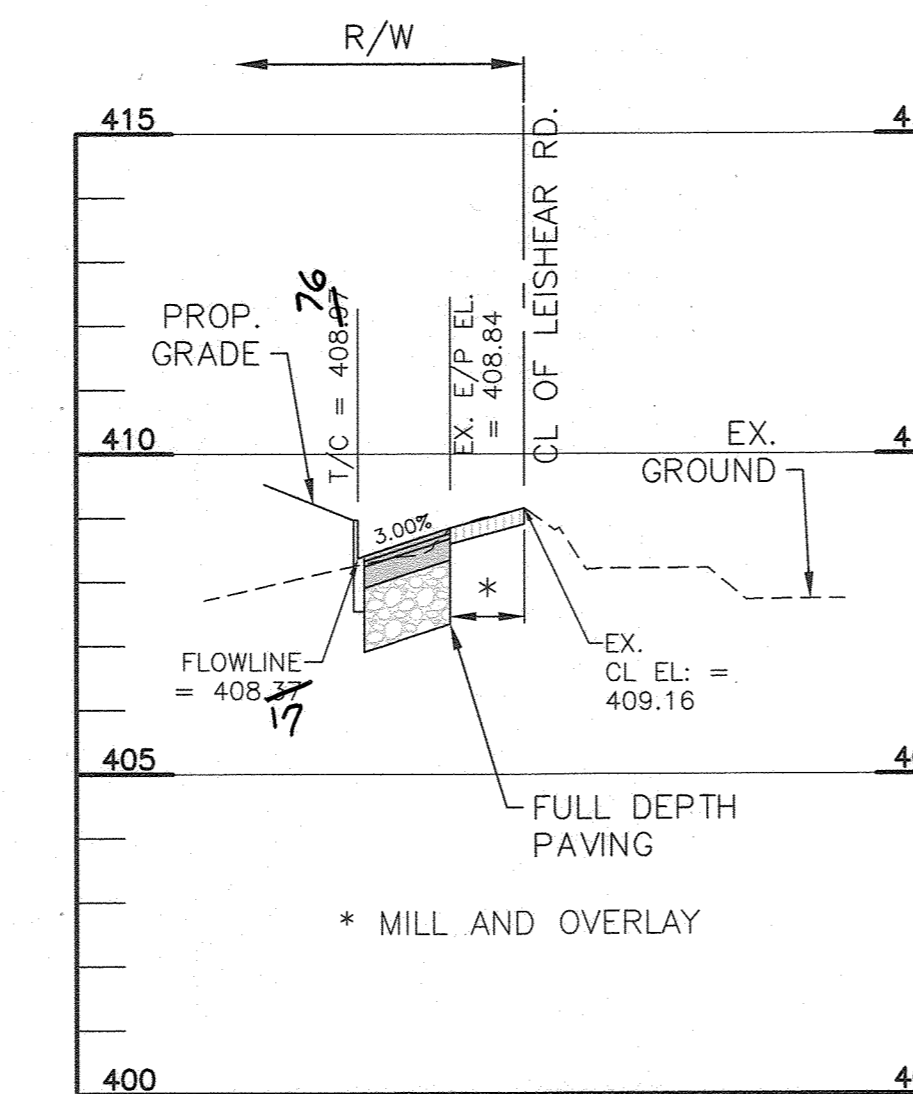
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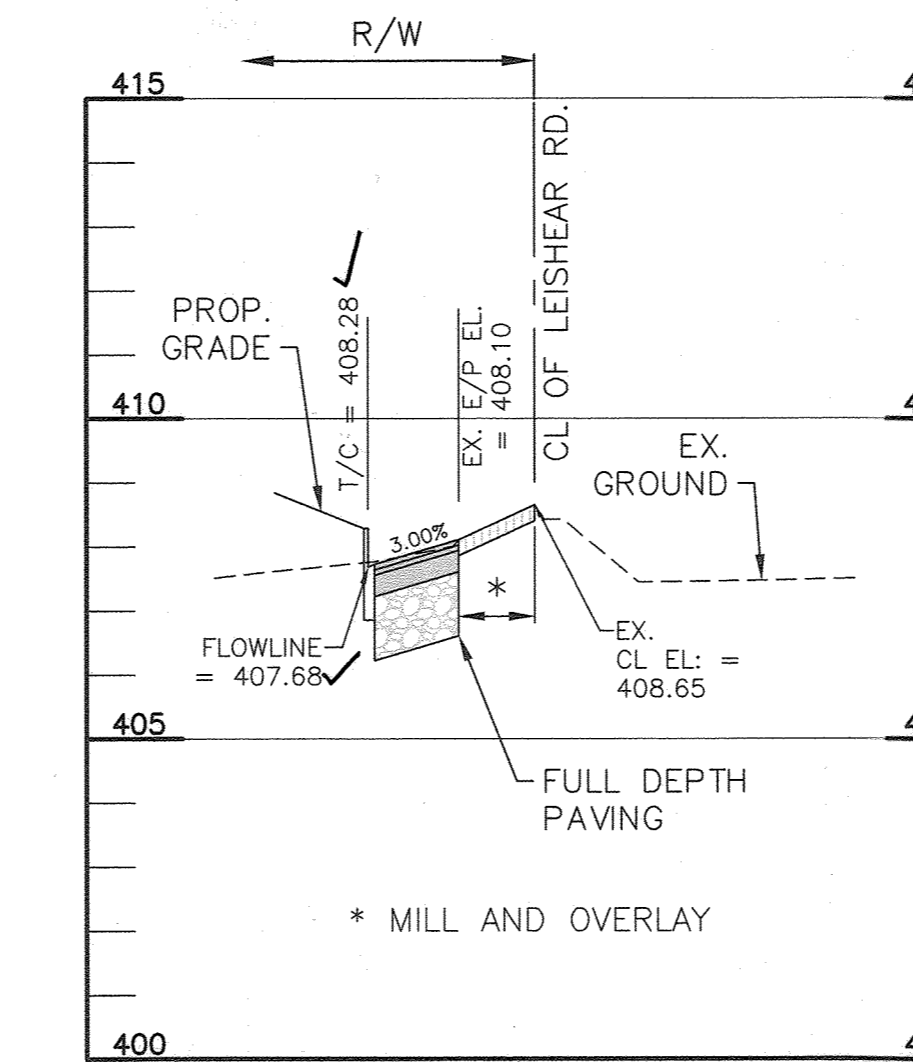
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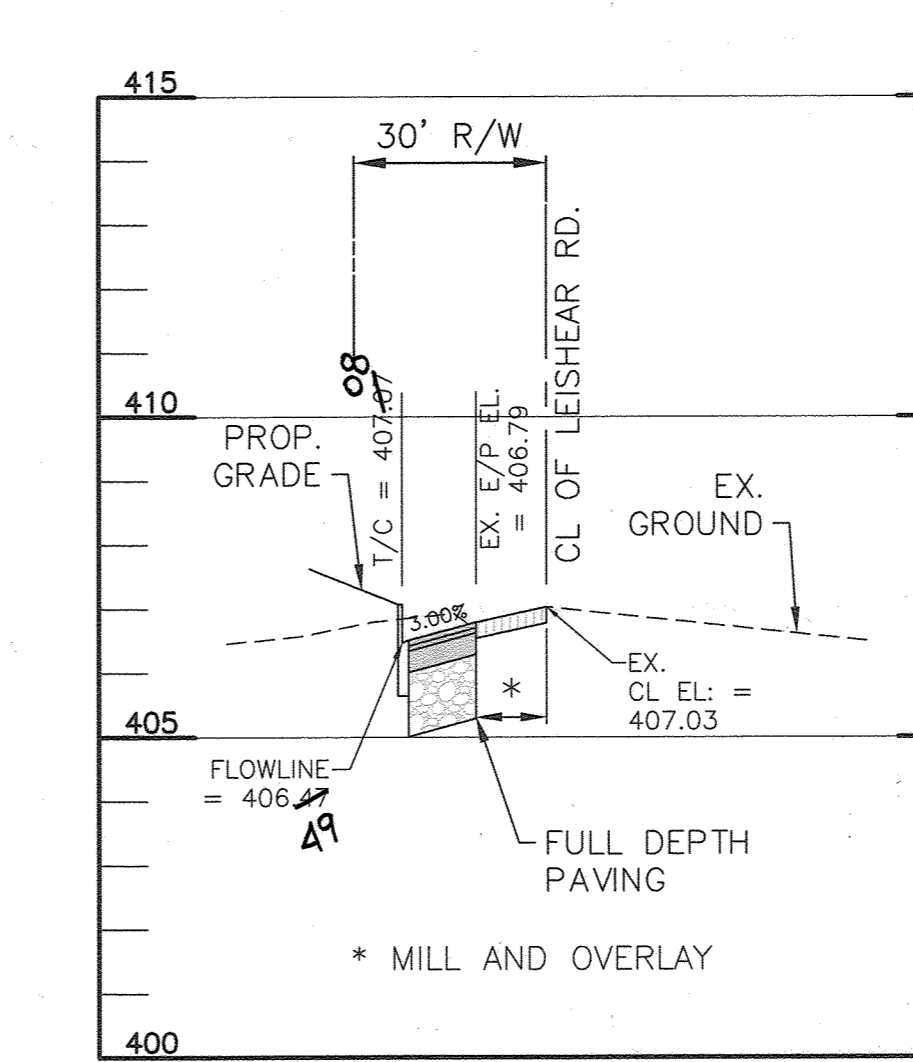
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1+50



2+00

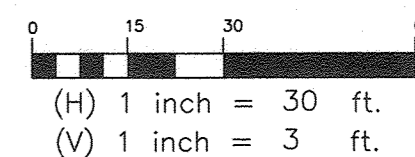


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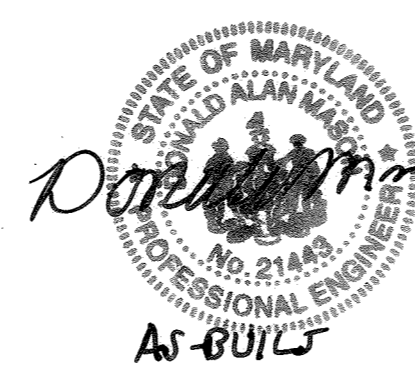
NOTE:  
IF CONDITION OF EXISTING PAVEMENT SECTION IS NOT ADEQUATE TO SUPPORT THE PROPOSED OVERLAY, CONTRACTOR SHALL BUILD UP THE EXISTING BASE SO THAT A FULL PAVING SECTION IS INSTALLED.

NOTE:  
EXISTING TELECOMMUNICATION LINES TO BE ADJUSTED AS NEEDED. MAINTAIN 24" MINIMUM COVER PER G-202.

NOTE:  
ALL SECTION TO COMPLY W/ HO.CO. STD. R-1.08



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/12/21  
 CHIEF, DIVISION OF LAND MANAGEMENT  
 APPROVED: DEPARTMENT OF TRANSPORTATION  
*[Signature]* 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21643, Expiration Date: 12-21-24

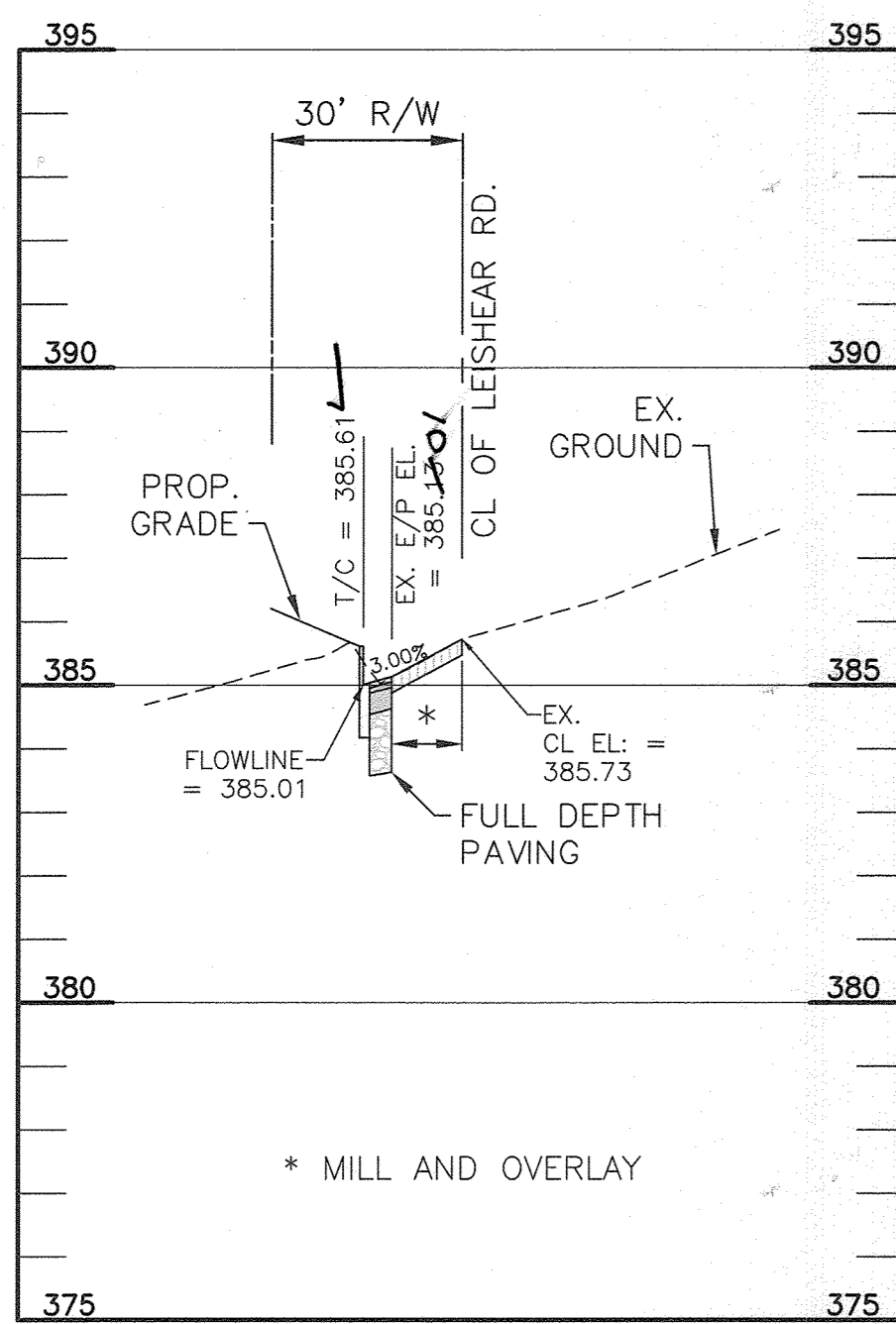
AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-15-23

LEGEND	
	FULL DEPTH PAVING
	MILL AND OVERLAY

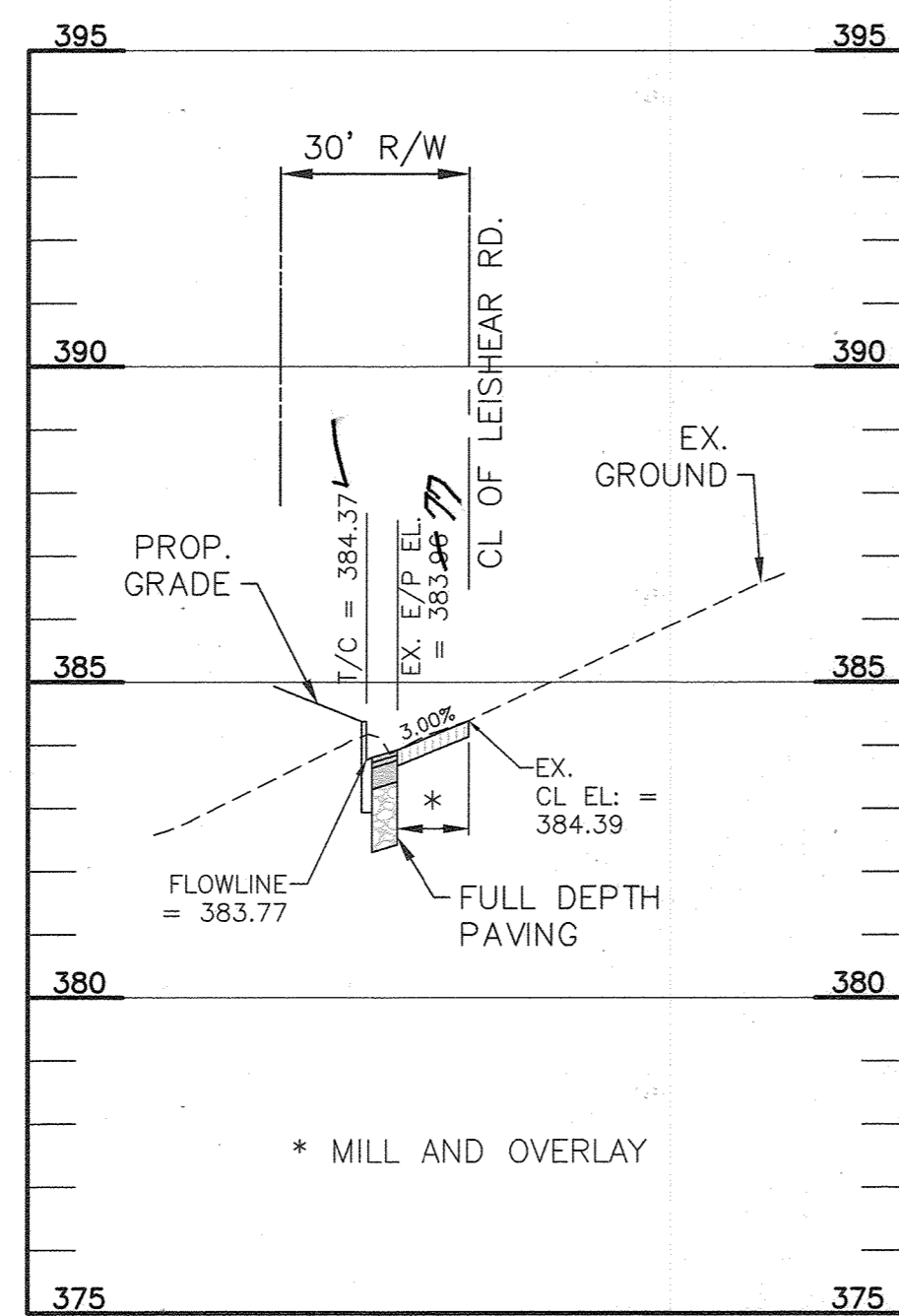
<p>NO. DATE REVISION</p>	
<p><b>BENCHMARK ENGINEERING, INC.</b>        ENGINEERS &amp; LAND SURVEYORS &amp; PLANNERS        8480 BALTIMORE NATIONAL PIKE &amp; SUITE 315A ELLICOTT CITY, MARYLAND 21043        (P) 410-465-8105 (F) 410-465-6644        WWW.BE-CIVILENGINEERING.COM</p>	
<p>Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.        License No. 22390, Expiration Date: 6-30-2023</p>	
<p><b>WELLINGTON FARMS</b>        Phase 1 Section 1        Lots 1 thru 45; Open Space Lots 46 thru 53;        Non-Buildable Bulk Parcels A and B        (A Resubdivision of Parcels 'C' and 'D'        previously recorded as Plat No. 20136-20137)</p>	
<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163        ZONED: R-20-MXD-3 / R-SC-MXD-3        ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>	
<p><b>LEISHEAR ROAD CROSS SECTIONS</b></p>	
OWNER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DEVELOPER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DATE:	JUNE 4, 2021
BEI PROJECT NO.	2879
DESIGN:	LDD
DRAFT:	LDD
SCALE:	AS SHOWN
SHEET	9 OF 47

AS-BUILT

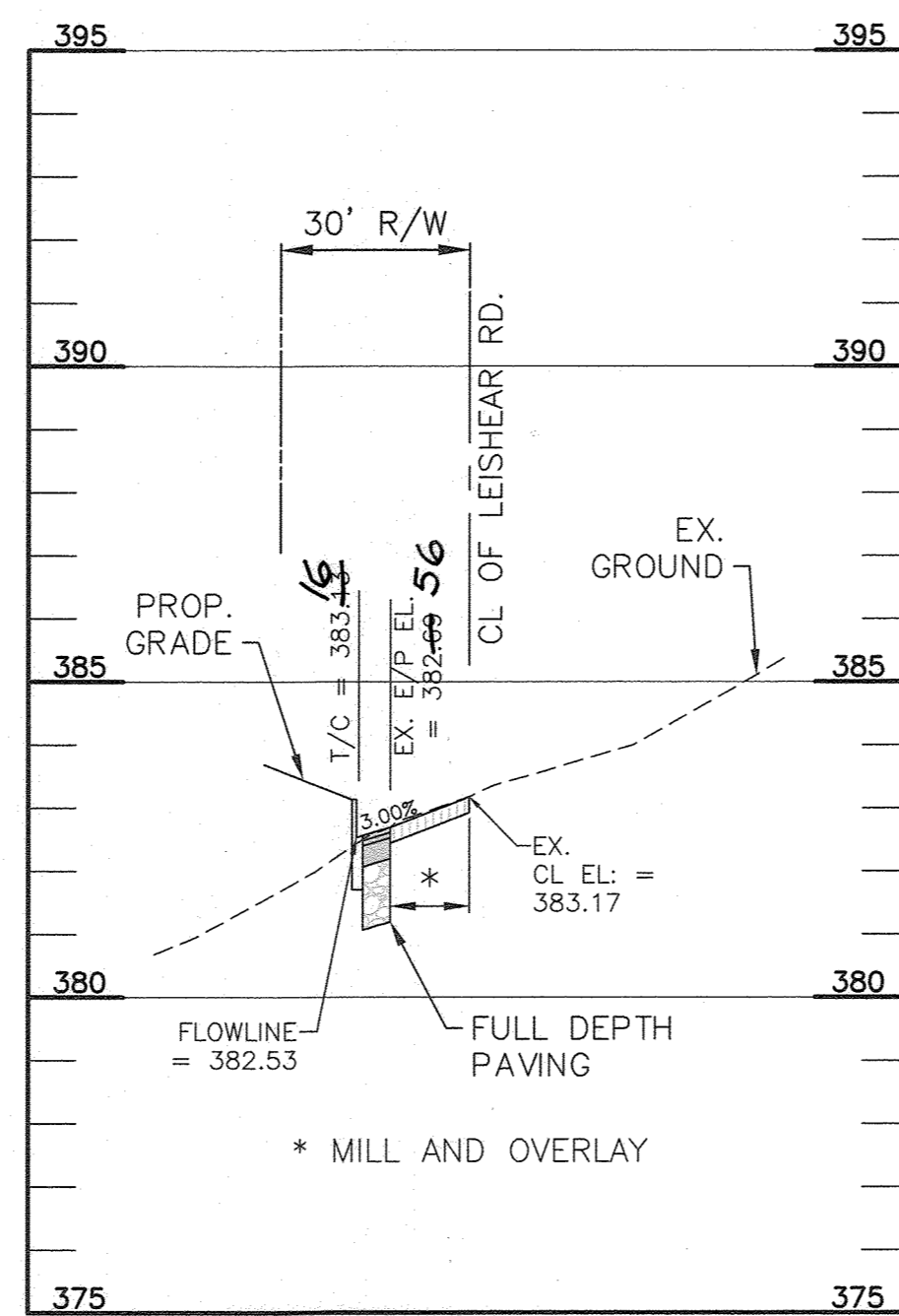
F-21-025



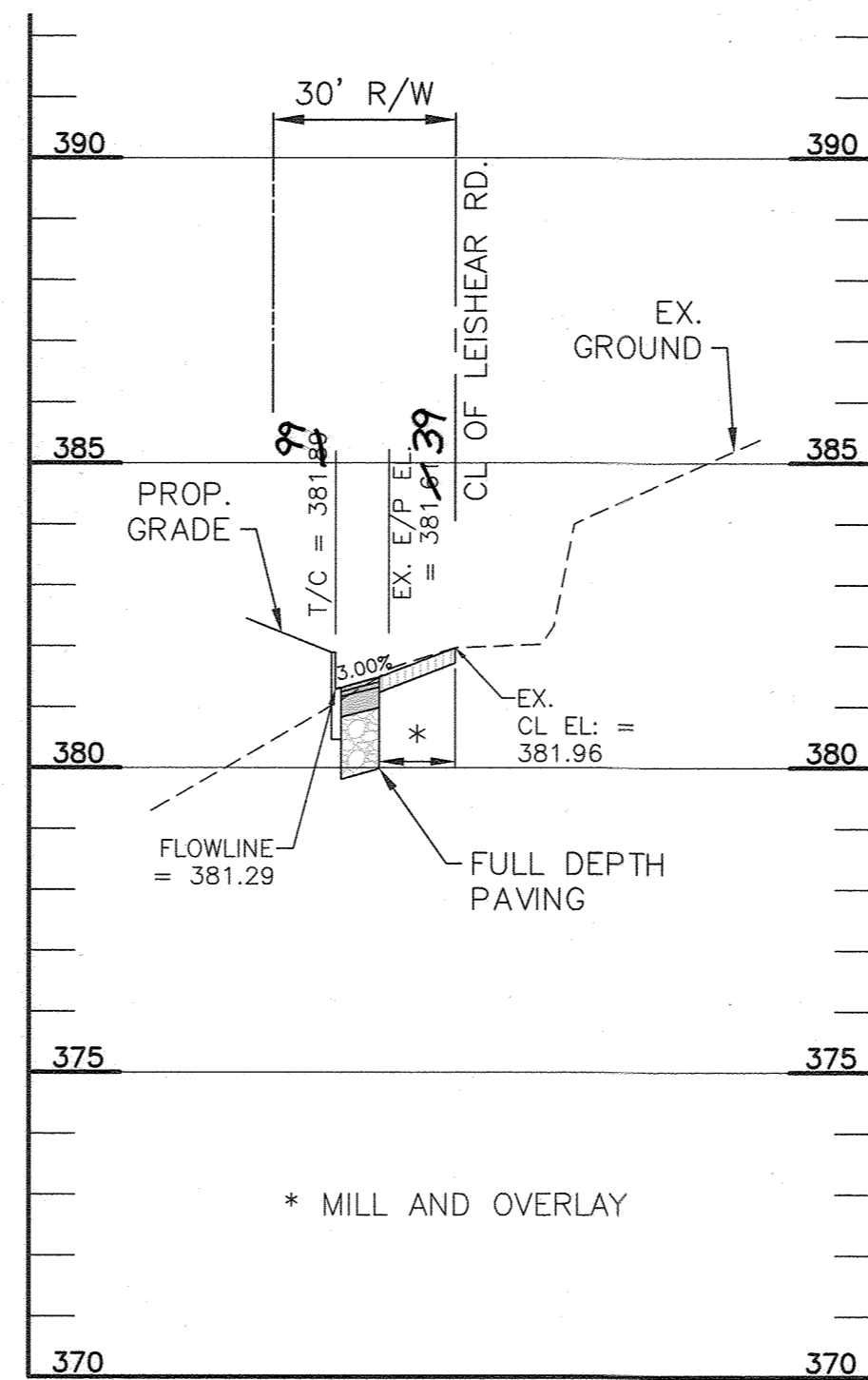
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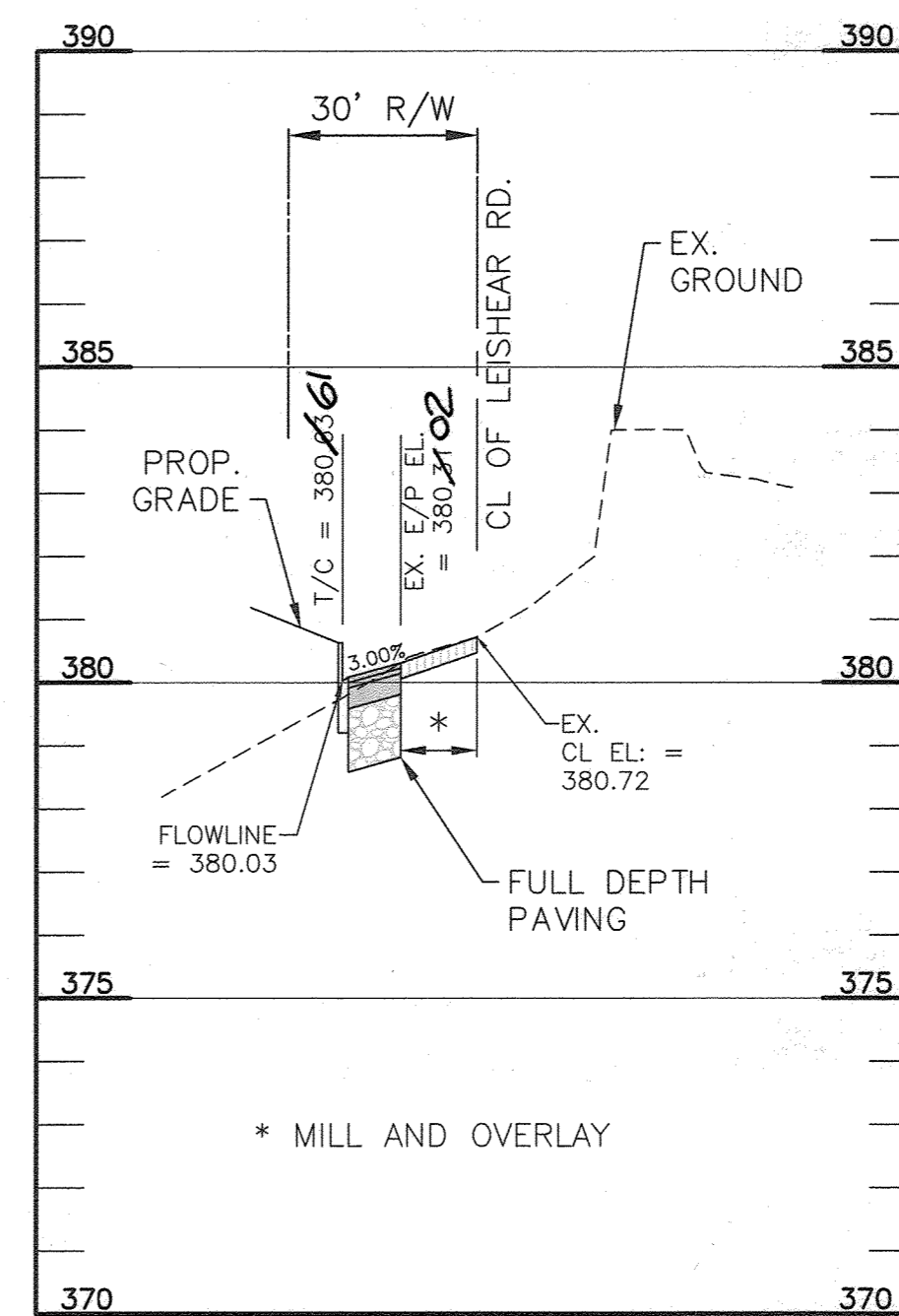
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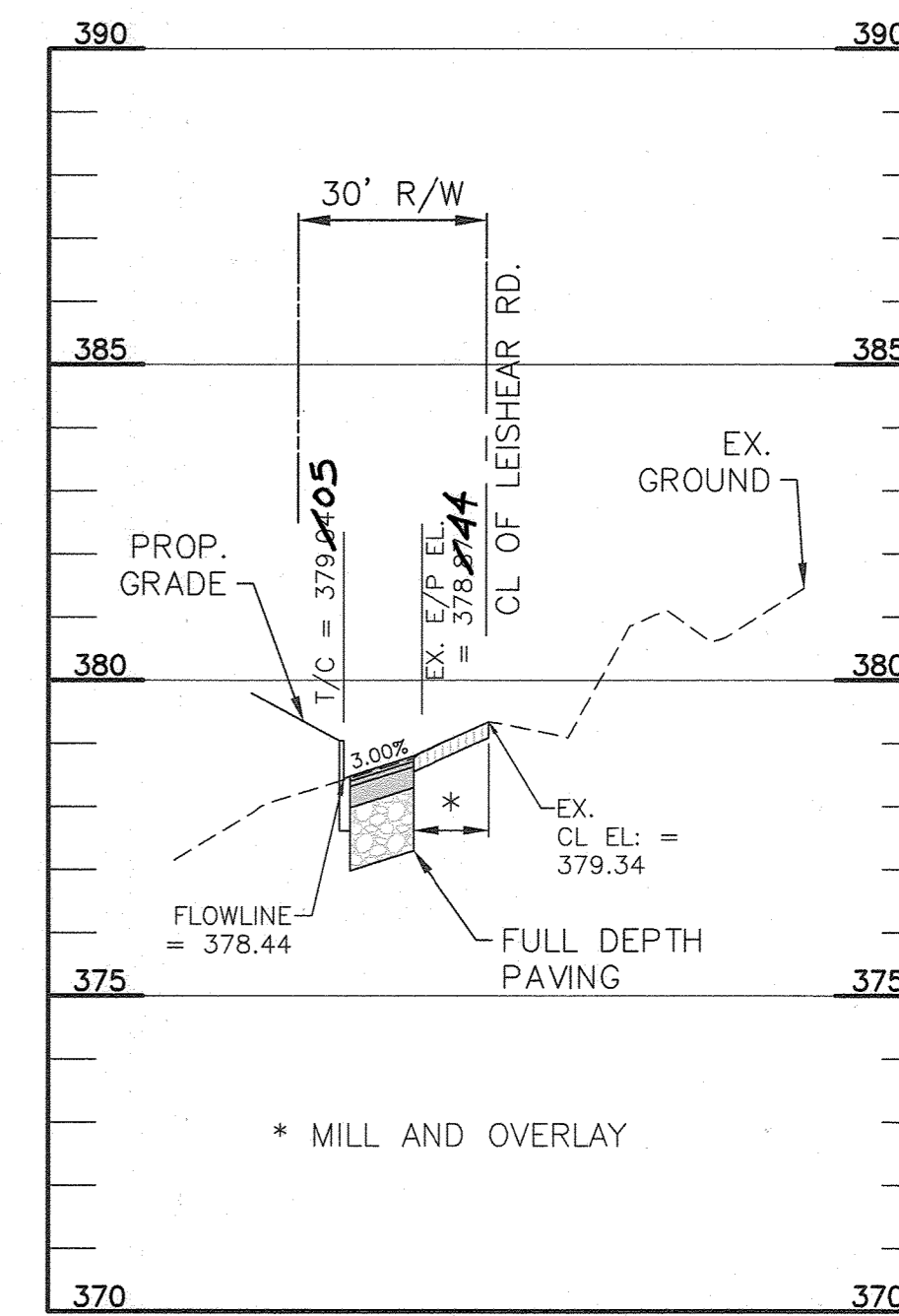
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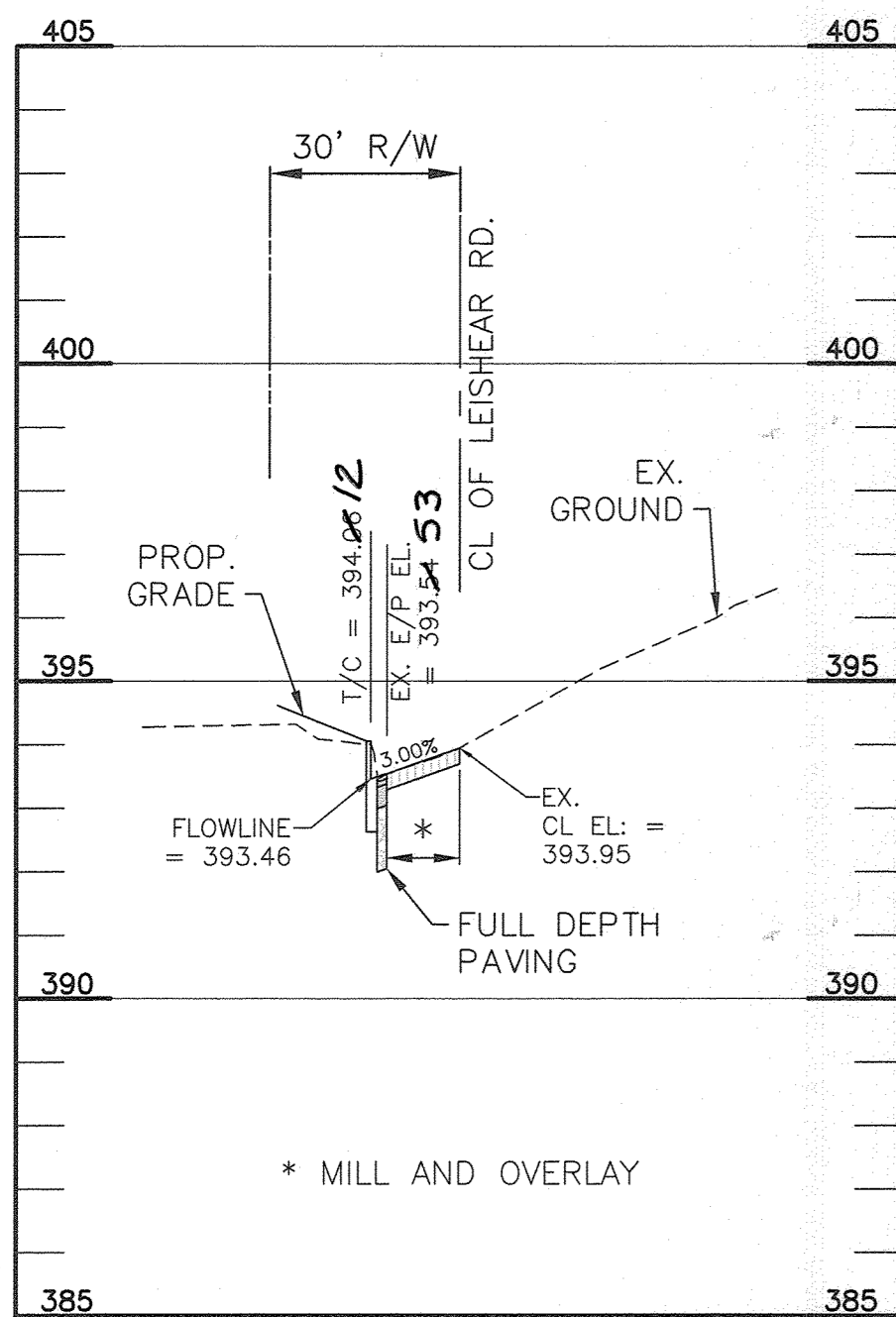
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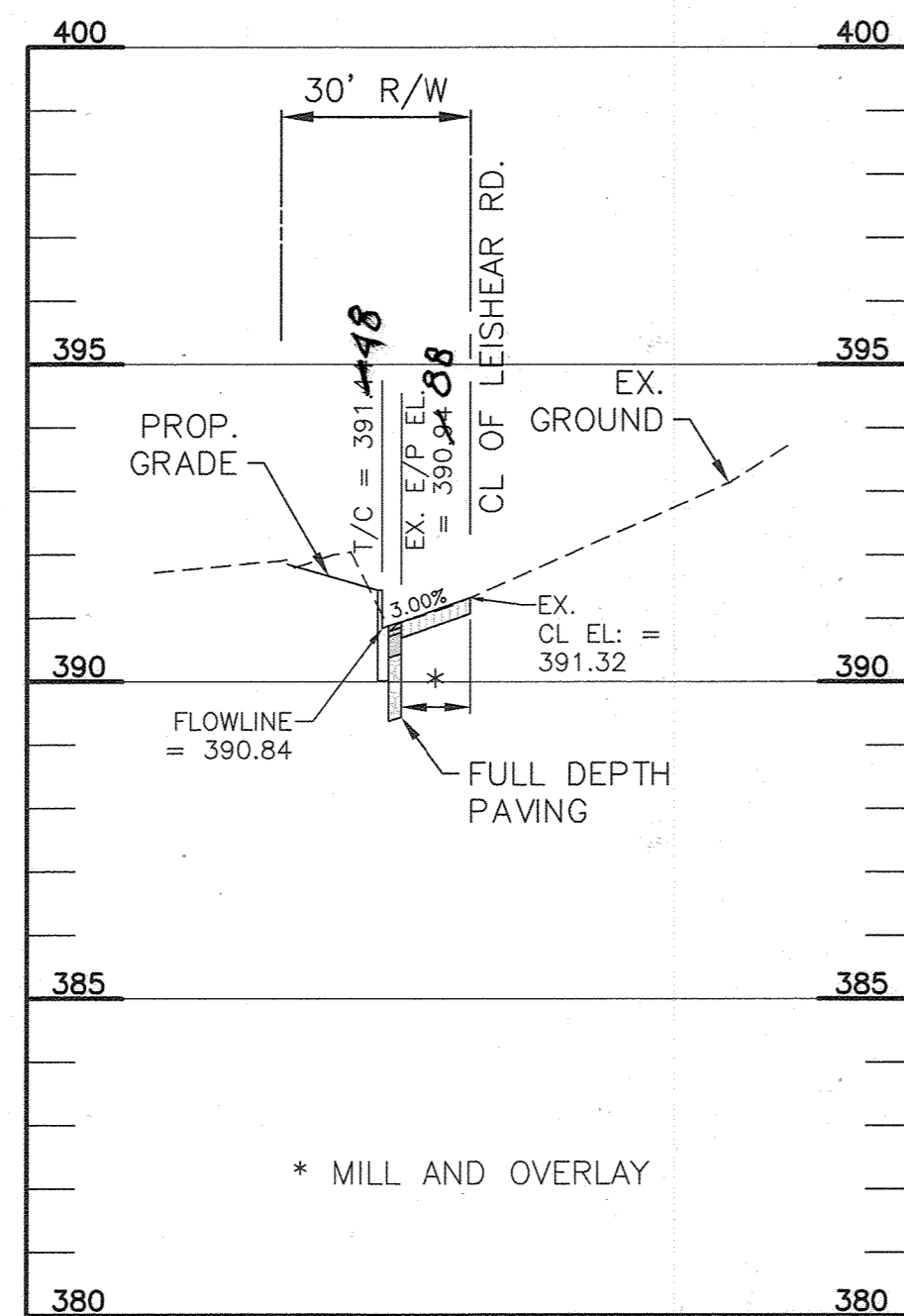
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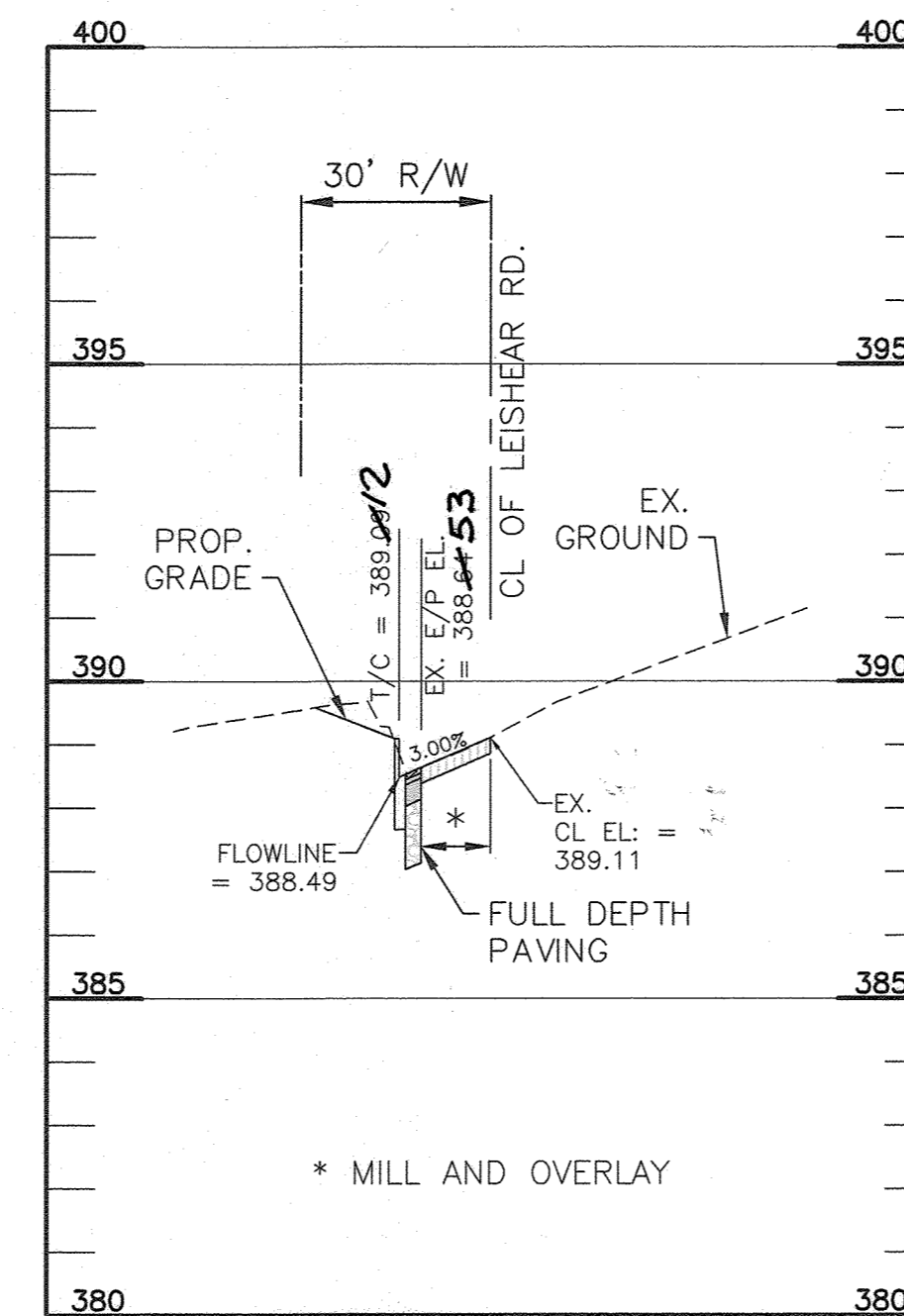
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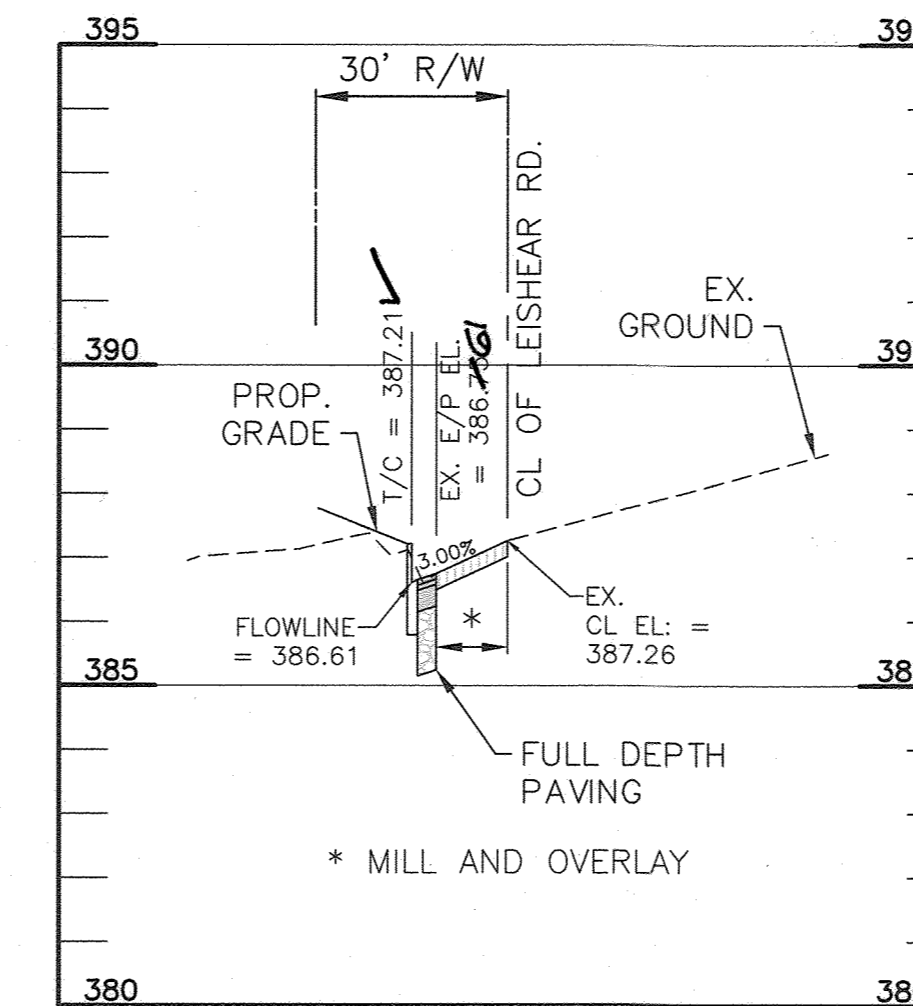
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6+50



7+00

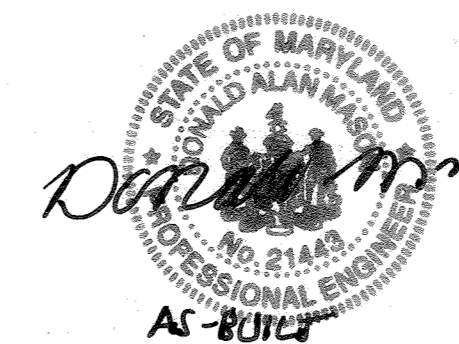


7+50

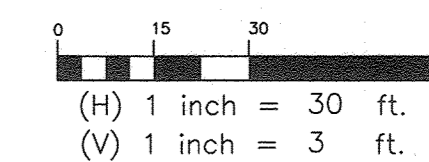
NOTE:  
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NOTE:  
ALL SECTION TO COMPLY W/ HO.CO. STD. R-1.08



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-21-21

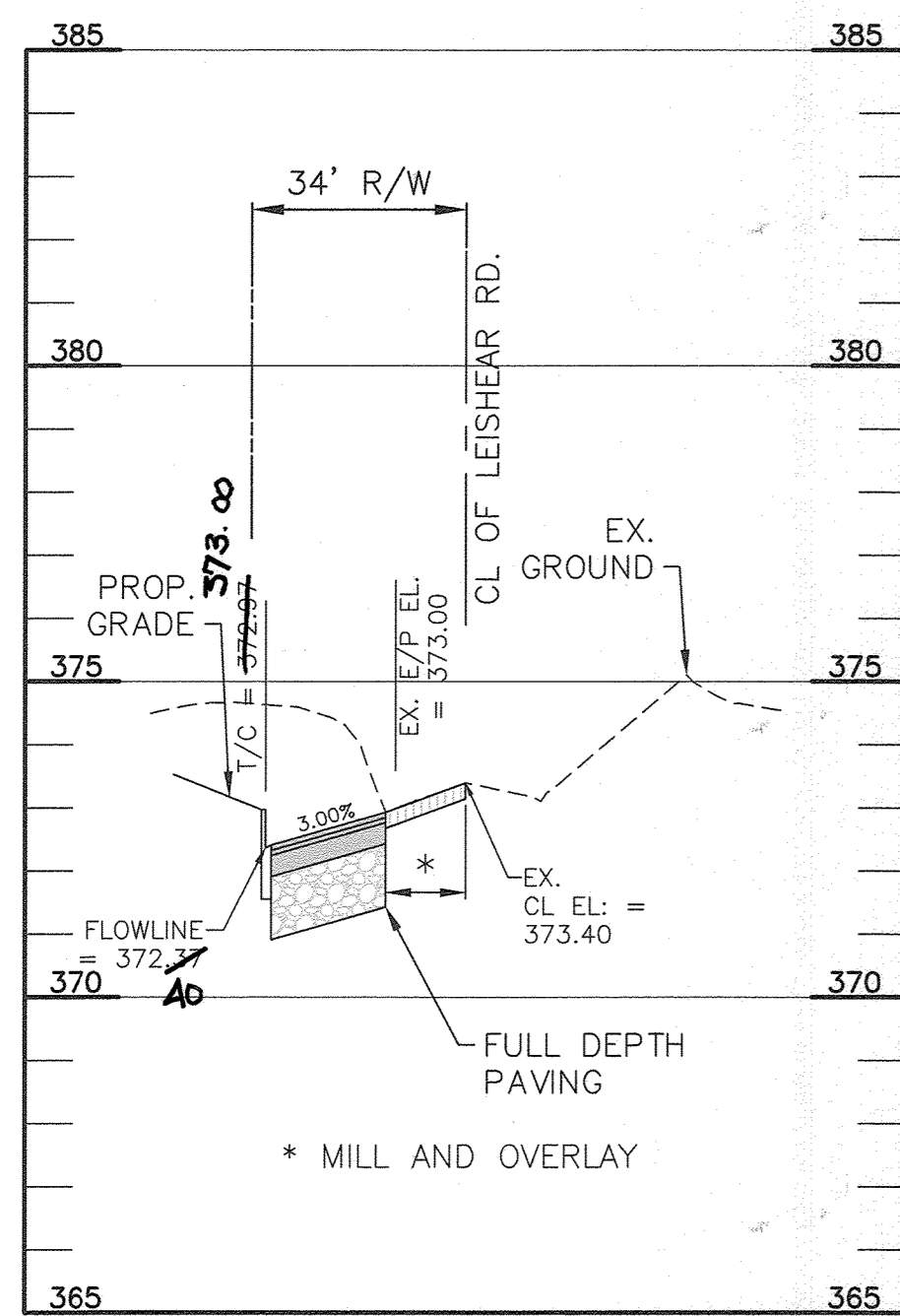


AS-BUILT CERTIFICATION  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
Donald Mason, P.E. Date: 12-18-23

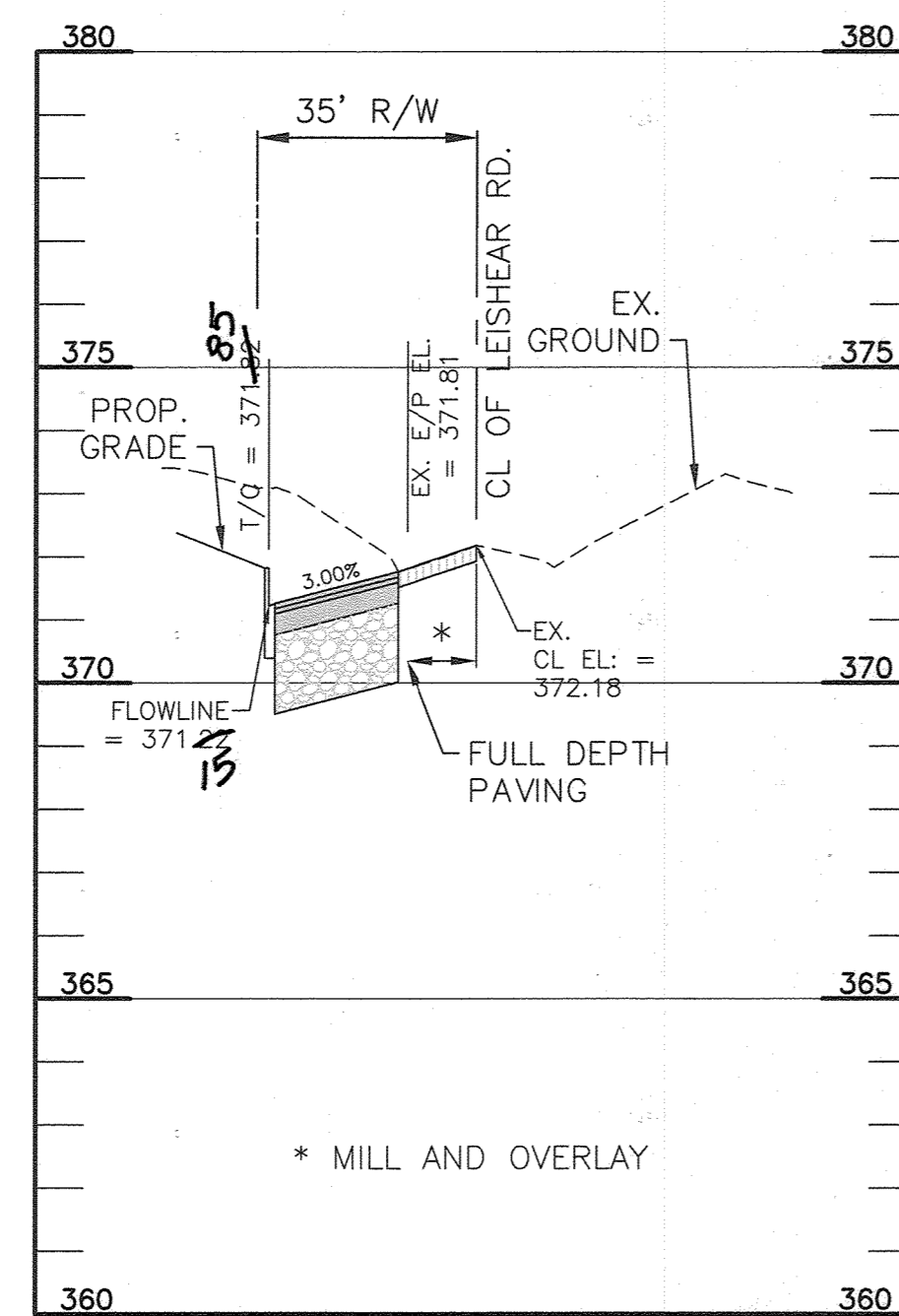
LEGEND	
	FULL DEPTH PAVING
	MILL AND OVERLAY

NO. DATE REVISION	
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8644 WWW.BE-ENGINEERING.COM	
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	
<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)	
<b>LIESHEAR ROAD CROSS SECTIONS</b>	
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN: LDD	DRAFT: LDD
SCALE: AS SHOWN	SHEET 10 OF 47

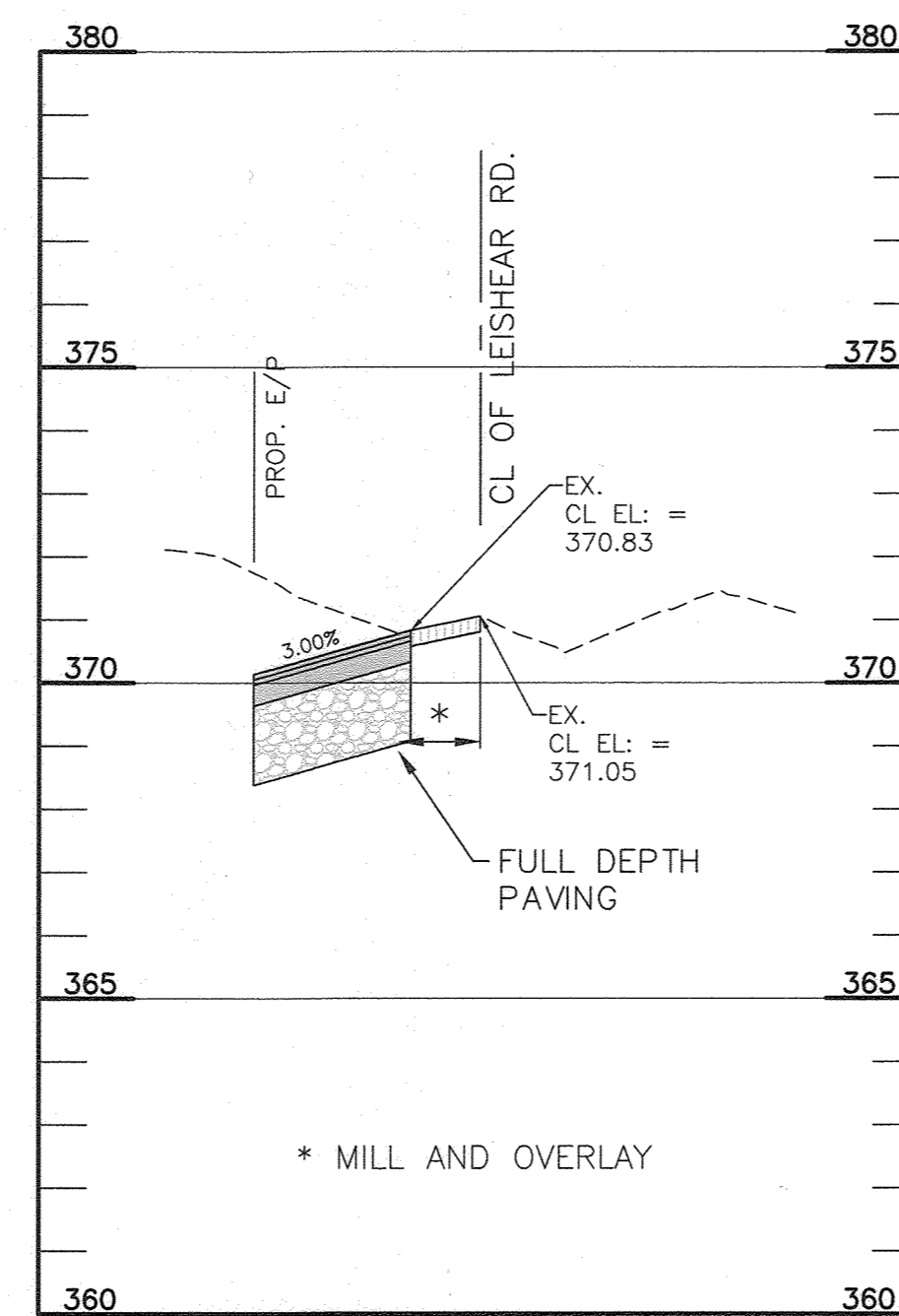
APPROVED: DEPARTMENT OF PUBLIC WORKS	
	07/02/2021 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	7/11/21 DATE
	7-12-21 DATE



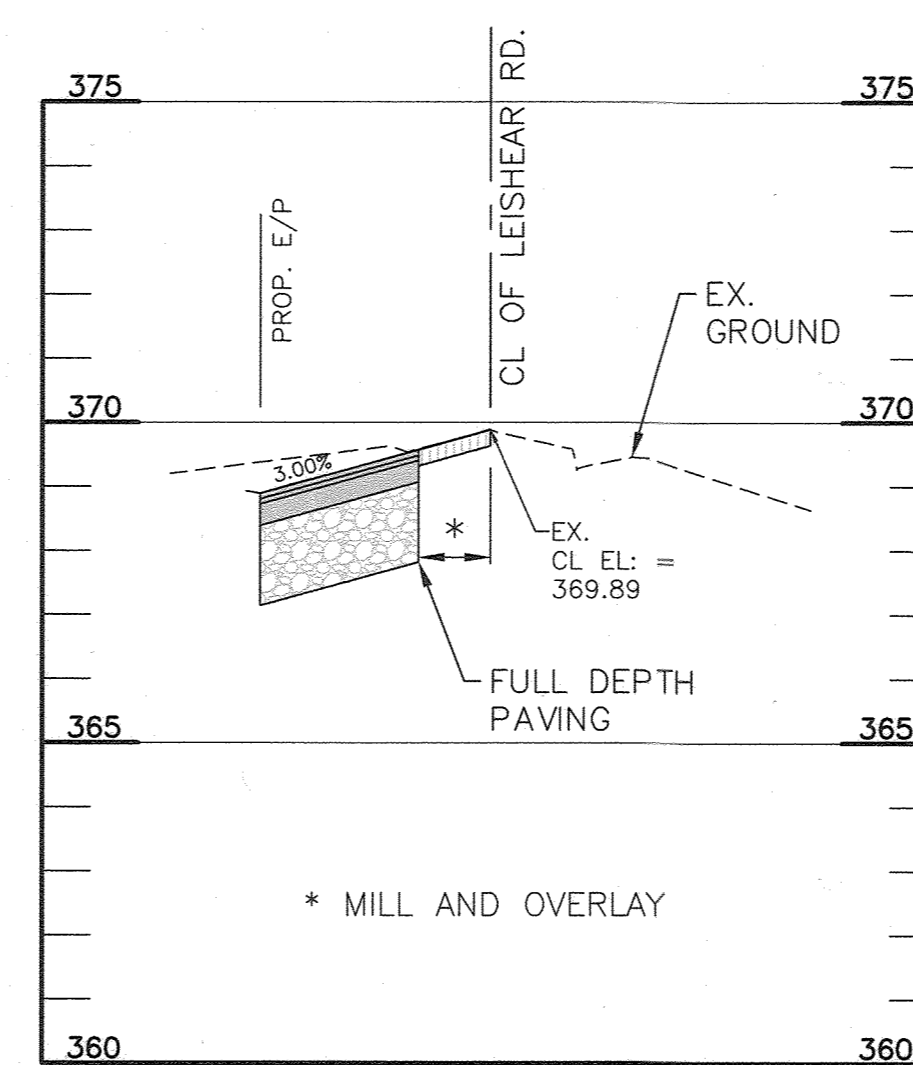
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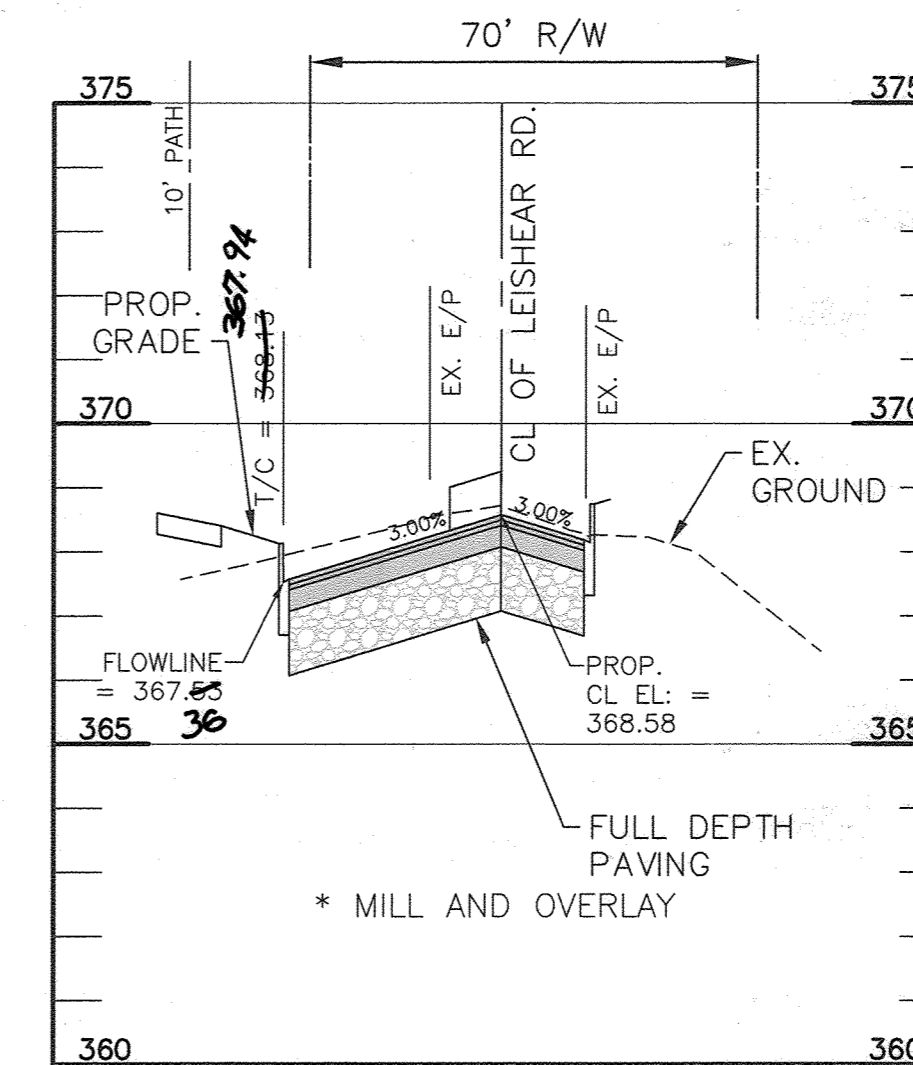
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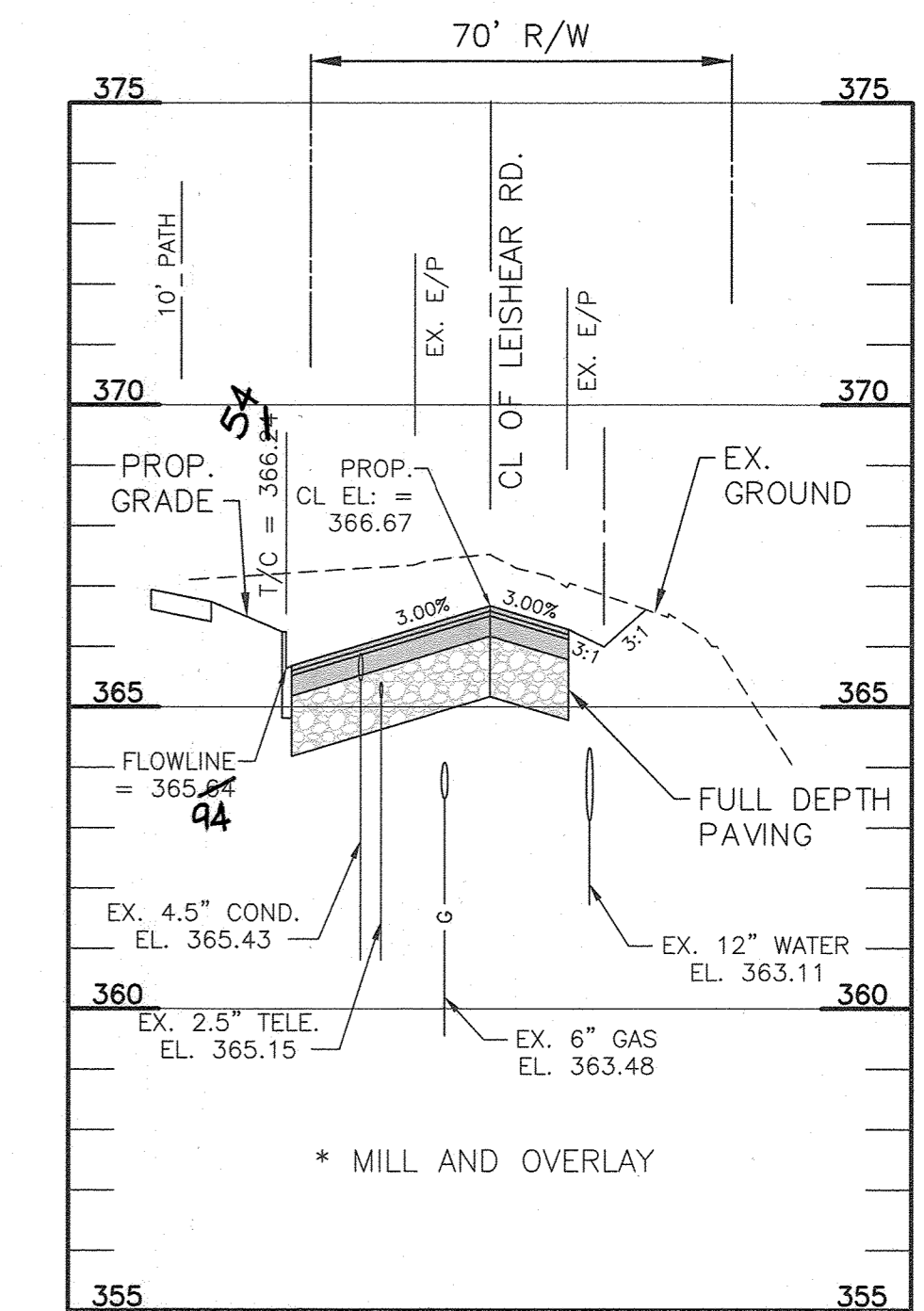
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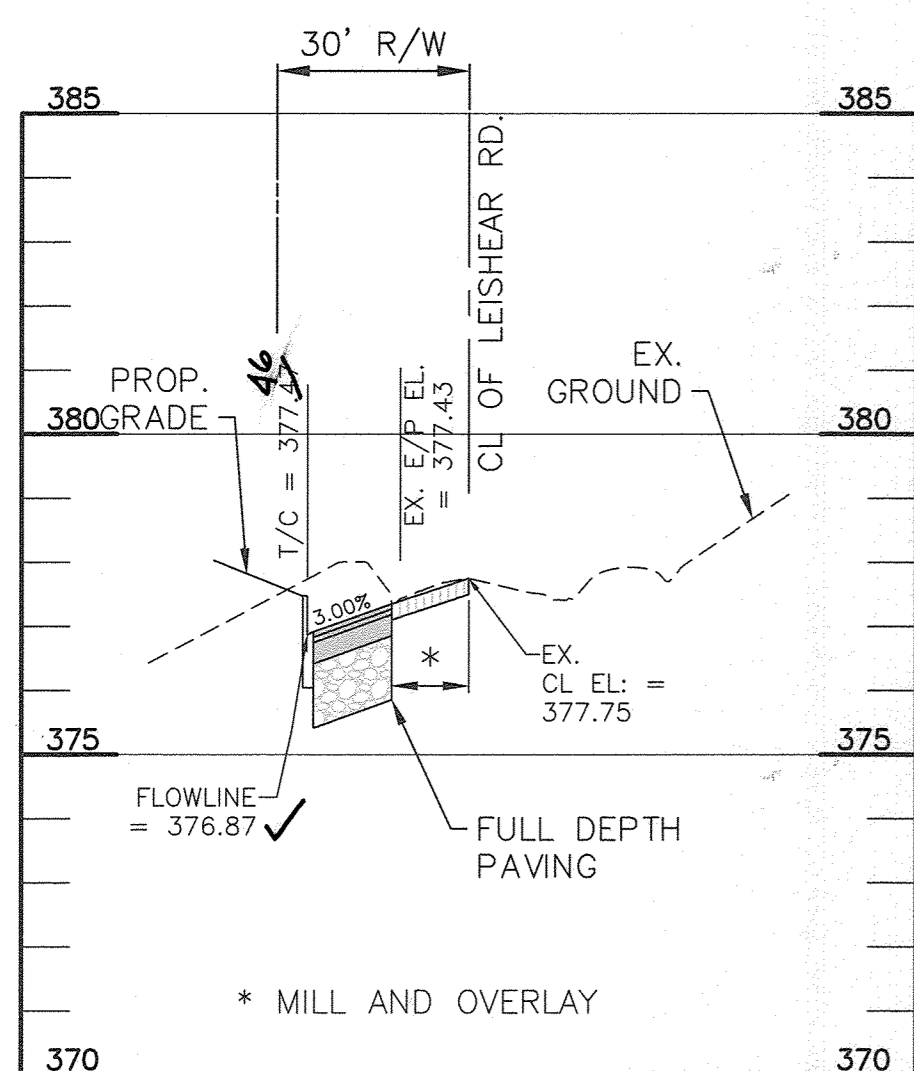
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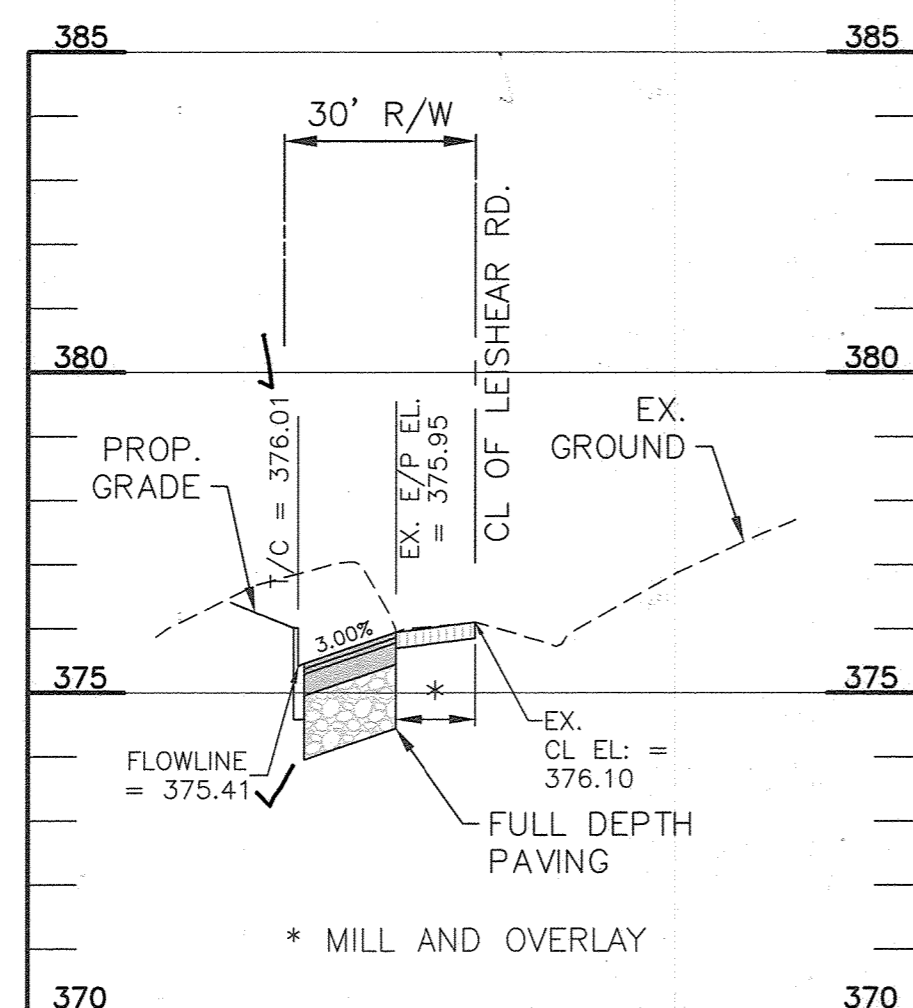
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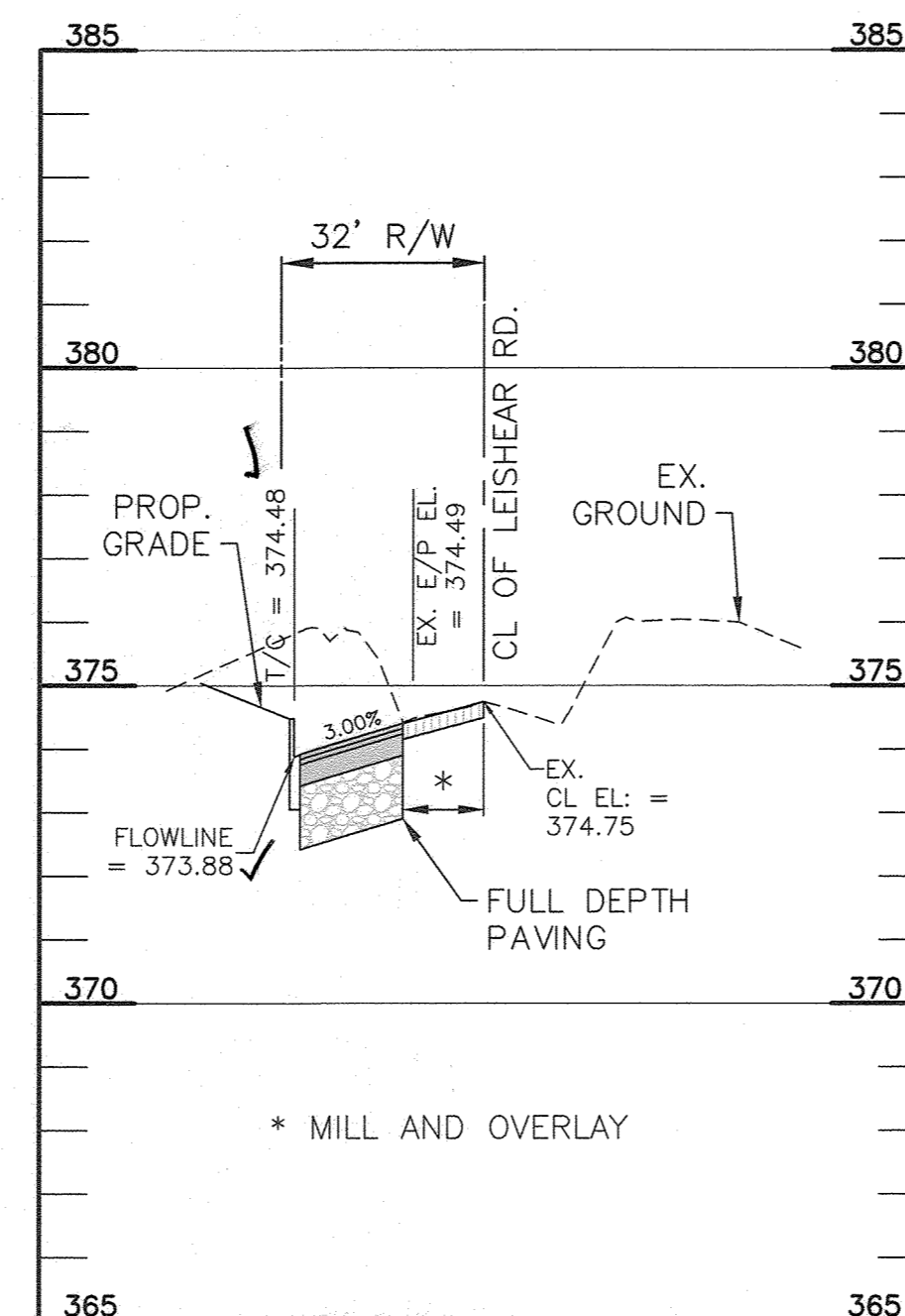
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11+00



11+50

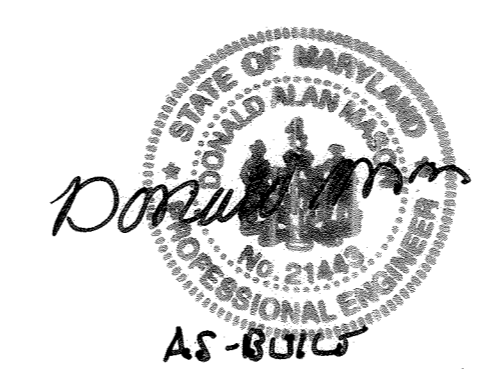
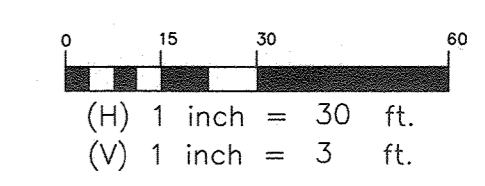


12+00

NOTE:  
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NOTE:  
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NOTE:  
ALL SECTION TO COMPLY W/ HO.CO. STD. R-1.08



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-21-24

AS-BUILT CERTIFICATION  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
Donald Mason, P.E. Date: 12-19-23

LEGEND	
	FULL DEPTH PAVING
	MILL AND OVERLAY

NO.	DATE	REVISION

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-8105 (F) 410-465-8644  
WWW.BE-CIVILENGINEERING.COM

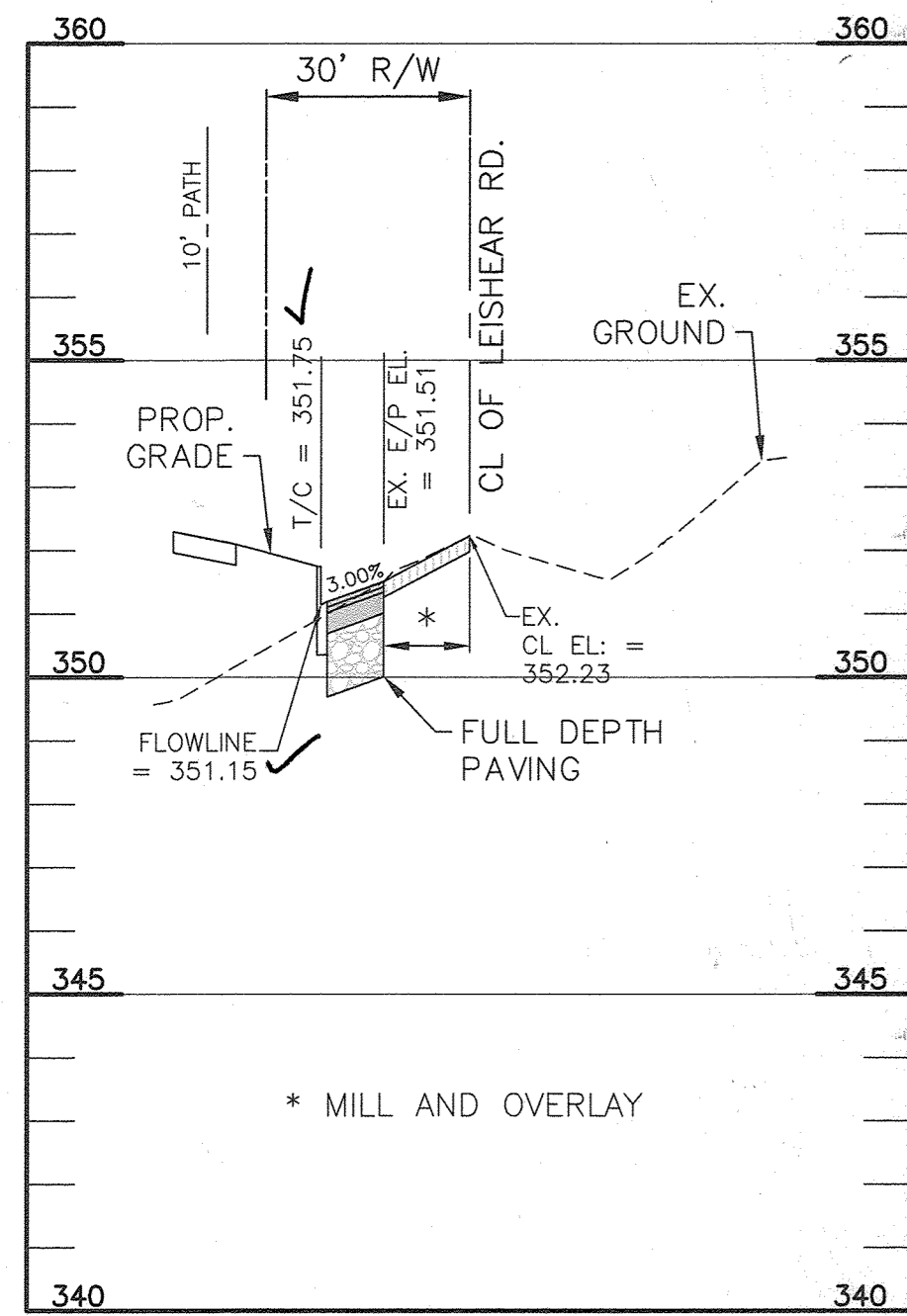
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 22590

<p>OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>	<p><b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)</p>		
<p>DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021</p>	<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-50-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>		
<p><b>LEISHAR ROAD CROSS SECTIONS</b></p>			
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879	DESIGN: LDD	DRAFT: LDD
SCALE: AS SHOWN	SHEET 11 OF 47		

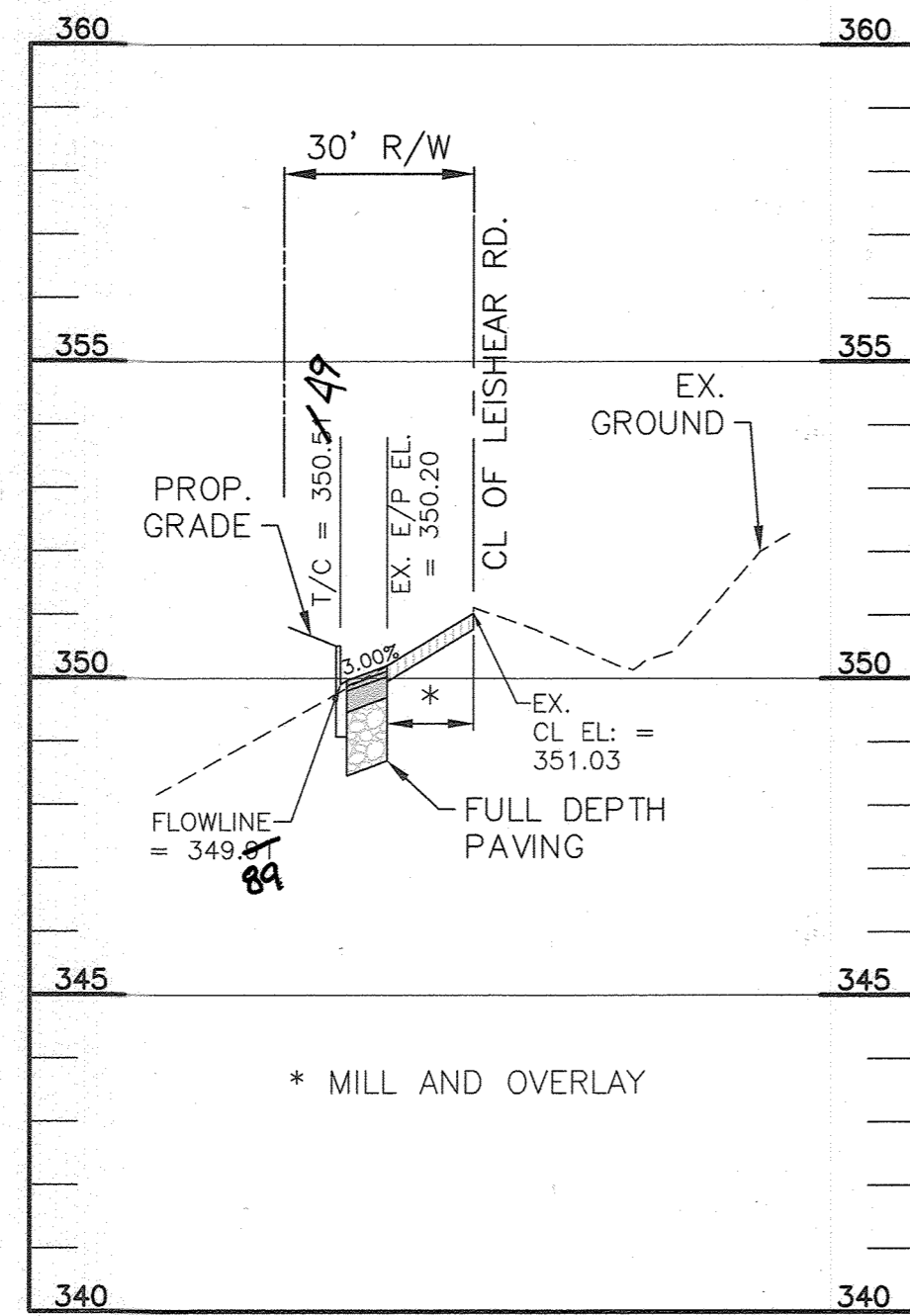
APPROVED: DEPARTMENT OF PUBLIC WORKS  
  
CHIEF, BUREAU OF HIGHWAYS  
DATE: 07/02/2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 7/11/21

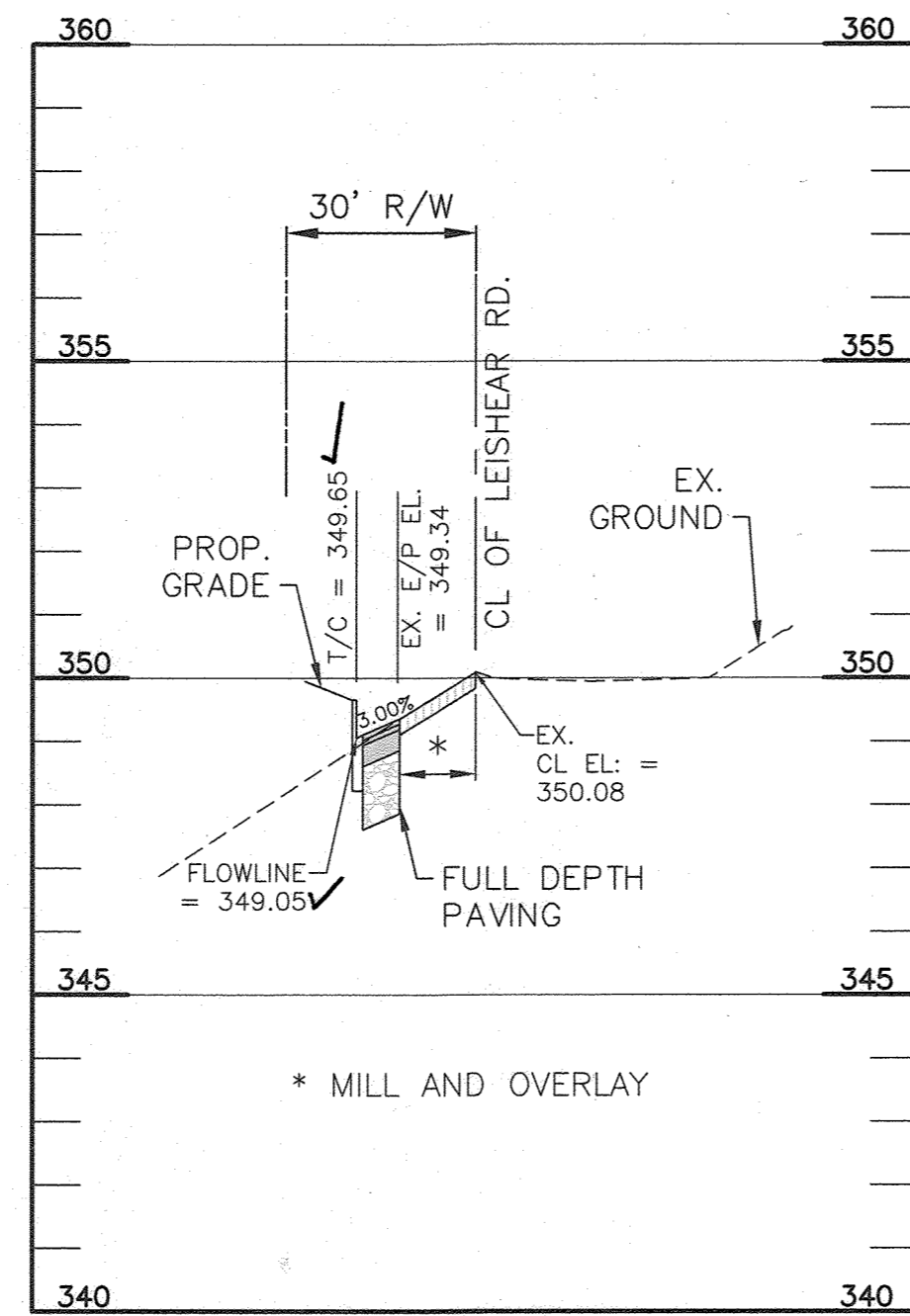
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 7-12-21



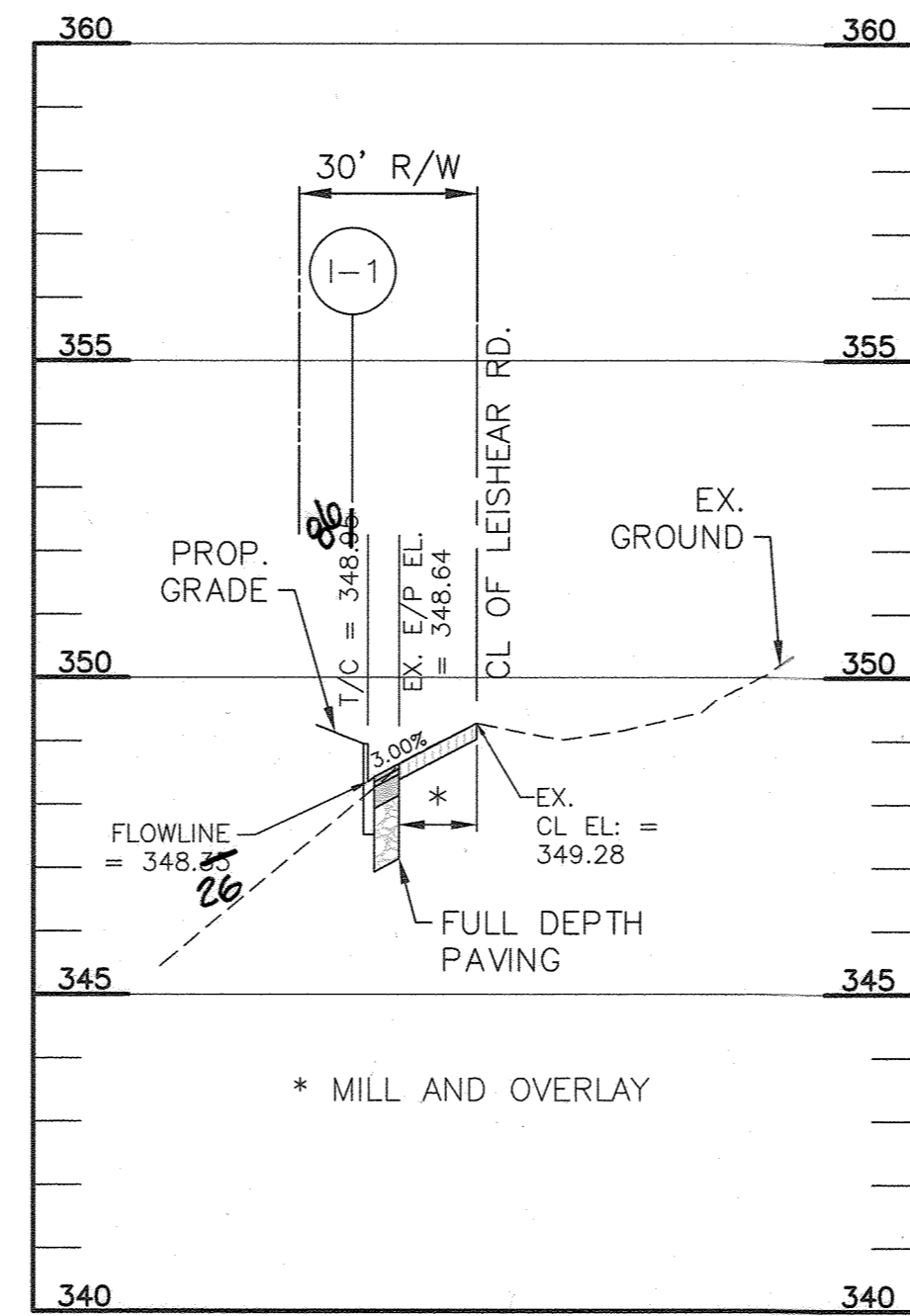
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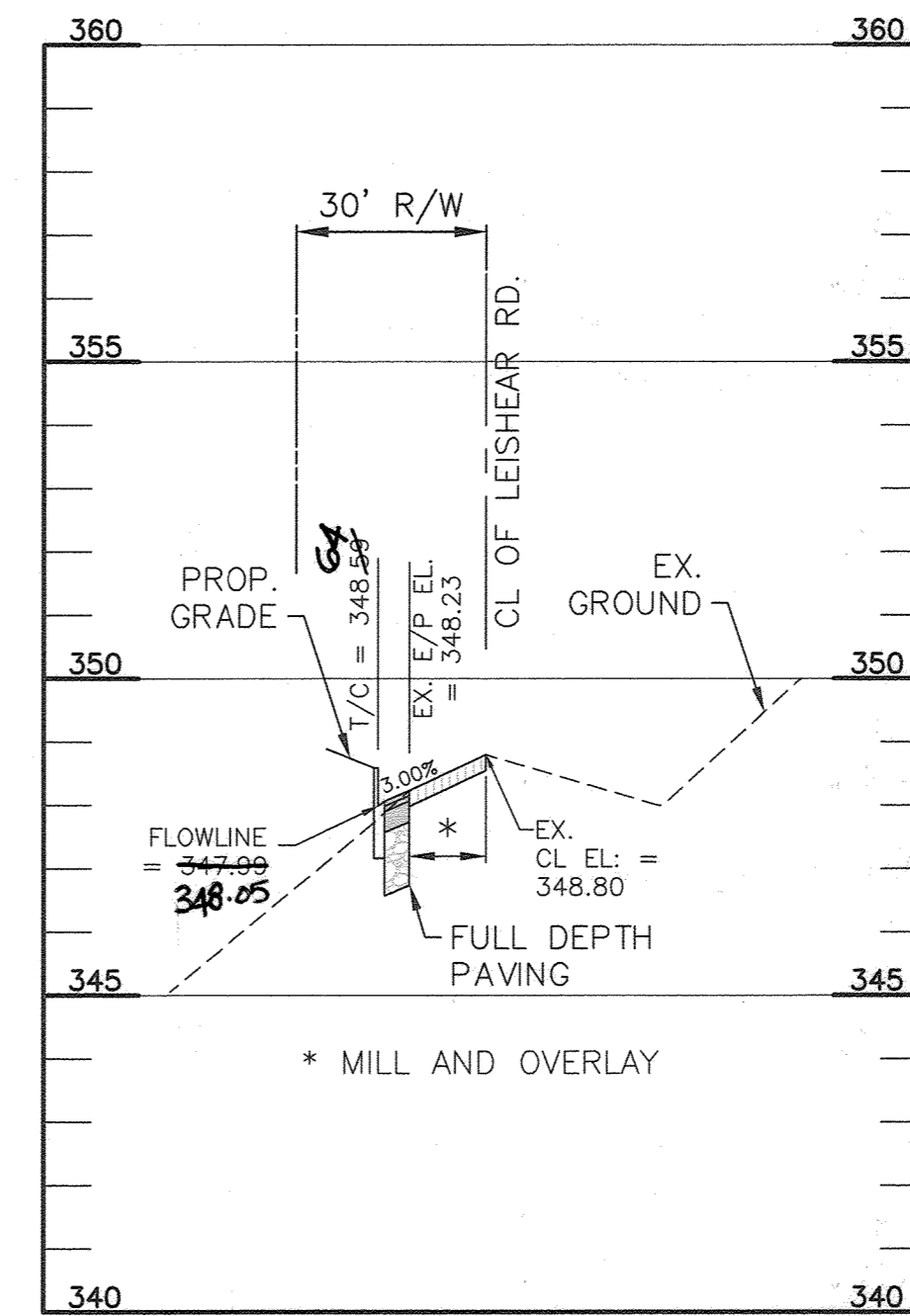
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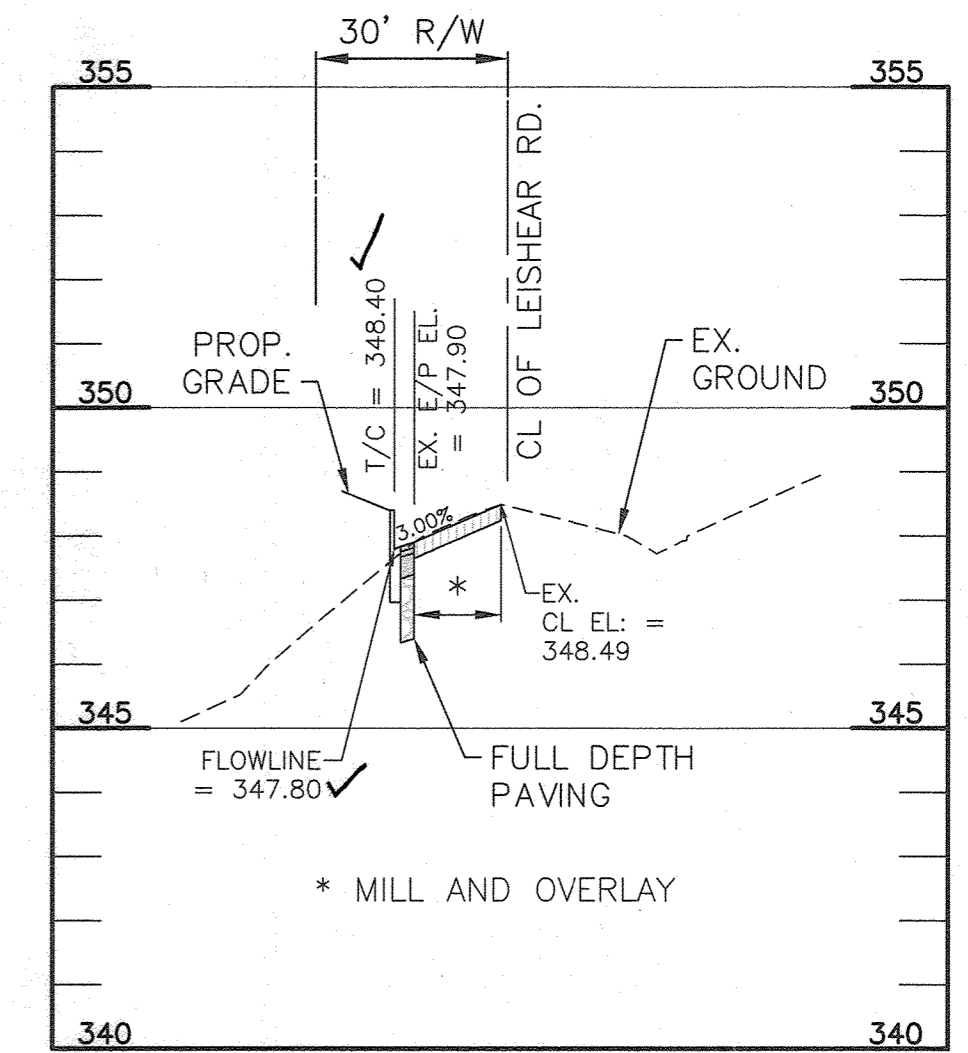
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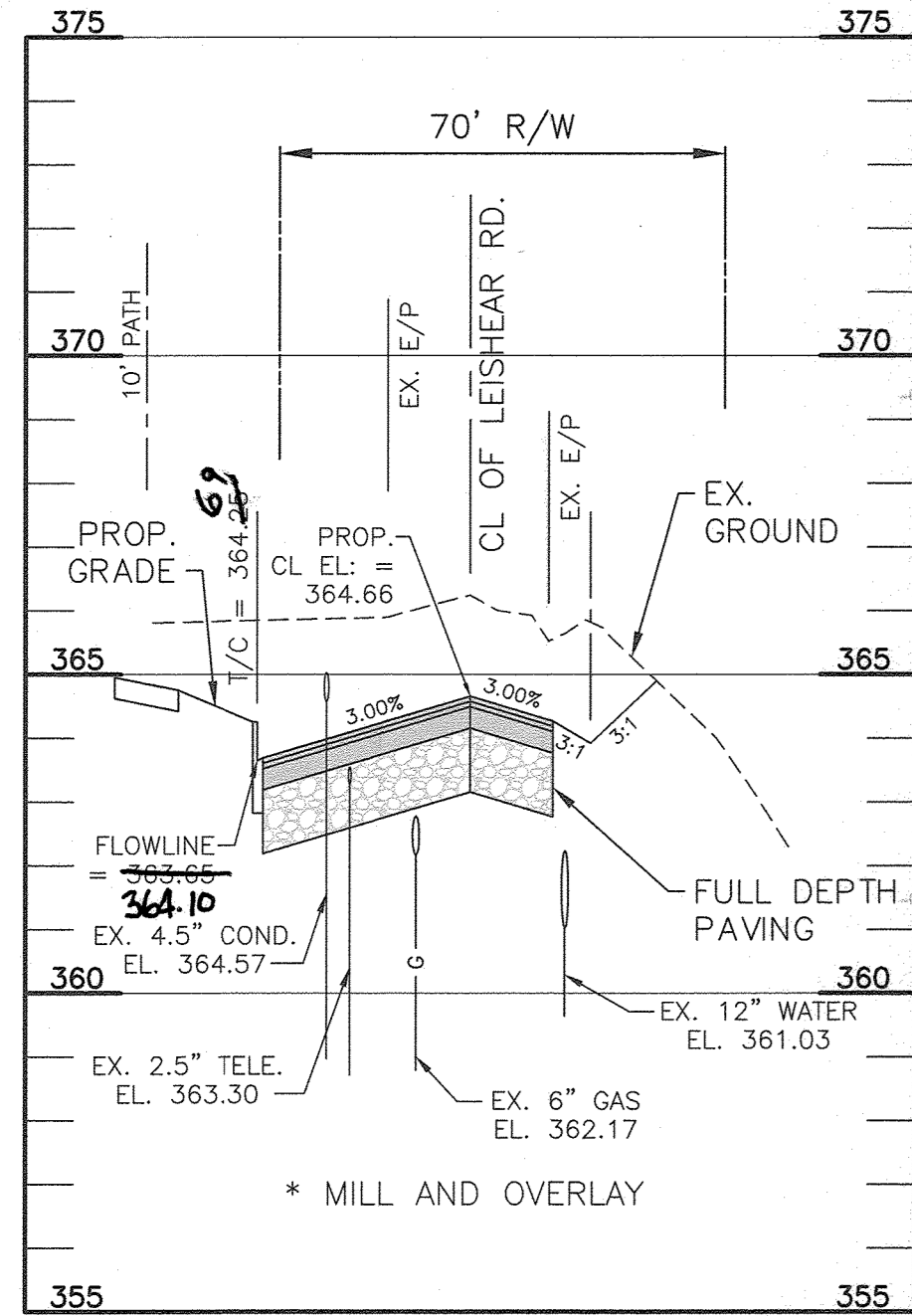
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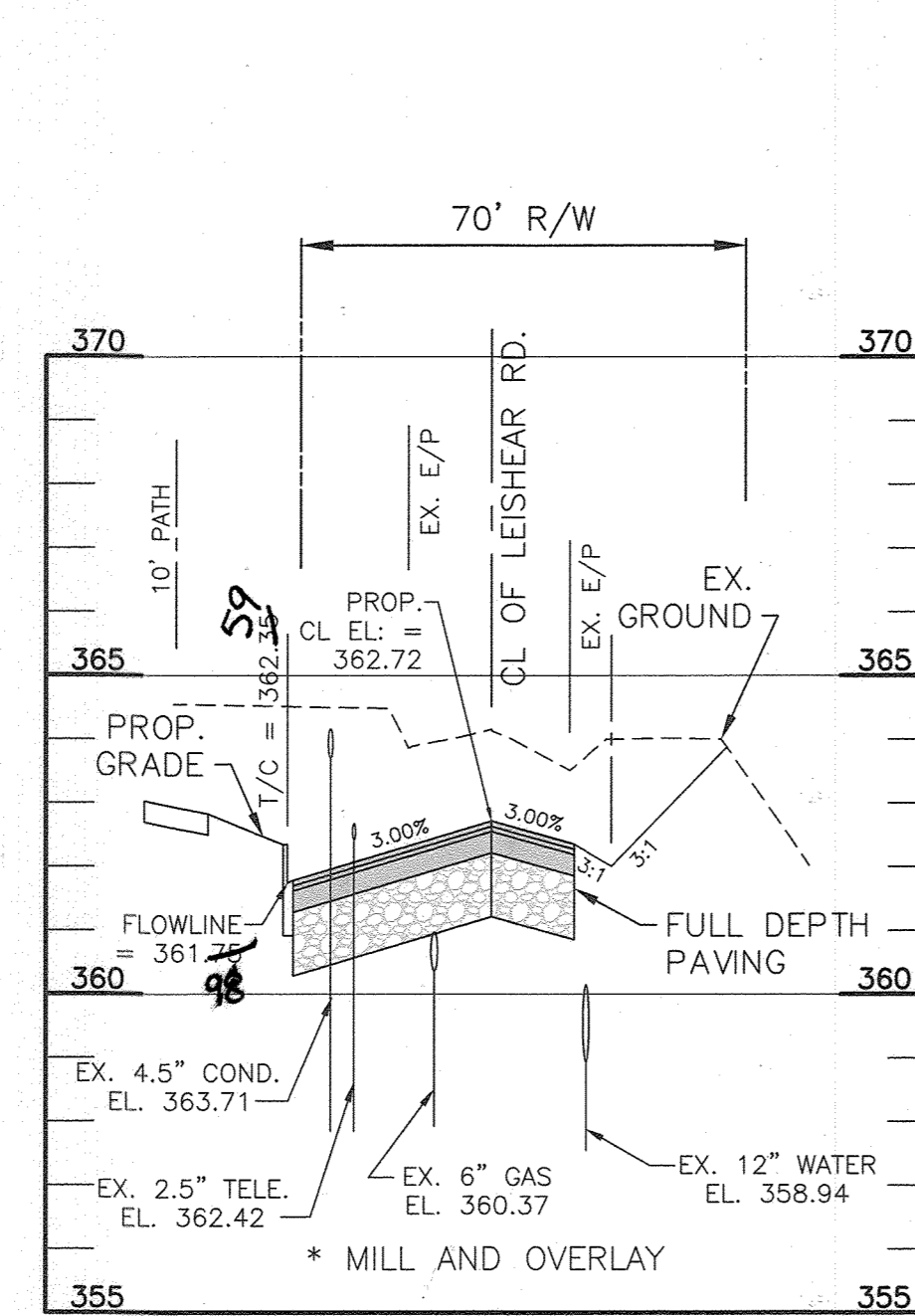
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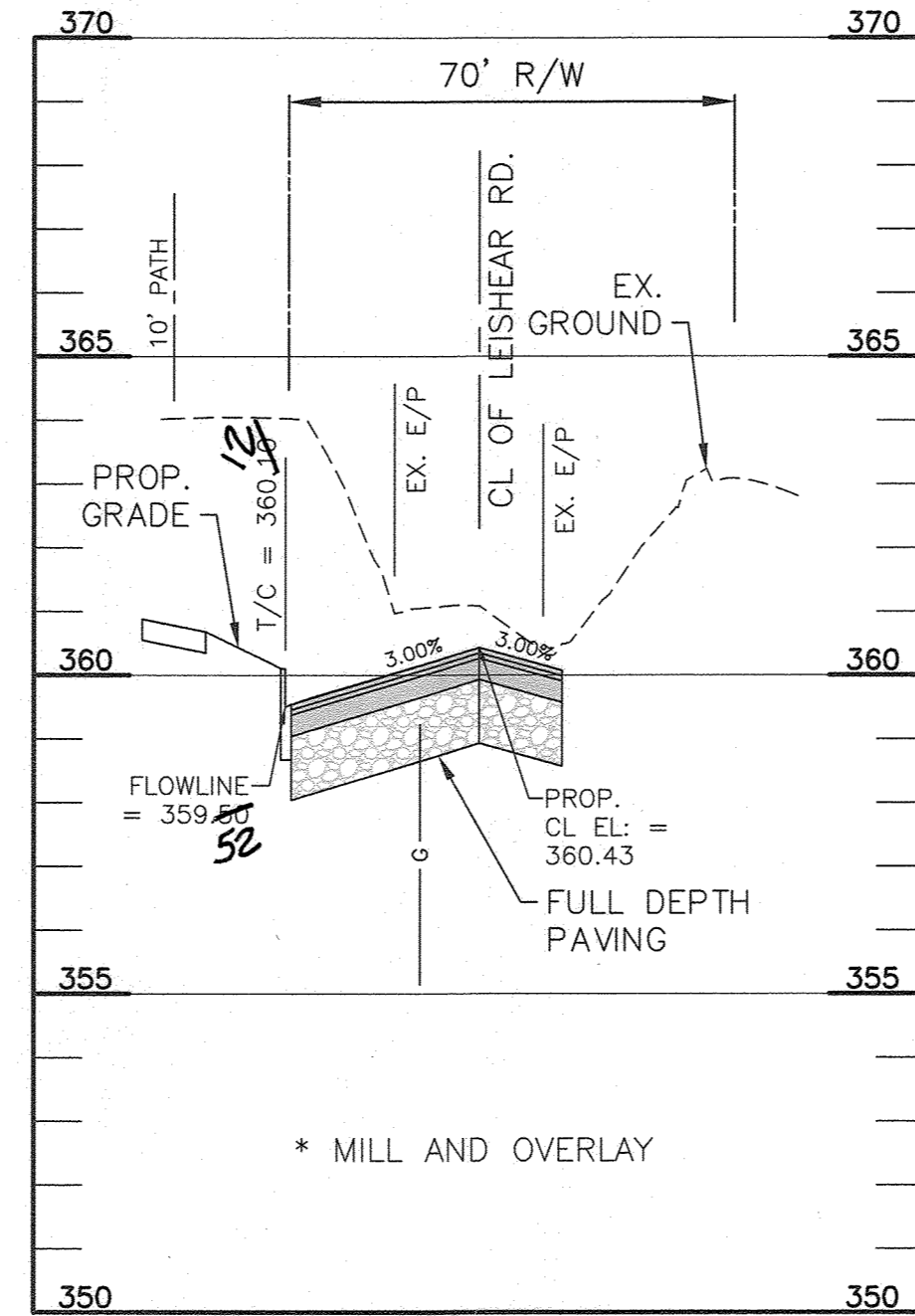
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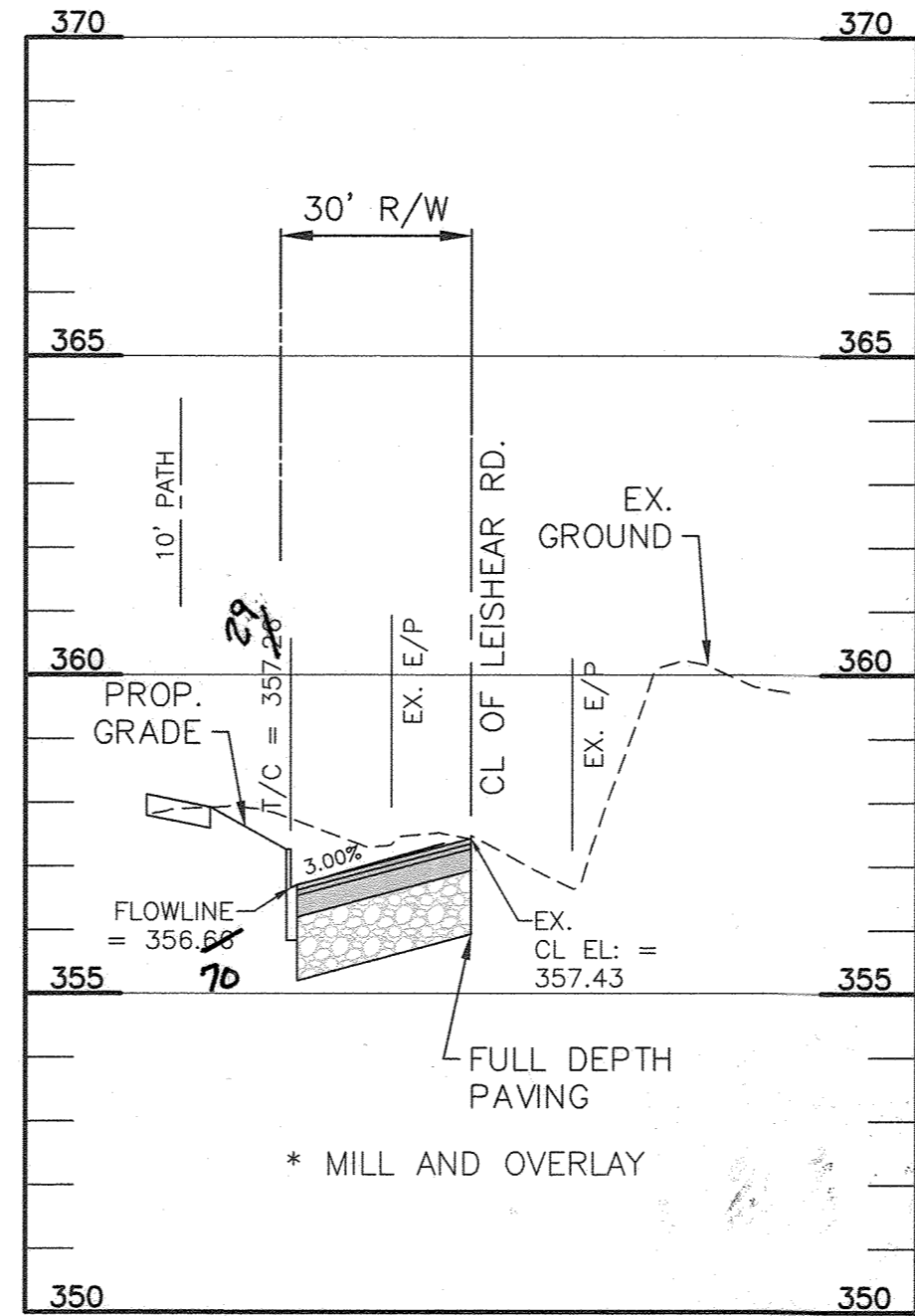
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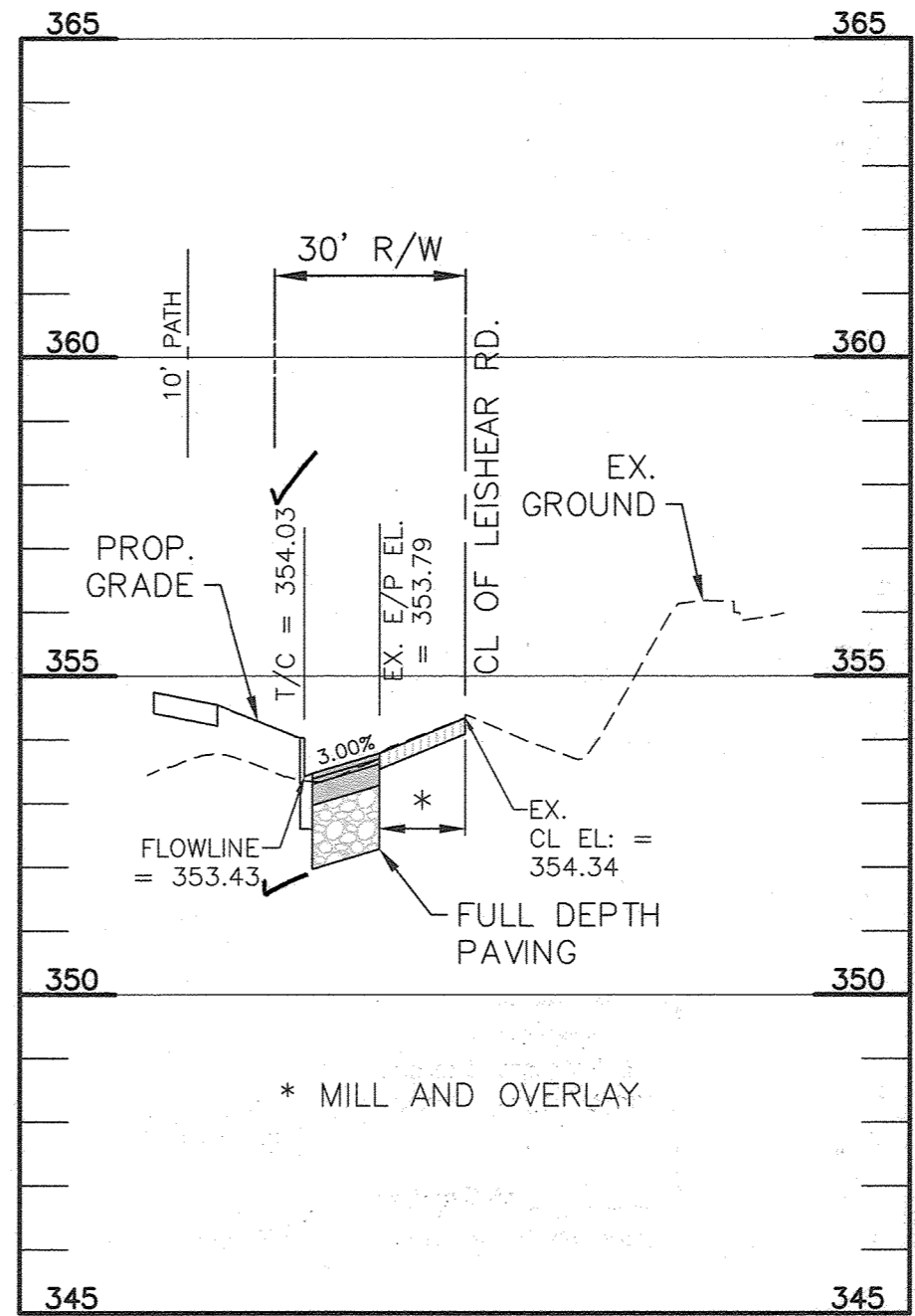
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16+50



17+00

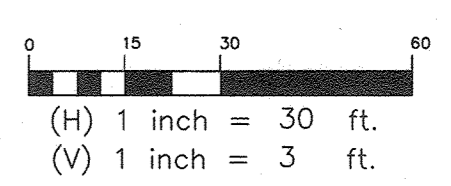


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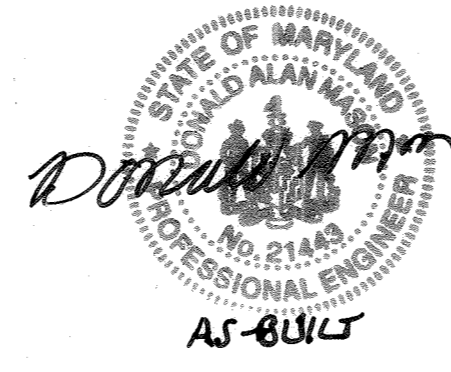
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NOTE:  
ALL SECTION TO COMPLY W/ HO.CO. STD. R-1.08



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/14/21  
 CHIEF, DIVISION OF PLANNING AND ZONING  
*[Signature]* 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24

AS-BUILT CERTIFICATION  
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 Donald Mason, P.E. Date: 12-18-23

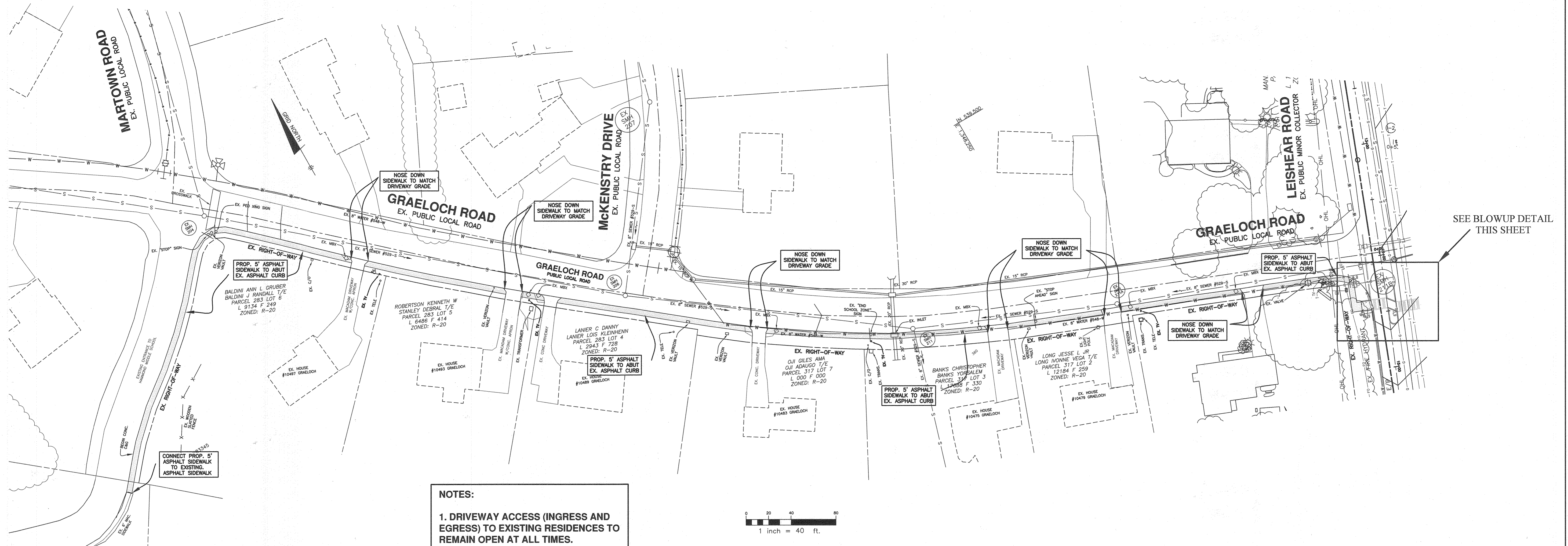
LEGEND

	FULL DEPTH PAVING
	MILL AND OVERLAY

<p>NO. DATE REVISION</p>	
<p><b>BENCHMARK ENGINEERING, INC.</b>        ENGINEERS • LAND SURVEYORS • PLANNERS        8480 BALTIMORE NATIONAL PIKE A SUITE 315 A ELLICOTT CITY, MARYLAND 21043        (P) 410-465-6105 (F) 410-465-6844        WWW.BEI-CVLENGINEERING.COM</p>	
<p>Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.        License No. 22390</p>	
<p><b>WELLINGTON FARMS</b>        Phase 1 Section 1        Lots 1 thru 45; Open Space Lots 46 thru 53;        Non-Buildable Bulk Parcels A and B        (A Resubdivision of Parcels 'C' and 'D'        previously recorded as Plat No. 20136-20137)</p>	
<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163        ZONED: R-20-MXD-3 / R-SC-MXD-3        ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>	
<p><b>LEISHEAR ROAD CROSS SECTIONS</b></p>	
<p>OWNER:        ESC WELLINGTON, L.C.        5074 DORSEY HALL DRIVE, SUITE 205        ELLICOTT CITY, MARYLAND 21042        410-720-3021</p>	<p>DEVELOPER:        ESC WELLINGTON, L.C.        5074 DORSEY HALL DRIVE, SUITE 205        ELLICOTT CITY, MARYLAND 21042        410-720-3021</p>
<p>DATE: JUNE 4, 2021</p>	<p>BEI PROJECT NO. 2879</p>
<p>DESIGN: LDD DRAFT: LDD</p>	<p>SCALE: AS SHOWN SHEET 12 OF 47</p>

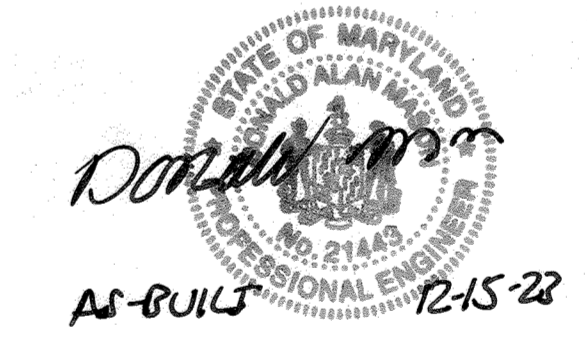
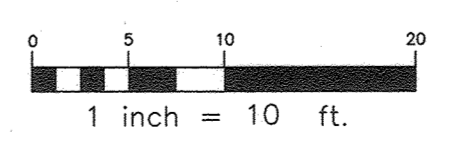
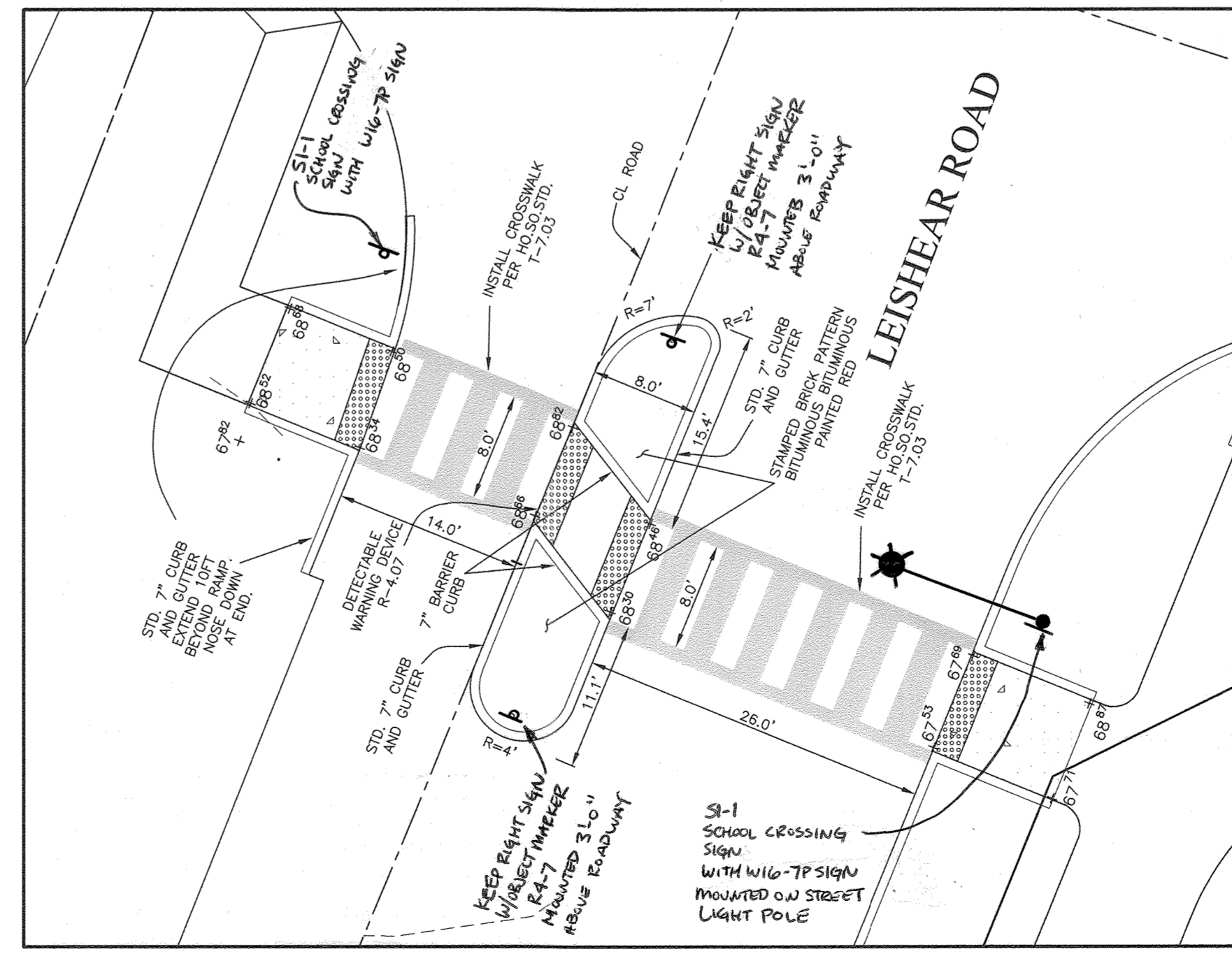
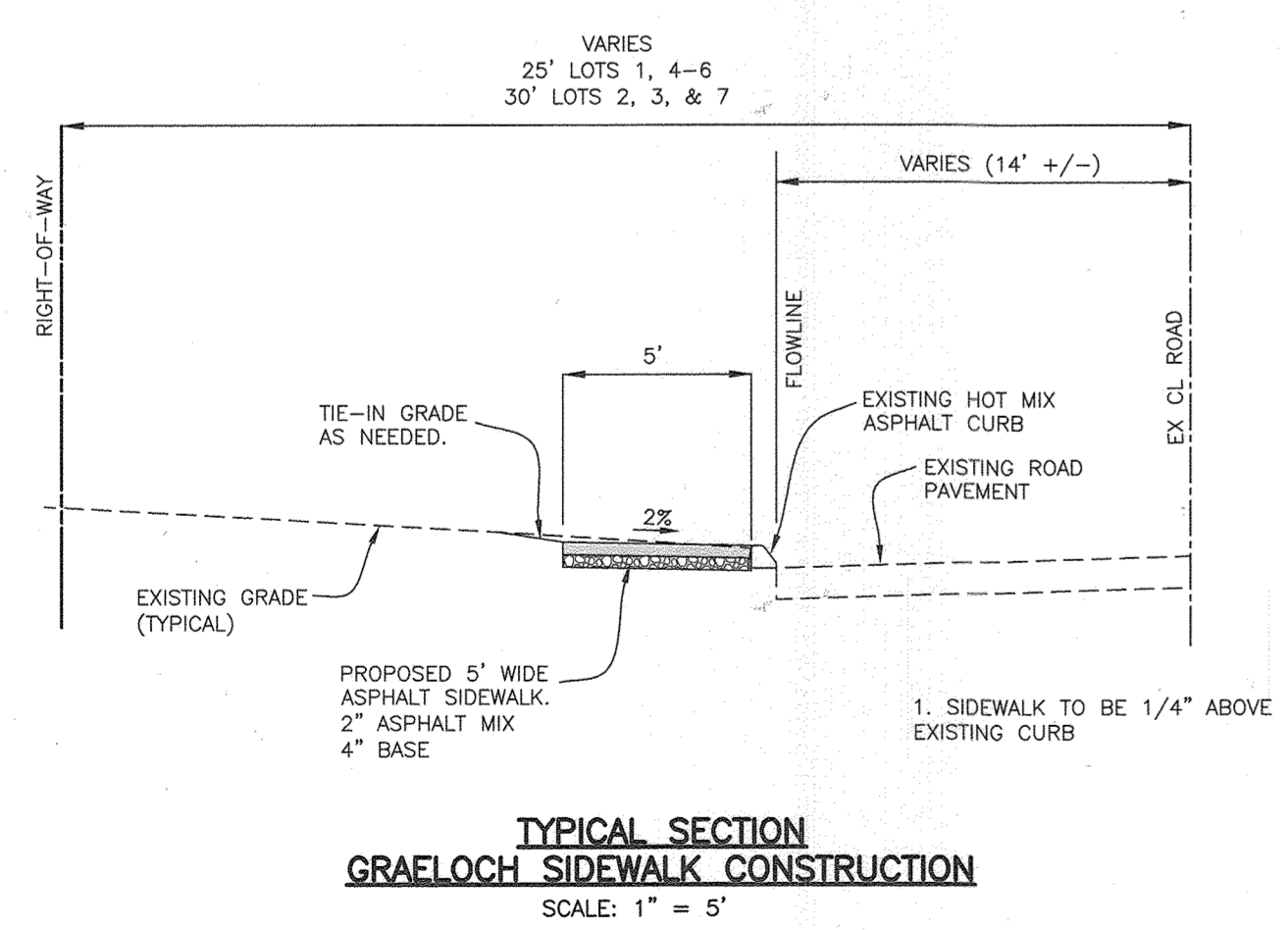
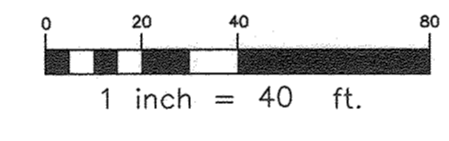
AS-BUILT

F-21-025



SEE BLOWUP DETAIL THIS SHEET

- NOTES:**
1. DRIVEWAY ACCESS (INGRESS AND EGRESS) TO EXISTING RESIDENCES TO REMAIN OPEN AT ALL TIMES.
  2. EXISTING VERIZON VAULTS LOCATED WITHIN PROPOSED SIDEWALK MAY NEED ADJUSTMENT OR RELOCATION.
  3. MAILBOX POLES TO REMAIN IN PLACE TO ENSURE PROPER MAIL DELIVERY.
  4. ROADWAY SIGNS TO BE RELOCATED DIRECTLY BEHIND SIDEWALK.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21243, Expiration Date: 12-21-24

"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET

NO.	DATE	REVISION
1	11.21.2021	REVISE STREET LIGHT IN ISLAND DETAIL. CORRECT SIGNAGE LANGUAGE.

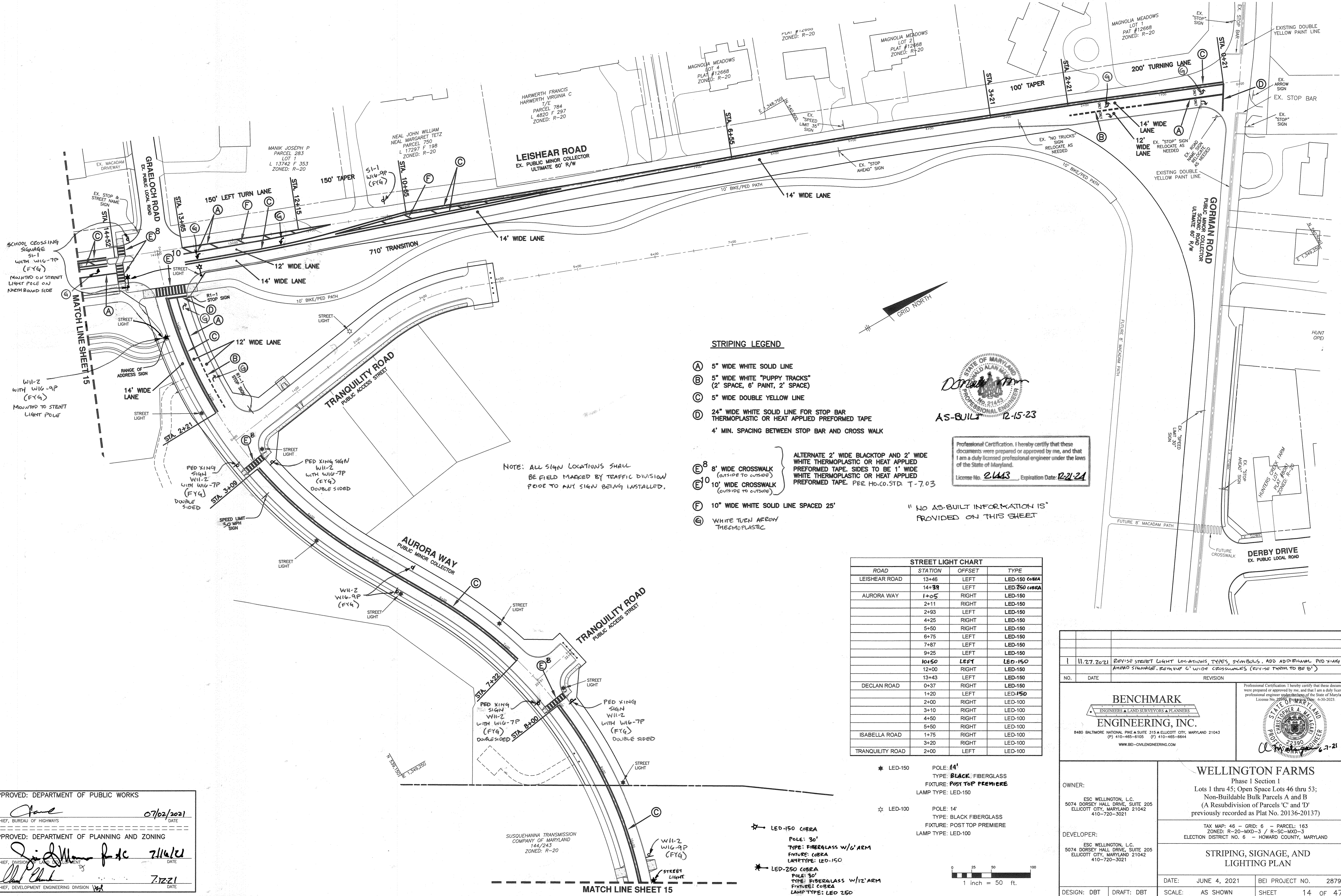
**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 (F) 410-465-6644  
 WWW.BEI-ENGINEERING.COM

OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)	
	TAX MAP: 46 - GRID: 6 - PARCELS 163 ZONED: R-20-MXD-3 / R-SC-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND	
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	<b>GRAELOCH SIDEWALK IMPROVEMENT PLAN</b>	
DESIGN: DBT	DRAFT: DBT	DATE: JUNE 4, 2021 SCALE: AS SHOWN
		BEI PROJECT NO. 2879 SHEET 13 OF 47

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



**STRIPING LEGEND**

- (A) 5" WIDE WHITE SOLID LINE
- (B) 5" WIDE WHITE "PUPPY TRACKS" (2' SPACE, 6" PAINT, 2' SPACE)
- (C) 5" WIDE DOUBLE YELLOW LINE
- (D) 24" WIDE WHITE SOLID LINE FOR STOP BAR THERMOPLASTIC OR HEAT APPLIED PREFORMED TAPE 4' MIN. SPACING BETWEEN STOP BAR AND CROSS WALK
- (E) 8" WIDE CROSSWALK (OUTSIDE TO OUTSIDE)
- (E) 10" WIDE CROSSWALK (OUTSIDE TO OUTSIDE)
- (F) 10" WIDE WHITE SOLID LINE SPACED 25'
- (G) WHITE TURN ARROW THERMOPLASTIC

ALTERNATE 2' WIDE BLACKTOP AND 2' WIDE WHITE THERMOPLASTIC OR HEAT APPLIED PREFORMED TAPE. SIDES TO BE 1' WIDE WHITE THERMOPLASTIC OR HEAT APPLIED PREFORMED TAPE. PER HO.CO.STD. T-7.03

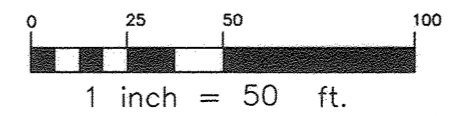


Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

STREET LIGHT CHART			
ROAD	STATION	OFFSET	TYPE
LEISHEAR ROAD	13+46	LEFT	LED-150 COBRA
	14+39	LEFT	LED-250 COBRA
AURORA WAY	1+05	RIGHT	LED-150
	2+11	RIGHT	LED-150
	2+83	LEFT	LED-150
	4+25	RIGHT	LED-150
	5+50	RIGHT	LED-150
	6+75	LEFT	LED-150
	7+87	LEFT	LED-150
	9+25	LEFT	LED-150
	10+50	LEFT	LED-150
	12+00	RIGHT	LED-150
DECLAN ROAD	13+43	LEFT	LED-150
	0+37	RIGHT	LED-150
	1+20	LEFT	LED-150
	2+00	RIGHT	LED-100
ISABELLA ROAD	3+10	RIGHT	LED-100
	4+50	RIGHT	LED-100
	5+50	RIGHT	LED-100
	1+75	RIGHT	LED-100
TRANQUILITY ROAD	3+20	RIGHT	LED-100
	2+00	LEFT	LED-100

- ★ LED-150 POLE: 14' TYPE: BLACK FIBERGLASS FIXTURE: POST TOP PREMIERE LAMP TYPE: LED-150
- ★ LED-100 POLE: 14' TYPE: BLACK FIBERGLASS FIXTURE: POST TOP PREMIERE LAMP TYPE: LED-100
- ★ LED-150 COBRA POLE: 30' TYPE: FIBERGLASS W/0' ARM FIXTURE: COBRA LAMP TYPE: LED-150
- ★ LED-250 COBRA POLE: 30' TYPE: FIBERGLASS W/12' ARM FIXTURE: COBRA LAMP TYPE: LED-250



NOTE: ALL SIGN LOCATIONS SHALL BE FIELD MARKED BY TRAFFIC DIVISION PRIOR TO ANY SIGN BEING INSTALLED.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 7/22/21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO. DATE REVISION

1	11.27.2021	REVISE STREET LIGHT LOCATIONS, TYPES, SYMBOLS. ADD ADDITIONAL PED SIGNS AND NO SIGNAGE. REMOVE C' WIDE CROSSWALKS (REVISE THEM TO BE E')
---	------------	--

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
 (P) 410-485-6105 (F) 410-485-6644  
 WWW.BEI-CVLENGINEERING.COM

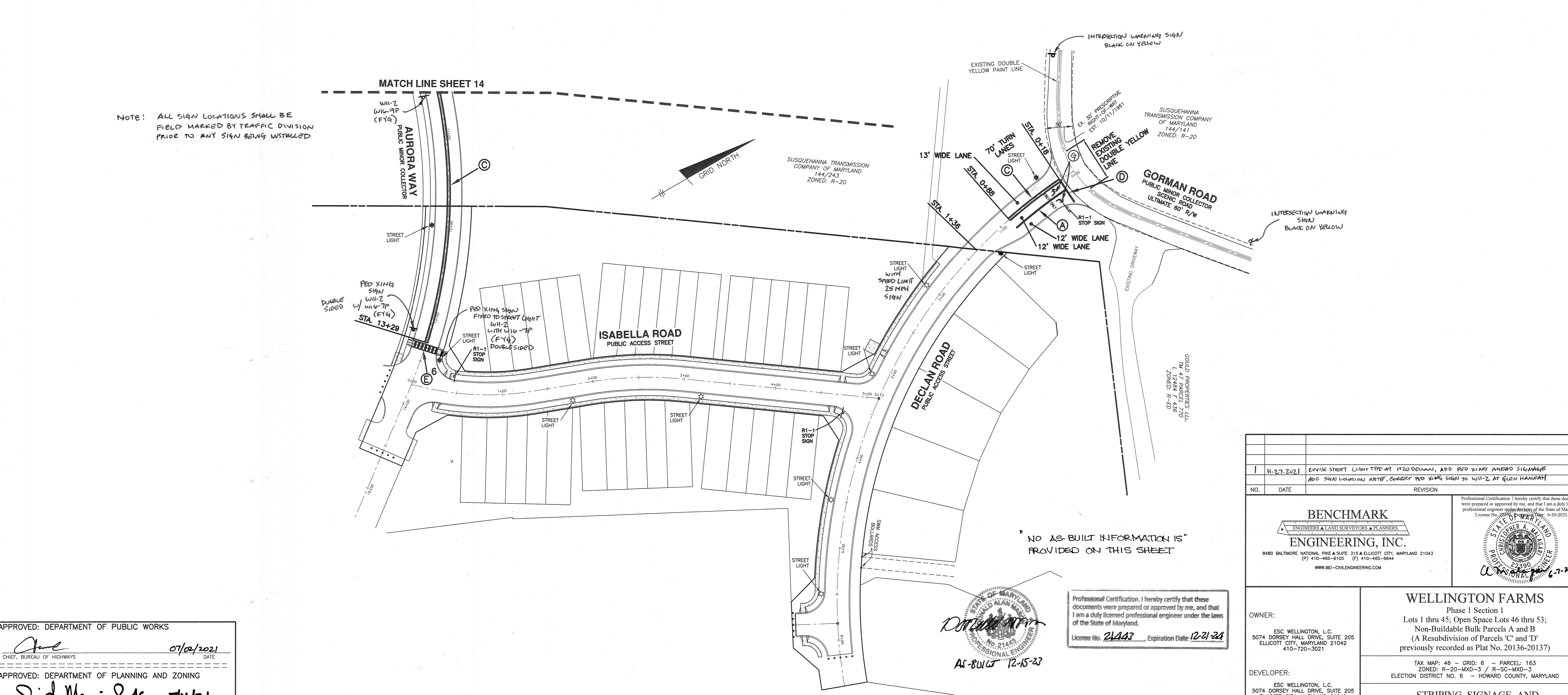
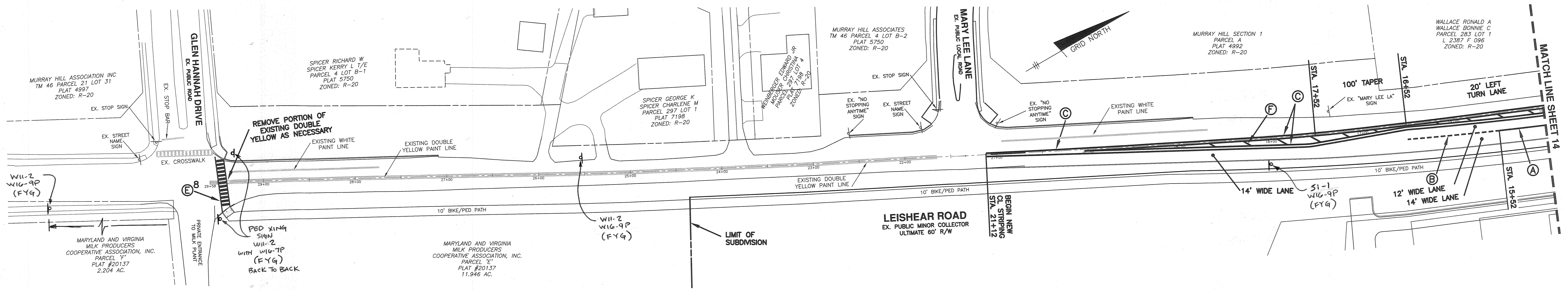
**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 1/2 R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

OWNER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

DEVELOPER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 14 OF 47

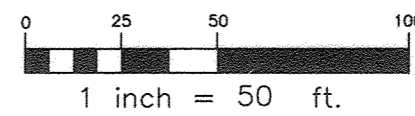


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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

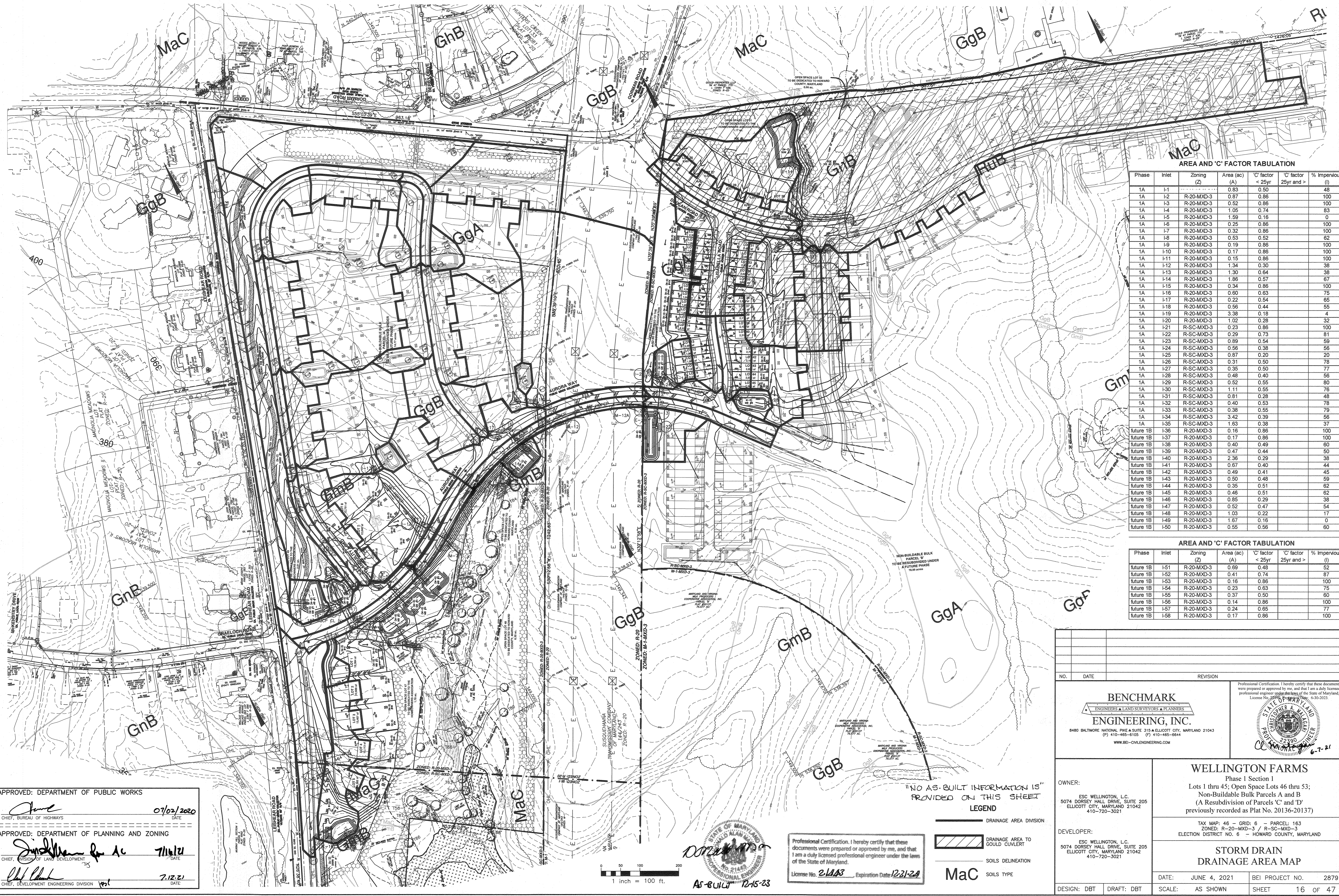
AS-BUILT 12-15-23



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/12/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

11-27-2021 REVISION: REVERSE STREET LIGHT TYPE AT 1720 DELAN, ADD RED XING AHEAD SIGNAGE ADD SIGN LOCATION NOTE, CORRECT PED XING SIGN TO W11-2 AT GLEN HANNAH		
NO.	DATE	REVISION
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-485-8105 (F) 410-485-8844 WWW.BE-CIVILENGINEERING.COM		Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443, Expiration Date: 12-21-24
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-50-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND
DATE: JUNE 4, 2021 BEI PROJECT NO. 2879		SHEET 15 OF 47
DESIGN: DBT	DRAFT: DBT	SCALE: AS SHOWN

AS-BUILT F-21-025



**AREA AND 'C' FACTOR TABULATION**

Phase	Inlet	Zoning (Z)	Area (ac) (A)	'C' factor < 25yr	'C' factor 25yr and >	% Impervious (I)
1A	I-1	R-20-MXD-3	0.83	0.50		48
1A	I-2	R-20-MXD-3	0.87	0.86		100
1A	I-3	R-20-MXD-3	0.52	0.86		100
1A	I-4	R-20-MXD-3	1.05	0.74		83
1A	I-5	R-20-MXD-3	1.59	0.16		0
1A	I-6	R-20-MXD-3	0.25	0.86		100
1A	I-7	R-20-MXD-3	0.32	0.86		100
1A	I-8	R-20-MXD-3	0.53	0.52		62
1A	I-9	R-20-MXD-3	0.19	0.86		100
1A	I-10	R-20-MXD-3	0.17	0.86		100
1A	I-11	R-20-MXD-3	0.15	0.86		100
1A	I-12	R-20-MXD-3	1.34	0.30		38
1A	I-13	R-20-MXD-3	1.30	0.64		38
1A	I-14	R-20-MXD-3	1.86	0.57		67
1A	I-15	R-20-MXD-3	0.34	0.86		100
1A	I-16	R-20-MXD-3	0.60	0.63		75
1A	I-17	R-20-MXD-3	0.22	0.54		65
1A	I-18	R-20-MXD-3	0.56	0.44		55
1A	I-19	R-20-MXD-3	3.38	0.18		4
1A	I-20	R-20-MXD-3	1.02	0.28		32
1A	I-21	R-SC-MXD-3	0.23	0.86		100
1A	I-22	R-SC-MXD-3	0.29	0.73		81
1A	I-23	R-SC-MXD-3	0.89	0.54		59
1A	I-24	R-SC-MXD-3	0.56	0.38		56
1A	I-25	R-SC-MXD-3	0.87	0.20		20
1A	I-26	R-SC-MXD-3	0.31	0.50		78
1A	I-27	R-SC-MXD-3	0.35	0.50		77
1A	I-28	R-SC-MXD-3	0.48	0.40		56
1A	I-29	R-SC-MXD-3	0.52	0.55		80
1A	I-30	R-SC-MXD-3	1.11	0.55		76
1A	I-31	R-SC-MXD-3	0.81	0.28		48
1A	I-32	R-SC-MXD-3	0.40	0.53		78
1A	I-33	R-SC-MXD-3	0.38	0.55		79
1A	I-34	R-SC-MXD-3	3.42	0.39		56
1A	I-35	R-SC-MXD-3	1.63	0.38		37
future 1B	I-36	R-20-MXD-3	0.16	0.86		100
future 1B	I-37	R-20-MXD-3	0.17	0.86		100
future 1B	I-38	R-20-MXD-3	0.40	0.49		60
future 1B	I-39	R-20-MXD-3	0.47	0.44		50
future 1B	I-40	R-20-MXD-3	2.36	0.29		38
future 1B	I-41	R-20-MXD-3	0.67	0.40		44
future 1B	I-42	R-20-MXD-3	0.49	0.41		45
future 1B	I-43	R-20-MXD-3	0.50	0.48		59
future 1B	I-44	R-20-MXD-3	0.35	0.51		62
future 1B	I-45	R-20-MXD-3	0.48	0.51		62
future 1B	I-46	R-20-MXD-3	0.85	0.29		38
future 1B	I-47	R-20-MXD-3	0.52	0.47		54
future 1B	I-48	R-20-MXD-3	1.03	0.22		17
future 1B	I-49	R-20-MXD-3	1.67	0.16		0
future 1B	I-50	R-20-MXD-3	0.55	0.56		60

**AREA AND 'C' FACTOR TABULATION**

Phase	Inlet	Zoning (Z)	Area (ac) (A)	'C' factor < 25yr	'C' factor 25yr and >	% Impervious (I)
future 1B	I-51	R-20-MXD-3	0.69	0.48		52
future 1B	I-52	R-20-MXD-3	0.41	0.74		87
future 1B	I-53	R-20-MXD-3	0.16	0.86		100
future 1B	I-54	R-20-MXD-3	0.23	0.63		75
future 1B	I-55	R-20-MXD-3	0.37	0.50		60
future 1B	I-56	R-20-MXD-3	0.14	0.86		100
future 1B	I-57	R-20-MXD-3	0.24	0.65		77
future 1B	I-58	R-20-MXD-3	0.17	0.86		100

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

- LEGEND**
- DRAINAGE AREA DIVISION
  - ▨ DRAINAGE AREA TO GOULD CULVERT
  - SOILS DELINEATION
  - Mac SOILS TYPE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. **2-14143** Expiration Date **12-31-24**

**AS-BUILT 12-15-23**

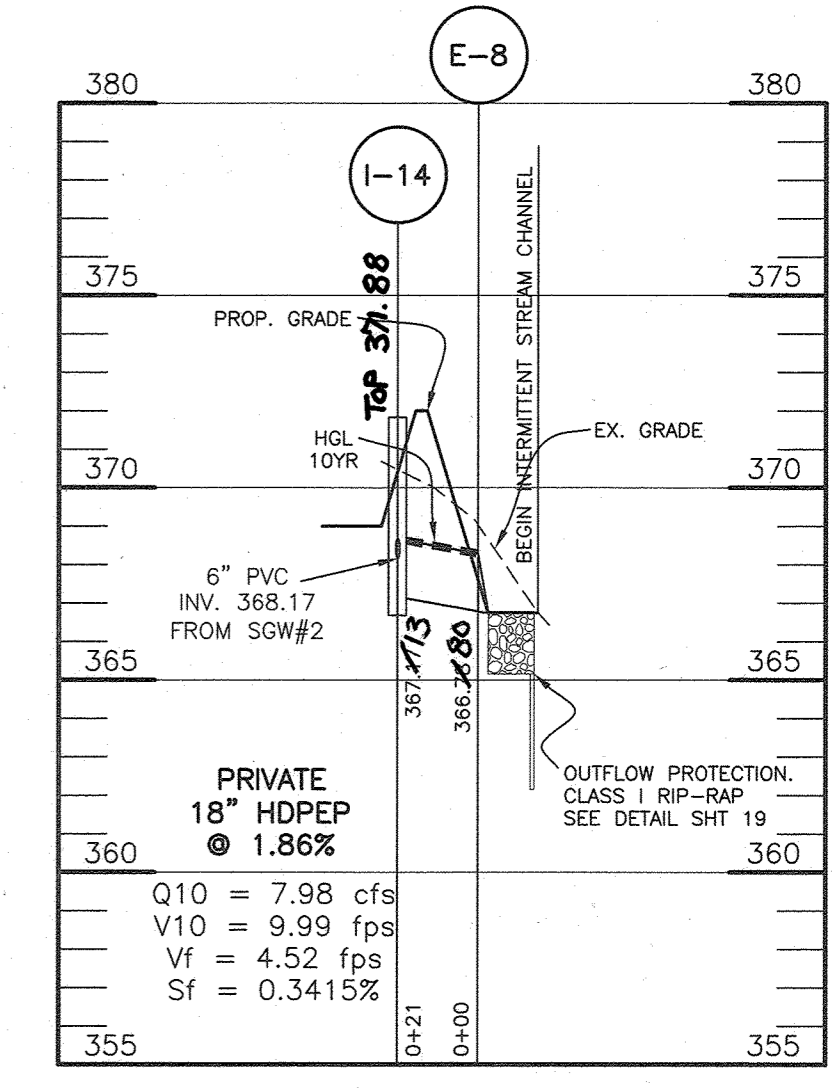
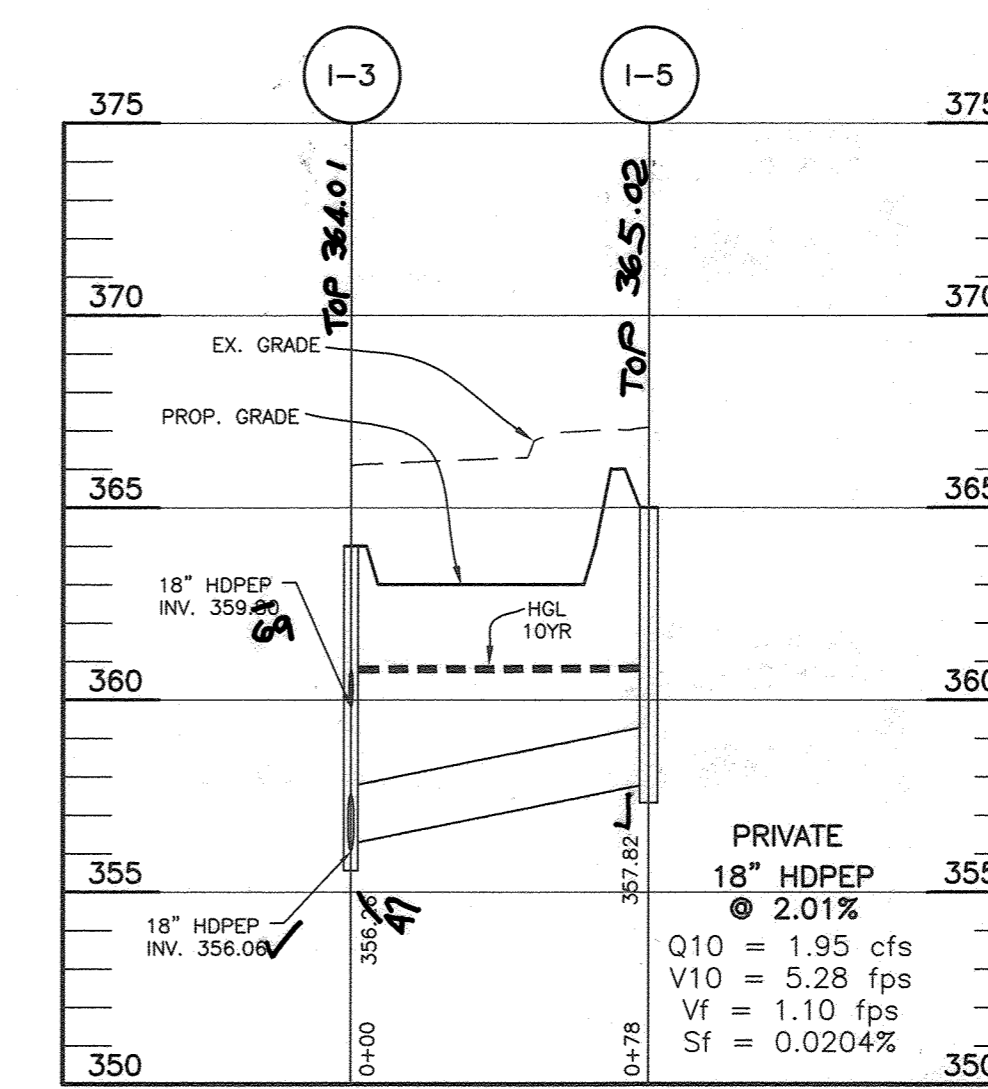
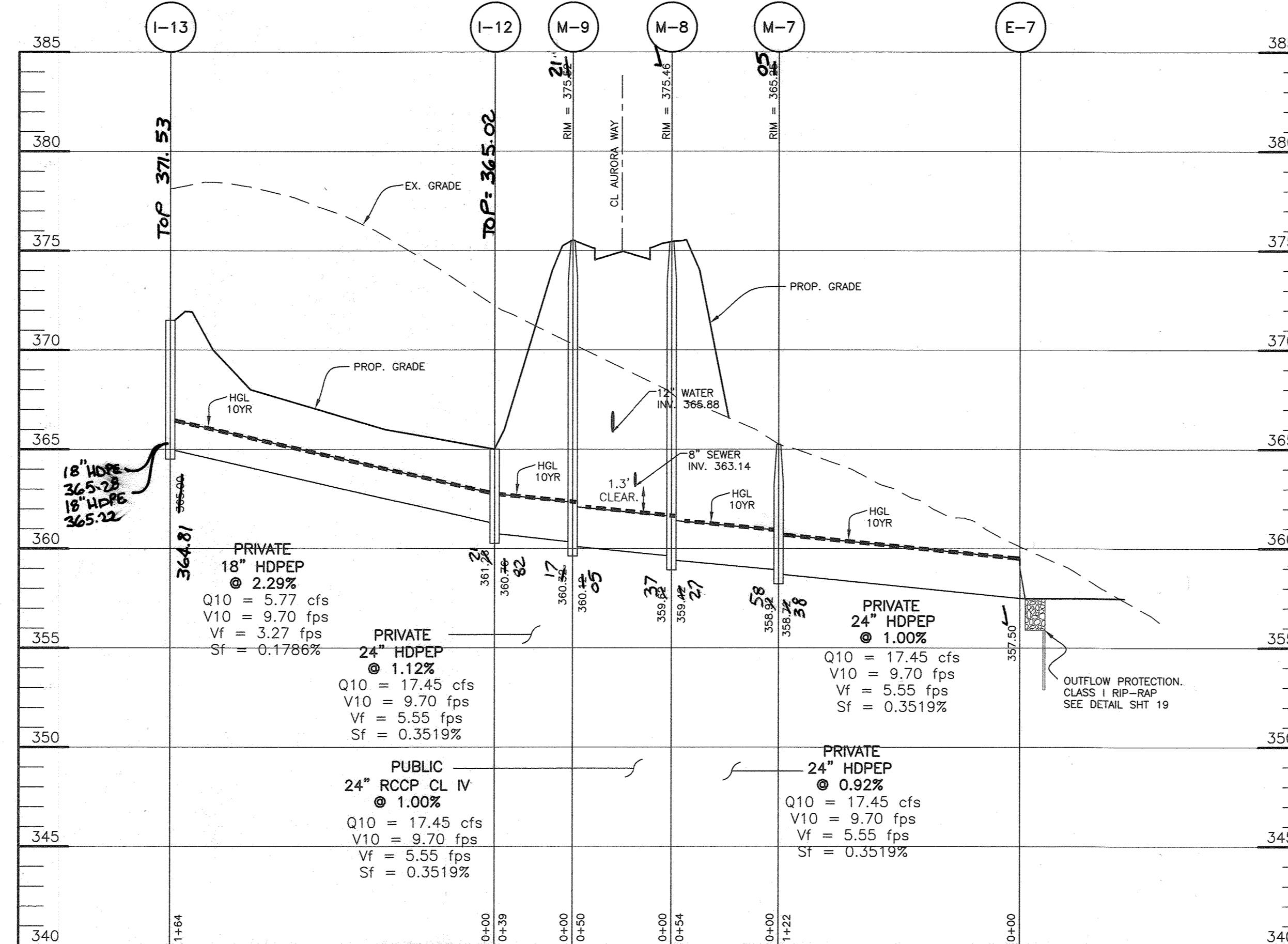
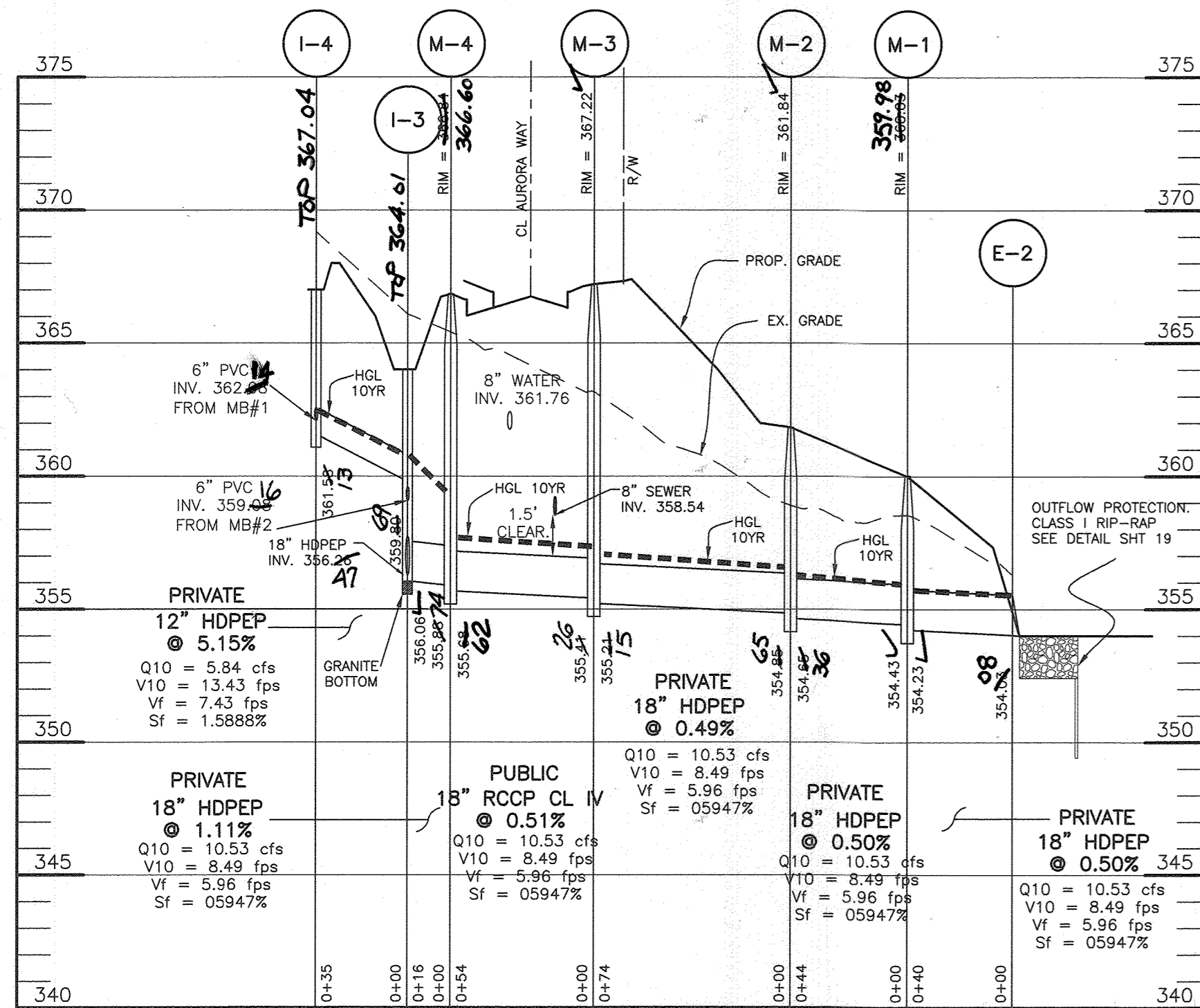
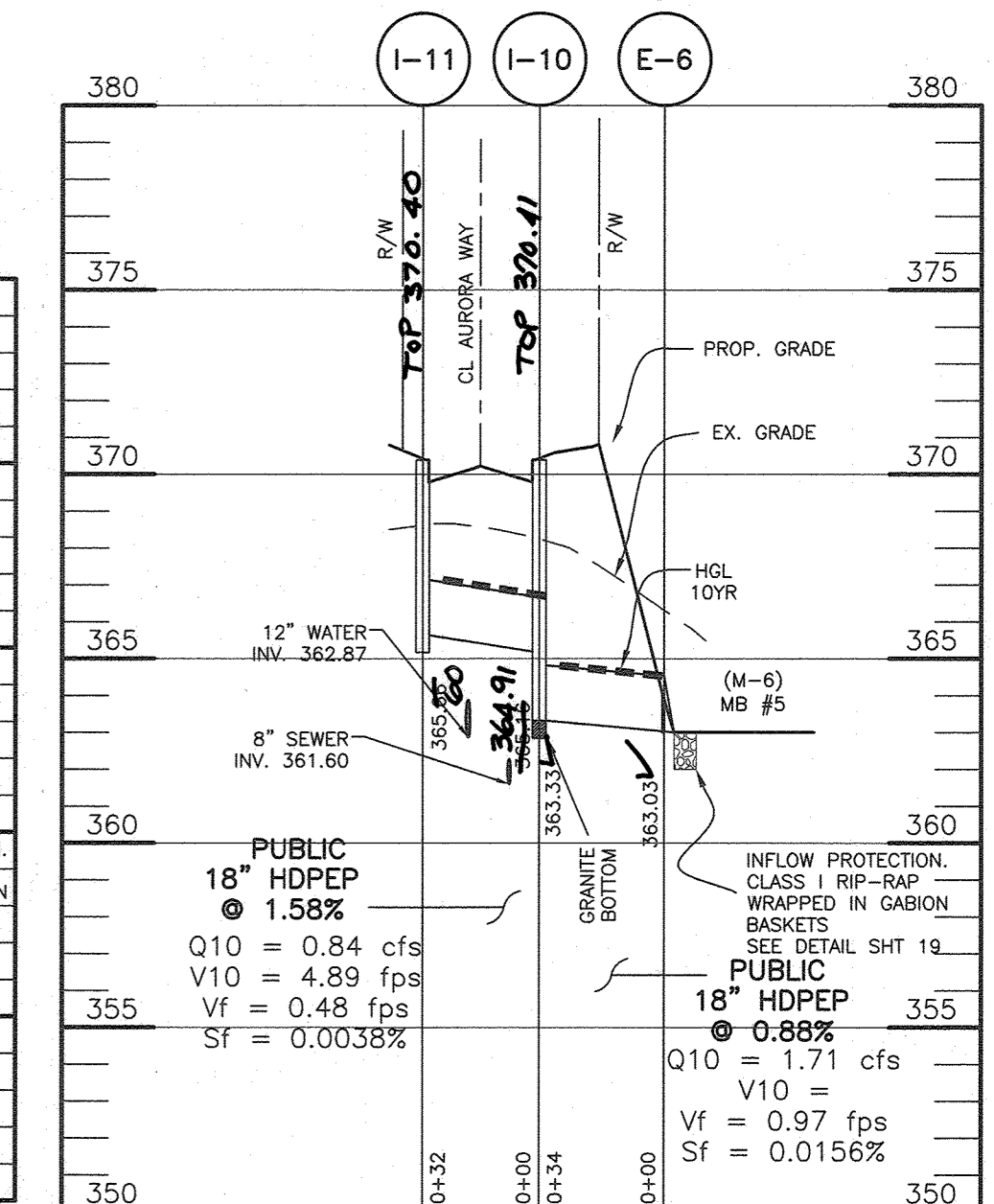
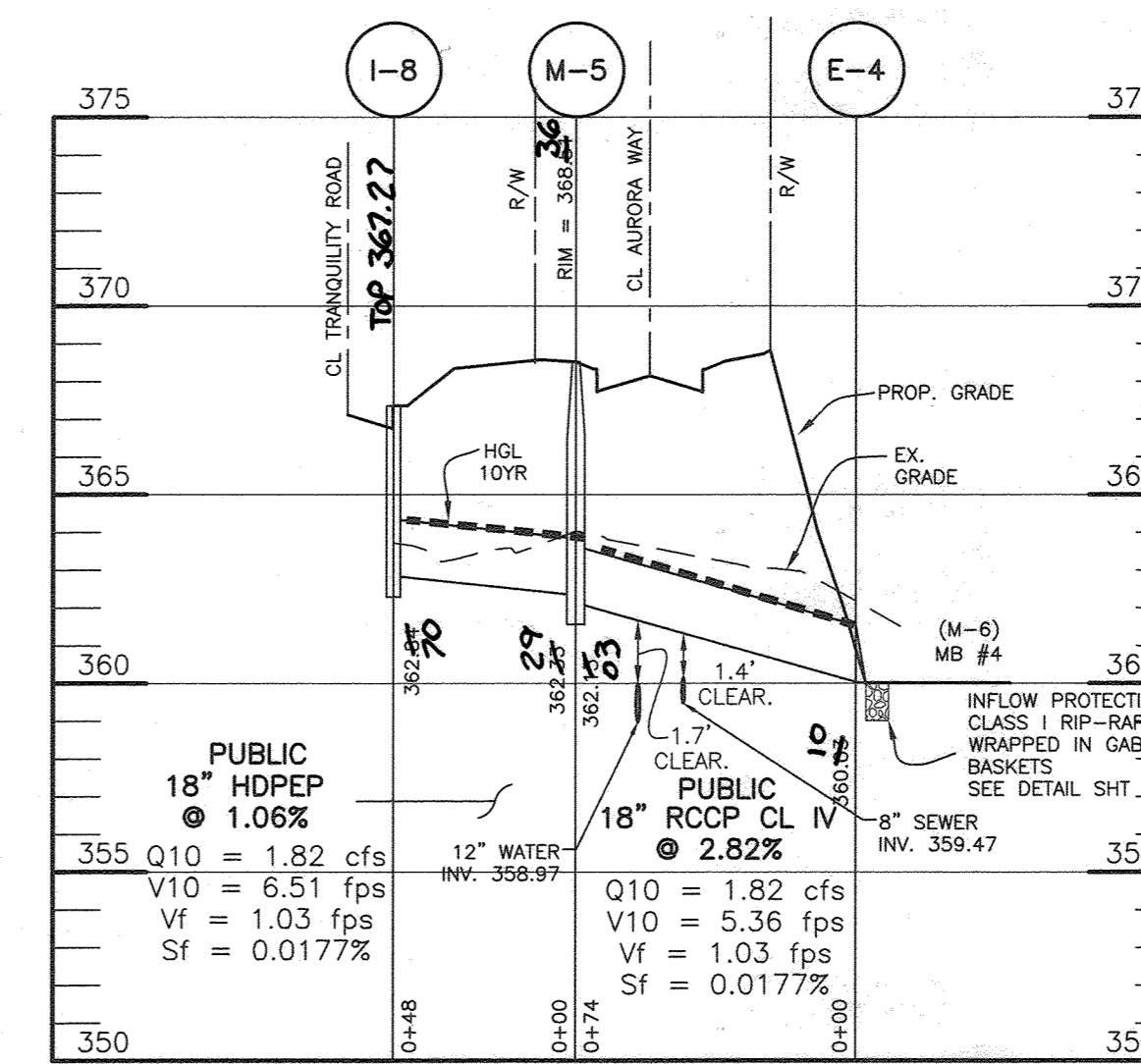
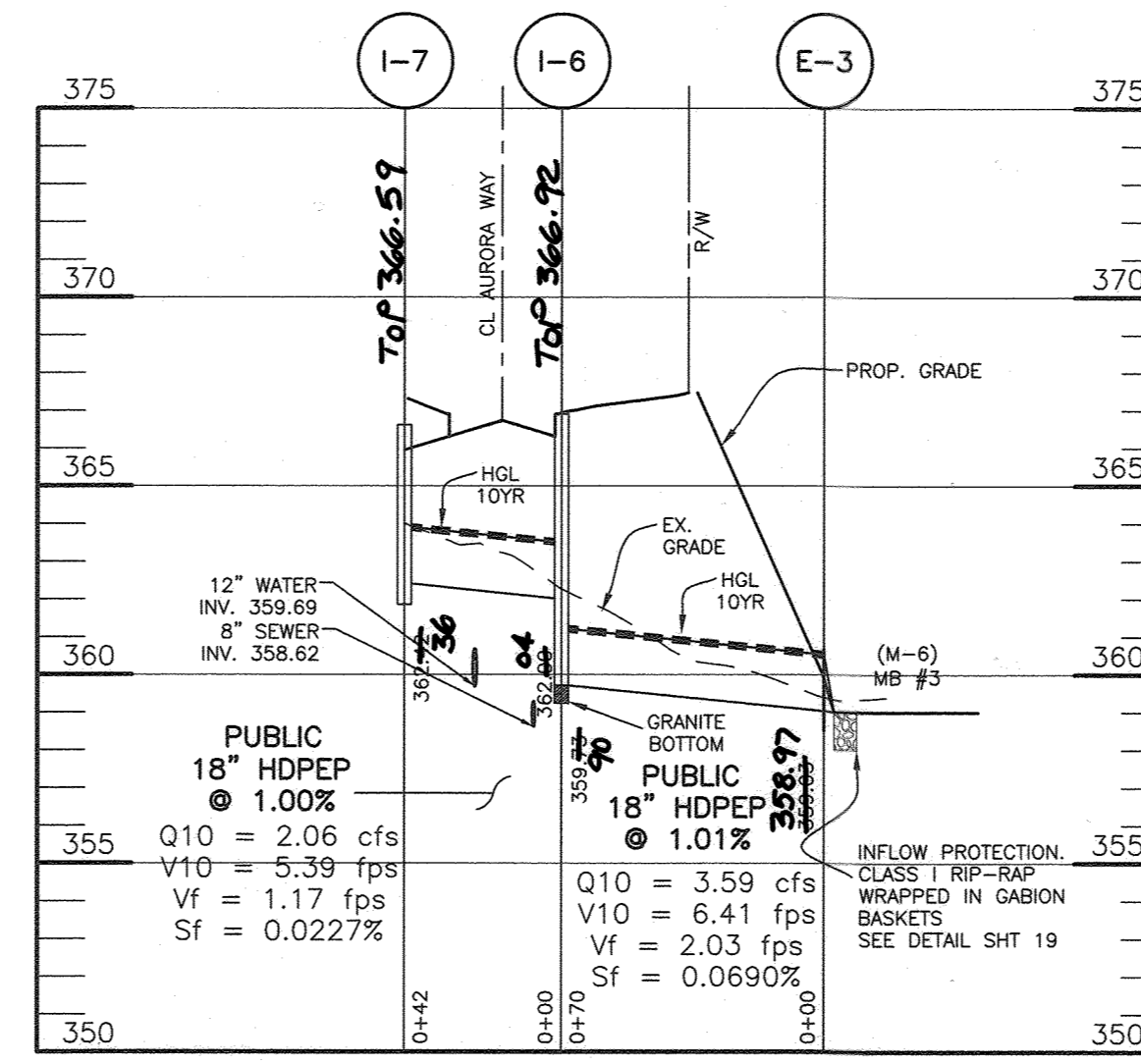
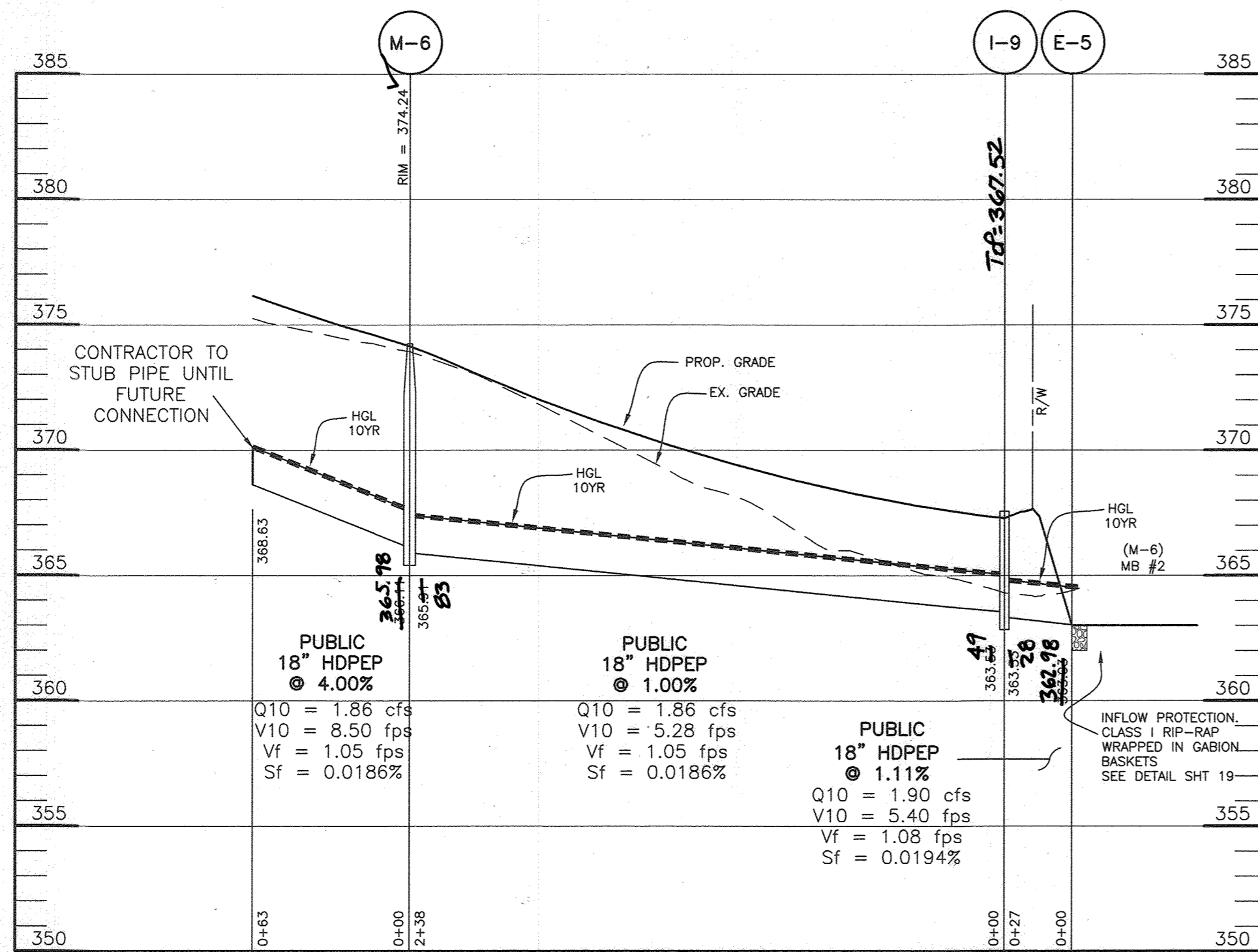
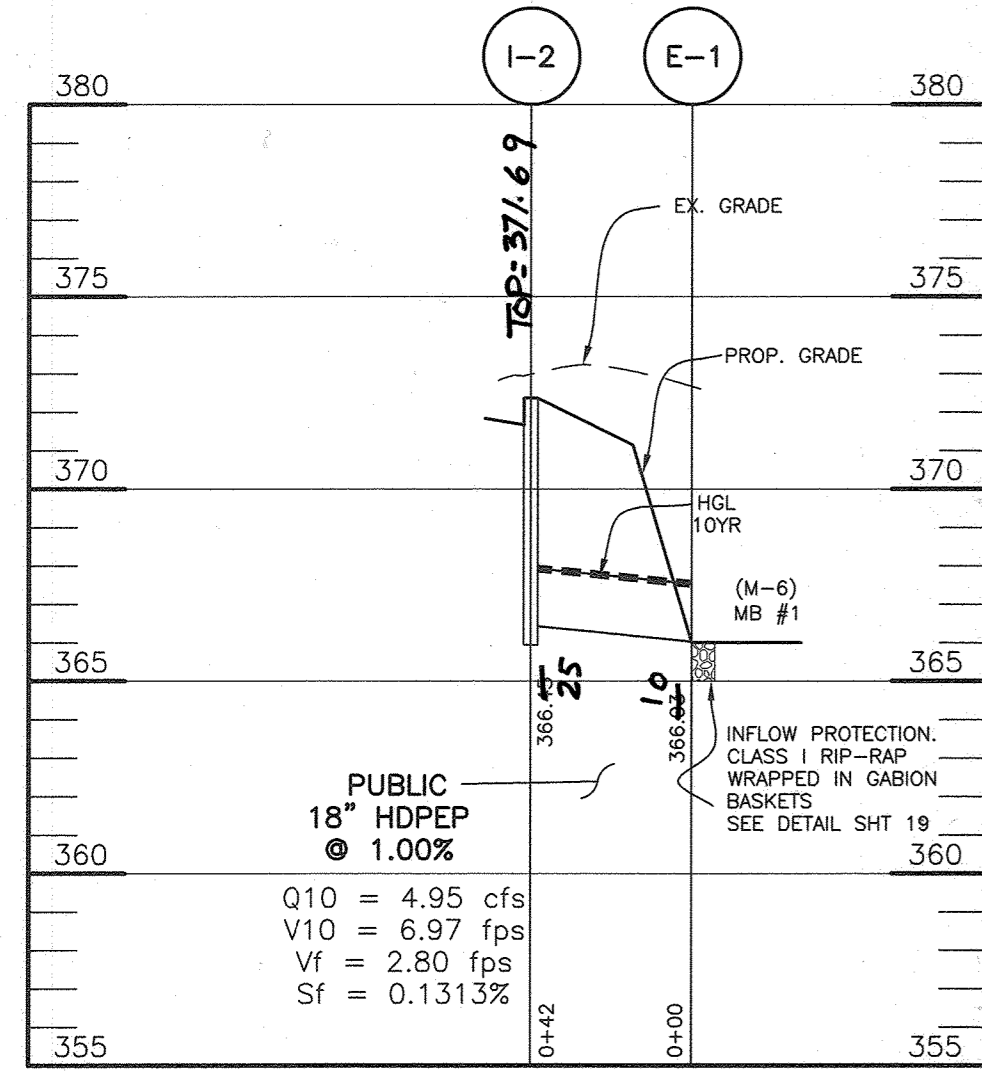
APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2020  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/11/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

[Signature] 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE

NO. DATE REVISION	
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-485-8105 (F) 410-485-8644 WWW.BDI-ENGINEERING.COM	
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. <b>12-15-23</b>	
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-SC-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND
<b>STORM DRAIN DRAINAGE AREA MAP</b>	
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN: DBT	DRAFT: DBT
SCALE: AS SHOWN	SHEET 16 OF 47

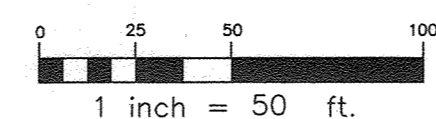




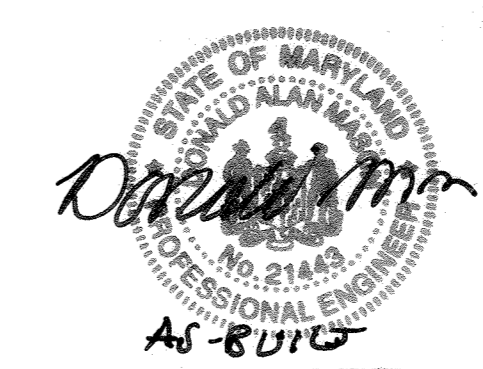
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 [Signature] 07/02/2020  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/14/20  
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

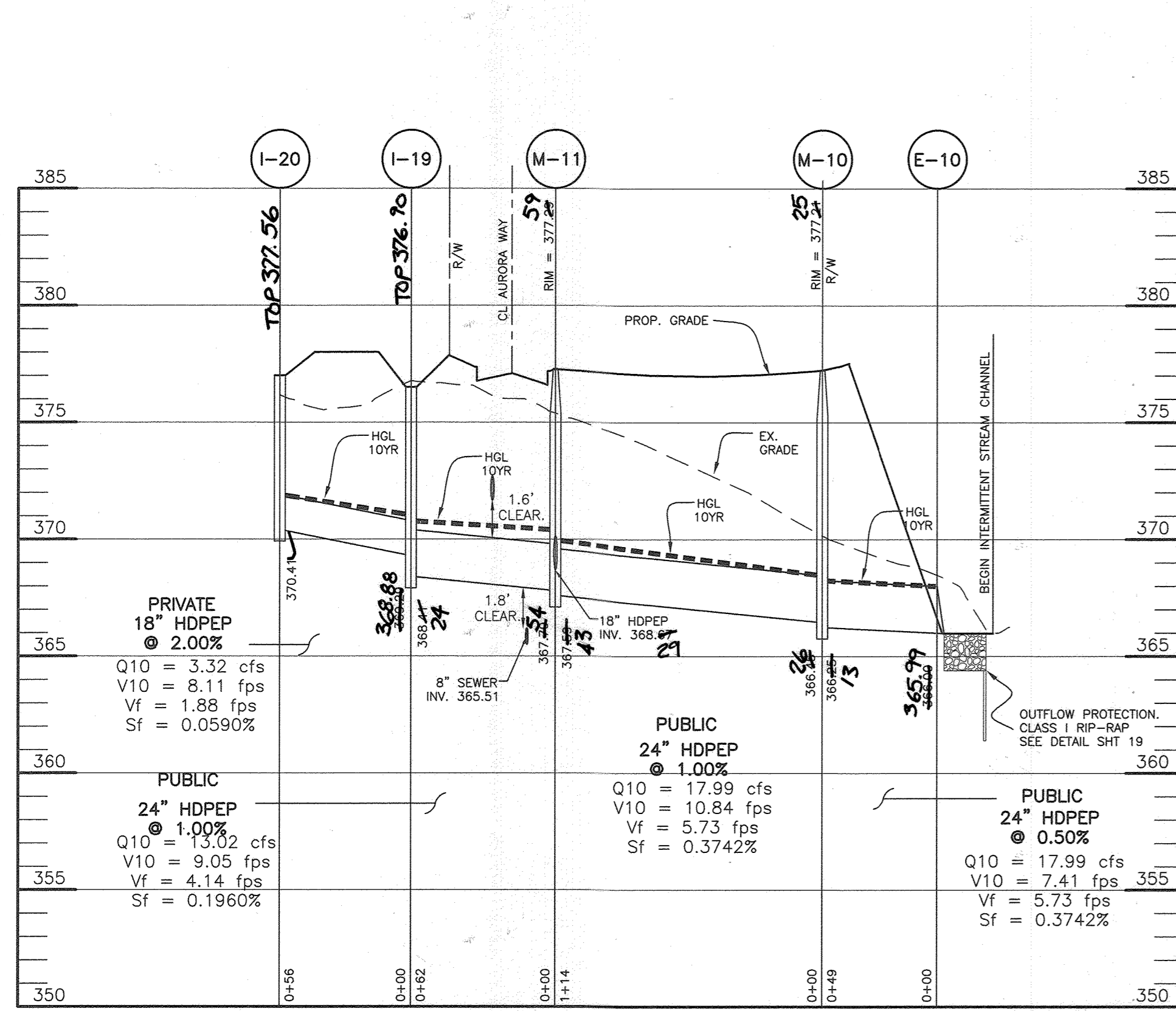


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 License No. 21443, Expiration Date: 12-21-24

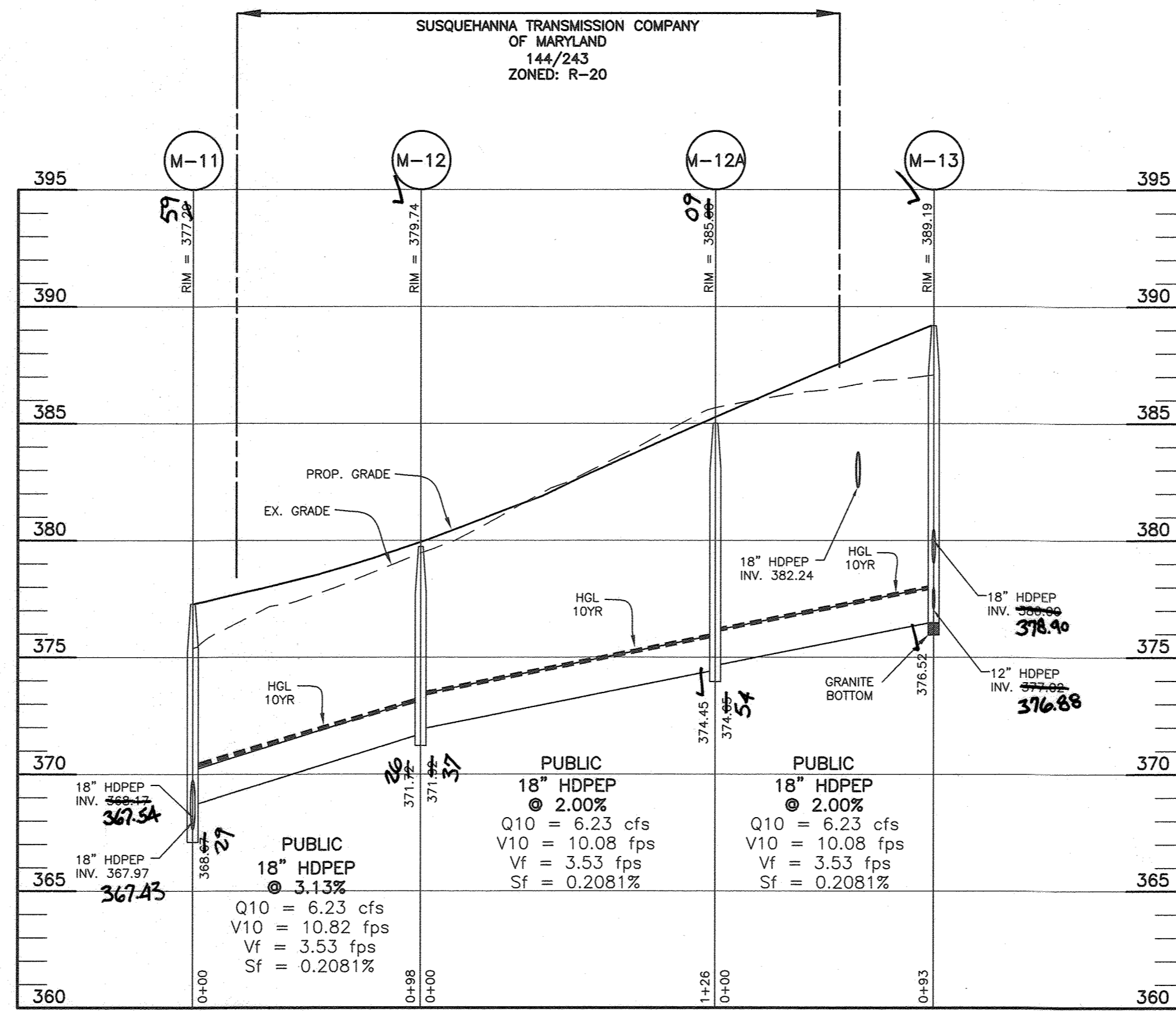


AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-23

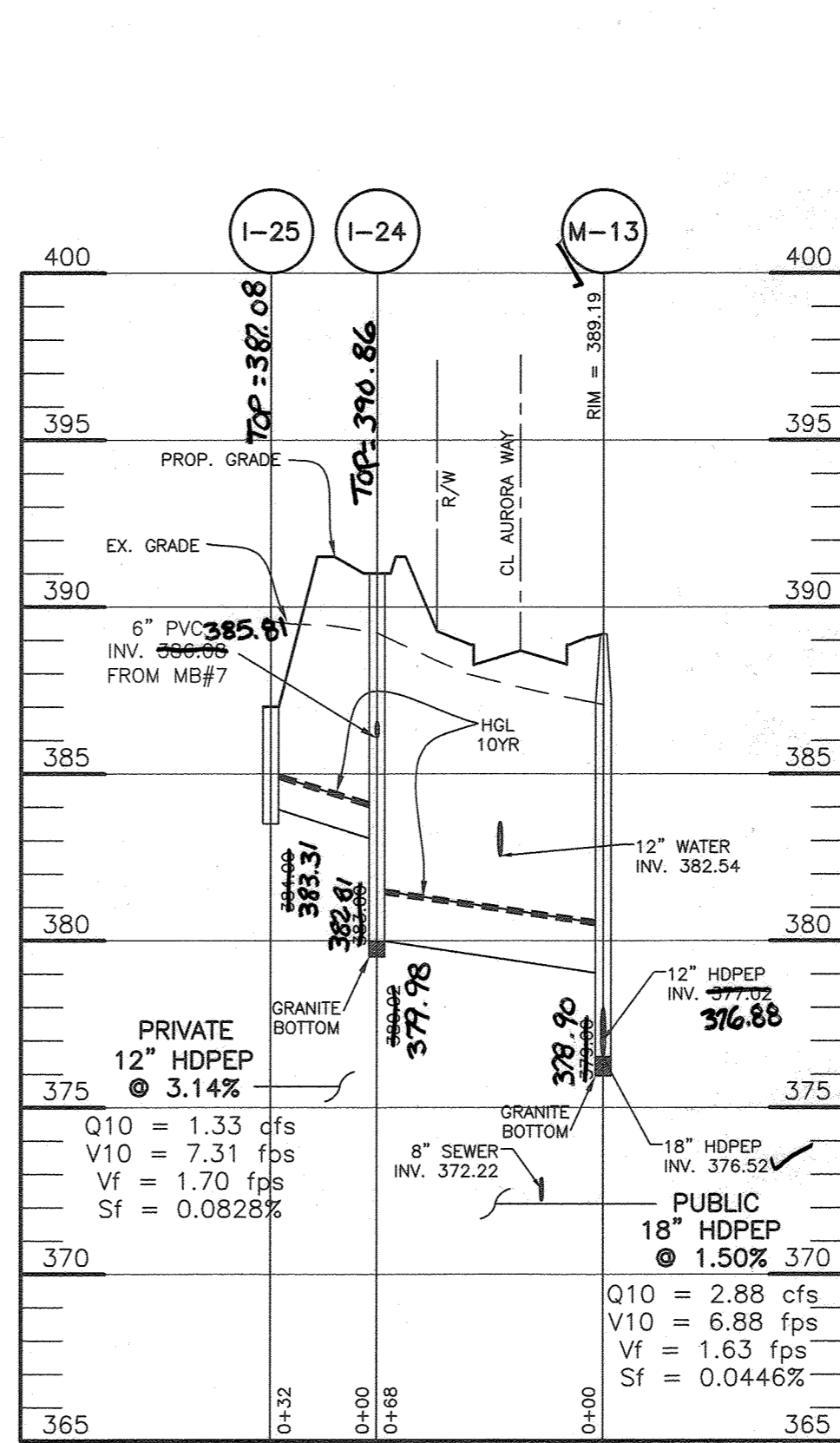
NO. DATE REVISION	
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CIVILENGINEERING.COM	
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22390, Expiration Date: 6-30-2023.	
<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)	
TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-5C-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND	
<b>STORM DRAIN PROFILES</b>	
OWNER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DEVELOPER:	ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021
DATE:	JUNE 4, 2021
DESIGN:	DBT
DRAFT:	DBT
SCALE:	AS SHOWN
BEI PROJECT NO.	2879
SHEET	17 OF 47



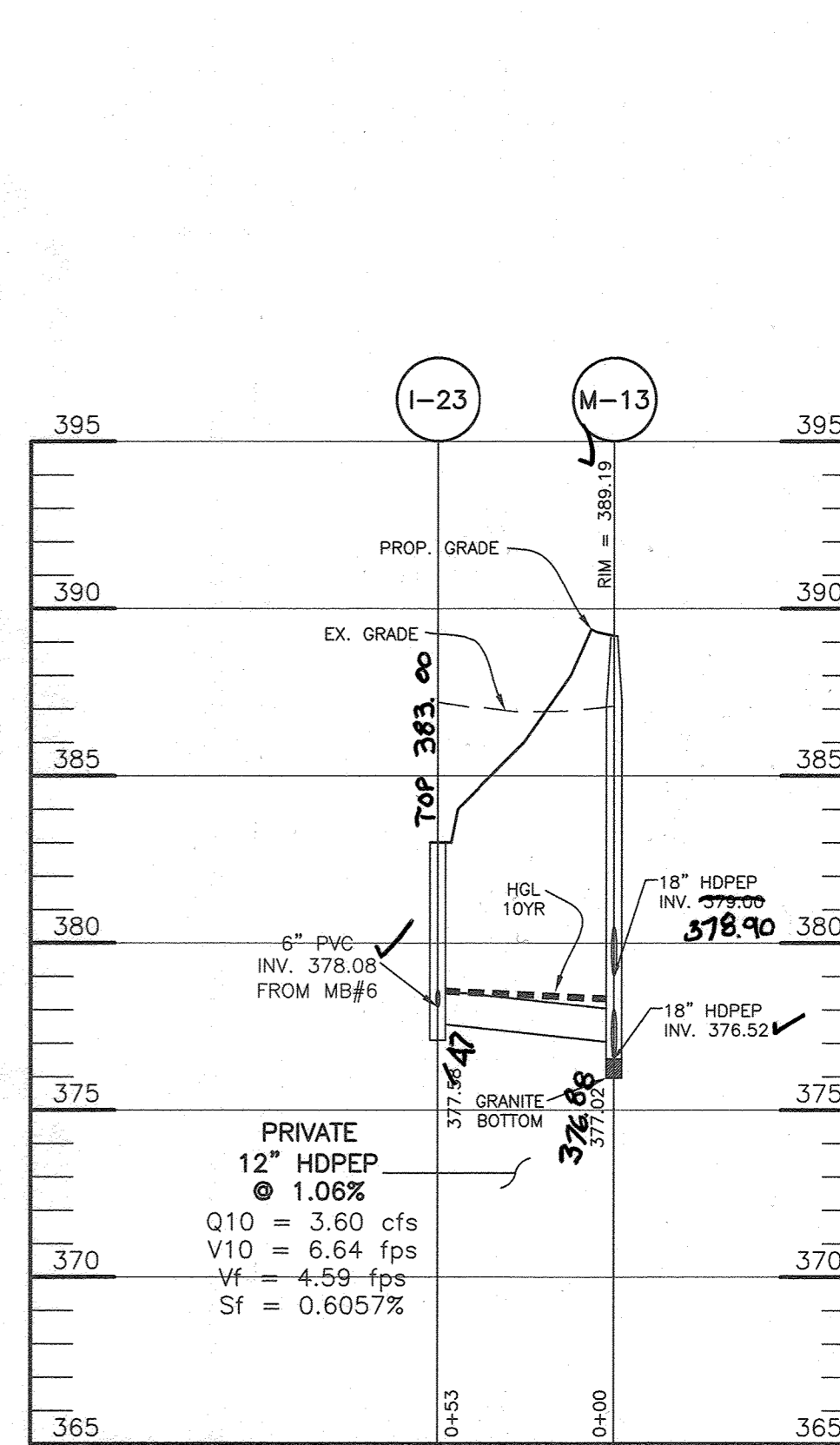
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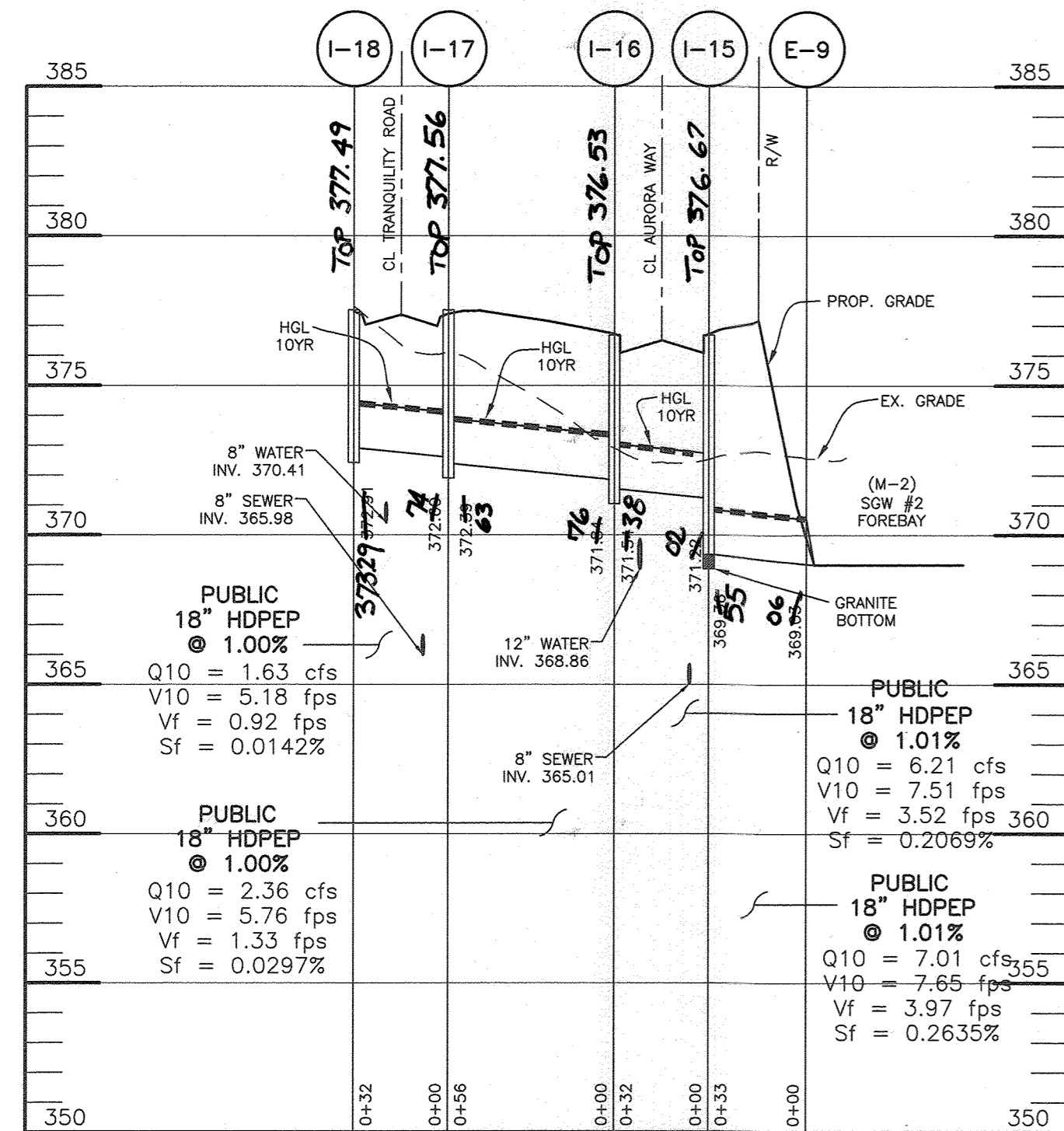
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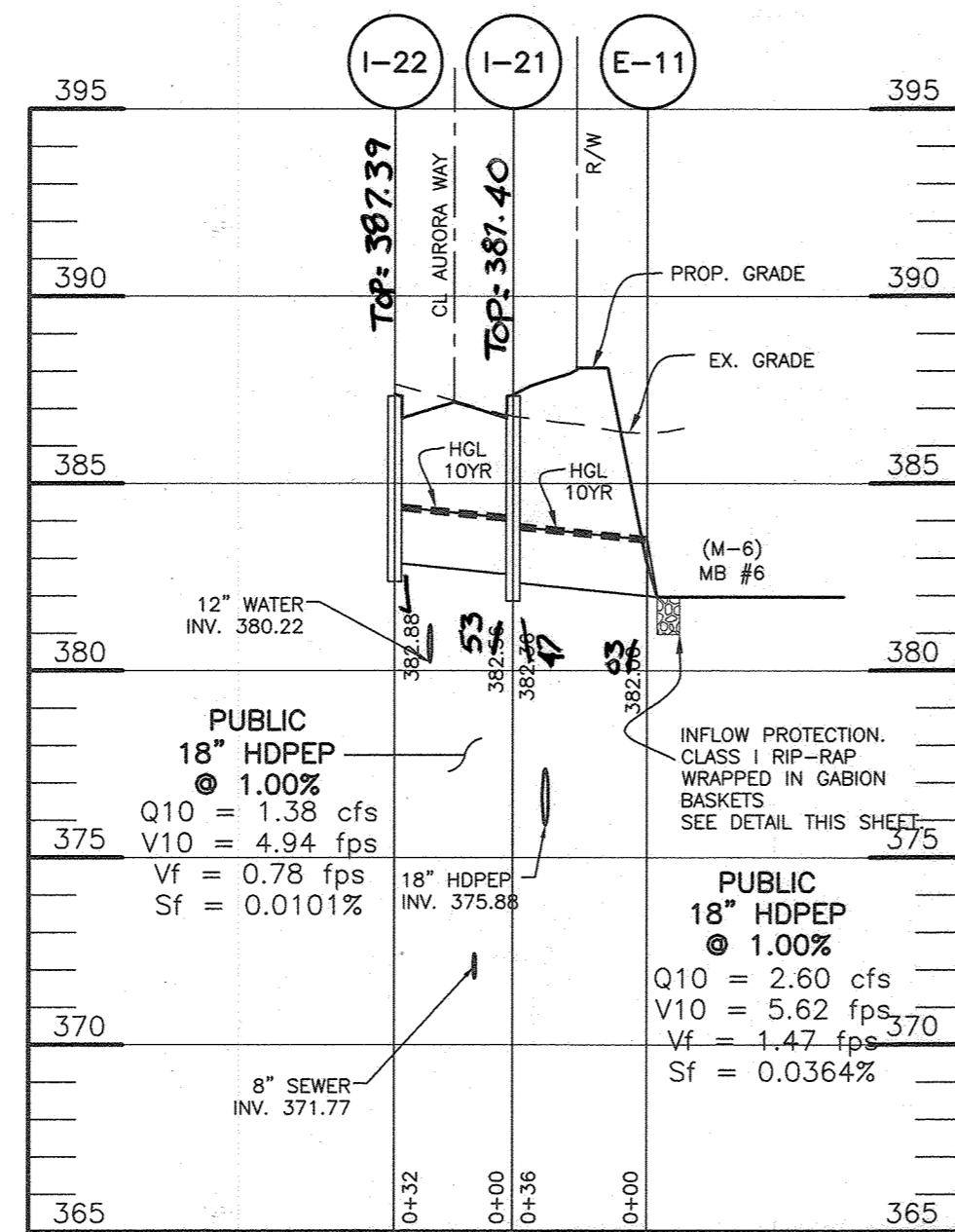
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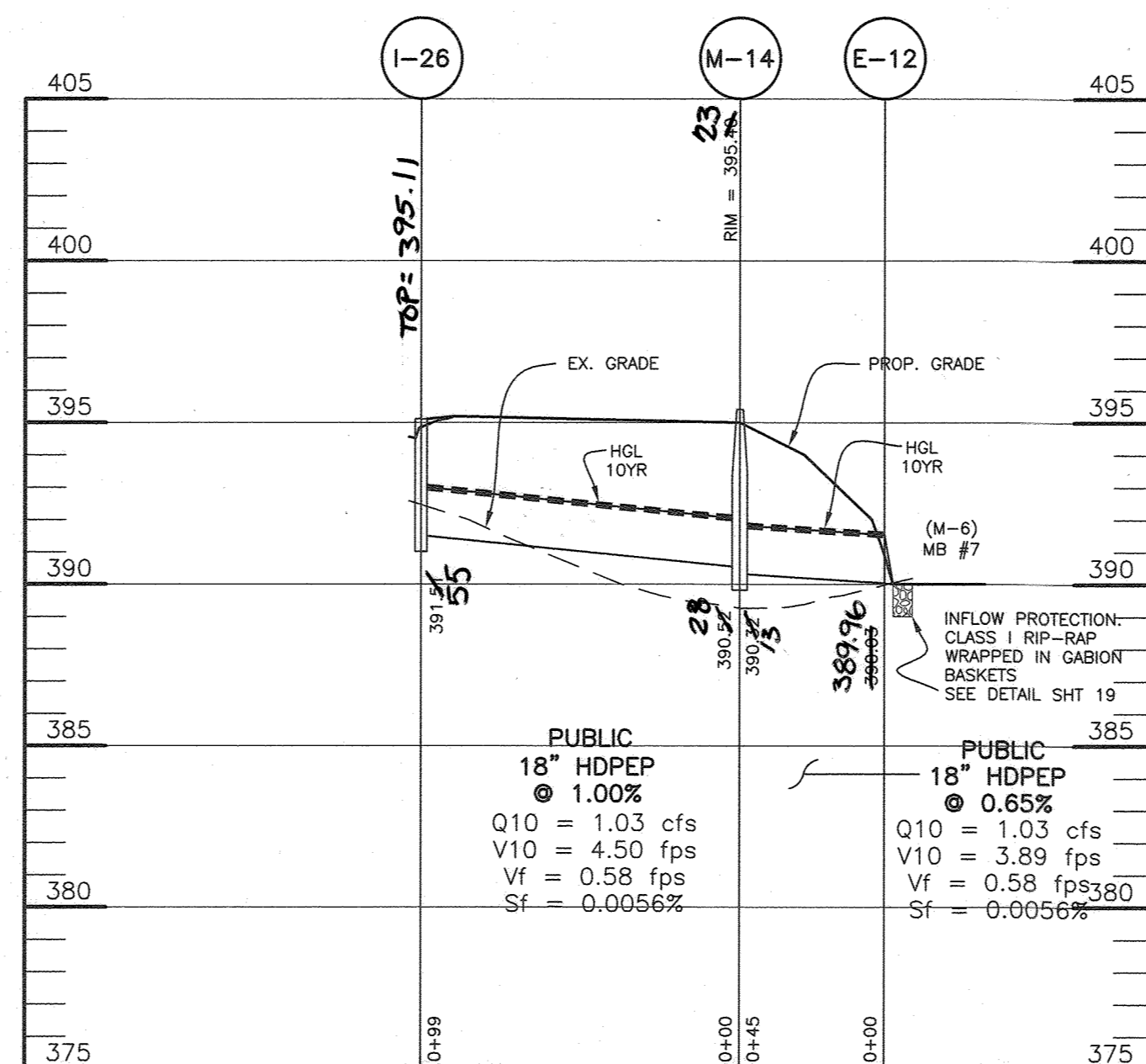
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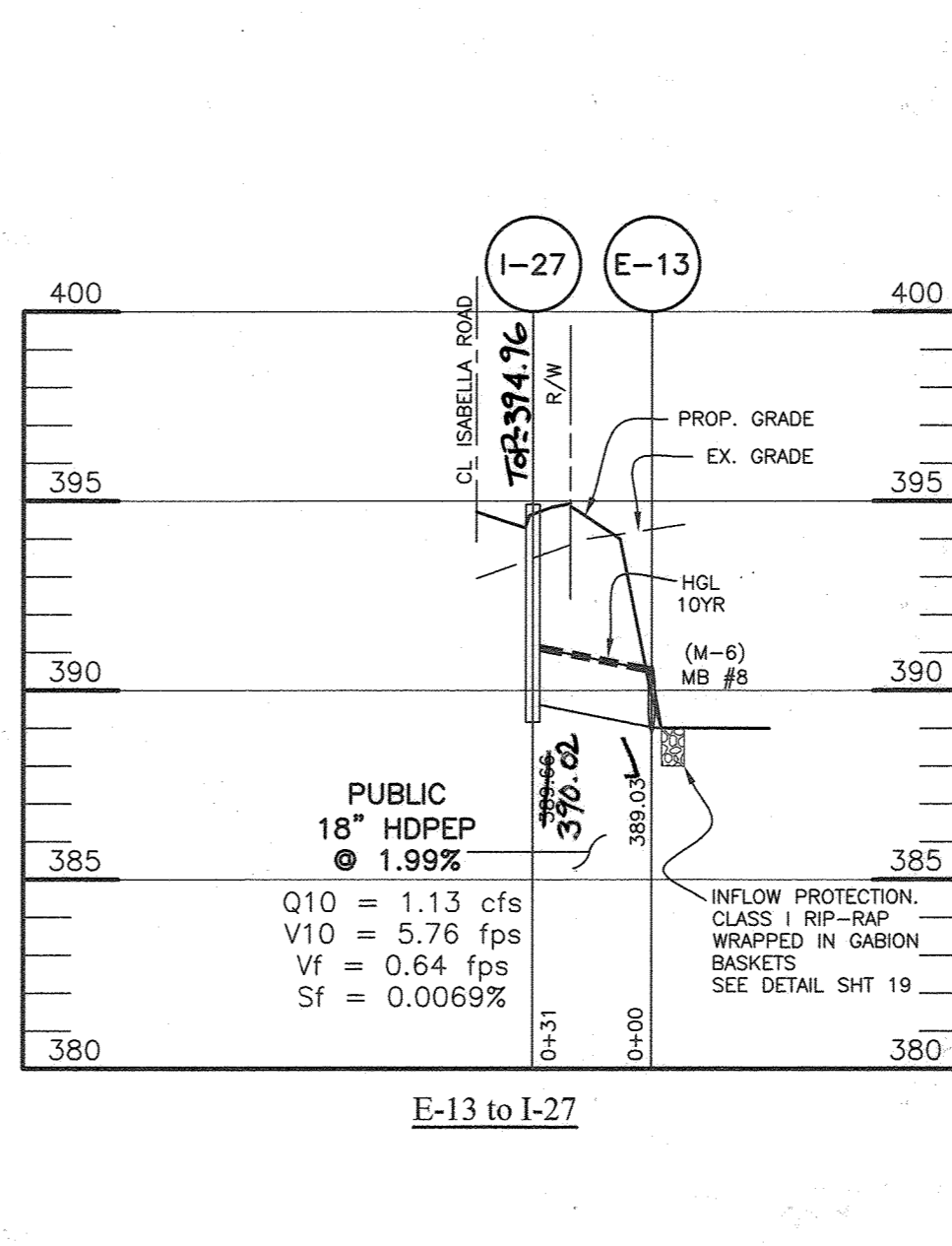
E-9 to I-18



E-11 to I-22



E-12 to I-26



E-13 to I-27

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 License No. 21443 Expiration Date: 12-21-24



AS-BUILT CERTIFICATION  
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 Date: 12-15-23

Donald Mason, P.E.

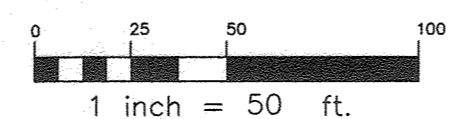
Date: 12-15-23

NO.	DATE	REVISION

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-8105 (F) 410-465-6644  
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 License No. 22390 Expiration Date: 6-30-2023

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



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OWNER:  
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 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

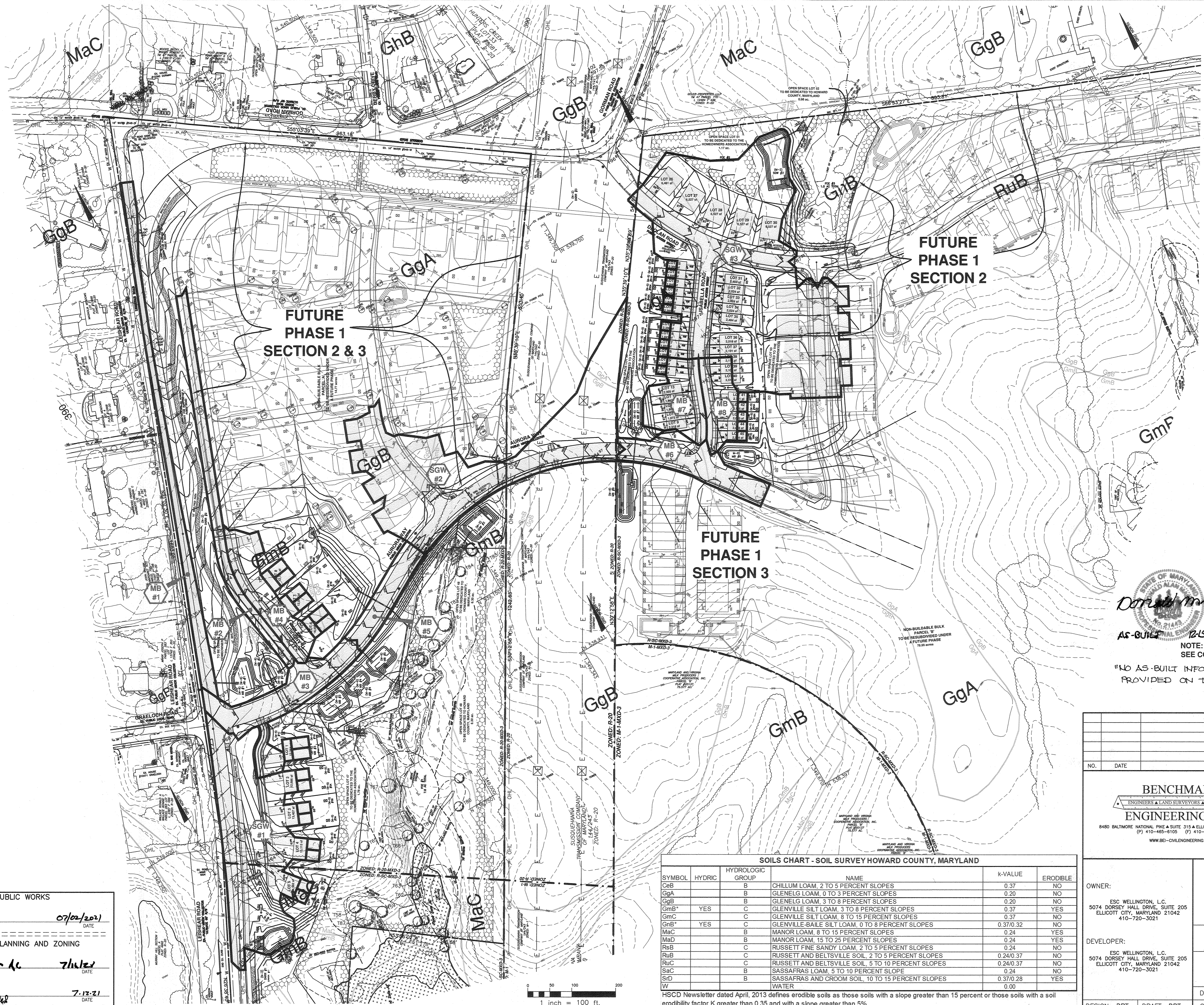
DEVELOPER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MKD-3 / R-SC-MKD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

STORM DRAIN PROFILES

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 18 OF 47





**LEGEND**

- DRAINAGE AREA DIVISION
- ▨ PROPOSED IMPERVIOUS SURFACES
- SOILS DEMARKATION

**MaC** SOILS TYPE

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24

**AS-BUILT** 12-15-23

NOTE:  
SEE COVER SHEETS FOR SUMMARY TABLES

"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET

NO.	DATE	REVISION

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
 (P) 410-485-6105 (F) 410-485-6644  
 WWW.BEI-CIVILENGINEERING.COM

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24

**SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND**

SYMBOL	HYDRIC	HYDROLOGIC GROUP	NAME	K-VALUE	ERODIBLE
CeB		B	CHILLUM LOAM, 2 TO 5 PERCENT SLOPES	0.37	NO
GgA		B	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	0.20	NO
GgB		B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	0.20	NO
GmB*	YES	C	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.37	YES
GmC		C	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.37	NO
GnB*	YES	C	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	0.37/0.32	NO
MaC		B	MANOR LOAM, 8 TO 15 PERCENT SLOPES	0.24	YES
MaD		B	MANOR LOAM, 15 TO 25 PERCENT SLOPES	0.24	YES
RuB		C	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES	0.24	NO
RuB		C	RUSSETT AND BELTSVILLE SOIL, 2 TO 5 PERCENT SLOPES	0.24/0.37	NO
RuC		C	RUSSETT AND BELTSVILLE SOIL, 5 TO 10 PERCENT SLOPES	0.24/0.37	NO
SaC		B	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPE	0.24	NO
SD		B	SASSAFRAS AND CROOM SOIL, 10 TO 15 PERCENT SLOPES	0.37/0.28	YES
W			WATER	0.00	

HSCD Newsletter dated April, 2013 defines erodible soils as those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5%.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels 'C' and 'D'  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

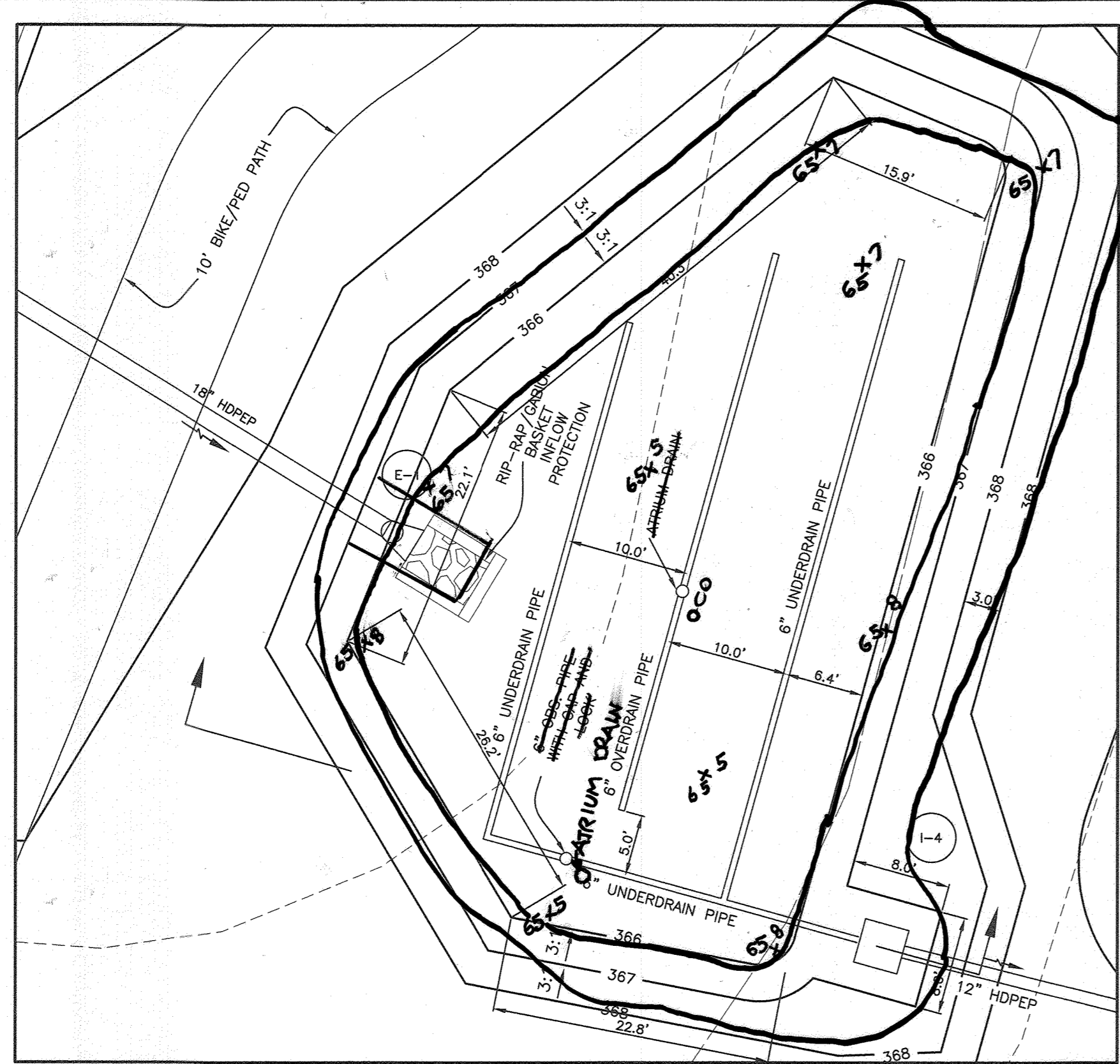
**STORMWATER MANAGEMENT DRAINAGE AREA MAP**

OWNER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

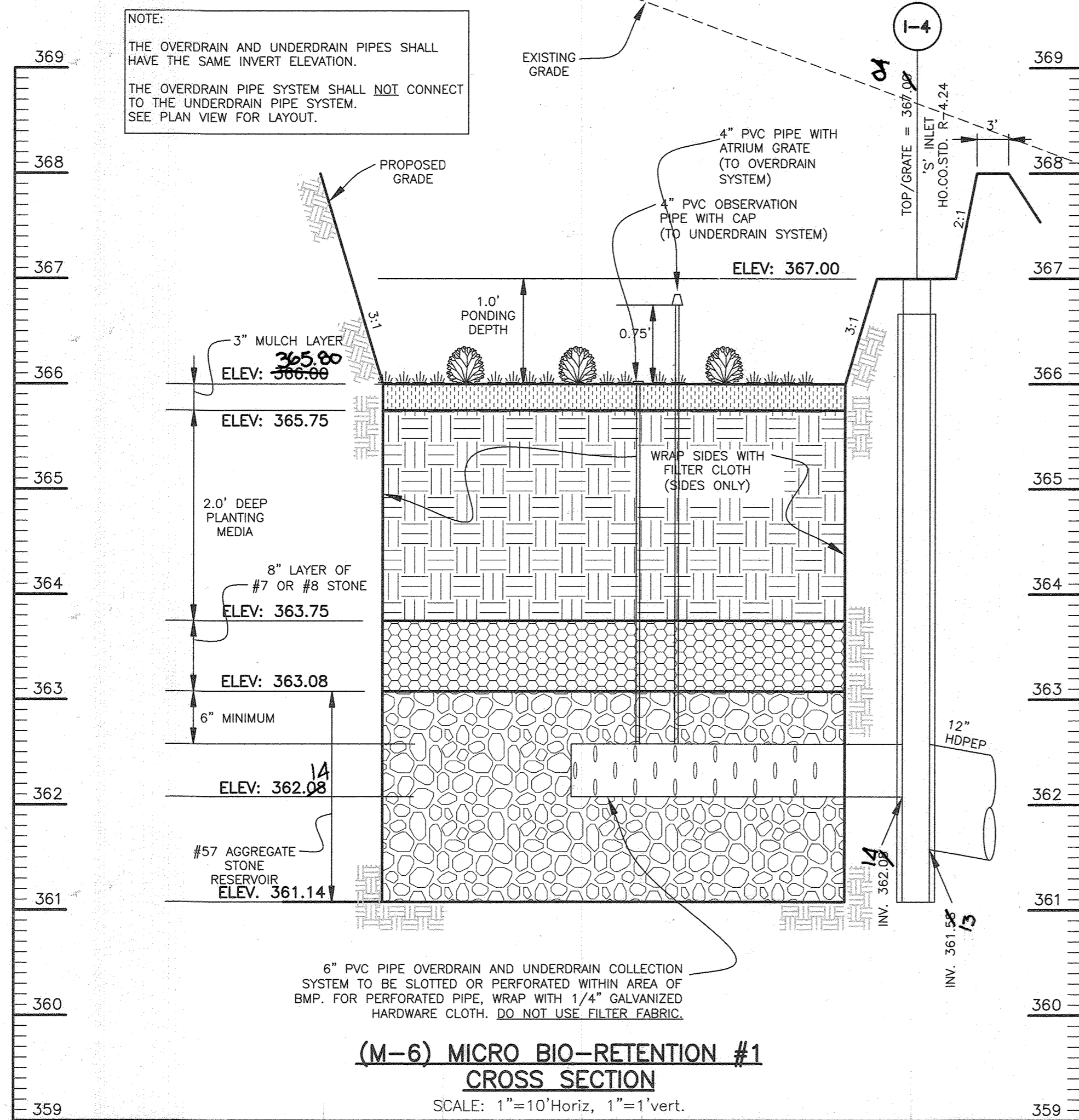
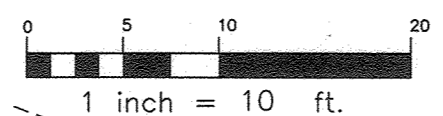
DEVELOPER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 20 OF 47



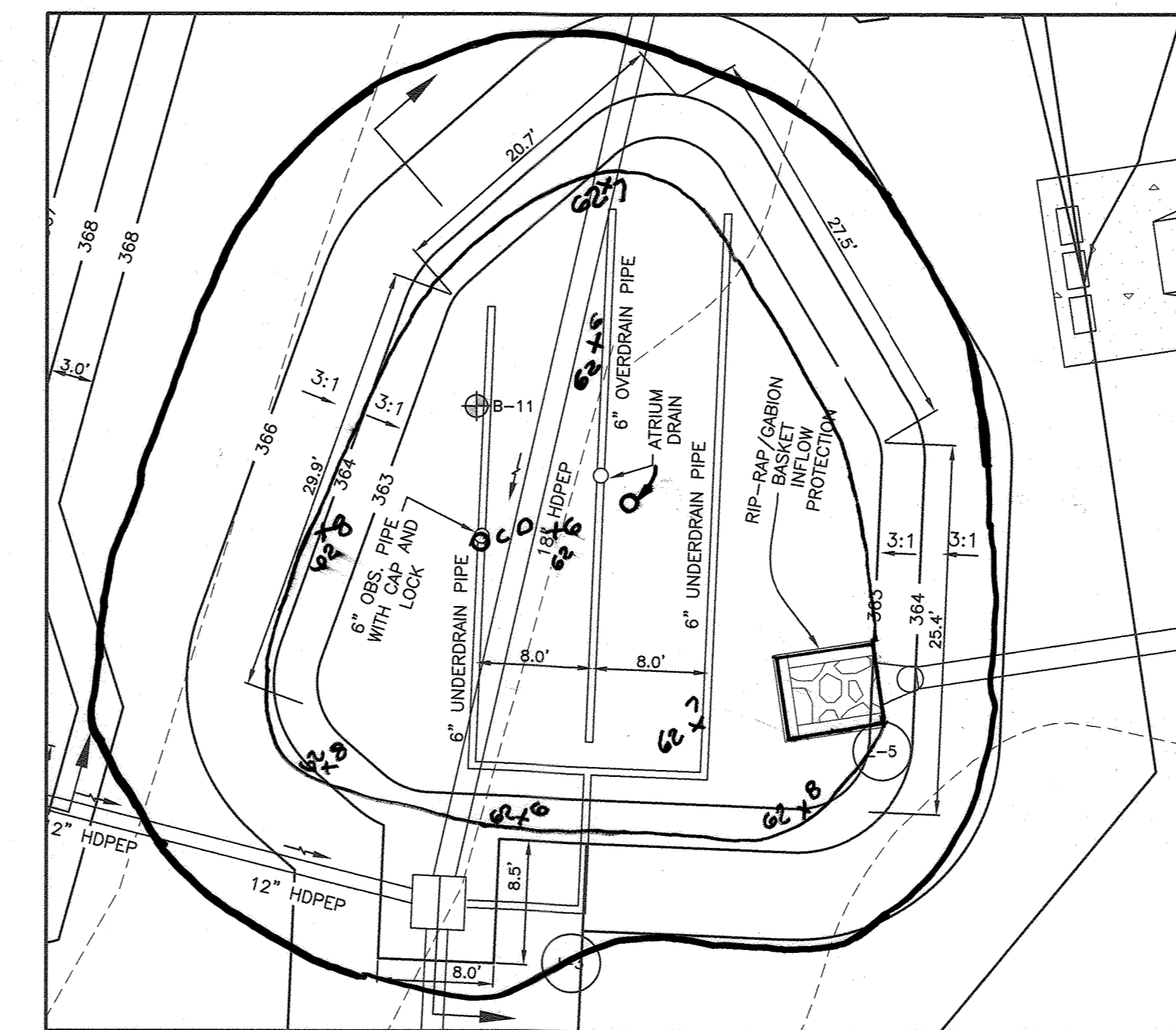


**MICRO BIO-RETENTION #1**

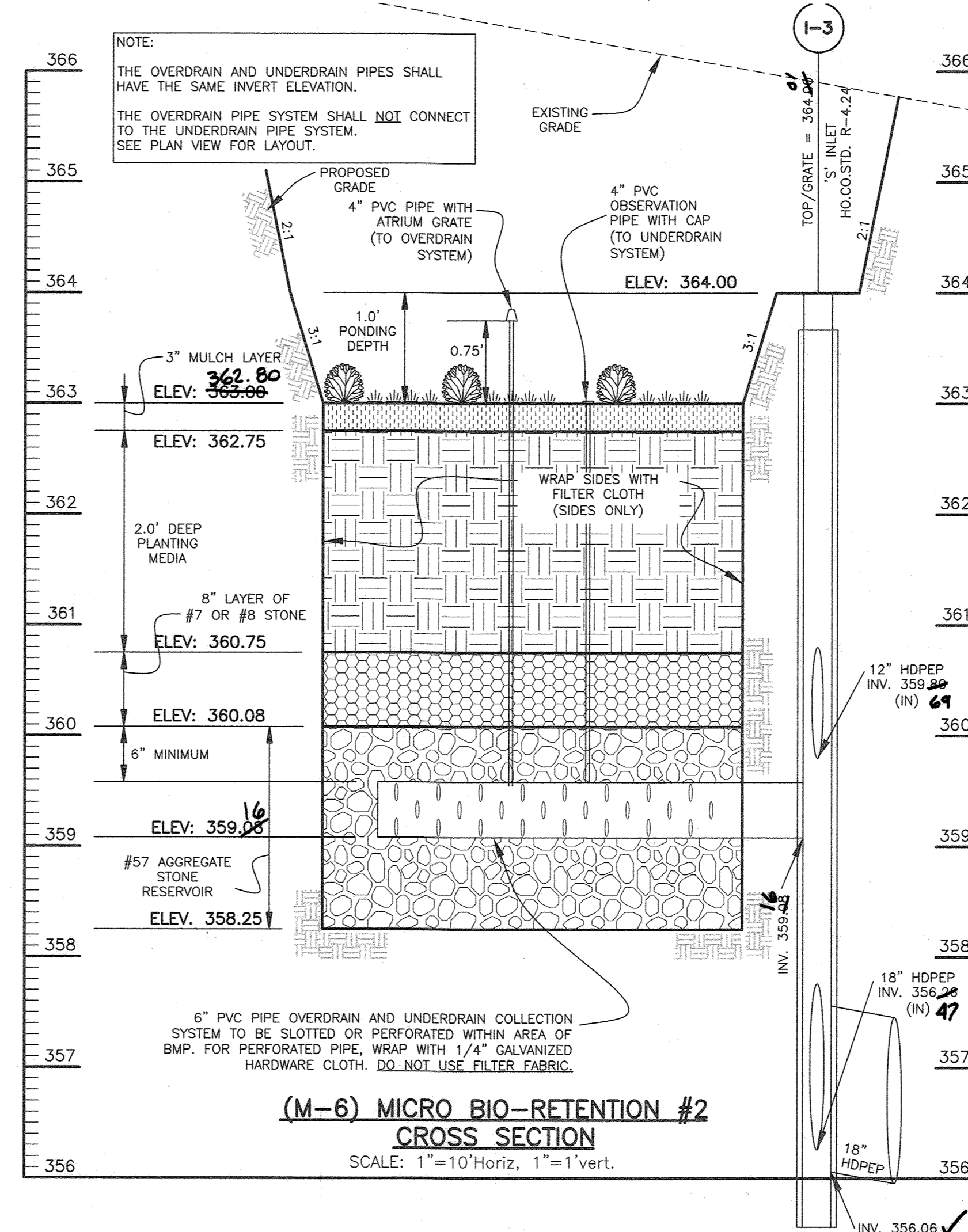
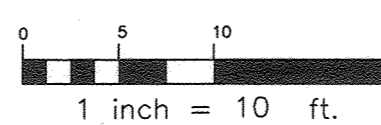


**(M-6) MICRO BIO-RETENTION #1 CROSS SECTION**

SCALE: 1"=10' Horiz, 1"=1' vert.



**MICRO BIO-RETENTION #2**



**(M-6) MICRO BIO-RETENTION #2 CROSS SECTION**

SCALE: 1"=10' Horiz, 1"=1' vert.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/14/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: [Signature] 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

NOTE:  
 SEE SHEET 21 FOR M-6 PLANTINGS INFORMATION

<b>BENCHMARK ENGINEERING, INC.</b> ENGINEERS & LAND SURVEYORS & PLANNERS 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-465-4105 (F) 410-465-4644 WWW.BE-CVLENGINEERING.COM		Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22390, Expiration Date: 6-30-2023. 
NO. DATE REVISION	OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443, Expiration Date: 12-21-24. 

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24.

AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-18-23

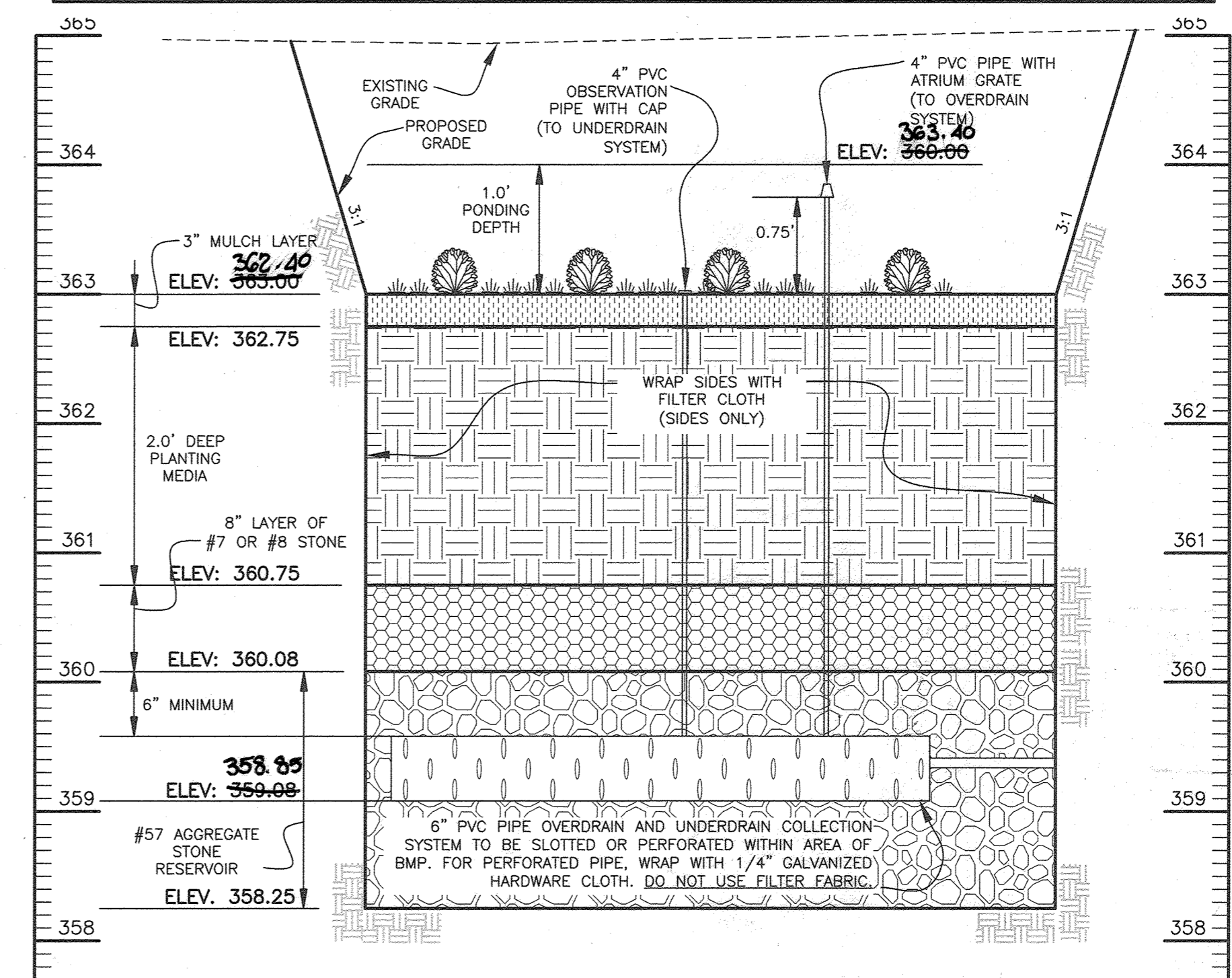
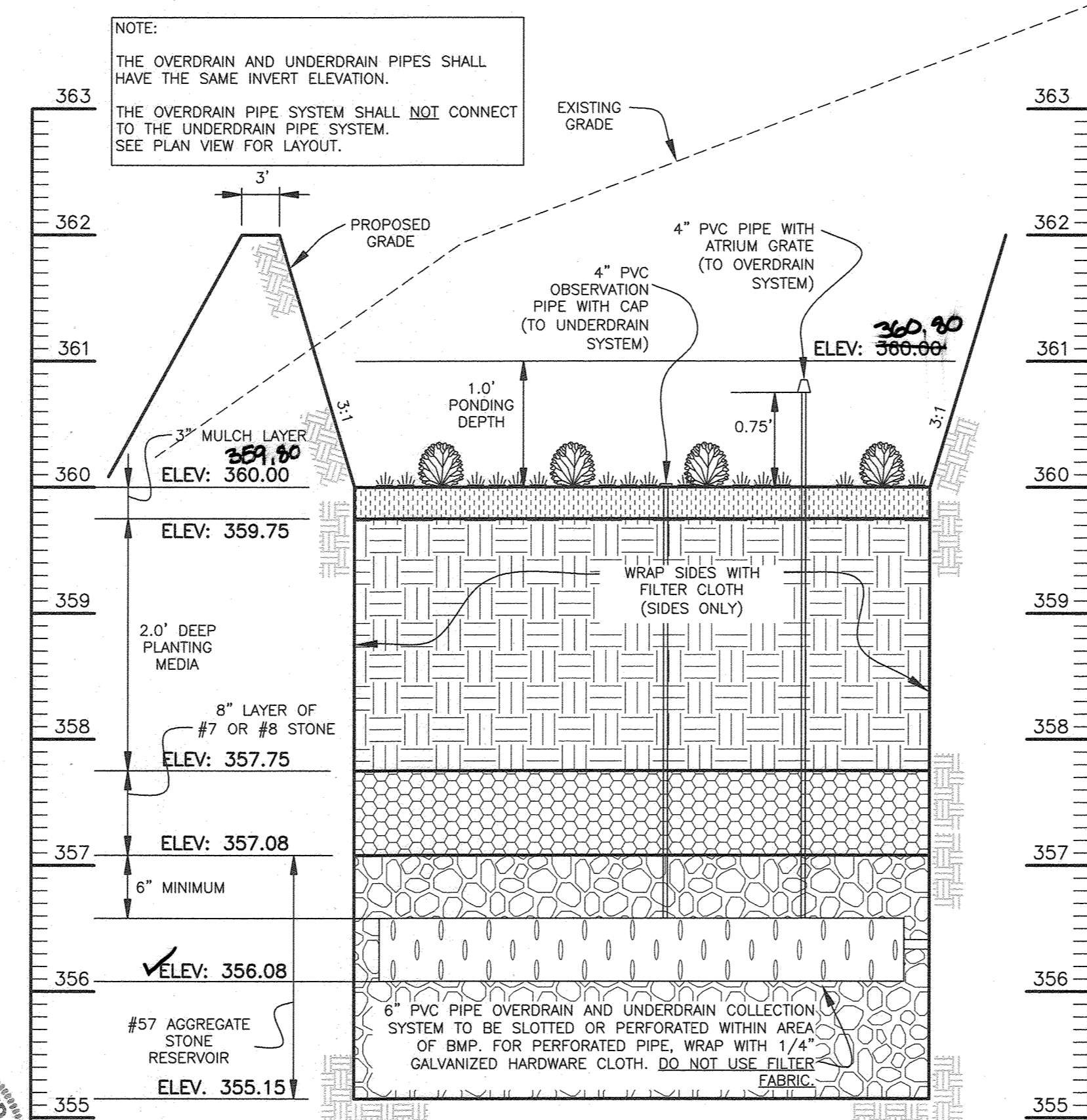
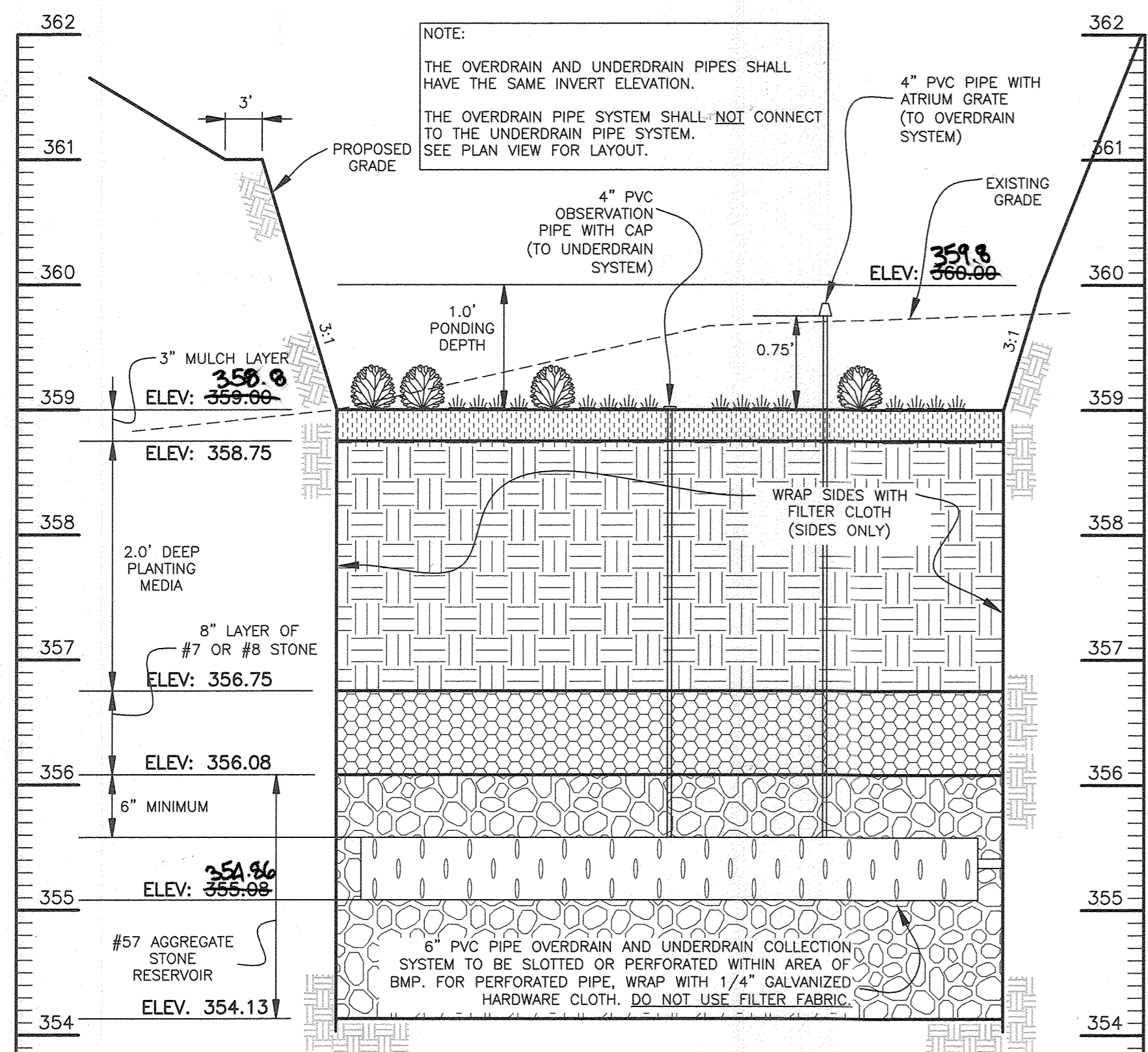
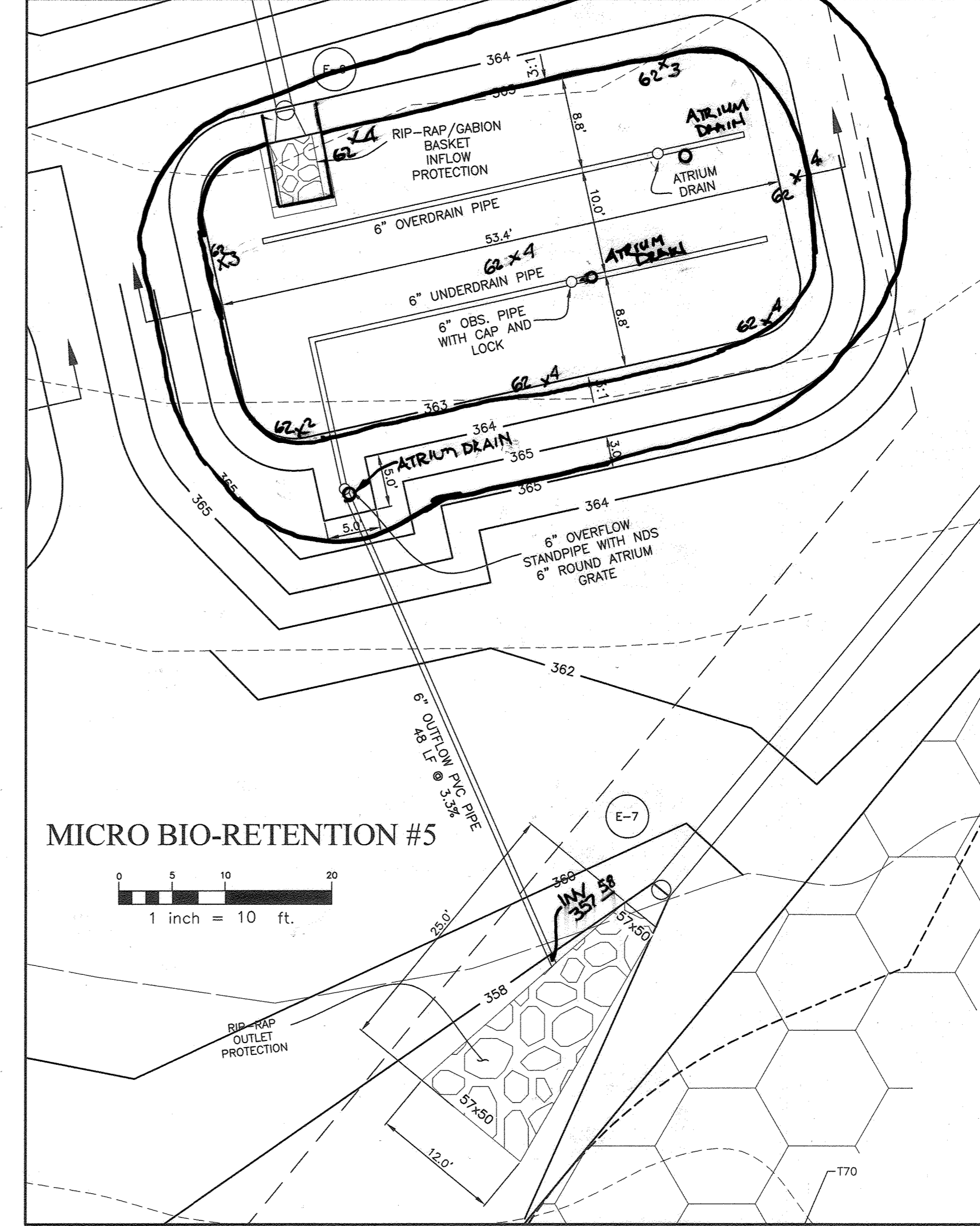
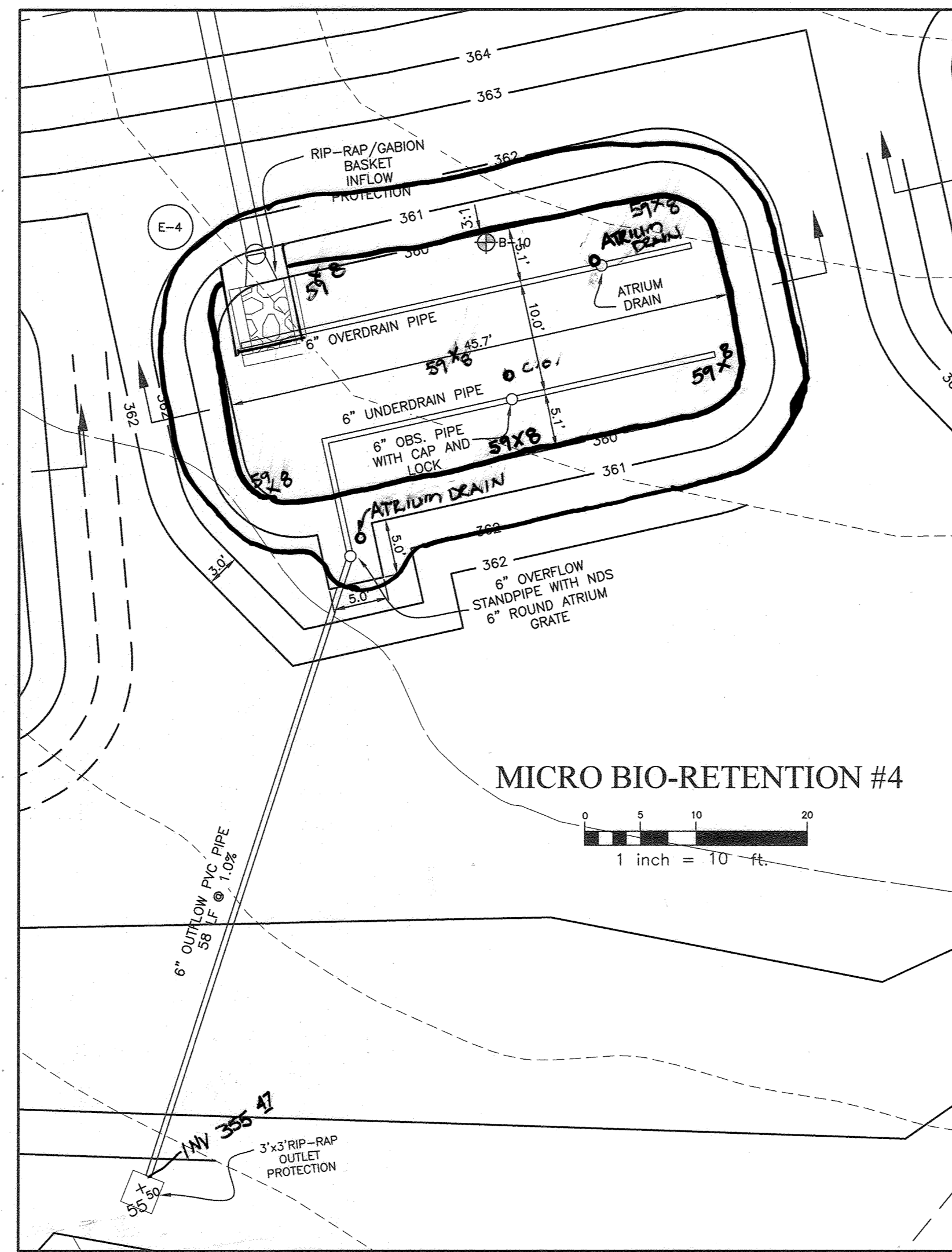
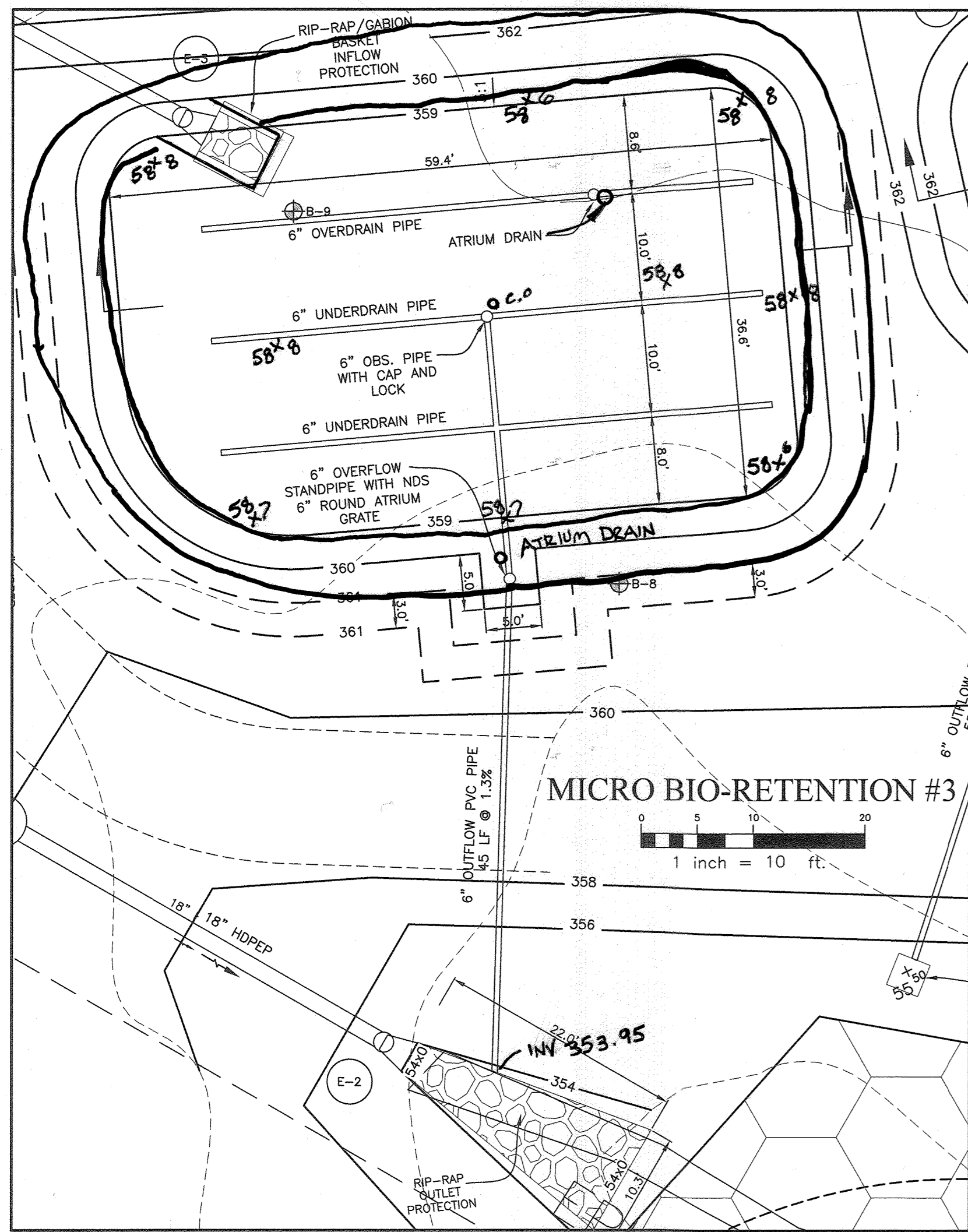
**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MKD-3 / R-SC-MKD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT DETAILS

DATE: JUNE 4, 2021	BEI PROJECT NO. 2879
SCALE: AS SHOWN	SHEET 22 OF 47

AS-BUILT F-21-025



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2024  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/14/24  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 7-12-24  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

**(M-6) MICRO BIO-RETENTION #3 CROSS SECTION**  
 SCALE: 1"=10' Horiz, 1"=1' Vert.  
 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 - Expiration Date: 12-31-24  
 AS-BUILT CERTIFICATION  
 I hereby certify, to the best of my knowledge and belief, that the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.  
 Donald Mason, P.E. Date: 12-15-23



**(M-6) MICRO BIO-RETENTION #4 CROSS SECTION**  
 SCALE: 1"=10' Horiz, 1"=1' Vert.

NOTE: SEE SHEET 21 FOR M-6 PLANTINGS INFORMATION

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315A ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-8100 (F) 410-465-6644  
 WWW.BEI-CIVILENGINEERING.COM

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23396, Expiration Date: 6-30-2023.

OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021

DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021

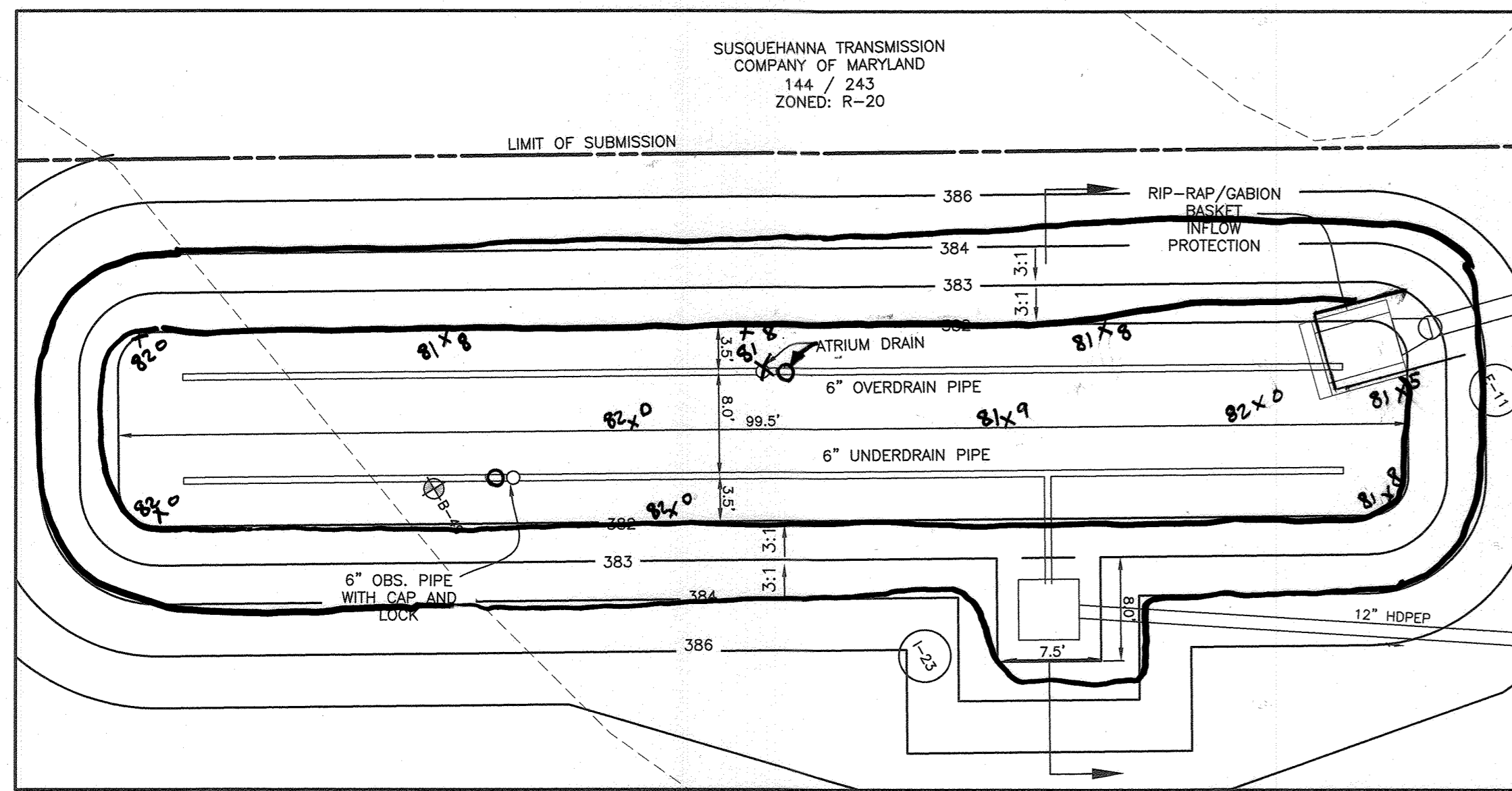
DESIGN: DBT DRAFT: DBT

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

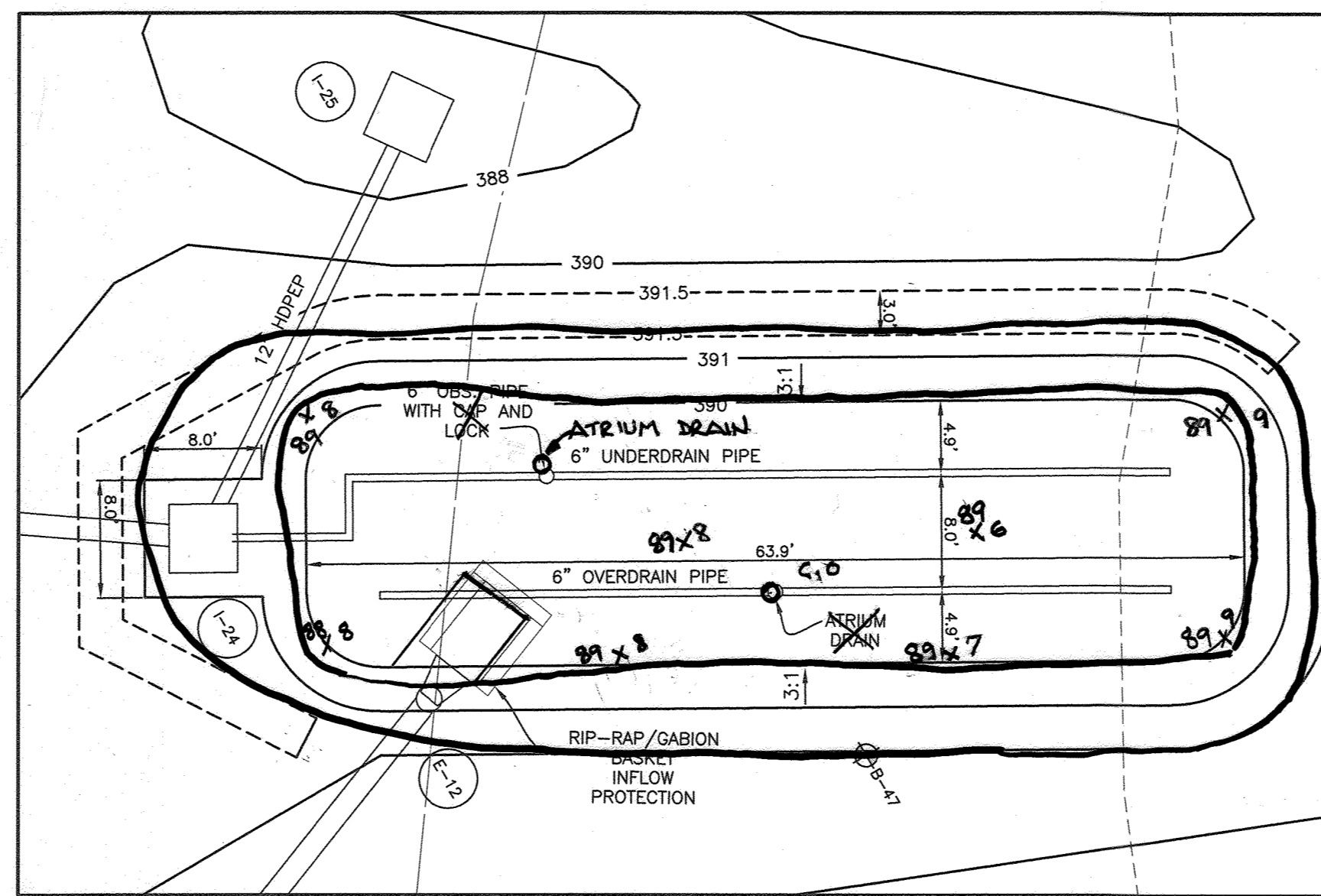
TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**STORMWATER MANAGEMENT DETAILS**

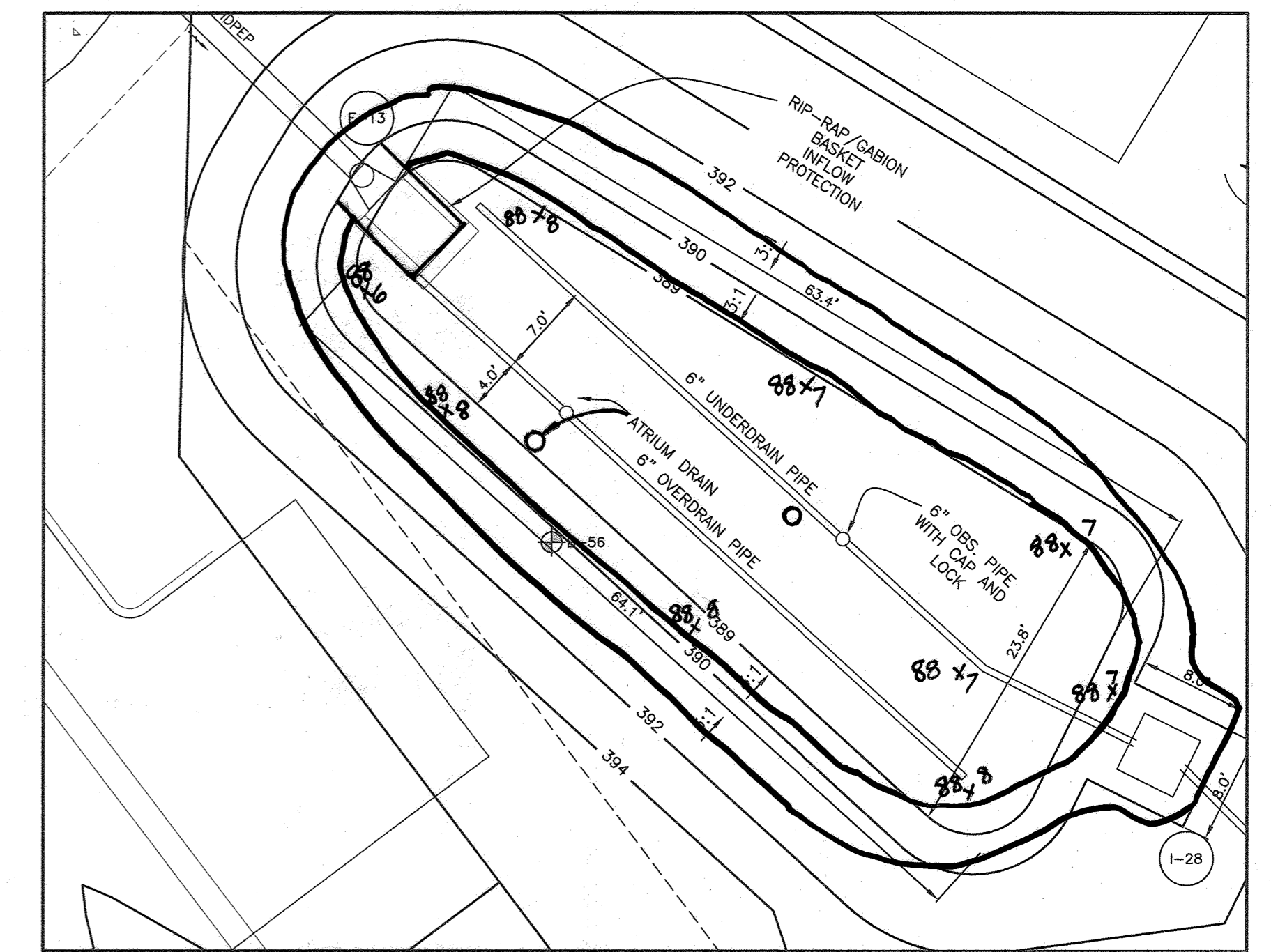
DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 SCALE: AS SHOWN SHEET 23 OF 47



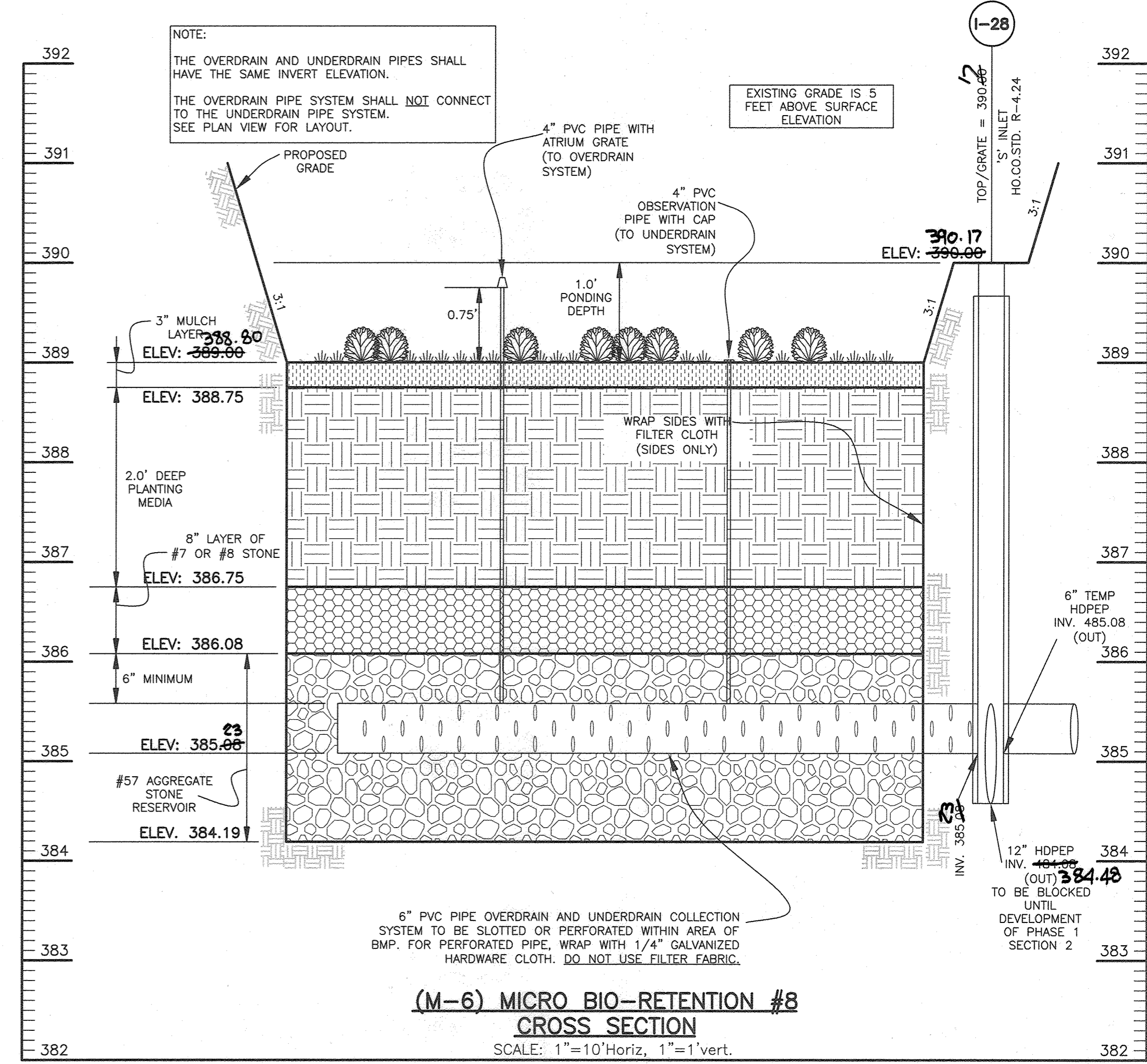
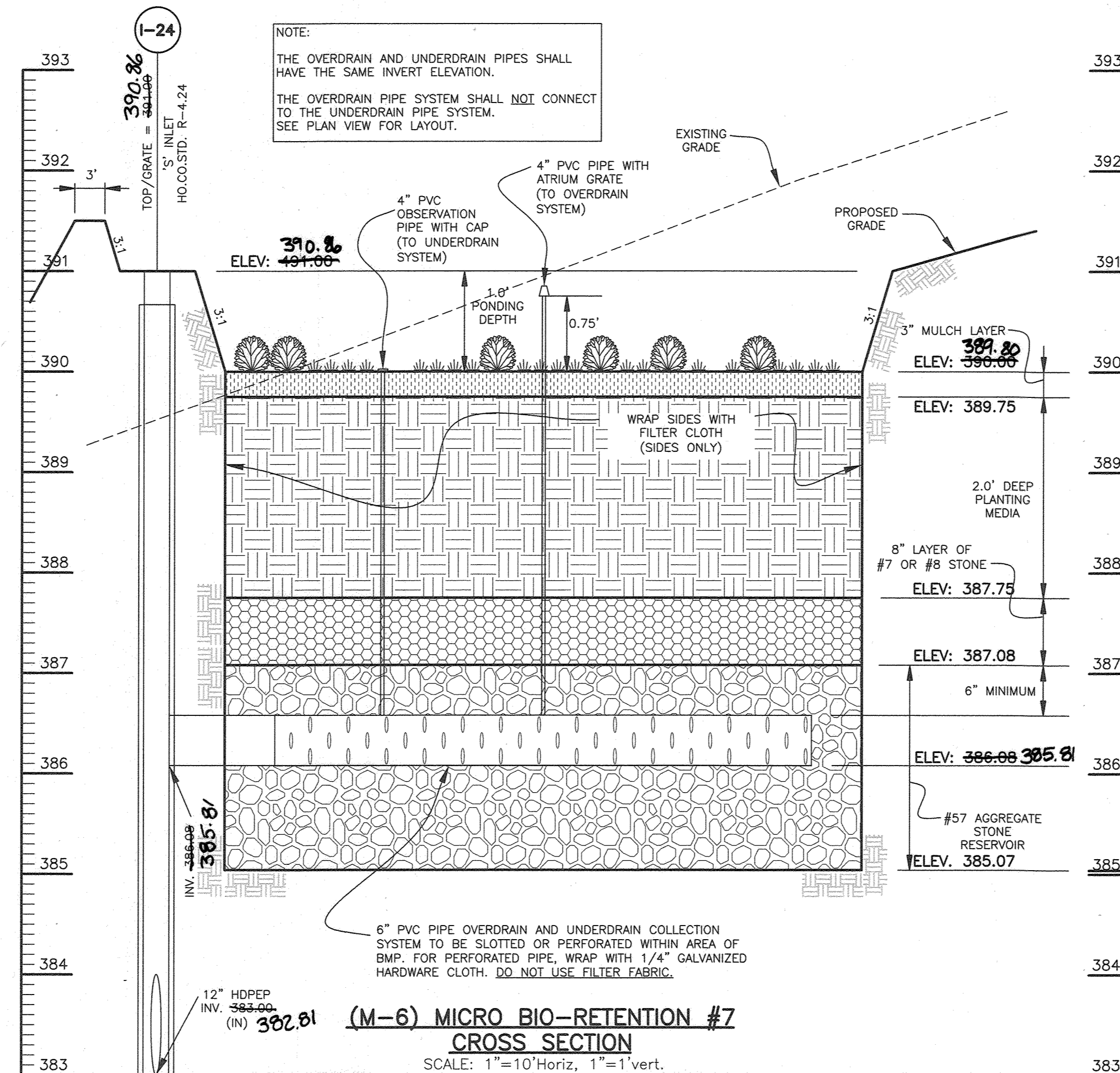
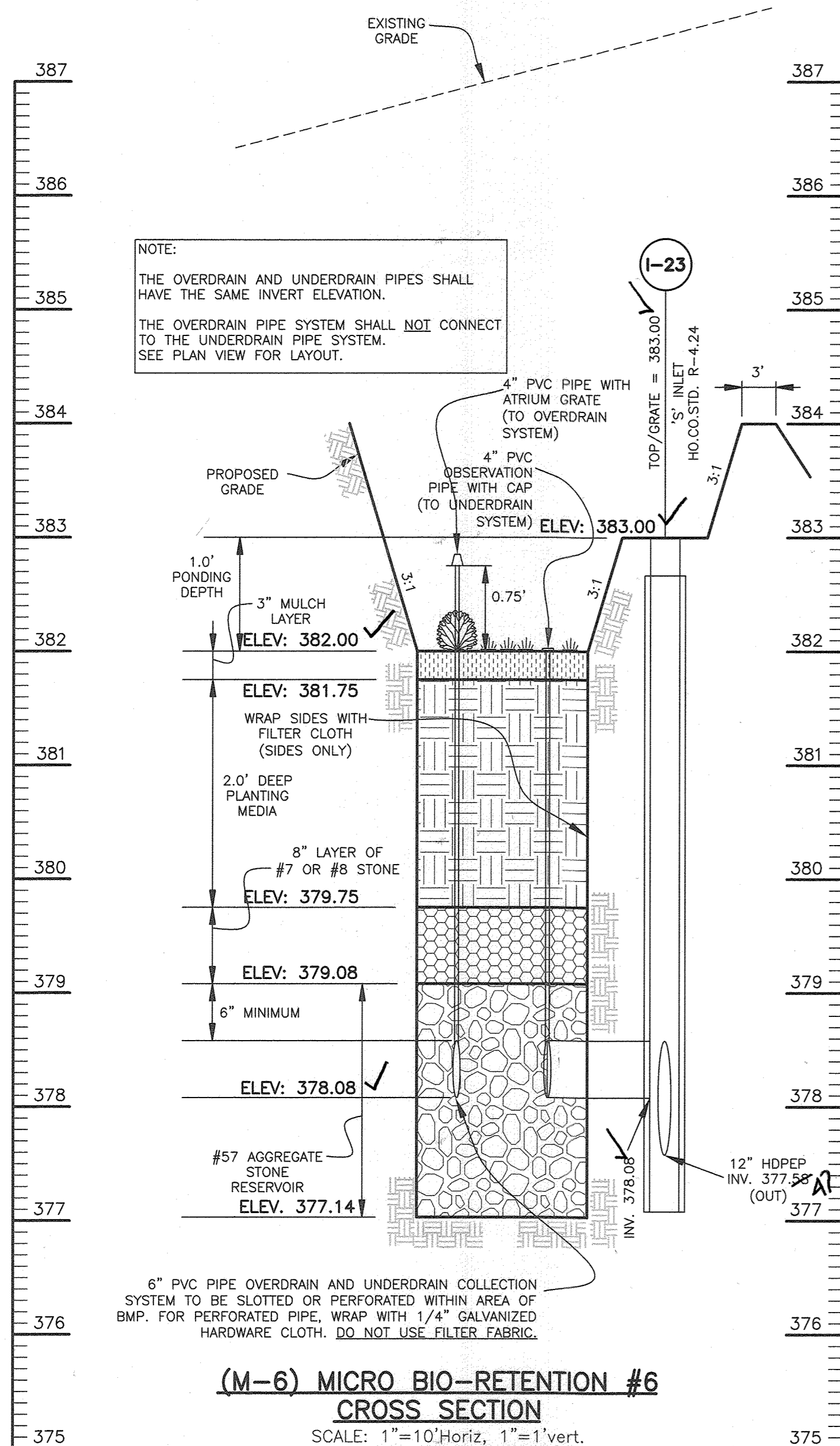
MICRO BIO-RETENTION #6  
1 inch = 10 ft.



MICRO BIO-RETENTION #7  
1 inch = 10 ft.



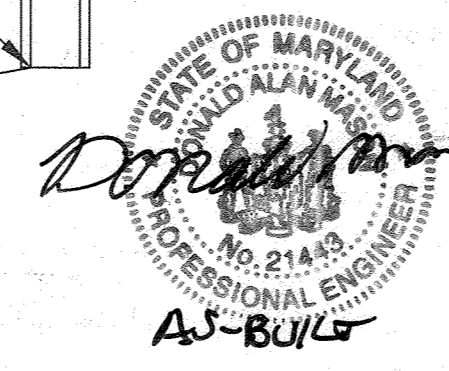
MICRO BIO-RETENTION #8  
1 inch = 10 ft.



APPROVED: DEPARTMENT OF PUBLIC WORKS  
07/02/2021  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/11/21  
CHIEF, DIVISION OF LAND DEVELOPMENT

7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443 Expiration Date: 12-18-23

AS-BUILT CERTIFICATION  
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
DATE: 12-18-23  
Donald Mason, P.E.

NOTE:  
SEE SHEET 21 FOR M-6 PLANTINGS INFORMATION

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 23390, Expiration Date: 6-30-2023.

**BENCHMARK ENGINEERING, INC.**  
8480 BALTIMORE NATIONAL PIKE A SUITE 315 A ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-8103 (F) 410-465-6644  
WWW.BEI-ENCLINEENGINEERING.COM

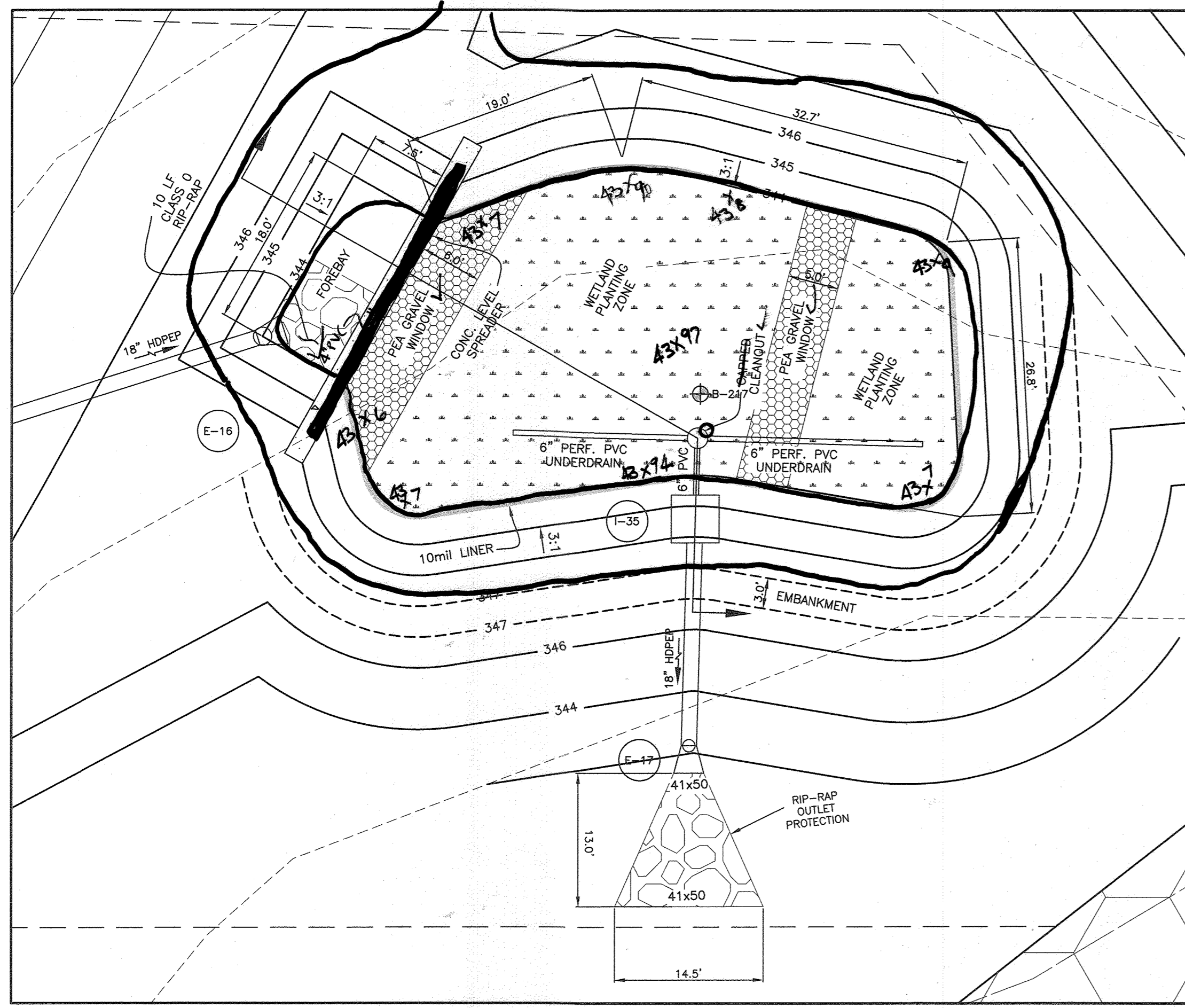
**WELLINGTON FARMS**  
Phase I Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
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TAX MAP: 46 - GRID: 6 - PARCEL: 163  
ZONED: R-20-MXD-3 / R-SC-MXD-3  
ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

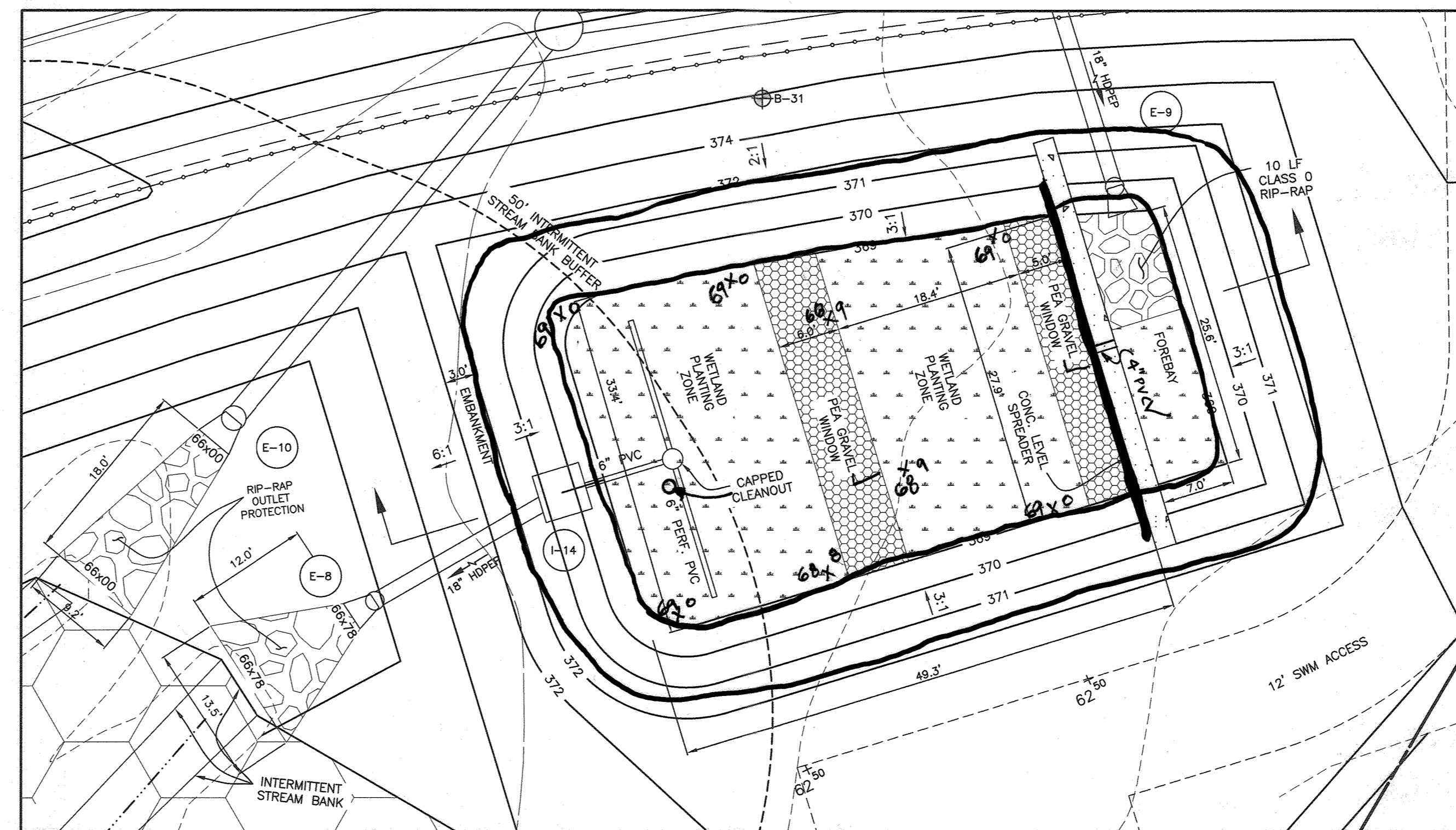
**STORMWATER MANAGEMENT DETAILS**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
SCALE: AS SHOWN SHEET 24 OF 47  
DESIGN: DBT DRAFT: DBT

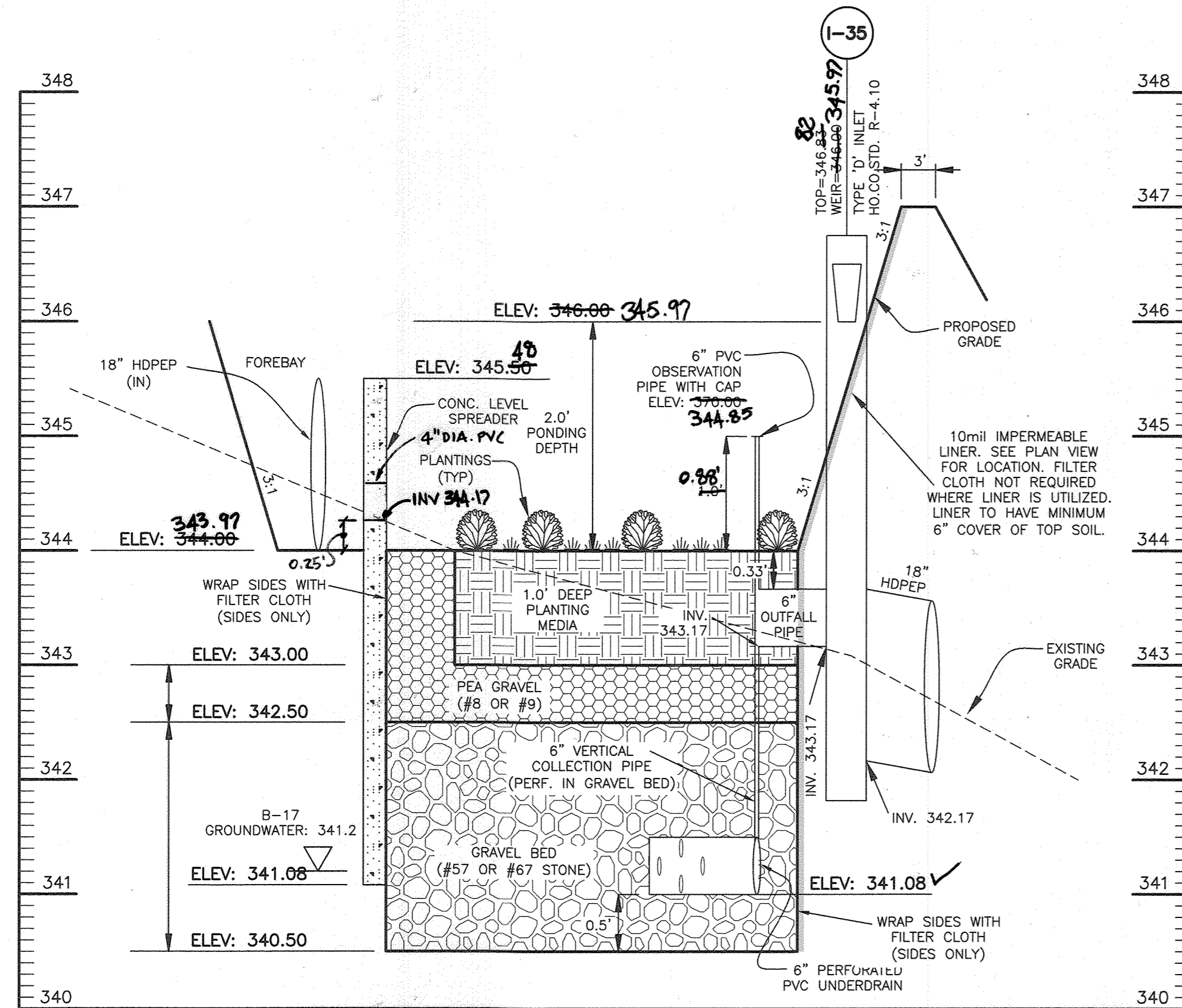




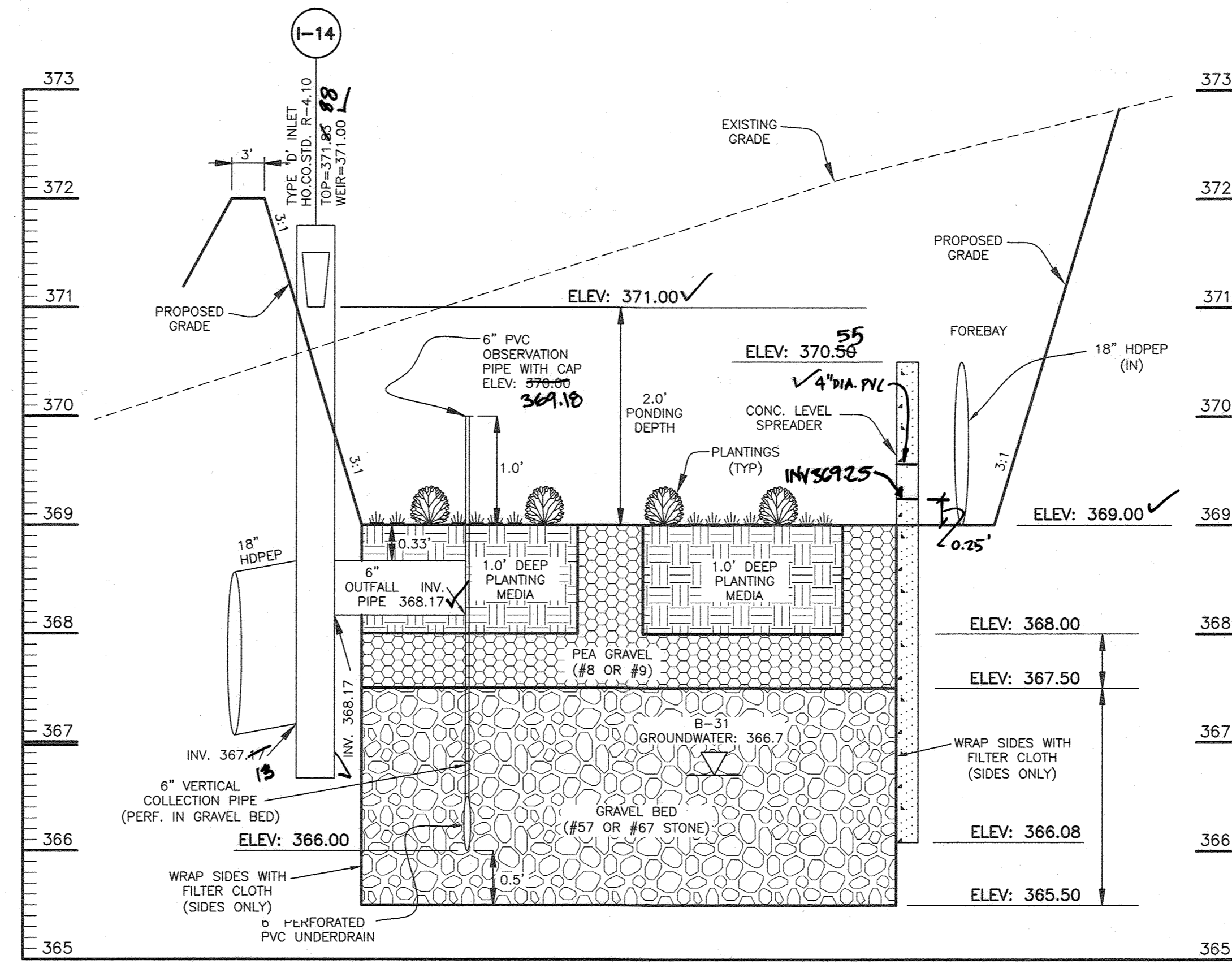
**SUBMERGED GRAVEL WETLANDS #1**  
 0 5 10 20  
 1 inch = 10 ft.



**SUBMERGED GRAVEL WETLANDS #2**  
 0 5 10 20  
 1 inch = 10 ft.



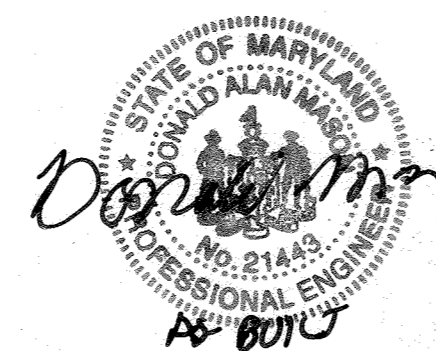
**(M-2) SUBMERGED GRAVEL WETLANDS #1  
 CROSS SECTION**  
 SCALE: 1"=10' Horiz, 1"=1' vert.



**(M-2) SUBMERGED GRAVEL WETLANDS #2  
 CROSS SECTION**  
 SCALE: 1"=10' Horiz, 1"=1' vert.

- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED (M-2) SUBMERGED GRAVEL WETLANDS**
- ROUTINE MAINTENANCE (BY HOA)**
- During the first year of operation the owner shall inspect the facility after every heavy storm and replace vegetation as needed.
  - The owner shall remove sediment accumulated in the pretreatment areas as needed.
  - Signs of uneven flow within the wetlands may mean that the gravel or underdrain is clogged. The gravel or underdrain shall be removed, cleaned, and replaced, as needed.
  - The owner shall ensure a dense stand of wetland vegetation is maintained through the life of the facility and replace vegetation as needed.
  - The owner shall ensure the inlets and outlets to each gravel wetland cell are free from debris.
  - The owner shall repair erosion at inflow points and ensure flow splitters are functional to prevent storm water from bypassing the facility.
- NON-ROUTINE MAINTENANCE (BY COUNTY)**
- COUNTY SHALL BE RESPONSIBLE FOR DRAIN PIPES AND OUTFALL STRUCTURES. THE COMPONENTS SHALL BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21413 Expiration Date: 12-31-24

**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications  
 Donald Mason, P.E. Date: 12-18-23

**(M-2) Submerged Gravel Wetlands Landscaping Chart**

PLANT NAME	COMMON NAME	Surface Area (sf)	TYPE	SIZE	SGW #1	SGW #2	SGW #3
					1274	1220	2932
Ranunculus Subrigidus	Pond Buttercup		perennial	1 qt.	30	28	68
Phlox Maculata	Meadow Phlox		perennial	1 qt.	21	20	49
Lobelia Cardinalis	Cardinal Flower		perennial	1 qt.	34	33	78
Salix Sericea	Silky Willow		tree	18-24" ht. #3 CAN	6	6	15
Viburnum Nudum	Viburnum, Possum-Haw		shrub	18-24" ht.	13	12	29

**BENCHMARK ENGINEERING, INC.**  
 8490 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
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 WWW.BEI-CIVILENGINEERING.COM

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
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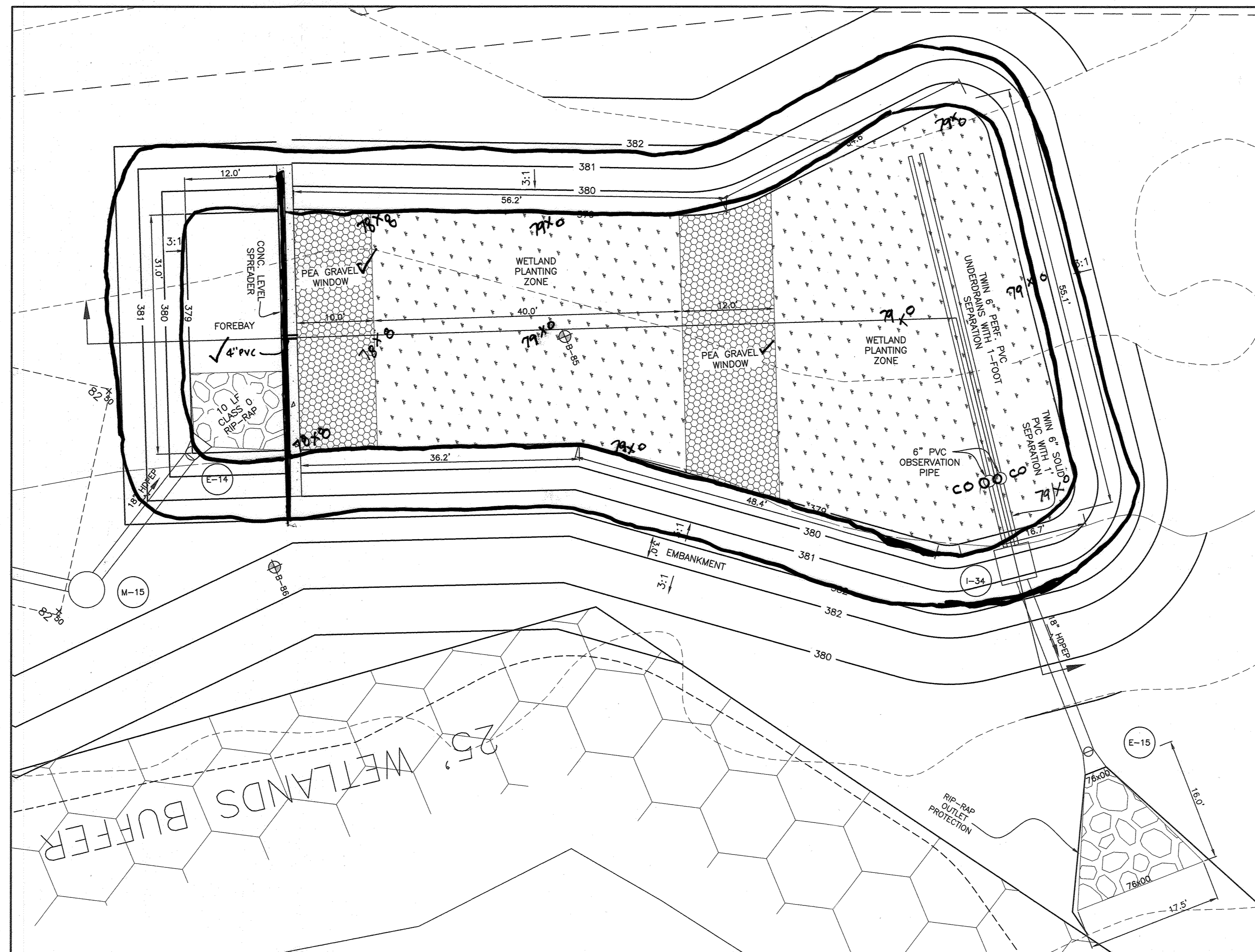
OWNER: ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

DEVELOPER: ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
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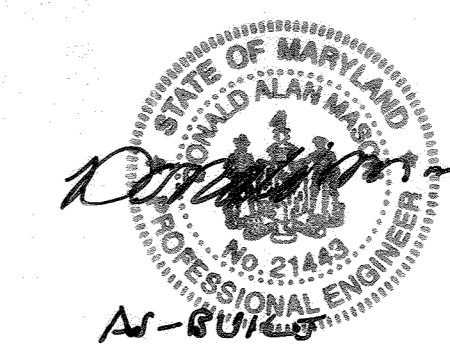
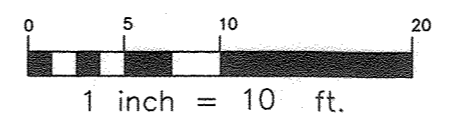
TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**STORMWATER MANAGEMENT DETAILS  
 SUBMERGED GRAVEL WETLANDS**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 25 OF 47



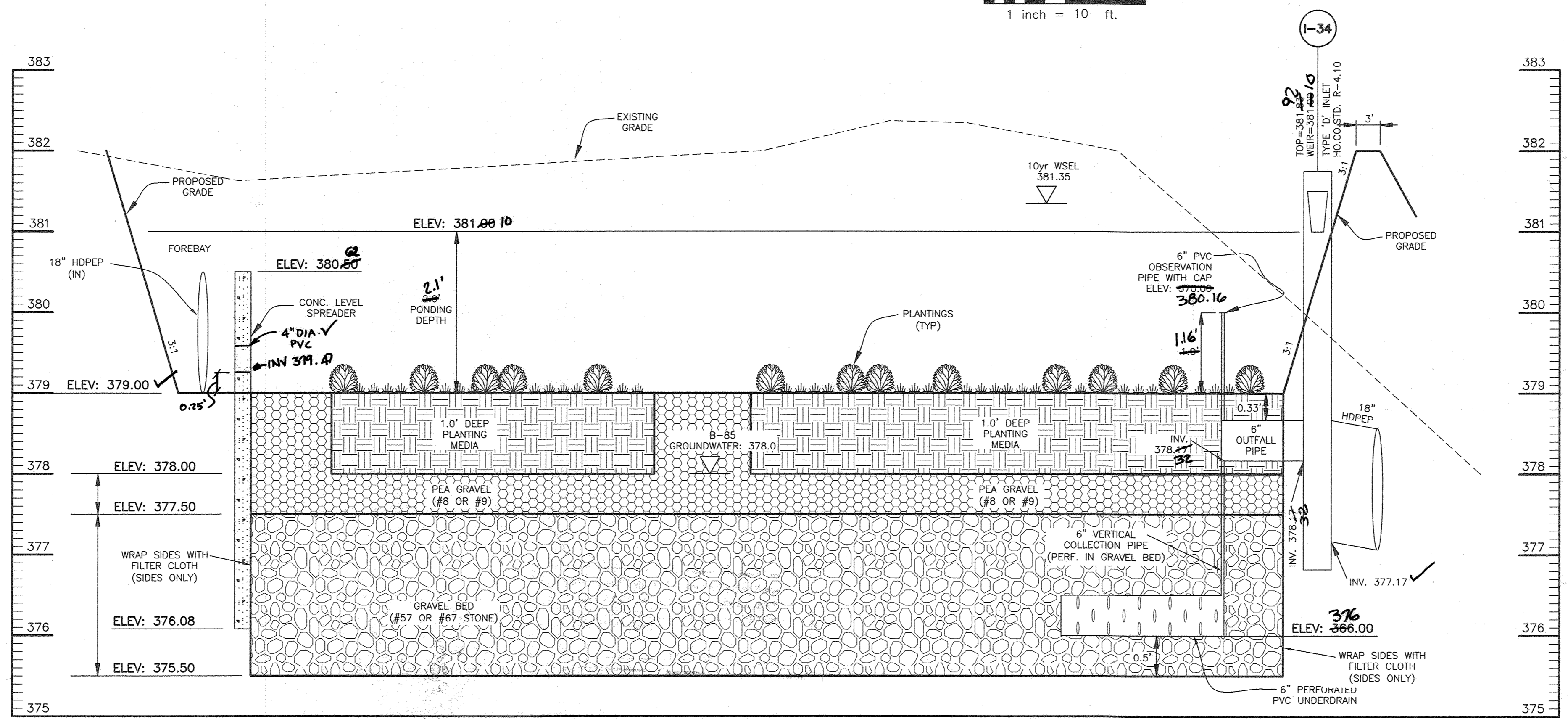
**SUBMERGED GRAVEL WETLANDS #3**



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-21

**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications

Donald Mason, P.E. Date: 12-18-23



**(M-2) SUBMERGED GRAVEL WETLANDS #3**

**CROSS SECTION**

SCALE: 1"=10' Horiz, 1"=1' vert.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/12/21  
 CHIEF, DIVISION OF DEVELOPMENT DATE

[Signature] 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISION

**BENCHMARK**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 22390, Expiration Date: 6-30-2025.

<p><b>OWNER:</b>          ESC WELLINGTON, L.C.          5074 DORSEY HALL DRIVE, SUITE 205          ELLICOTT CITY, MARYLAND 21042          410-720-3021</p>	<p><b>WELLINGTON FARMS</b>          Phase 1 Section 1          Lots 1 thru 45; Open Space Lots 46 thru 53;          Non-Buildable Bulk Parcels A and B          (A Resubdivision of Parcels 'C' and 'D'          previously recorded as Plat No. 20136-20137)</p>
<p><b>DEVELOPER:</b>          ESC WELLINGTON, L.C.          5074 DORSEY HALL DRIVE, SUITE 205          ELLICOTT CITY, MARYLAND 21042          410-720-3021</p>	<p>TAX MAP: 46 - GRID: 6 - PARCEL: 163          ZONED: R-20-MXD-3 / R-5C-MXD-3          ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND</p>
<p><b>STORMWATER MANAGEMENT DETAILS</b>  <b>SUBMERGED GRAVEL WETLANDS</b></p>	
<p>DATE: JUNE 4, 2021</p>	<p>BEI PROJECT NO. 2879</p>
<p>DESIGN: DBT</p>	<p>DRAFT: DBT</p>
<p>SCALE: AS SHOWN</p>	<p>SHEET 26 OF 47</p>

**AS-BUILT**

F-21-025

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-1. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-2. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-3. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-4. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-5. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-6. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-7. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-8. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-9. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-10. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-11. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-12. Location: Laurel, MD. Job #: 19665A. Date: 11/22/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-13. Location: Laurel, MD. Job #: 19665A. Date: 11/18/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-31. Location: Laurel, MD. Job #: 19665A. Date: 12/14/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-14. Location: Laurel, MD. Job #: 19665A. Date: 11/18/19. Includes soil description table, SPT blow counts, and boring notes.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-14. Location: Laurel, MD. Job #: 19665A. Date: 11/18/19. Includes soil description table, SPT blow counts, and boring notes.

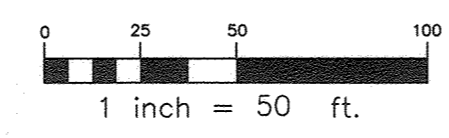
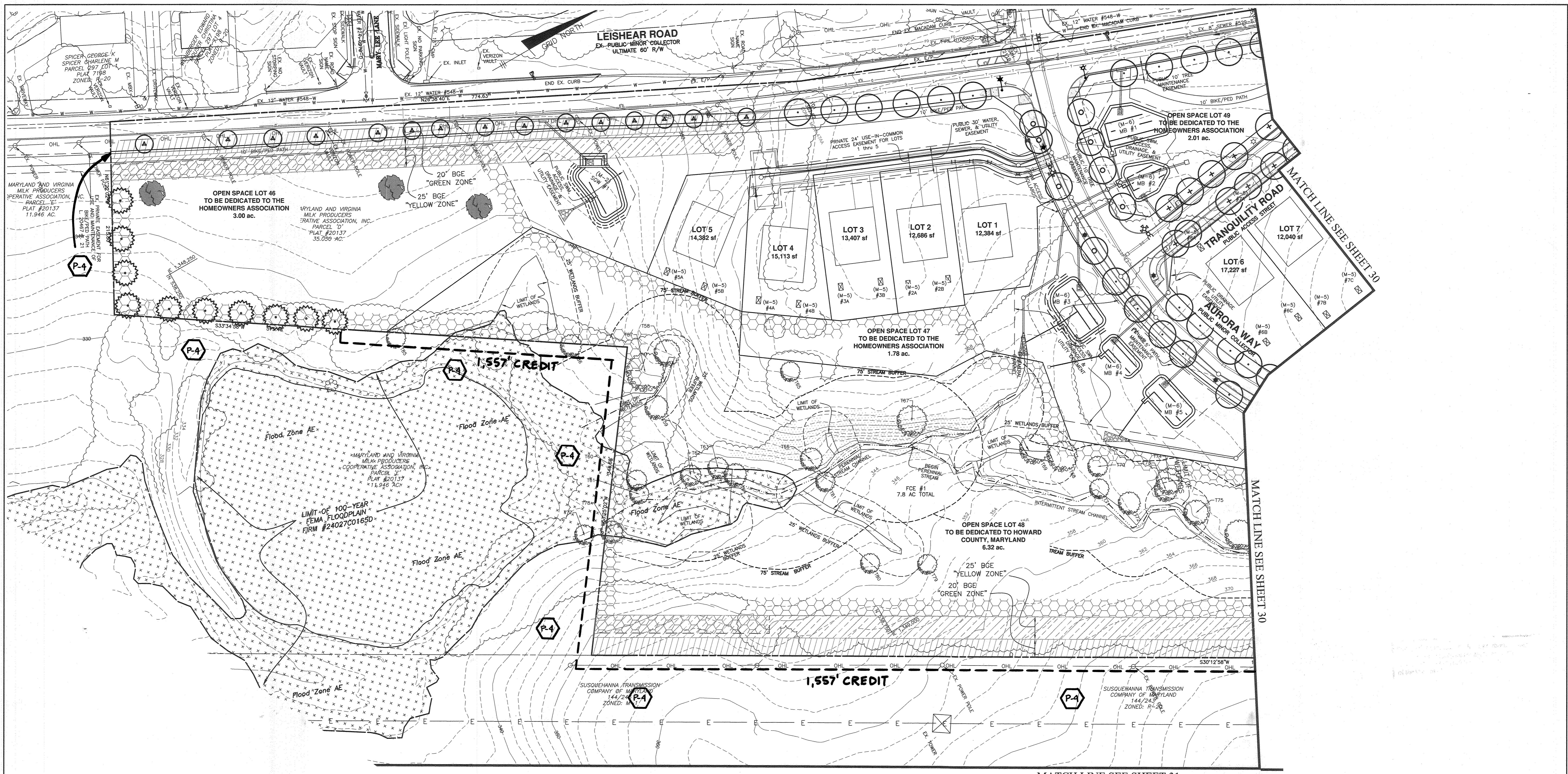
HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION. Boring No. B-14. Location: Laurel, MD. Job #: 19665A. Date: 11/18/19. Includes soil description table, SPT blow counts, and boring notes.

Professional Certification section with text: 'Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.' Includes a table for NO., DATE, and REVISION, and logos for BENCHMARK ENGINEERING, INC. and WELLINGTON FARMS.

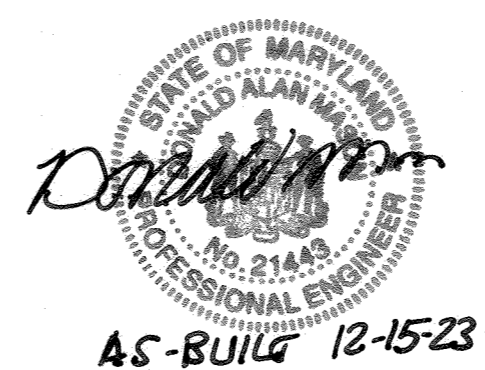
APPROVED: DEPARTMENT OF PUBLIC WORKS. Approved by James G. [Signature], CHIEF, BUREAU OF HIGHWAYS, dated 07/02/2021. Approved by Jim McMan [Signature], CHIEF, DIVISION OF LAND DEVELOPMENT, dated 7/11/21. Approved by [Signature], CHIEF, DEVELOPMENT ENGINEERING DIVISION, dated 7.12.21.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443. Expiration Date: 12-21-24. AS-BUILT 12-15-23.





"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-31-24

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Jason Kirk  
DATE: 6-3-21

APPROVED: DEPARTMENT OF PUBLIC WORKS  
Date: 07/02/2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Date: 7/16/21

APPROVED: DEPARTMENT OF ENGINEERING  
Date: 7.12.21

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
(P) 410-485-8105 (F) 410-485-8844  
WWW.BEI-CIVILENGINEERING.COM

**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
previously recorded as Plat No. 20136-20137)

OWNER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

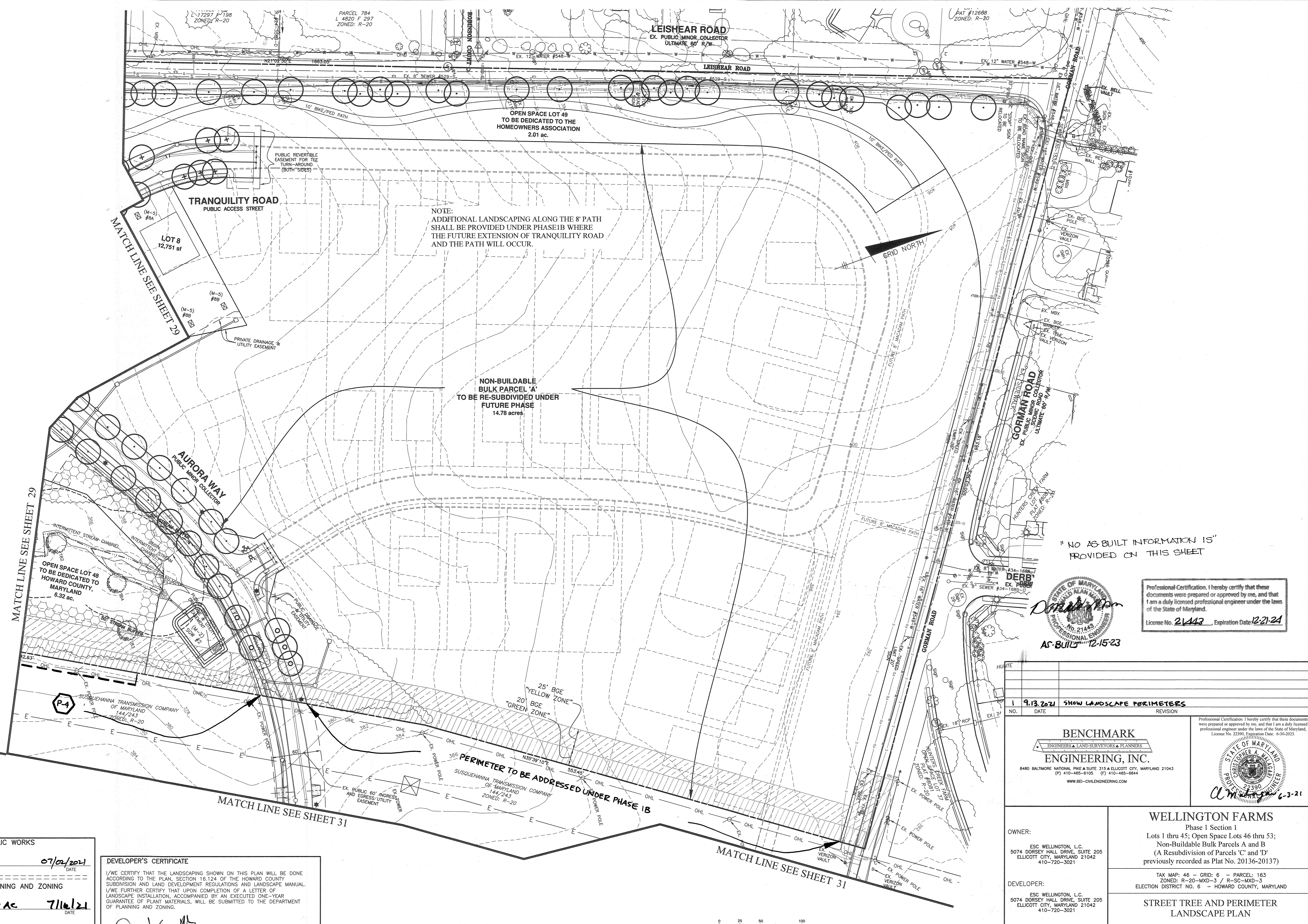
DEVELOPER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

**STREET TREE AND PERIMETER LANDSCAPE PLAN**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
SCALE: AS SHOWN SHEET 29 OF 47

DESIGN: DBT DRAFT: DBT

NO.	DATE	REVISION
2	11.27.2021	REMOVE STREET LIGHTS AT LEISHHEAR/AURORA INTERSECTION
1	9.13.2021	SHOW LANDSCAPE PERIMETERS

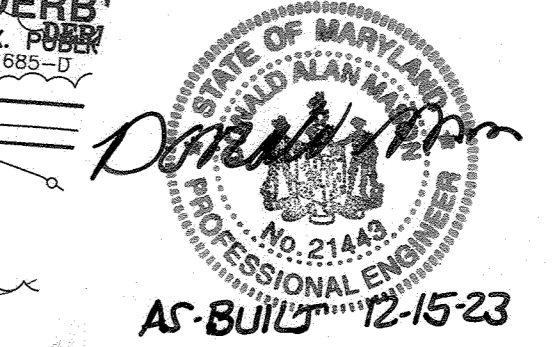


NOTE:  
ADDITIONAL LANDSCAPING ALONG THE 8' PATH  
SHALL BE PROVIDED UNDER PHASE B WHERE  
THE FUTURE EXTENSION OF TRANQUILITY ROAD  
AND THE PATH WILL OCCUR.

NON-BUILDABLE  
BULK PARCEL 'A'  
TO BE RE-SUBDIVIDED UNDER  
FUTURE PHASE  
14.78 acres

"NO AS-BUILT INFORMATION IS"  
PROVIDED ON THIS SHEET

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443 Expiration Date 12-21-24



NO.	DATE	REVISION
1	9.13.2021	SHOW LANDSCAPE PERIMETERS

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-8644  
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 22390 Expiration Date: 6-30-2023

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS  
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE

*[Signature]* 7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE

DEVELOPER'S CERTIFICATE  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL.  
I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 6-3-21  
JASON KIRK  
DATE

**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
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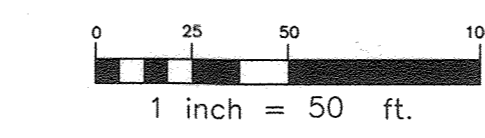
OWNER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

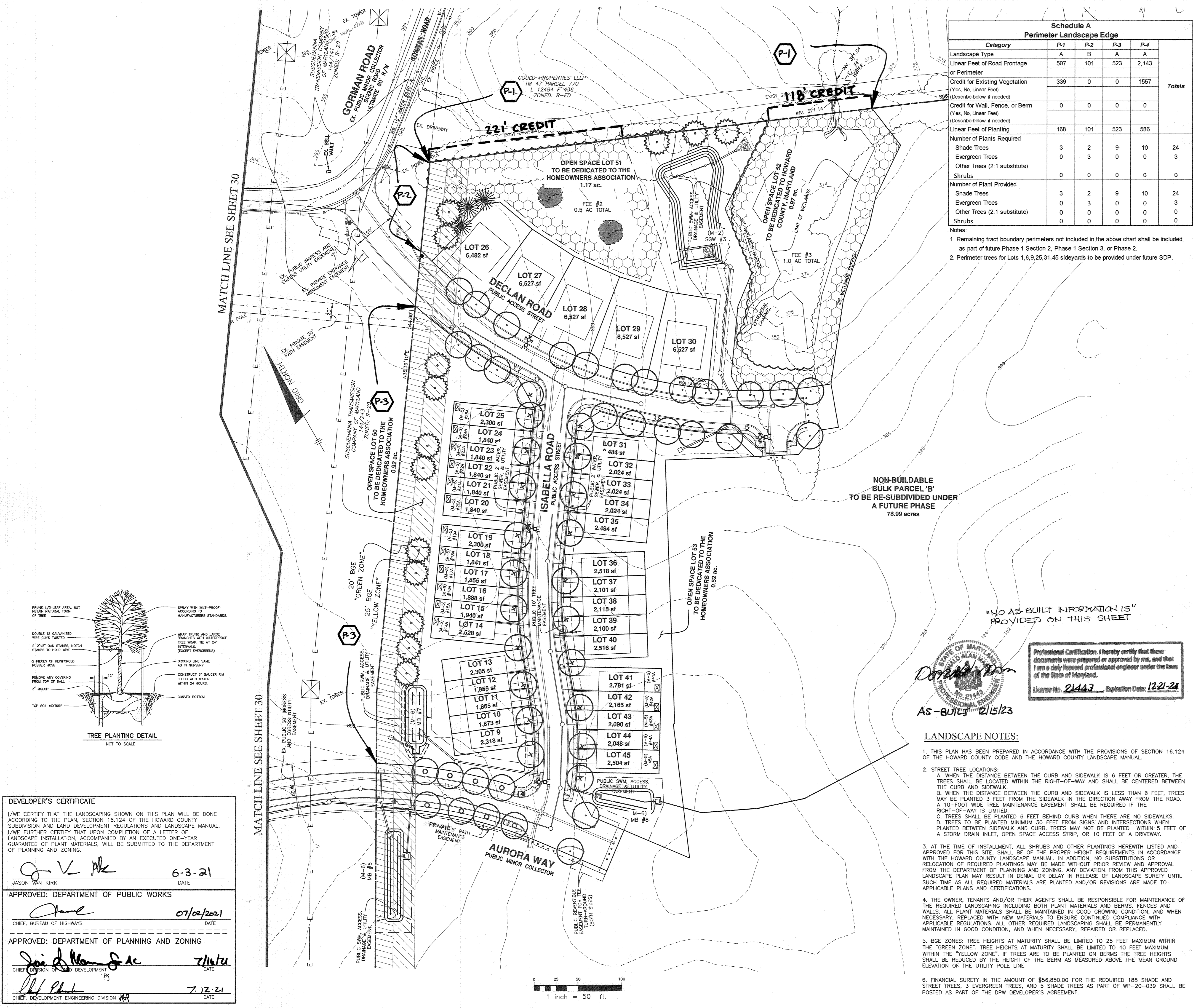
DEVELOPER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
ZONED: R-20-MXD-3 / R-SC-MXD-3  
ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**STREET TREE AND PERIMETER LANDSCAPE PLAN**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
SCALE: AS SHOWN SHEET 30 OF 47  
DESIGN: DBT DRAFT: DBT





Schedule A Perimeter Landscape Edge				
Category	P-1	P-2	P-3	P-4
Linear Feet of Road Frontage or Perimeter	507	101	523	2,143
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	339	0	0	1557
Credit for Wall, Fence, or Berm (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	0
Linear Feet of Planting	168	101	523	586
Number of Plants Required				
Shade Trees	3	2	9	10
Evergreen Trees	0	3	0	0
Other Trees (2:1 substitute)	0	0	0	0
Shrubs	0	0	0	0
Number of Plant Provided				
Shade Trees	3	2	9	10
Evergreen Trees	0	3	0	0
Other Trees (2:1 substitute)	0	0	0	0
Shrubs	0	0	0	0

Notes:  
 1. Remaining tract boundary perimeters not included in the above chart shall be included as part of future Phase 1 Section 2, Phase 1 Section 3, or Phase 2.  
 2. Perimeter trees for Lots 1,6,9,25,31,45 sideyards to be provided under future SDP.

Schedule C Residential Development Internal Landscaping		
Category	SFA	APT
Number of Dwelling Unit	32	0
Number of Trees Required (1 DU SFA: 1.3 DU Apts)	32	0
Number of Trees Provided		
Shade Trees	32	0
Other Trees (2:1 substitution)		

Chart is shown for informational purposes. The actual planting obligation of these trees shall be deferred until the SDP stage so the plantings do not interfere with house and driveway construction.

Street Tree Schedule					
Road Name	LF of ROW	Tree Size	Requirement	Trees Required	Trees Provided
Aurora Way	1864	Large	1 per 40 LF	47	47
Declan Road	829	Large	1 per 40 LF	21	21
Isabella Road	825	Large	1 per 40 LF	21	21
Leishear Road	2104	Large	1 per 40 LF	53	53
Tranquility Road	688	Large	1 per 40 LF	17	17
				159	159

Notes:  
 1. Portion of road within the Susquehanna Transmission Company property was not included in the LF of ROW.

**LANDSCAPE PLANTING LIST**

SYMBOL	QUANTITY	NAME	REMARKS	DESCRIPTION
●	85	TILIA CORDATA 'GREENSPIRE' (Greenspire Littleleaf Linden)	2.5" - 3" cal.	
○	21	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' (Shademaster Thornless Honeylocust)	2.5" - 3" cal.	STREET TREES TO BE PROVIDED BY THE DEVELOPER
+	36	ACER RUBRUM 'RED SUNSET' (Red Sunset Red Maple)	2.5" - 3" cal.	
▽	15	ACER GRISEUM (Paperback Maple)	1.5" - 2" cal.	STREET TREES LESS THAN 25' IN HEIGHT TO BE PLANTED IN BGE GREEN ZONE ALONG LEISHEAR RD. TO BE PROVIDED BY THE DEVELOPER
⊙	24	CLADRSTIS KENTUCKEA LUTEA (Yellowwood)	2.5" - 3" cal.	SHADE TREES ALONG PERIMETER EDGES TO BE PROVIDED BY THE DEVELOPER
⊙	3	THUJA PLICATA 'GIANT ARBORVITAE' (GIANT ARBORVITAE)	5' - 6' ht.	EVERGREEN TREES ALONG PERIMETER EDGES TO BE PROVIDED BY THE DEVELOPER
⊙	5	QUERCUS ALBA White Oak or QUERCUS VELUTINA Black Oak	3" cal. or greater	SPECIMEN TREE MITIGATION PLANTING FOR THE REMOVAL OF 6 SPECIMEN TREES PER WP-20-039 APPROVAL. SEE GENERAL NOTE 27. A TOTAL OF 5 SHALL BE PLANTED UNDER THIS PLAN. REMAINING MITIGATION TREES TO BE PLANTED UNDER FUTURE PHASES.

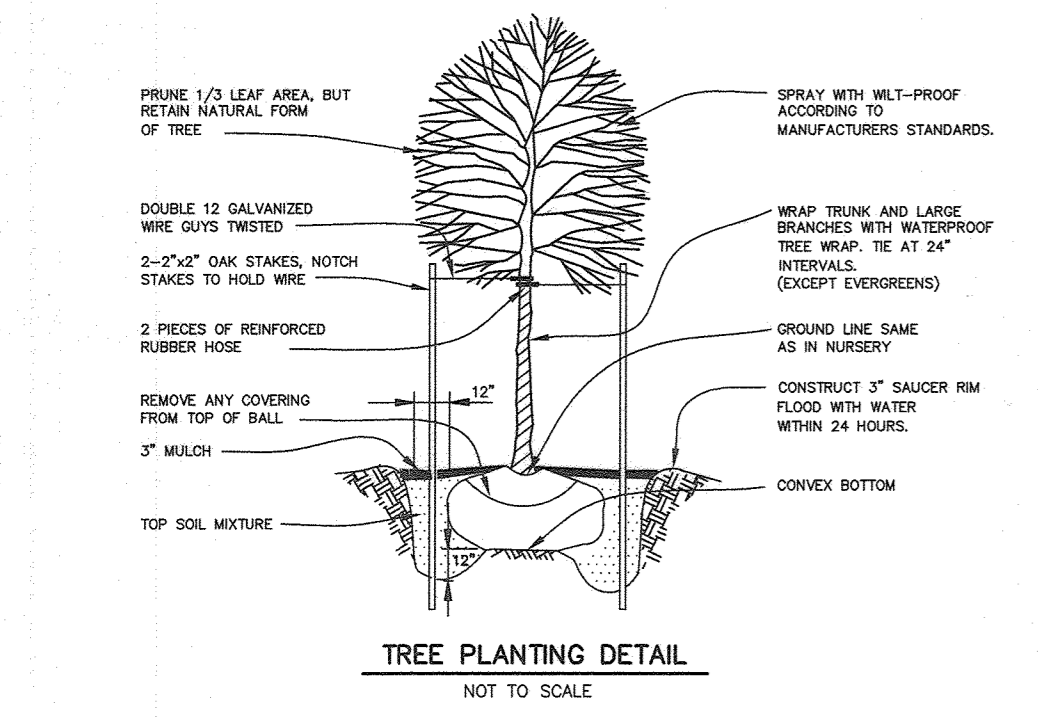
NOTE:  
 SEE SHEET 21 FOR STORMWATER MANAGEMENT MICRO-BIORETENTION PLANTING REQUIREMENTS.  
 SEE SHEET 25 FOR STORMWATER MANAGEMENT SUBMERGED GRAVEL WETLANDS PLANTING REQUIREMENTS.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

AS-BUILT 2/15/23

**LANDSCAPE NOTES:**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- STREET TREE LOCATIONS:
  - WHEN THE DISTANCE BETWEEN THE CURB AND SIDEWALK IS 6 FEET OR GREATER, THE TREES SHALL BE LOCATED WITHIN THE RIGHT-OF-WAY AND SHALL BE CENTERED BETWEEN THE CURB AND SIDEWALK.
  - WHEN THE DISTANCE BETWEEN THE CURB AND SIDEWALK IS LESS THAN 6 FEET, TREES MAY BE PLANTED 3 FEET FROM THE SIDEWALK IN THE DIRECTION AWAY FROM THE ROAD. A 10-FOOT WIDE TREE MAINTENANCE EASEMENT SHALL BE REQUIRED IF THE RIGHT-OF-WAY IS LIMITED.
  - TREES SHALL BE PLANTED 6 FEET BEHIND CURB WHEN THERE ARE NO SIDEWALKS.
  - TREES TO BE PLANTED MINIMUM 30 FEET FROM SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB. TREES MAY NOT BE PLANTED WITHIN 5 FEET OF A STORM DRAIN INLET, OPEN SPACE ACCESS STRIP, OR 10 FEET OF A DRIVEWAY.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- BGE ZONES: TREE HEIGHTS AT MATURITY SHALL BE LIMITED TO 25 FEET MAXIMUM WITHIN THE "GREEN ZONE". TREE HEIGHTS AT MATURITY SHALL BE LIMITED TO 40 FEET MAXIMUM WITHIN THE "YELLOW ZONE". IF TREES ARE TO BE PLANTED ON BERMS THE TREE HEIGHTS SHALL BE REDUCED BY THE HEIGHT OF THE BERM AS MEASURED ABOVE THE MEAN GROUND ELEVATION OF THE UTILITY POLE LINE.
- FINANCIAL SURETY IN THE AMOUNT OF \$56,850.00 FOR THE REQUIRED 188 SHADE AND STREET TREES, 3 EVERGREEN TREES, AND 5 SHADE TREES AS PART OF WP-20-039 SHALL BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT.



**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Jason Van Kirk  
 DATE: 6-3-21

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways  
 DATE: 07/02/2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development  
 DATE: 7/16/21

Chief, Development Engineering Division  
 DATE: 7.12.21

**BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
 (P) 410-485-6105 (F) 410-485-8644  
 WWW.BE-CIVILENGINEERING.COM

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONE: R-20-MXO-3 / R-SC-MXO-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**STREET TREE AND PERIMETER LANDSCAPE PLAN**

OWNER: ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

DEVELOPER: ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
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 410-720-3021

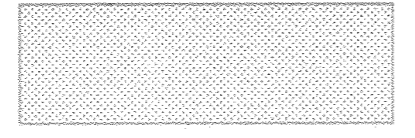
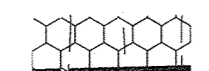


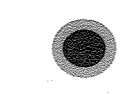


DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 31 OF 47



MATCH LINE SEE SHEET 33

MATCH LINE SEE SHEET 33

**LEGEND**

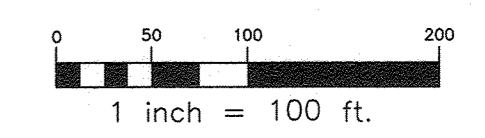
- EX. FOREST TO BE RETAINED IN FCE 
- LIMIT OF FCE 
- SPECIMEN TREE TO BE REMOVED 
- SPECIMEN TREE MITIGATION PLANTING 
- PERMANENT PROTECTIVE SIGNAGE 
- TEMPORARY PROTECTIVE FENCING 
- LIMIT OF DISTURBANCE 


**FCE # 1**  
**7.8 acres**  
 4.3 acres to be retained NTA  
 3.5 acres to be planted  
 Phase 1 Section 1

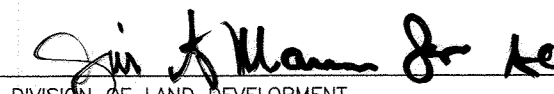
"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET




Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 7/14/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

 Myra Brosius  
 ISA Certified Arborist™  
 CERT ID: MA5411A  
 Tree Risk Assessment Qualified

 Eco-Science Professionals, Inc.  
 CONSULTING ECOLOGISTS  
 P.O. BOX 200, CLERKENWELL, MARYLAND 21042  
 Telephone: (410) 485-7400  
 www.ecosciencemaryland.com

PLAN PREPARED BY:  
 JOHN CANOLES  
 MD CIVIL/PCA QUALIFIED PROFESSIONAL

NO.	DATE	REVISION

OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLCOTT CITY, MARYLAND 21042 410-720-3021	WELLINGTON FARMS Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLCOTT CITY, MARYLAND 21042 410-720-3021	TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-SC-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND
FOREST CONSERVATION PLAN	
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN: .	DRAFT: .
SCALE: AS SHOWN	SHEET 32 OF 47



**FCE # 2**  
0.5 acre  
to be planted  
Phase 1 Section 1

**FCE # 3**  
1.0 acre  
0.7 acres to be retained  
0.3 acres to be planted  
Phase 1 Section 1

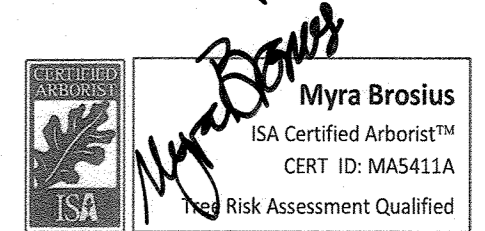
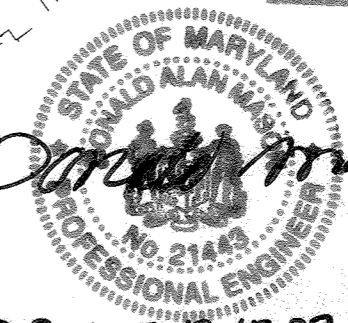
NON-BUILDABLE BULK PARCEL TO BE RESUBDIVIDED UNDER A FUTURE PHASE

PERMANENT IMPACT TO FCE FOR SEWER LINE RIGHT OF WAY 0.2 ACRES

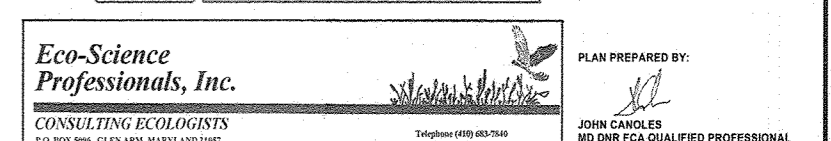
TEMPORARY DISTURBANCE TO OFFSITE FCE EASEMENT FOR SEWER LINE INSTALLATION. AREA TO BE RESTORED. 0.3 ACRES

"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443 Expiration Date: 12-21-24



0 50 100 200  
1 inch = 100 ft.



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*James* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS  
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*John De* 7/16/21  
CHIEF, DIVISION OF DEVELOPMENT  
DATE

*John De* 7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE

NO.	DATE	REVISION
<b>WELLINGTON FARMS</b>		
Phase 1 Section 1		
Lots 1 thru 45; Open Space Lots 46 thru 53; Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)		
TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MKD-3 / R-SC-MKD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND		
<b>FOREST CONSERVATION PLAN</b>		
DATE:	JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN:	DRAFT:	SCALE: AS SHOWN SHEET 33 OF 47

**AS-BUILT**

F-21-025

TABLE 2: SPECIMEN TREE TABLE

Table with 5 columns: No., Common Name, Scientific Name, DBH (inches), Condition Rating, Comments. Lists various tree specimens such as Yellow poplar, White oak, and Northern red oak.

Soils Table with 5 columns: Map Unit Symbol, Map Unit Name, % Hydric Components, Drainage Class, K-Factor\*. Lists soil types like Chillum loam, Glenell loam, etc.

FOREST STAND ANALYSIS TABLE with 11 columns: KEY, A. TYPE OF FOREST, B. AREA, C. SOIL, D. ENVIRO-VISUAL, E. STAGE/CLASSIFICATION, F. FOREST AREA IN HECTARES. Includes site-specific data for various map units.

FOREST CONSERVATION WORKSHEET FOR TOTAL PROJECT

Summary table for Forest Conservation Worksheet showing Net Tract Area (122.30), Land Use Category (Agriculture), Existing Forest Cover (14.40), and various planning requirements (A-D).

FCP NOTES

- 1. Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County...
2. Forested areas retained outside of the FCE shall not be considered part of the FCE...
3. Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary...

Specimen Tree Removal

Wellington Farms proposes the removal of six specimen trees

The location of trees to be provided as mitigation are shown on the planting plan with this symbol

The trees shall be selected from the following species based on availability at the time of planting:

- White oak - Quercus alba
Black oak - Quercus velutina
Red maple - Acer rubrum
Tulip poplar - Liriodendron tulipifera
Sycamore - Platanus occidentalis
Pignut hickory - Carya glabra
Black gum - Nyssa sylvatica

Date: June 2021

NOTES

The gross acreage includes 0.83 acres of the Susquehanna Transmission Company property since that area will be impacted by road and utility connections and associated disturbances.

An additional 0.1 acre of planting is being provided to comply with the conditions of approval of WP-20-117. This extra planting shall occur in FCE #1

0.2 acres of permanent loss of forest will occur in adjacent Emerson OS Lot 169. This must be mitigated within Wellington Farms with retention at a 2:1 ratio.

NOTE:

The above Forest Conservation Worksheet is based on the total obligation of the project as approved under P-20-006. Forest Conservation Easements #1, #2, and #3 are proposed with this initial plan (Phase 1 Section 1, F-21-025). Remaining forest conservation easements shall be recorded under future phases as designated.

Howard County Recreation and Parks Impact Fee Calculations:

Table with 4 columns: Fee Type, Unit Price, Quantity (sf), Fee. Shows calculations for forested area, non-forested area, and administrative fees.

Forest Conservation Phasing Chart with 3 columns: planting, Required, Provided. Shows 2.8 ac required and 4.3 ac provided.

THE 2.8 AC. REQUIRED IS THE 2.7 AC. OBLIGATION + 0.1 AC. PER WP-20-117

The additional 1.5 acres above the requirement shall be credited toward future phases.

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443, Expiration Date 12-31-24

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

APPROVED: DEPARTMENT OF PUBLIC WORKS (Signature: June 07/02/2021)
APPROVED: DEPARTMENT OF PLANNING AND ZONING (Signature: June 27/16/21)
APPROVED: DEVELOPMENT ENGINEERING DIVISION (Signature: June 27/12/21)

Wellington Farms Phase 1 Section 1. Includes owner information (ESC Wellington, LLC), developer information, and project details like tax map, zoning, and parcel information.

# PLANTING SCHEDULE

FCP Planting Area # 1 - 3.5 acres  
Planting units required: 2450  
Planting units proposed: 2450

Qty	Species	Size	Spacing	Total Units
80	Acer rubrum - Red maple	1" caliper	15' o.c.*	
35	Cercis canadensis - Red bud	1" caliper	15' o.c.*	
65	Cornus florida - Flowering dogwood	1" caliper	15' o.c.*	
100	Liriodendron tulipifera - Tulip poplar	1" caliper	15' o.c.*	
70	Platanus occidentalis - Sycamore	1" caliper	15' o.c.*	
130	Prunus serotina - Black cherry	1" caliper	15' o.c.*	
120	Quercus alba - White oak	1" caliper	15' o.c.*	
15	Quercus palustris - Pin oak	1" caliper	15' o.c.*	
75	Sassafras albidum - Sassafras	1" caliper	15' o.c.*	
10	Salix nigra - Black willow	5-6" cont	15' o.c.*	
700	Total plantings (3.5 planting units per tree)	FCA unit credit		2450
Total Unit Credit				2450

FCP Planting Area # 2 - 0.5 acres  
Planting units required: 350  
Planting units proposed: 350

Qty	Species	Size	Spacing	Total Units
5	Acer rubrum - Red maple	1" caliper	15' o.c.	
10	Cercis canadensis - Red bud	1" caliper	15' o.c.	
20	Cornus florida - Flowering dogwood	1" caliper	15' o.c.	
20	Liriodendron tulipifera - Tulip poplar	1" caliper	15' o.c.	
20	Prunus serotina - Black cherry	1" caliper	15' o.c.	
10	Quercus alba - White oak	1" caliper	15' o.c.	
15	Sassafras albidum - Sassafras	1" caliper	15' o.c.	
100	Total plantings (3.5 planting units per tree)	FCA unit credit		350
Total Unit Credit				350

FCP Planting Area # 3 - 0.3 acres  
Planting units required: 210  
Planting units proposed: 210

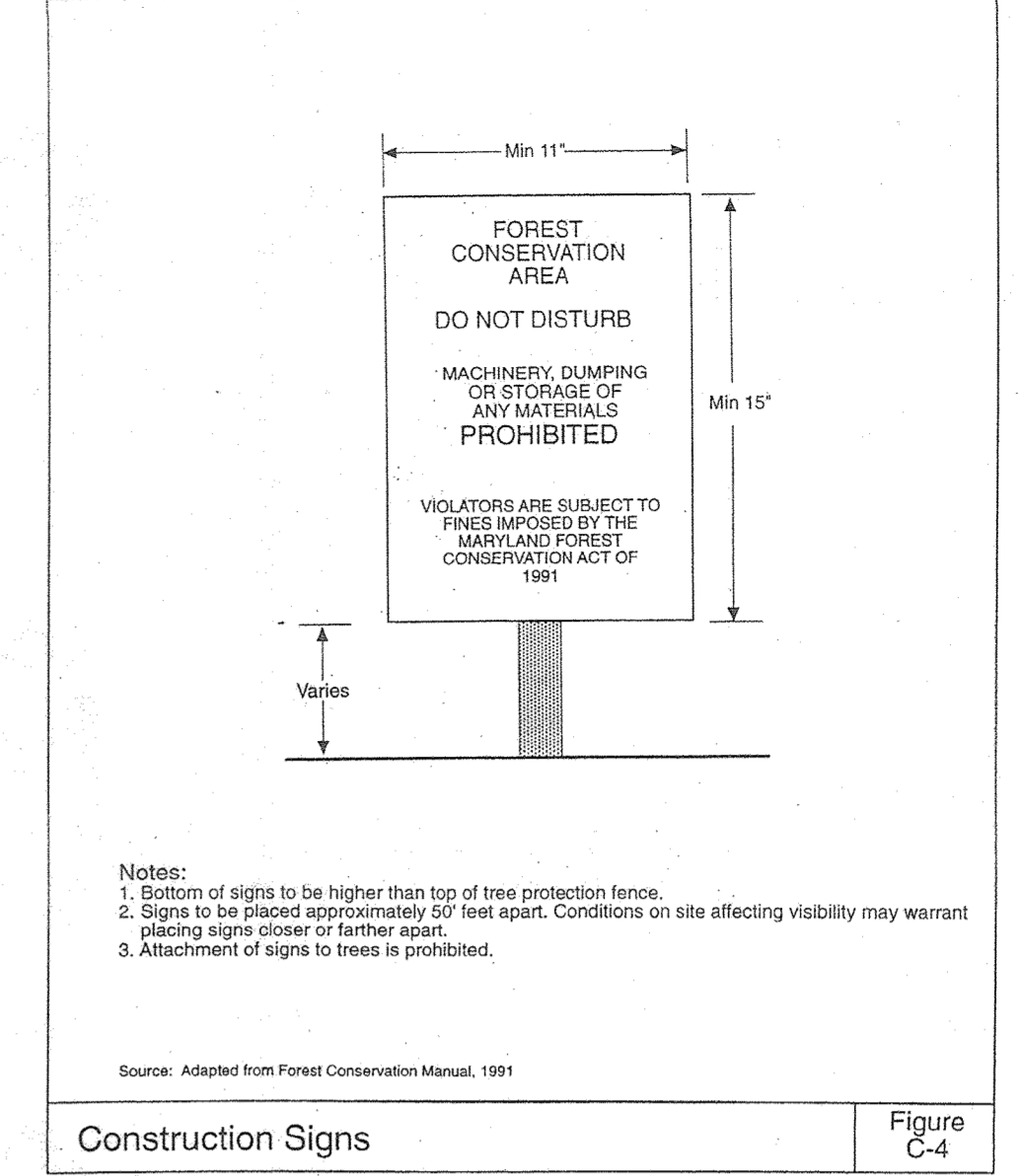
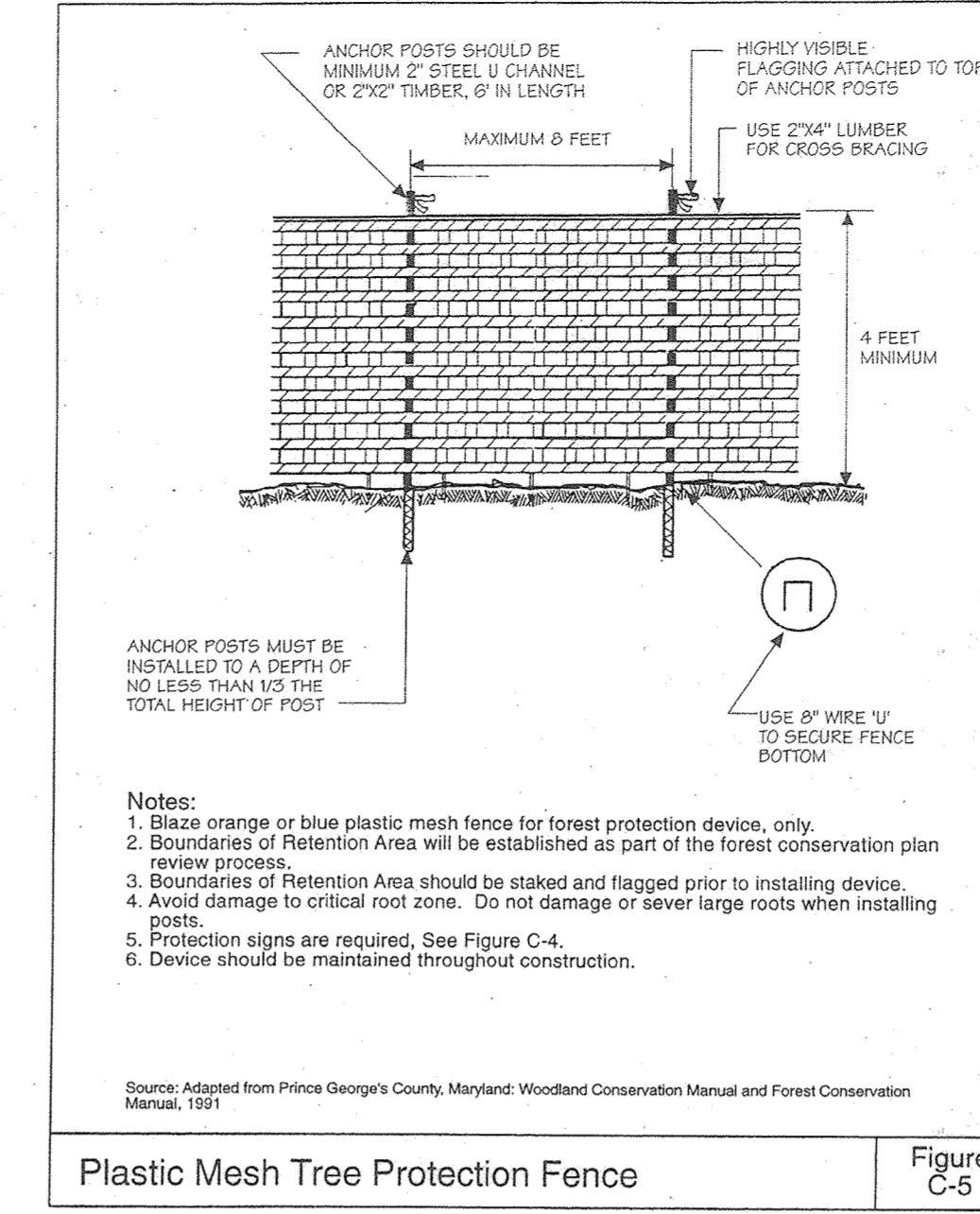
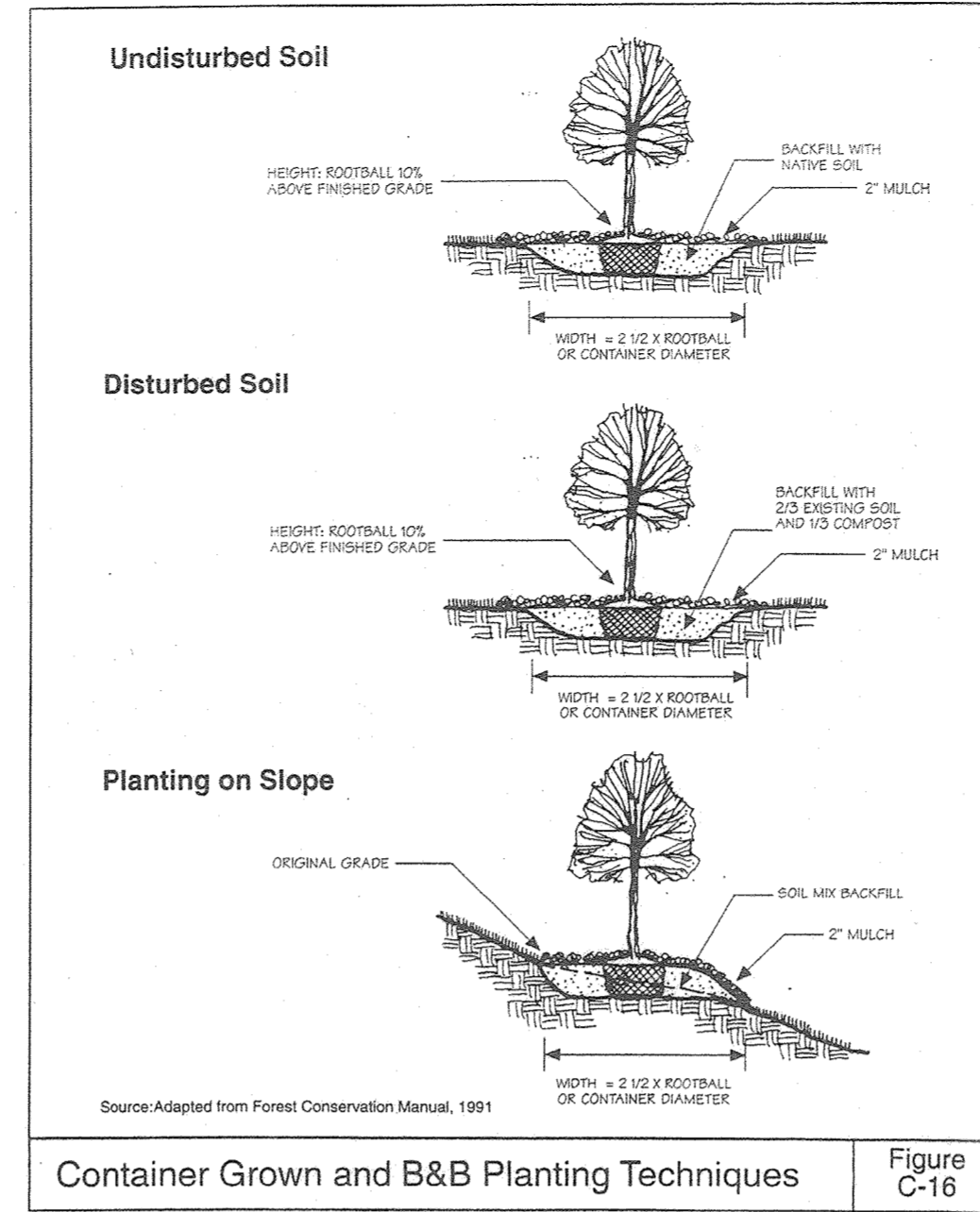
Qty	Species	Size	Spacing	Total Units
10	Acer rubrum - Red maple	1" caliper	15' o.c.	
5	Cornus florida - Flowering dogwood	1" caliper	15' o.c.*	
15	Liriodendron tulipifera - Tulip poplar	1" caliper	15' o.c.*	
10	Platanus occidentalis - Sycamore	1" caliper	15' o.c.*	
10	Prunus serotina - Black cherry	1" caliper	15' o.c.*	
5	Quercus palustris - Pin oak	1" caliper	15' o.c.*	
5	Sassafras albidum - Sassafras	1" caliper	15' o.c.*	
60	Total plantings (3.5 planting units per tree)	FCA unit credit		210
Total Unit Credit				210

## Planting Notes:

- Planting density based on 700 planting units per acre. 2" caliper trees = 7 planting units, 1" caliper trees = 3.5 planting units, whips with shelter = 2 planting units.
- \* - These species should not be planted within the wetland limits.
- Planting shall be made in a curvilinear fashion along contour. The planting should avoid a grid appearance but should be spaced to facilitate maintenance.
- Existing native trees 1" and taller may be counted toward final plant density obligation for the purpose calculating planting success and security release.
- Invasive Species Control Note - Woody invasive species occurring within the proposed planting areas shall be removed prior to planting. This includes, but is not limited to Bradford pear, multiflora rose, autumn Russian olive, Oriental bittersweet, tree-of-heaven, and Japanese honeysuckle. These trees, shrubs and vines shall be cut/bush-hogged and all stumps should be treated with an appropriate herbicide treatment. Regrowth of the any woody invasive species should be controlled with herbicide and/or mowing on a monthly schedule, in the growing season, during the maintenance and monitoring period.

## FCE Boundary Planting Note

In locations where the FCE is closer than 35 feet to the buildable lot lines, larger planting stock (2 rows of 1 inch caliper trees shall be planted) to define the planting area boundary and discourage encroachment. Tree spacing in these rows should be reduced to 10 feet between plants and rows.



## REFORESTATION PLAN

### A. Planting Plan and Methods

Plant species selection was based on our knowledge regarding plant communities in Maryland's Piedmont Plateau and information provided in the soil survey on typical vegetation for the soil type on the planting site. Species selection was also based on our knowledge of plant availability in the nursery industry.

Reforestation will be accomplished through a mixed planting of whips and branched transplants. Container grown stock is recommended but bare-root stock may be used to help control afforestation costs. If bare-root stock is used the root systems of all plants will be dipped in an anti-desiccant gel prior to planting to improve moisture retention in the root systems.

Prior to planting the proposed Forest Conservation Easements all multiflora rose in the planting area shall be removed. Removal of the rose may be performed with mowing and herbicide treatments. Physical removal of all top growth following by a periodic herbicide treatment of stump sprouts is recommended. Native tree and shrub species occurring within the rose thickets should be retained wherever possible. Herbicide treatments shall occur on 2 month intervals during the first growing season and once each in the spring and fall for subsequent years. Herbicide used shall be made specifically to address woody plant material and shall be applied as per manufacturers specifications. Care should be taken not to spray planted trees or naturally occurring native tree/shrub seedlings. It is recommended that initiation of rose removal begin at least six months prior to planting.

### B. Planting and Soil Specifications

Plant material will be installed in accordance with the Planting Detail and Planting Specifications shown on the Forest Conservation Plan.

Amendments to existing soil will be in accordance with the Planting Specifications shown on the Forest Conservation Plan. Soil disturbance will be limited to individual planting locations.

### C. Maintenance of Plantings

For information regarding maintenance of the reforestation plantings, see Post Construction Management Plans.

### D. Guarantee Requirements

A 90 percent survival rate of the reforestation plantings will be required after one growing season. All plant material below the 90 percent survival threshold will be replaced at the beginning of the second growing season. At the end of the third growing season, a 75 percent survival rate will be required. All plant material below the 75 percent survival threshold will be replaced by the beginning of the next growing season.

### E. Security for Reforestation

Section 16-1209 of the Howard County Forest Conservation Act requires that a developer shall post a security (bond, letter of credit, etc.) with the County to insure that all work is done in accordance with the FCP.

## CONSTRUCTION PERIOD PROTECTION PROGRAM

### A. Forest Protection Techniques

#### 1. Soil Protection Area (Critical Root Zone)

The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface. Temporary fencing shall be placed around the critical root zone of the forest in areas where the forest limits occur within 25 feet of the limit of disturbance.

#### 2. Fencing and Signage

Existing forest limits occurring within 25 feet of the limits of disturbance shall be protected using temporary protective fencing. Permanent signage shall be placed around the afforestation area prior to plant installation, as shown on the plan.

#### B. Pre-Construction Meeting

Upon staking of limits of disturbance a pre-construction meeting will be held between the developer, contractor and appropriate County inspector. The purpose of the meeting will be to verify that all sediment control is in order, and to notify the contractor of possible penalties for non-compliance with the FCP.

#### C. Storage Facilities/Equipment Cleaning

All equipment storage, parking, sanitary facilities, material stockpiling, etc. associated with construction of the project will be restricted to those areas outside of the proposed Forest Conservation Easement. Cleaning of equipment will be limited to areas within the LOD of the proposed homesteads. Wastewater resulting from equipment cleaning will be controlled to prevent runoff into environmentally sensitive areas.

#### D. Sequence of Construction

The following timetable represents the proposed timetable for development. The items outlined in the Forest Conservation Plan will be enacted within two (2) years of subdivision approval.

Below find a proposed sequence of construction.

1. Install all signage and sediment control devices.
2. Hold pre-construction meeting between developer, contractor and County inspector.
3. Build access roads, install well and septic systems, and construct houses. Stabilize all disturbed areas accordingly.
4. Begin multiflora rose removal. Install permanent protective signage for Easements and initiate plantings in accordance with Forest Conservation Plan. Plantings will be completed within two (2) years of subdivision approval.
5. Remove sediment control.
6. Hold post-construction meeting with County inspectors to assure compliance with FCP. Submit Certification of Installation.
7. Monitor and maintain plantings for 3 years.

### E. Construction Monitoring

Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan.

### F. Post-Construction Meeting

Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and arrange for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that plantings have been installed.

## POST-CONSTRUCTION MANAGEMENT PLAN

Howard County requires a 3 year post-construction management plan be prepared as part of the forest conservation plan. The plan goes into effect upon acceptance of the construction certification of completion by the County. Eco-Science Professionals, or another qualified professional designated by the developer, will be responsible for implementation of the post-construction management plan.

The following items will be incorporated into the plan:

### A. Fencing and Signage

Permanent signage indicating the limits of the retention/afforestation area shall be maintained.

### B. General Site Inspections/Maintenance of Plantings

Site inspections will be performed a minimum of three times during the growing season. The purpose of the inspections will be to assess the health of the afforestation plantings. Appropriate measures will be taken to rectify any problems which may arise.

In addition, maintenance of the plantings will involve the following steps:

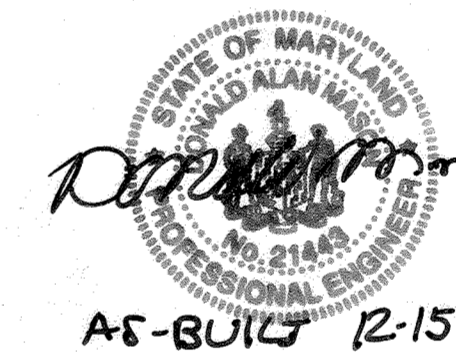
1. Watering - All plant material shall be watered twice a month during the 1st growing season, more or less frequently depending on weather conditions. During the second growing season, once a month during May-September, if needed.
2. Removal of invasive exotics and noxious weeds. Old field successional species will be retained.
3. Identification of serious plant pests and diseases, treatment with appropriate agent.
4. Pruning of dead branches.
5. After inspections, replacement of plants, if required, in accordance with the Guarantee Requirements shown on the FCP.

### C. Education

The developer will provide appropriate materials to property owners informing them of the location and purpose of the afforestation area. Materials may include site plans and information explaining the intent of the forest conservation law.

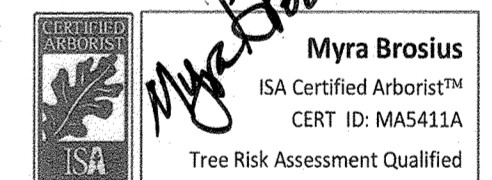
### D. Final Inspection

At the end of the year post-construction management period, Eco-Science Professionals, or another qualified professional, will submit to the administrator of the Howard County Forest Conservation Program certification that all retention/afforestation requirements have been met. Upon acceptance of this certification, the County will release the developer from all future obligations and release the developer's bond.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-21-24

NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET



Eco-Science Professionals, Inc.  
CONSULTING ECOLOGISTS  
P.O. BOX 506 GLEN ARM, MARYLAND 21042

PLAN PREPARED BY:  
JOHN CANOLES  
MD DNR FCA QUALIFIED PROFESSIONAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
[Signature] 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] 7/16/21  
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 7-12-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY  
PLANNING DIRECTOR DATE

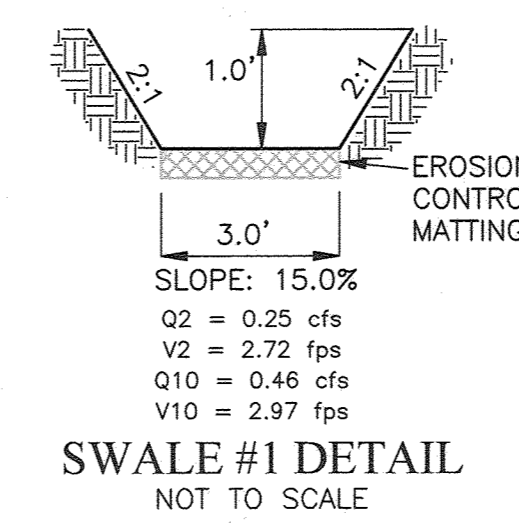
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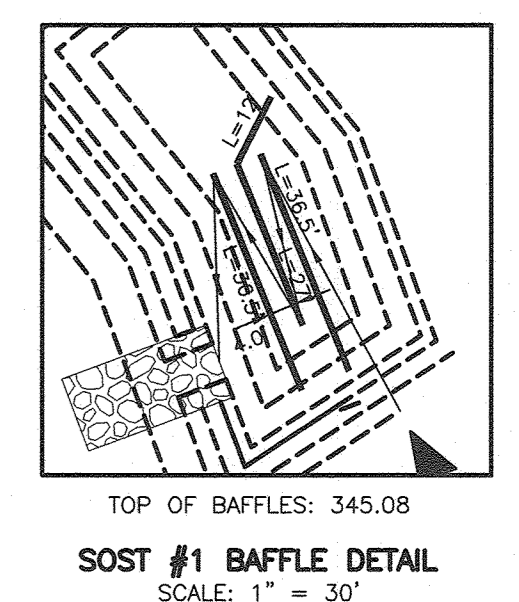
F-21-025

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND					
SYMBOL	HYDRIC	HYDROLOGIC GROUP	NAME	K-VALUE	ERODIBLE
CeB		B	CHILLUM LOAM, 2 TO 5 PERCENT SLOPES	0.37	NO
GgA		B	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	0.20	NO
GgB		B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	0.20	NO
GmB*	YES	C	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.37	YES
GmC		C	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.37	NO
GmB*	YES	C	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	0.37/0.32	NO
MaC		B	MANOR LOAM, 8 TO 15 PERCENT SLOPES	0.24	YES
MaD		B	MANOR LOAM, 15 TO 25 PERCENT SLOPES	0.24	YES
RaB		C	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES	0.24	NO
RuB		C	RUSSETT AND BELVILLE SOIL, 2 TO 5 PERCENT SLOPES	0.24/0.37	NO
RuC		C	RUSSETT AND BELVILLE SOIL, 5 TO 10 PERCENT SLOPES	0.24/0.37	NO
SaC		B	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPE	0.24	NO
SrD		B	SASSAFRAS AND CROOM SOIL, 10 TO 15 PERCENT SLOPES	0.37/0.28	YES
			WATER	0.00	

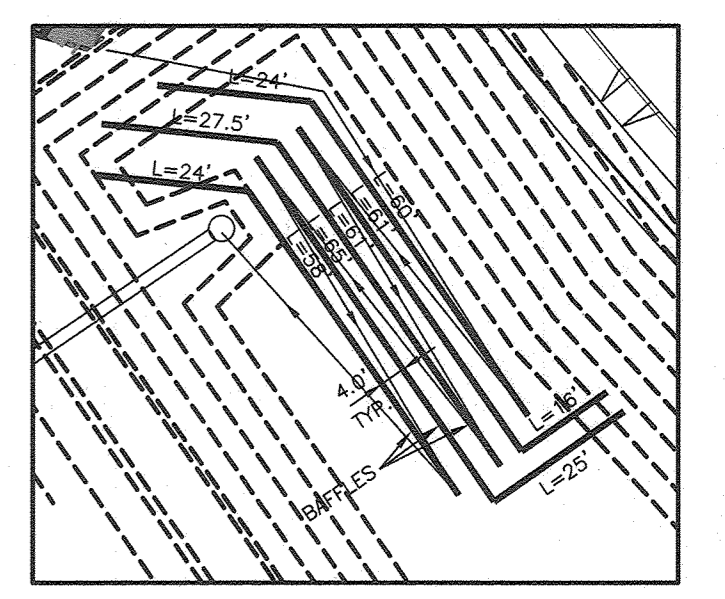
HSCD Newsletter dated April, 2013 defines erodible soils as those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5%.



SOST #1		
STONE/RIPRAP OUTLET SEDIMENT TRAP ST-11, TRAP NO. 1		
DRAINAGE AREA - INITIAL	1.4	ACRES
DRAINAGE AREA - INTERIM	1.5	ACRES
DRAINAGE AREA - FINAL	NA	ACRES
TOTAL STORAGE REQUIRED	5,400	CF
TOTAL STORAGE PROVIDED	6,232	CF
WET STORAGE REQUIRED	2,700	CF
WET STORAGE PROVIDED	2,700	CF
DRY STORAGE REQUIRED	2,700	CF
DRY STORAGE PROVIDED	3,532	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	344.16	FT
TRAP BOTTOM ELEVATION	342.00	FT
TRAP BOTTOM DIMENSIONS	57.3'x15.0'	FT x FT
WEIR LENGTH	6	FT
WEIR CREST (DRY STORAGE) ELEVATION	346.00	FT
CLEANOUT ELEVATION	343.13	FT
TOP OF EMBANKMENT ELEVATION	347	FT
CLEANOUT ELEVATION	2:1	H-V RATIO
EMBANKMENT TOP WIDTH	4	FT
OUTLET PROTECTION - LENGTH	10	FT
OUTLET PROTECTION - DEPTH	19	IN



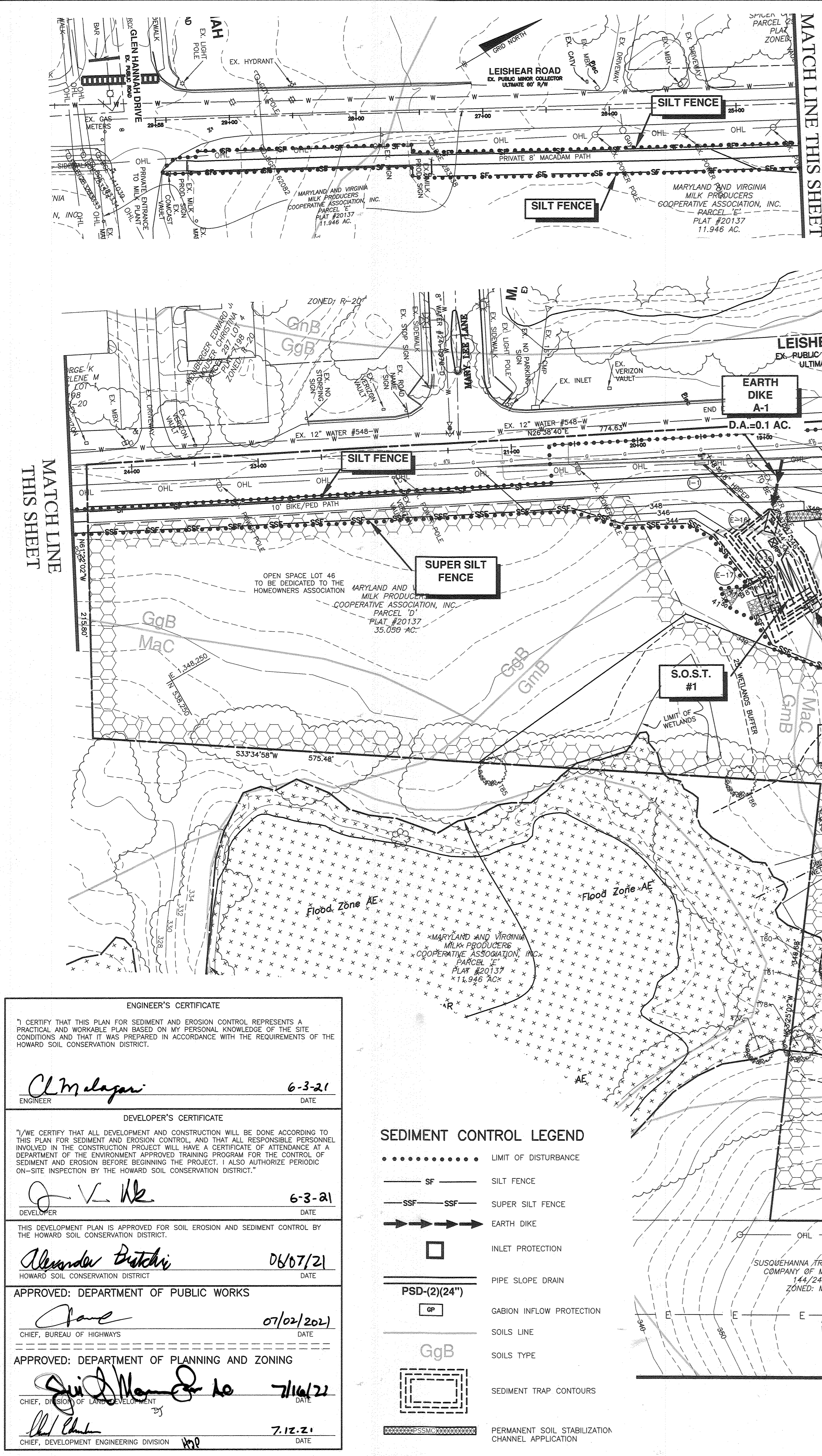
BASIN #1		
DRAINAGE AREA - INITIAL	7.6	ACRES
DRAINAGE AREA - INTERIM	7.6	ACRES
DRAINAGE AREA - FINAL	NA	ACRES
WET STORAGE REQUIRED	13,680	CF
WET STORAGE PROVIDED	13,680	CF
DRY STORAGE REQUIRED	13,680	CF
DRY STORAGE PROVIDED	36,271	CF
WET STORAGE ELEVATION	354.25	CF
TRAP BOTTOM ELEVATION	352	FT
TRAP BOTTOM DIMENSIONS	SEE PLAN VIEW	FT x FT
WEIR LENGTH	25	FT
WEIR CREST (DRY STORAGE) ELEVATION	358.50	FT
CLEANOUT ELEVATION	353.16	FT
TOP OF EMBANKMENT ELEVATION	360.50	FT
SIDE SLOPE	2:1	H-V RATIO
EMBANKMENT TOP WIDTH	8	FT
OUTLET PROTECTION - LENGTH	10	FT
OUTLET PROTECTION - DEPTH	6	IN
Q1 PRE-DEVELOPMENT	10.68	CFS
Q1 NEWLY GRADED/POST-DEVELOPMENT	4.1	CFS



NOTE: ANY SEDIMENT AND EROSION CONTROL DEVICE DAMAGED BY UTILITY INSTALLATION SHALL BE IMMEDIATELY REPAIRED.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 02-21-24



**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 David M. Sloman, 6-3-21, ENGINEER

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 David M. Sloman, 6-3-21, DEVELOPER

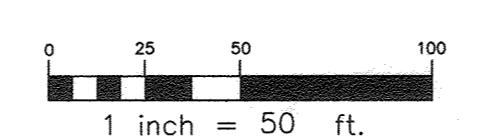
APPROVED: DEPARTMENT OF PUBLIC WORKS  
 Alexander Butchivi, 06/07/21, CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 David M. Sloman, 7/16/22, CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DEPARTMENT OF ENGINEERING DIVISION  
 David M. Sloman, 7.12.21, CHIEF, DEVELOPMENT ENGINEERING DIVISION

**SEDIMENT CONTROL LEGEND**

- ..... LIMIT OF DISTURBANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- EARTH DIKE
- INLET PROTECTION
- PSD-(2)(24") PIPE SLOPE DRAIN
- GP GABION INFLOW PROTECTION
- GgB SOILS LINE
- GgB SOILS TYPE
- SEDIMENT TRAP CONTOURS
- PERMANENT SOIL STABILIZATION CHANNEL REPRESENTATION



MATCH LINE SHEET 39

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 A ELICOTT CITY, MARYLAND 21043  
 (P) 410-665-6105 (F) 410-665-6664  
 WWW.BEG-CIVILENGINEERING.COM

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

OWNER: ESC WELLINGTON, L.C., 5074 DORSEY HALL DRIVE, SUITE 205 ELICOTT CITY, MARYLAND 21042 410-720-3021

DEVELOPER: ESC WELLINGTON, L.C., 5074 DORSEY HALL DRIVE, SUITE 205 ELICOTT CITY, MARYLAND 21042 410-720-3021

TAX MAP: 48 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**GRADING, SEDIMENT AND EROSION CONTROL PLAN**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 SCALE: AS SHOWN SHEET 36 OF 47  
 DESIGN: DBT DRAFT: DBT

**BORROW PIT NOTES**

- BORROW PIT #1**
1. MAX DEPTH: 8'
  2. MAX SIDE SLOPE: 2:1
  3. MAX TIME OPEN: 24 HOURS. TO BE BACKFILLED DAILY WITH TOP SOIL FROM SITE
  4. FINAL GRADING: AS SHOWN ON THESE PLANS AND STABILIZED IN ACCORDANCE WITH SEED BED NOTES.
- BORROW PIT #2**
1. MAX DEPTH: 12'
  2. MAX SIDE SLOPE: 2:1
  3. MAX TIME OPEN: 60 DAYS. TO BE BACKFILLED WITH TOP SOIL FROM F-21-044
  4. FINAL GRADING: BACK TO ORIGINAL GRADES AND STABILIZED IN ACCORDANCE WITH SEED BED NOTES.
- \* REMOVABLE PUMPING STATIONS SHALL BE UTILIZED TO REMOVE WATER AS NEEDED. THE PUMPED WATER SHALL NOT DISCHARGE TOWARDS GORMAN ROAD

**NOTE:**  
ANY SEDIMENT AND EROSION CONTROL DEVICE DAMAGED BY UTILITY INSTALLATION SHALL BE IMMEDIATELY REPAIRED.

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Cl M. Magraw* 6-3-21  
ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*J. V. Kile* 6-3-21  
DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexander Bortch* 06/07/21  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS

*June* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS DATE

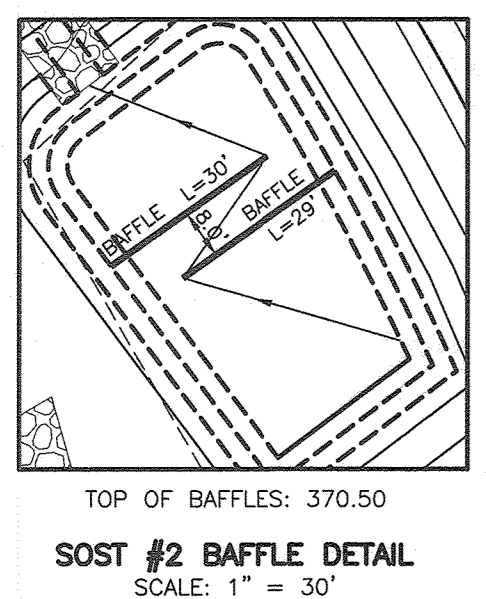
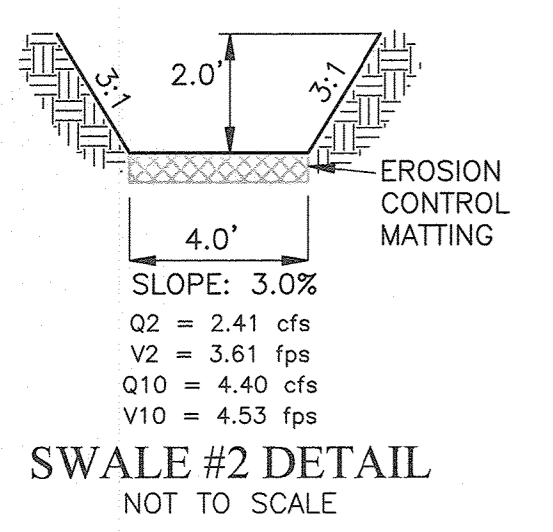
APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Jim O'Malley Jr* 7/16/21  
CHIEF, DIVISION OF PLANNING AND DEVELOPMENT DATE

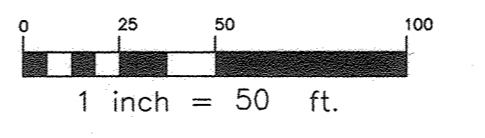
*W. J. Clark* 7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**SOST #2**

STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO. 3		
DRAINAGE AREA - INITIAL	0.8	ACRES
DRAINAGE AREA - INTERIM	1.2	ACRES
DRAINAGE AREA - FINAL	NA	ACRES
TOTAL STORAGE REQUIRED	4,320	CF
TOTAL STORAGE PROVIDED	4,647	CF
WET STORAGE REQUIRED	2,160	CF
WET STORAGE PROVIDED	2,160	CF
DRY STORAGE REQUIRED	2,160	CF
DRY STORAGE PROVIDED	2,487	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	370.05	FT
TRAP BOTTOM ELEVATION	369.00	FT
TRAP BOTTOM DIMENSIONS	SEE PLAN VIEW	FT x FT
WEIR LENGTH	4.8	FT
WEIR CREST (DRY STORAGE) ELEVATION	371.00	FT
CLEANOUT ELEVATION	369.53	FT
TOP OF EMBANKMENT ELEVATION	372.00	FT
SIDE SLOPE	3:1	H:V RATIO
EMBANKMENT TOP WIDTH	4	FT
OUTLET PROTECTION - LENGTH	10	FT
OUTLET PROTECTION - DEPTH	19	IN



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-15-23



**THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.**

**BENCHMARK ENGINEERING, INC.**  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BEI-CIVILENGINEERING.COM

**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
previously recorded as Plat No. 20136-20137)

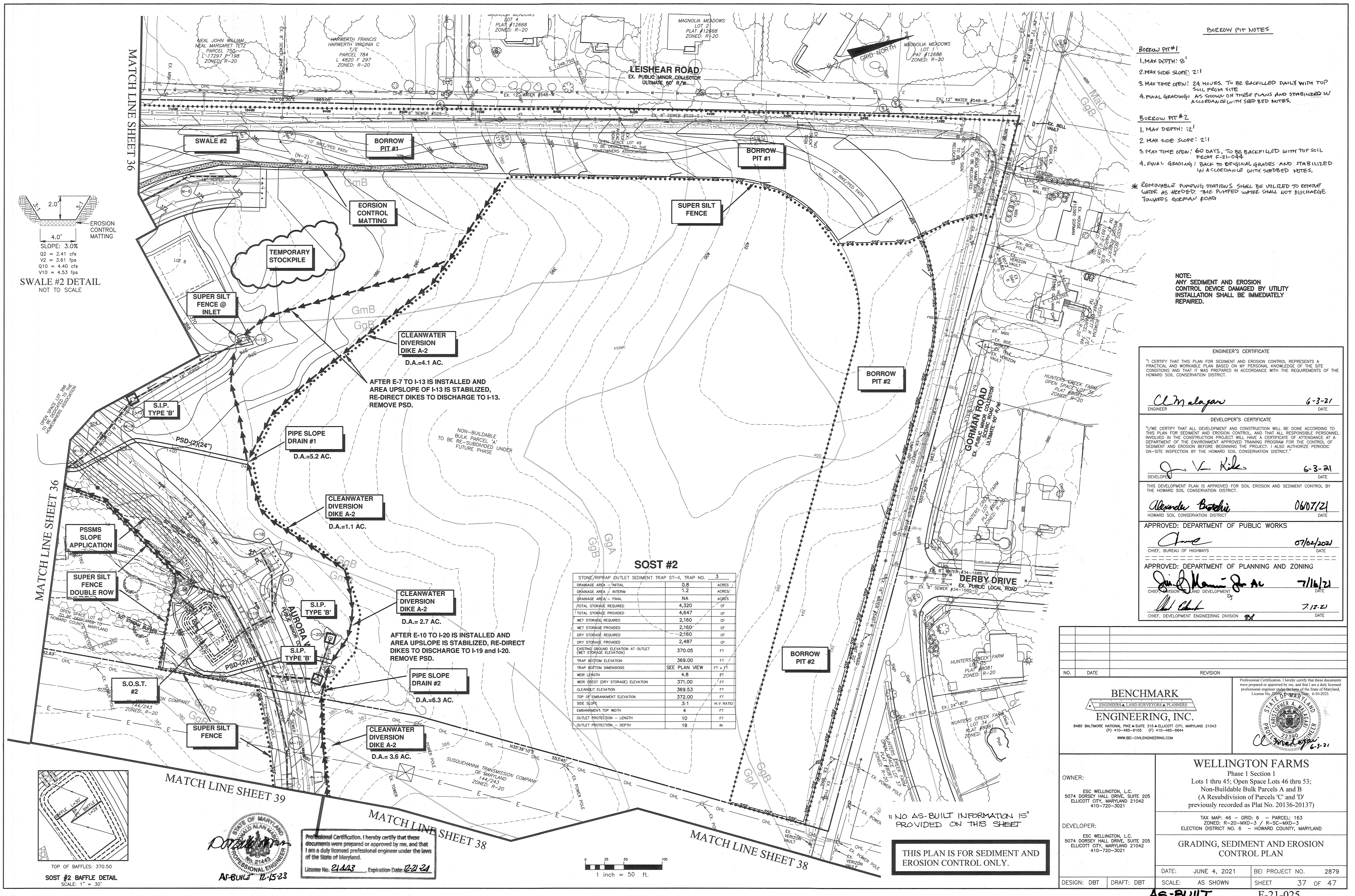
OWNER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

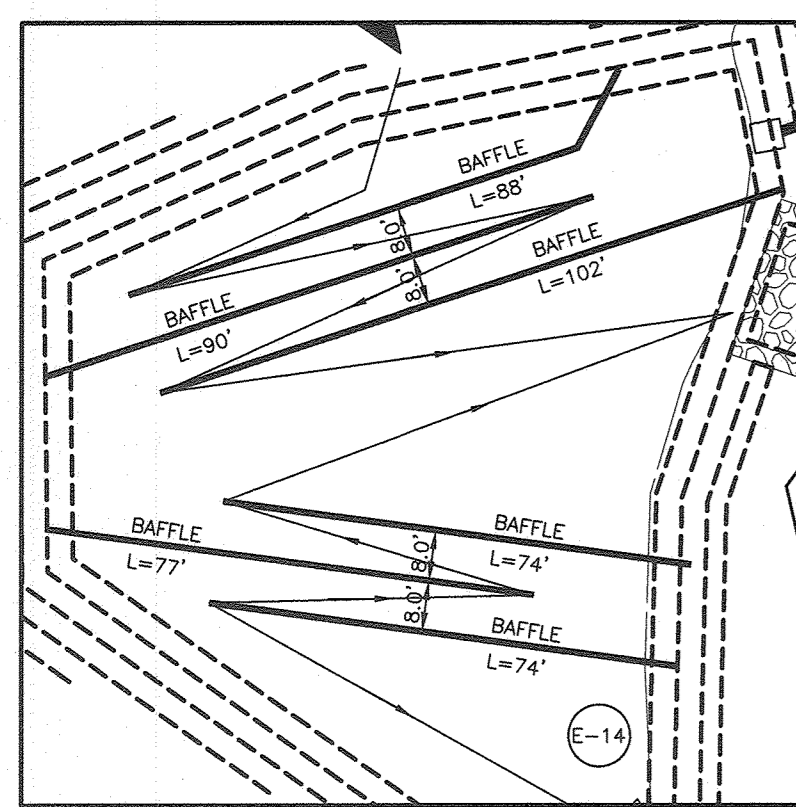
DEVELOPER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

GRADING, SEDIMENT AND EROSION CONTROL PLAN

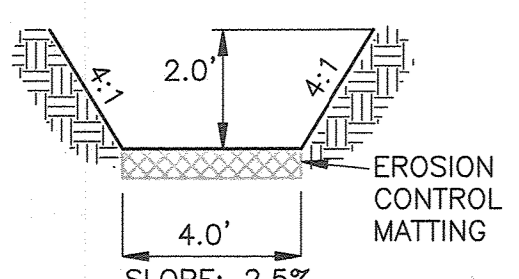
DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 37 OF 47

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 21443, expires 12-15-23.

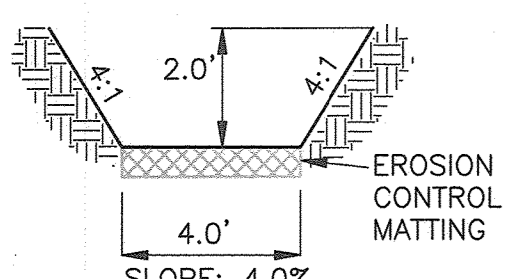




TOP OF BAFFLES: 380.28  
SOST #3 BAFFLE DETAIL  
SCALE: 1" = 30'



SWALE #3 DETAIL  
NOT TO SCALE



SWALE #4 DETAIL  
NOT TO SCALE

Designation	D.A. Acres	Practice	Temporary Stone/Gabion Outlet Structure				Uphill Length	Volume Provided	Adequate Volume?	
			Volume Required	Ground Elev.	Embankment Elev.	Weir Elev.				
#1	0.97	TGOS	1746	389.00	390.00	389.50	30	125	1875	Yes
#2	0.74	TGOS	1332	380.00	382.00	381.50	25	40	1500	Yes

**SOST #3**

STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO. 4	
DRAINAGE AREA - INITIAL	4.8 ACRES
DRAINAGE AREA - INTERIM	4.2 ACRES
DRAINAGE AREA - FINAL	NA ACRES
TOTAL STORAGE REQUIRED	29,658 CF
TOTAL STORAGE PROVIDED	29,912 CF
WET STORAGE REQUIRED	14,829 CF
WET STORAGE PROVIDED	14,829 CF
DRY STORAGE REQUIRED	14,829 CF
DRY STORAGE PROVIDED	15,083 CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	379.55 FT
TRAP BOTTOM ELEVATION	378.00 FT
TRAP BOTTOM DIMENSIONS	SEE PLAN VIEW FT x FT
WEIR LENGTH	19.2 FT
WEIR CREST (DRY STORAGE) ELEVATION	381.00 FT
CLEANOUT ELEVATION	378.45 FT
TOP OF EMBANKMENT ELEVATION	382.00 FT
SIDE SLOPE	2:1 H:V RATIO
EMBANKMENT TOP WIDTH	4 FT
OUTLET PROTECTION - LENGTH	10 FT
OUTLET PROTECTION - DEPTH	19 IN

NOTE: TEMPORARY STORMWATER MANAGEMENT IS BEING PROVIDED VIA STORAGE OF THE 1-YEAR STORM EVENT WITHIN THIS TRAP.

NOTE: ANY SEDIMENT AND EROSION CONTROL DEVICE DAMAGED BY UTILITY INSTALLATION SHALL BE IMMEDIATELY REPAIRED.

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Cl. Malagari* 6-3-21  
ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*J. V. Mc* 6-3-21  
DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexandra Bratche* 06/07/21  
HOWARD SOIL CONSERVATION DISTRICT DATE

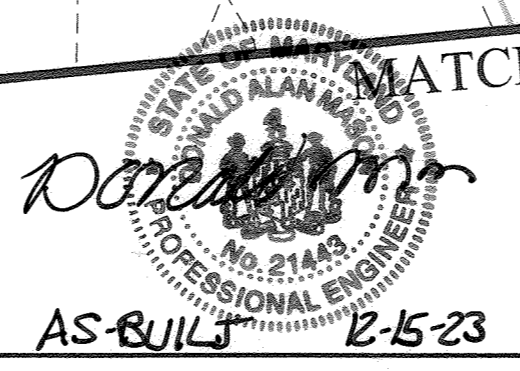
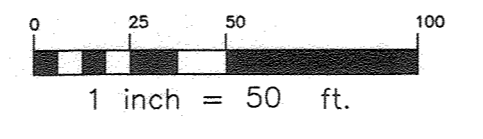
APPROVED: DEPARTMENT OF PUBLIC WORKS

*James* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Jim H. De* 7/16/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*M. M.* 7-12-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. 21443, Expiration Date: 12-21-24

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
8490 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
(P) 410-485-8105 (F) 410-485-8644  
WWW.BEI-CIVLENGINEERING.COM

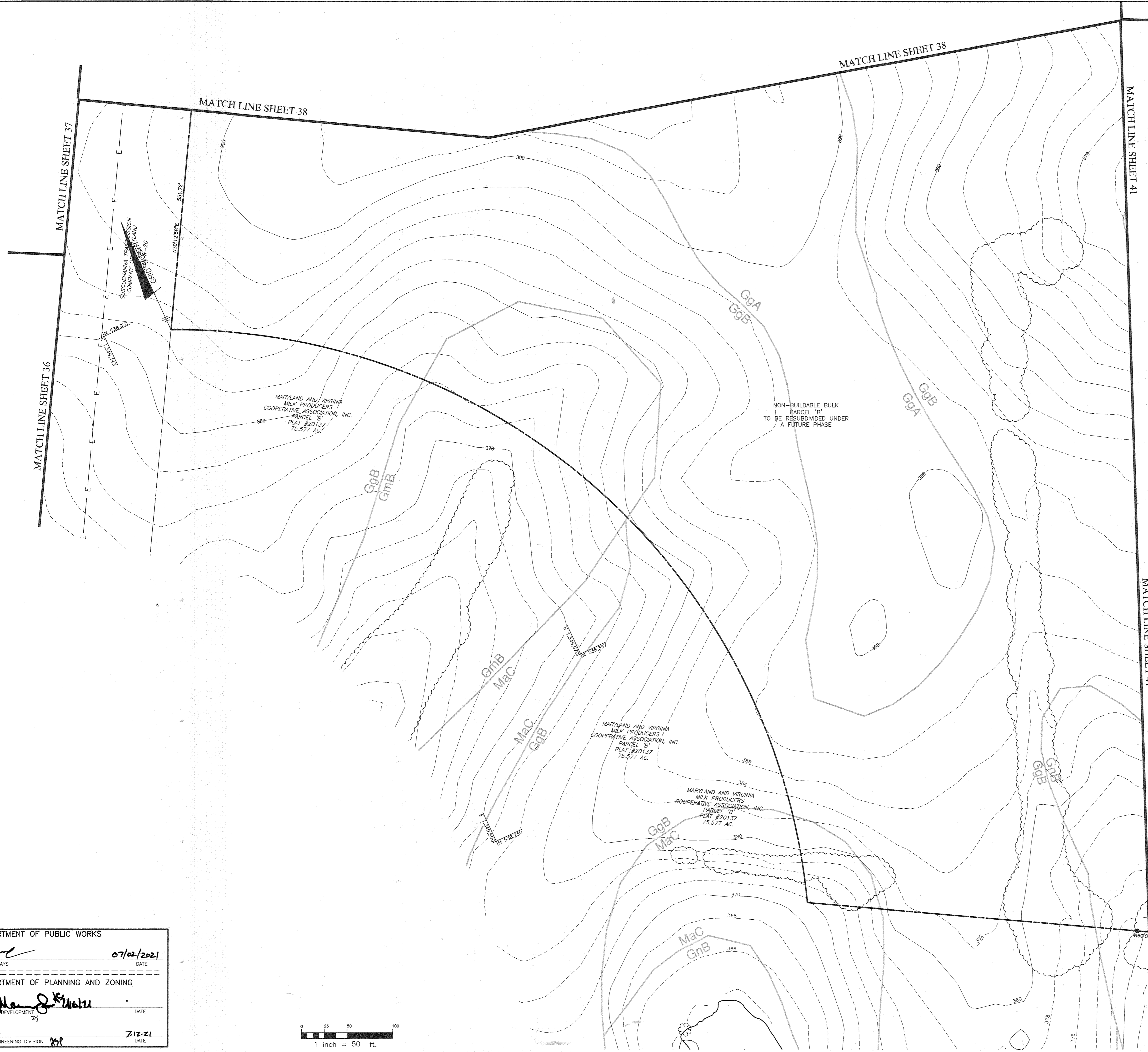
**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
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OWNER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

DEVELOPER:  
ESC WELLINGTON, L.C.  
5074 DORSEY HALL DRIVE, SUITE 205  
ELLICOTT CITY, MARYLAND 21042  
410-720-3021

GRADING, SEDIMENT AND EROSION CONTROL PLAN

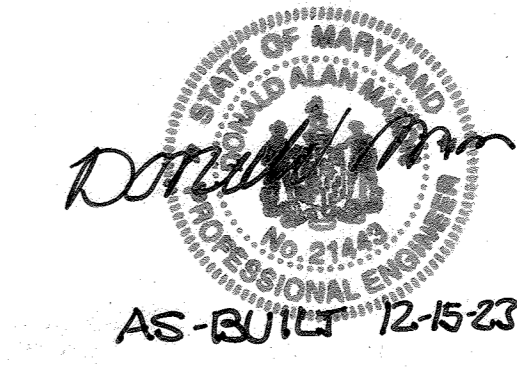
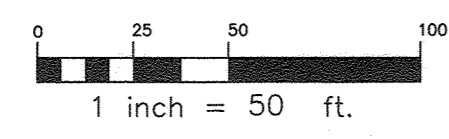
DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
SCALE: AS SHOWN SHEET 38 OF 47



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-21

AS-BUILT 12-15-23

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

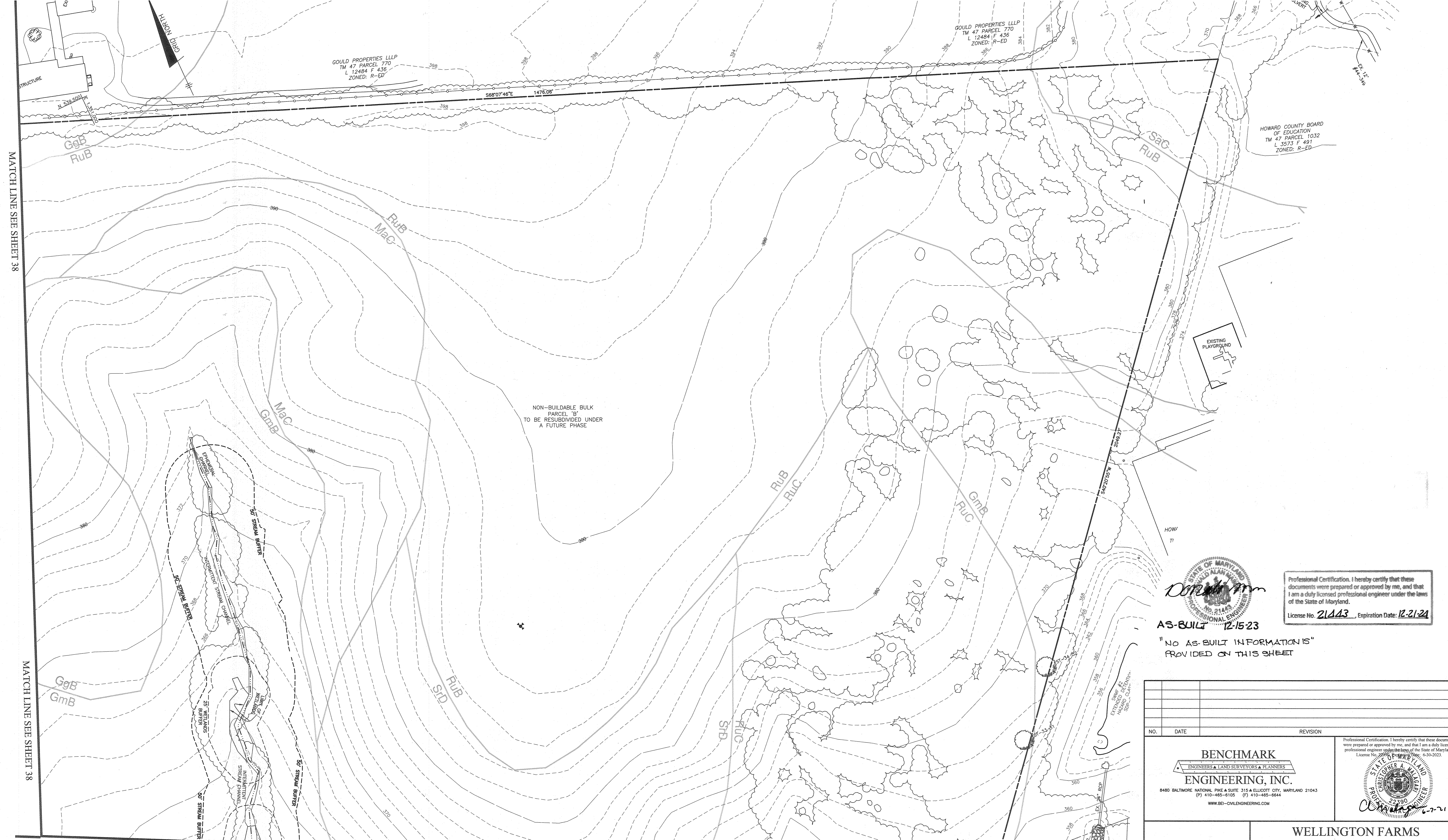
NO DISTURBANCE IS PROPOSED ON THIS PLAN SHEET.

NO.	DATE	REVISION

**BENCHMARK**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 (F) 410-465-8644  
 WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 22590, Expiration Date: 6-30-2023

OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)	
	TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MXD-3 / R-SC-MXD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND	
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021	<b>GRADING, SEDIMENT AND EROSION CONTROL PLAN</b>	
	DATE: JUNE 4, 2021	BEI PROJECT NO. 2879
DESIGN: DBT	DRAFT: DBT	SCALE: AS SHOWN
SHEET 39 OF 47		AS-BUILT F-21-025



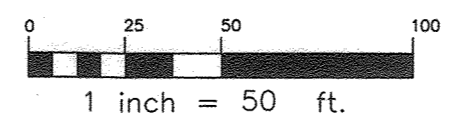
MATCH LINE SEE SHEET 38

MATCH LINE SEE SHEET 38

MATCH LINE SEE SHEET 41

MATCH LINE SEE SHEET 41

**NO DISTURBANCE IS PROPOSED ON THIS PLAN SHEET.**



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*James* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*John A. Moore, Jr.* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

*John A. Moore, Jr.* 7.12.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE



AS-BUILT 12-15-23

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

NO.	DATE	REVISION

**BENCHMARK**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
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 410-720-3021

DEVELOPER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
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 410-720-3021

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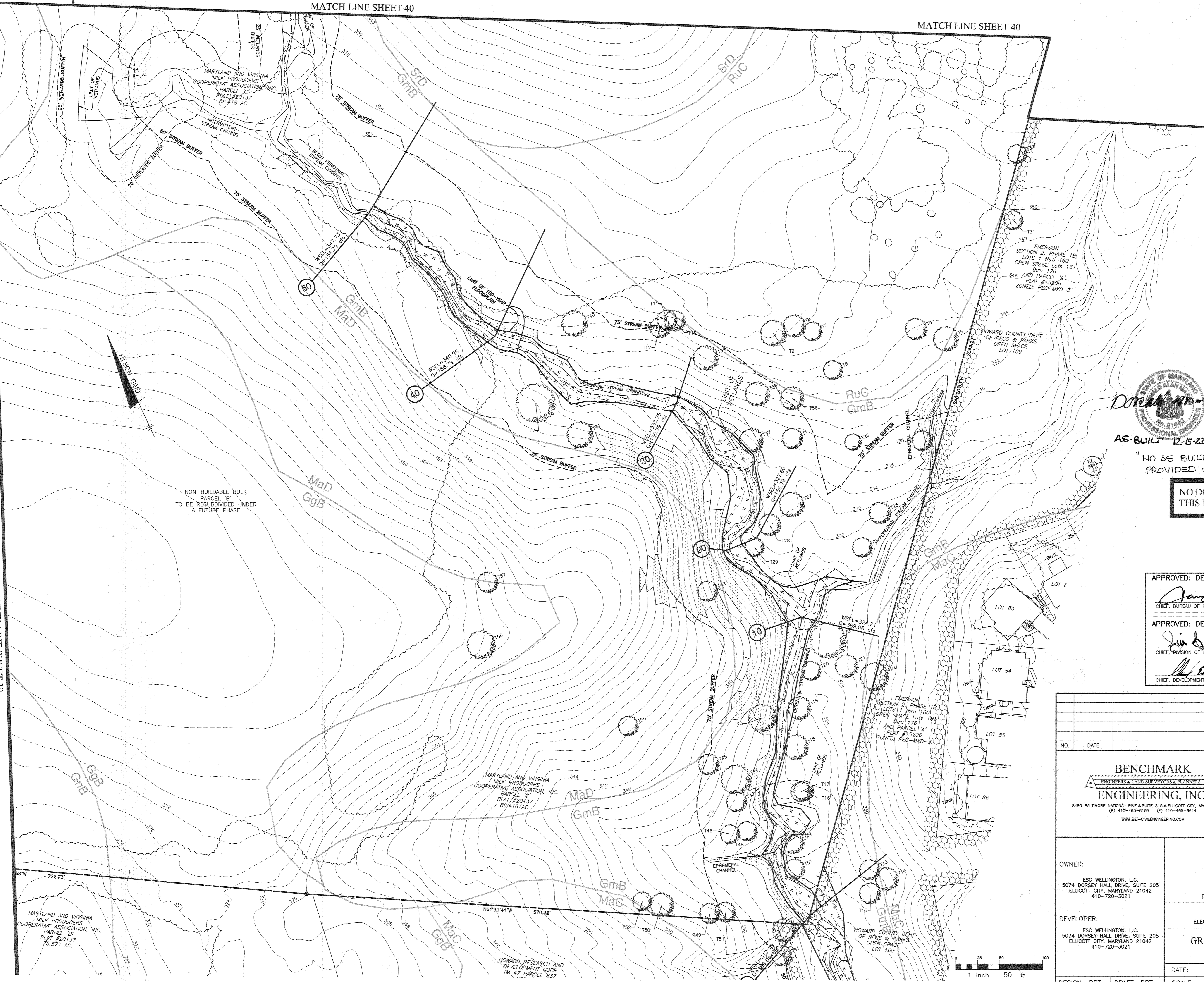
TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**GRADING, SEDIMENT AND EROSION CONTROL PLAN**

DESIGN: DBT DRAFT: DBT

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 SCALE: AS SHOWN SHEET 40 OF 47





NON-BUILDABLE BULK PARCEL 'B' TO BE RESUBDIVIDED UNDER A FUTURE PHASE

**DORIS MANN**  
 PROFESSIONAL ENGINEER  
 License No. 21443, Expiration Date: 12-21-24  
 AS-BUILT 12-5-23

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

NO DISTURBANCE IS PROPOSED ON THIS PLAN SHEET

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/12/21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISION

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8490 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
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 License No. 22590, Expiration Date: 6-30-2023

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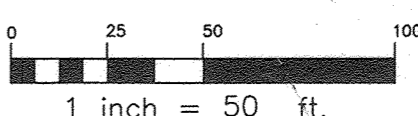
OWNER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

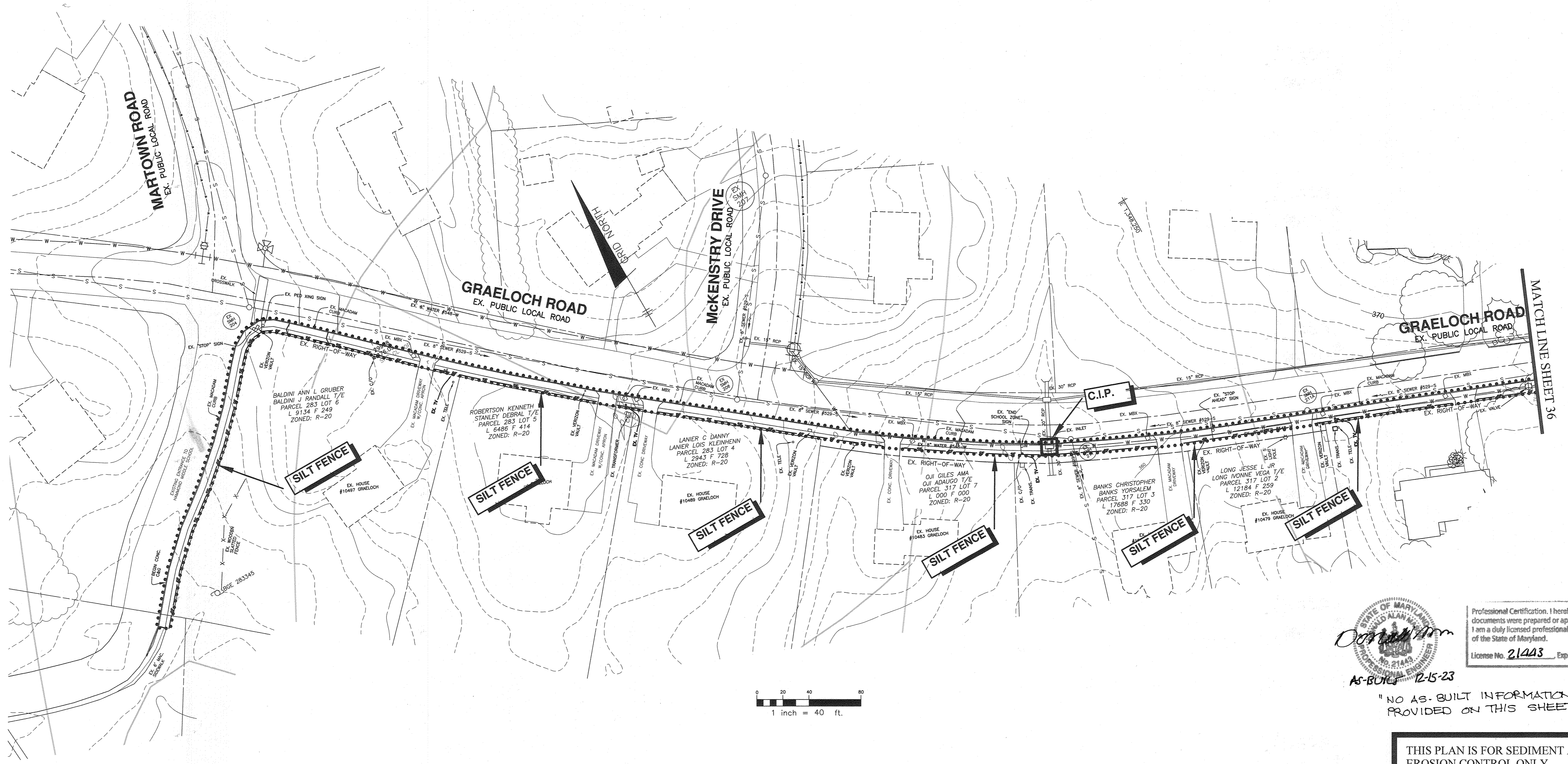
DEVELOPER:  
 ESC WELLINGTON, L.C.  
 5074 DORSEY HALL DRIVE, SUITE 205  
 ELLICOTT CITY, MARYLAND 21042  
 410-720-3021

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MXD-3 / R-SC-MXD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**GRADING, SEDIMENT AND EROSION CONTROL PLAN**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 DESIGN: DBT DRAFT: DBT SCALE: AS SHOWN SHEET 41 OF 47





Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24  
 AS-BUILT 12-15-23  
 "NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

NOTE:  
 DRIVEWAY ACCESS (INGRESS AND EGRESS) TO EXISTING RESIDENCES TO REMAIN OPEN AT ALL TIMES.

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Cl. Molagan* 6-3-21  
 ENGINEER DATE

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Q. V. Mz* 6-3-21  
 DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexander Butcher* 06/07/21  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS DATE

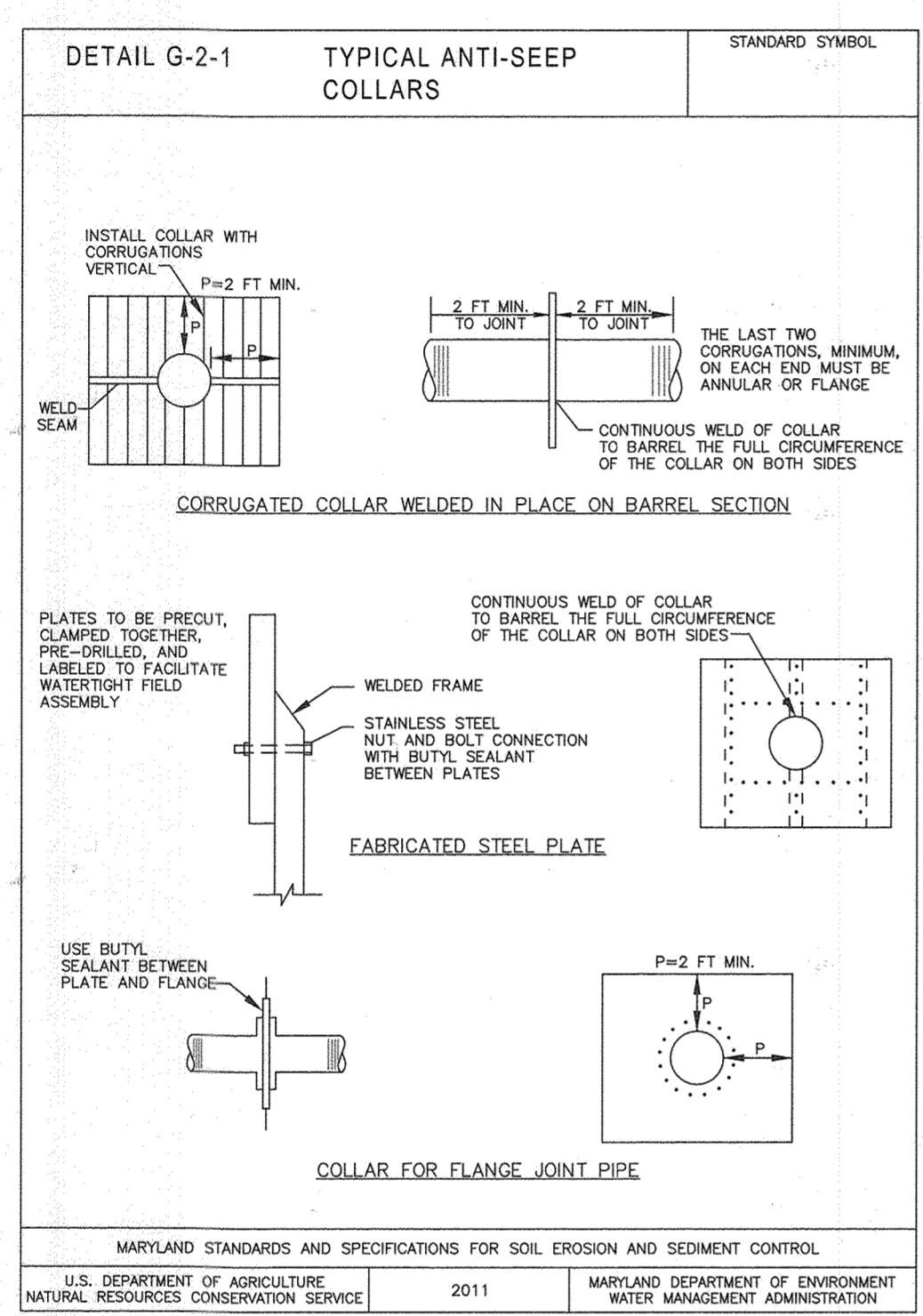
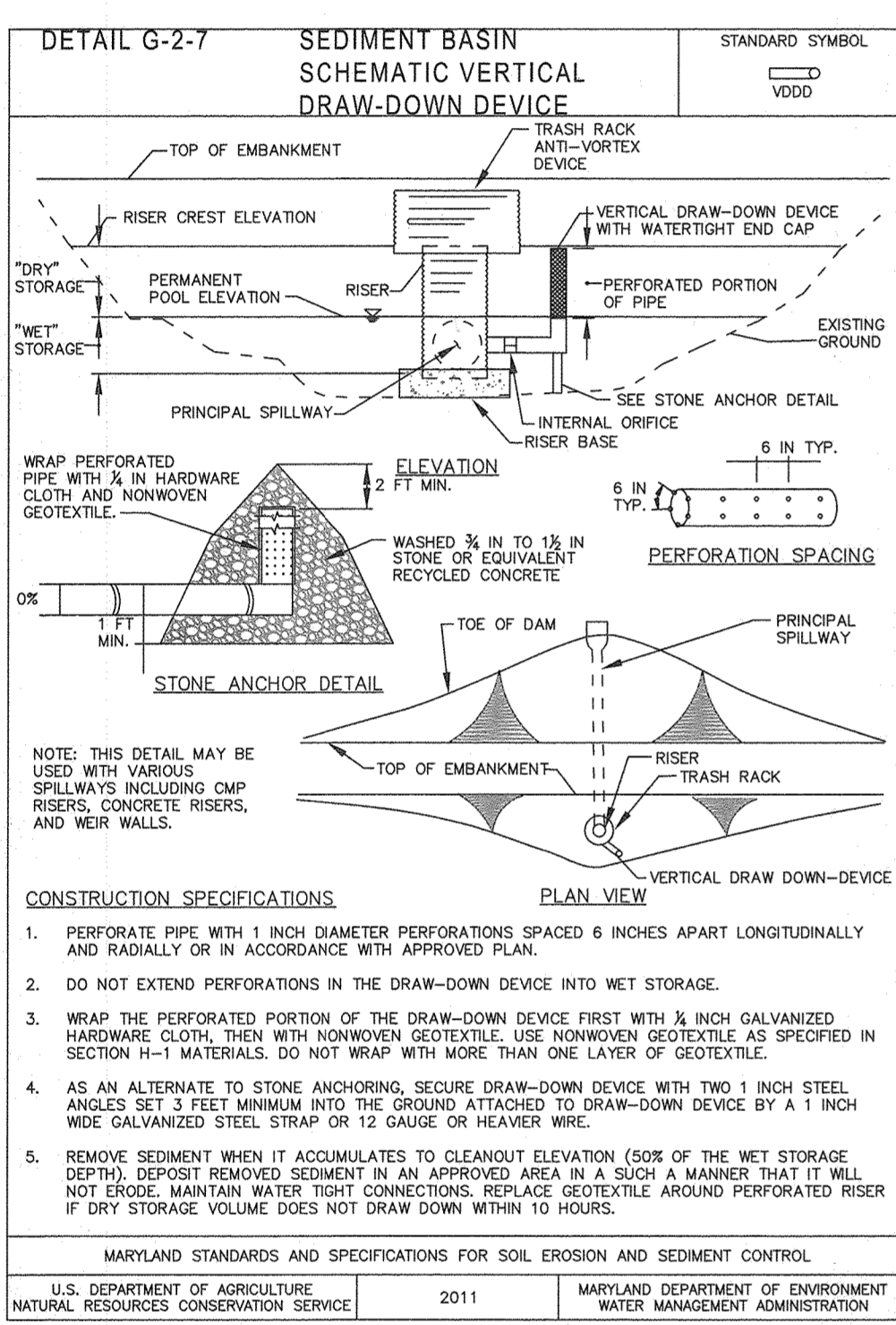
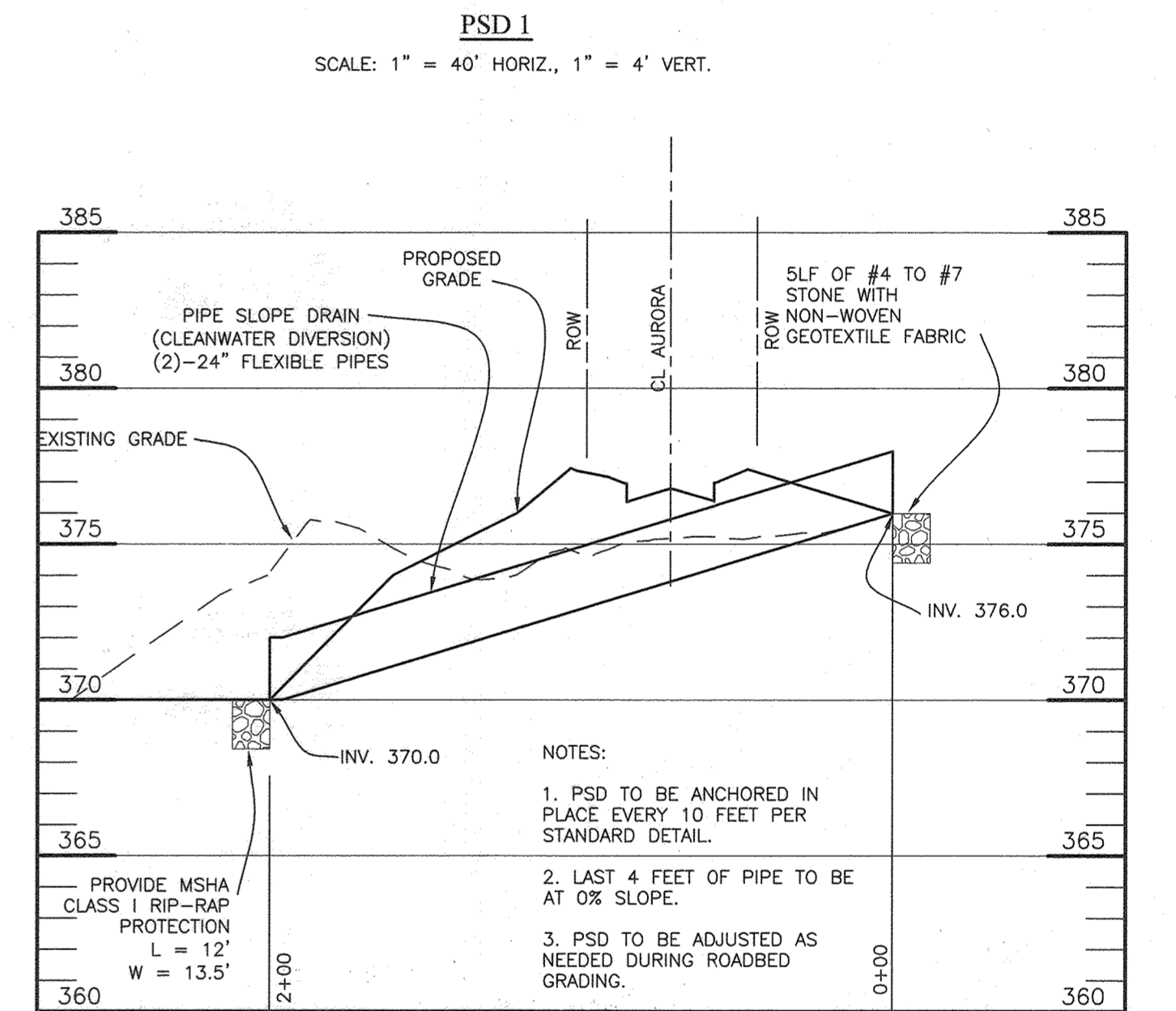
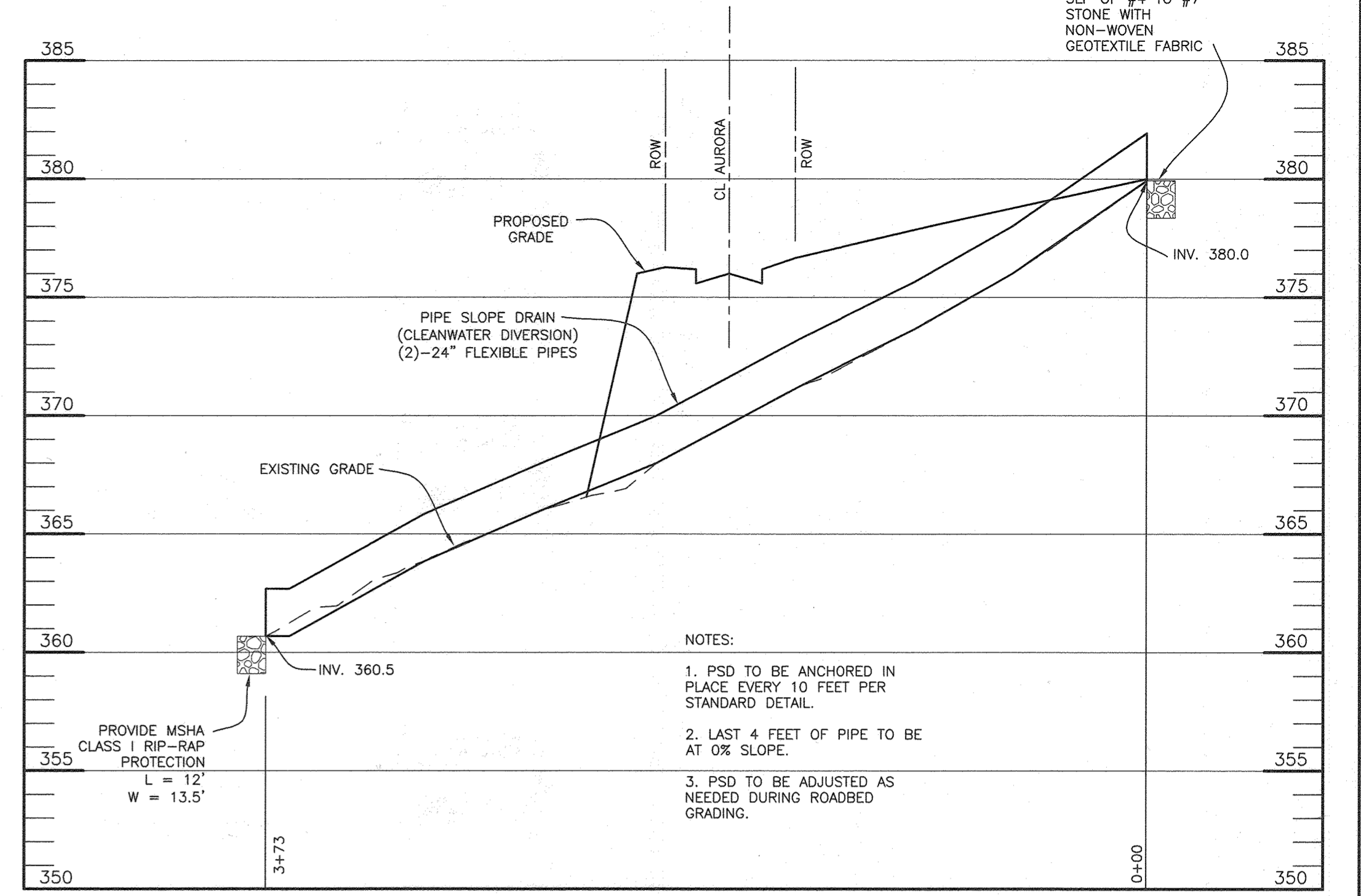
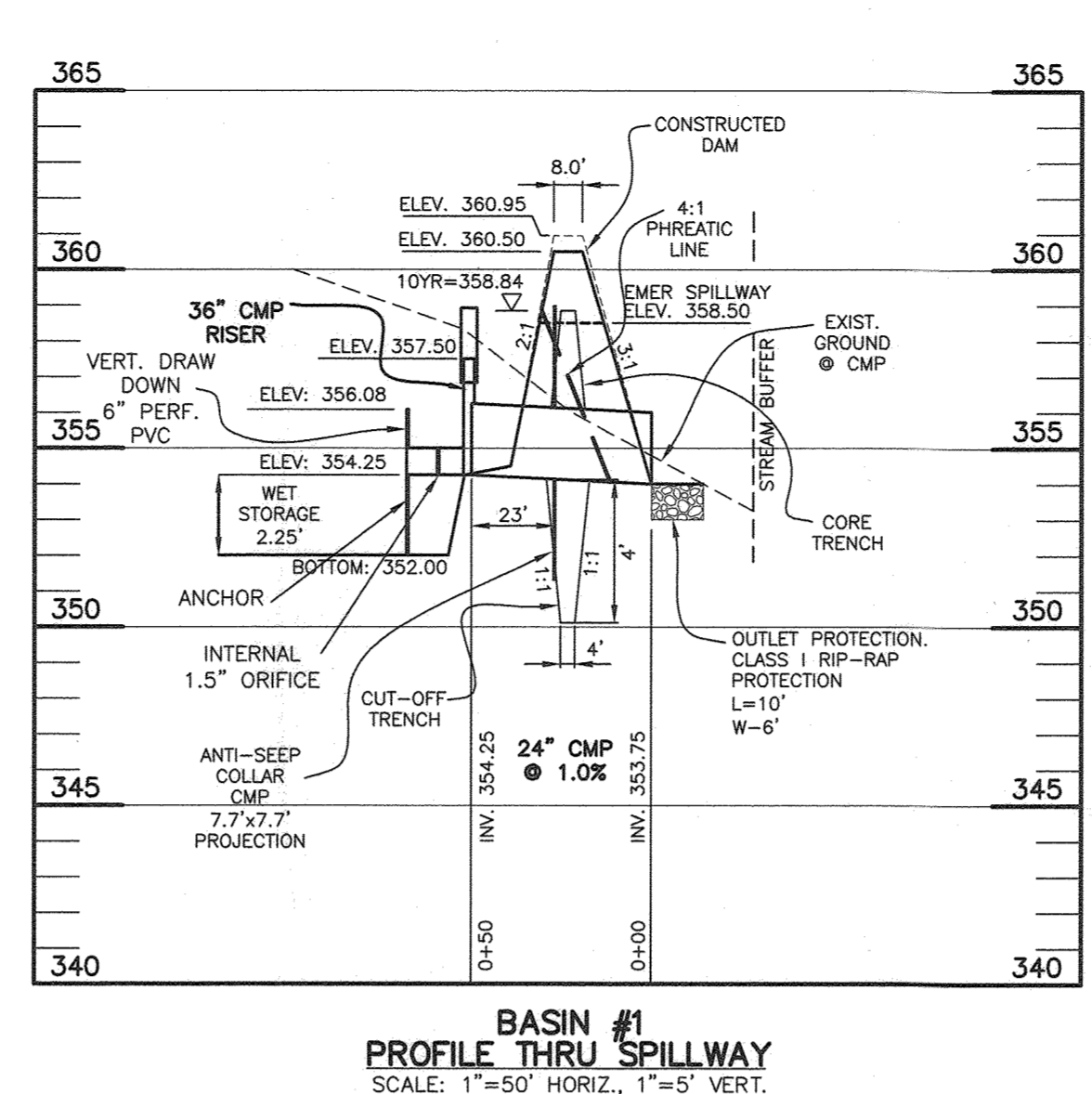
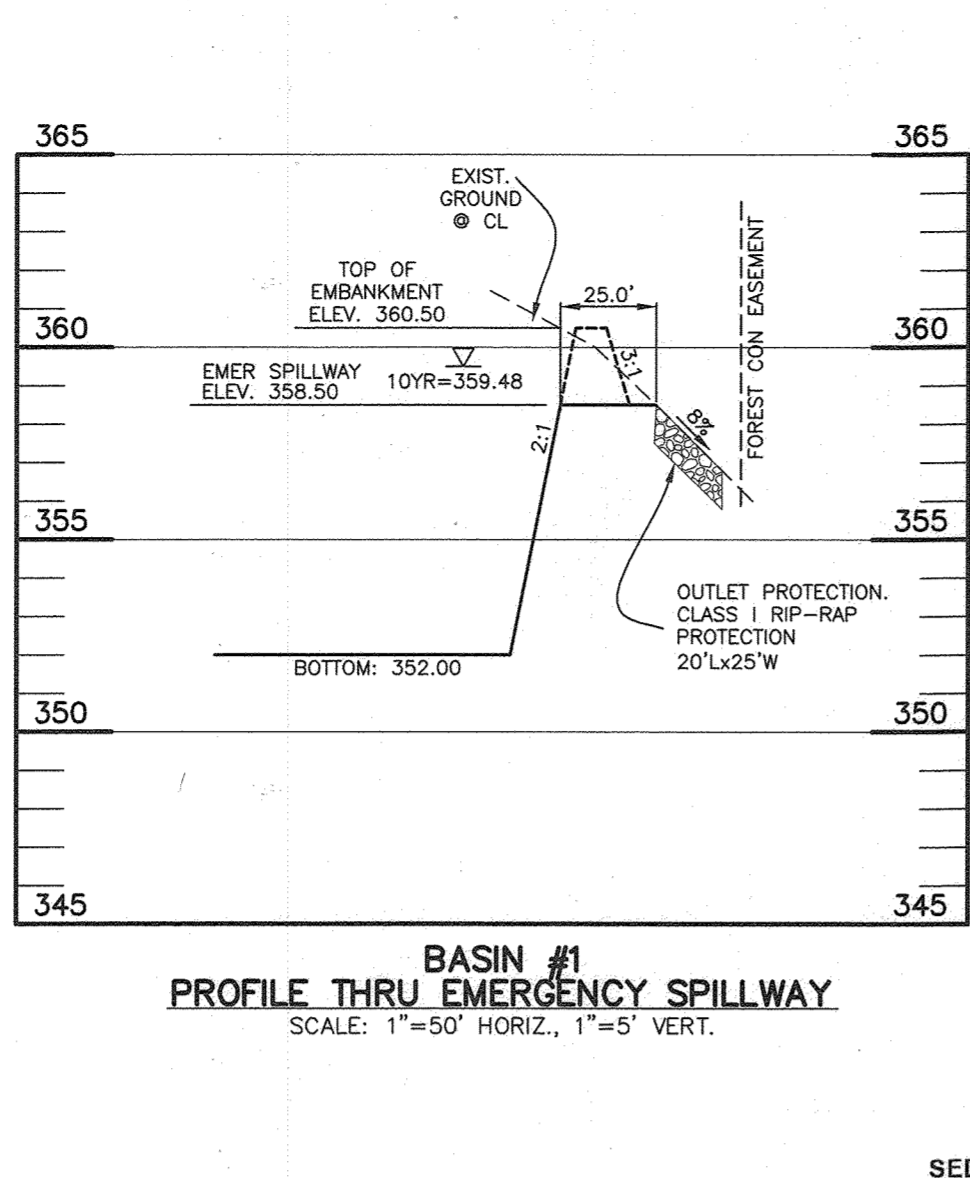
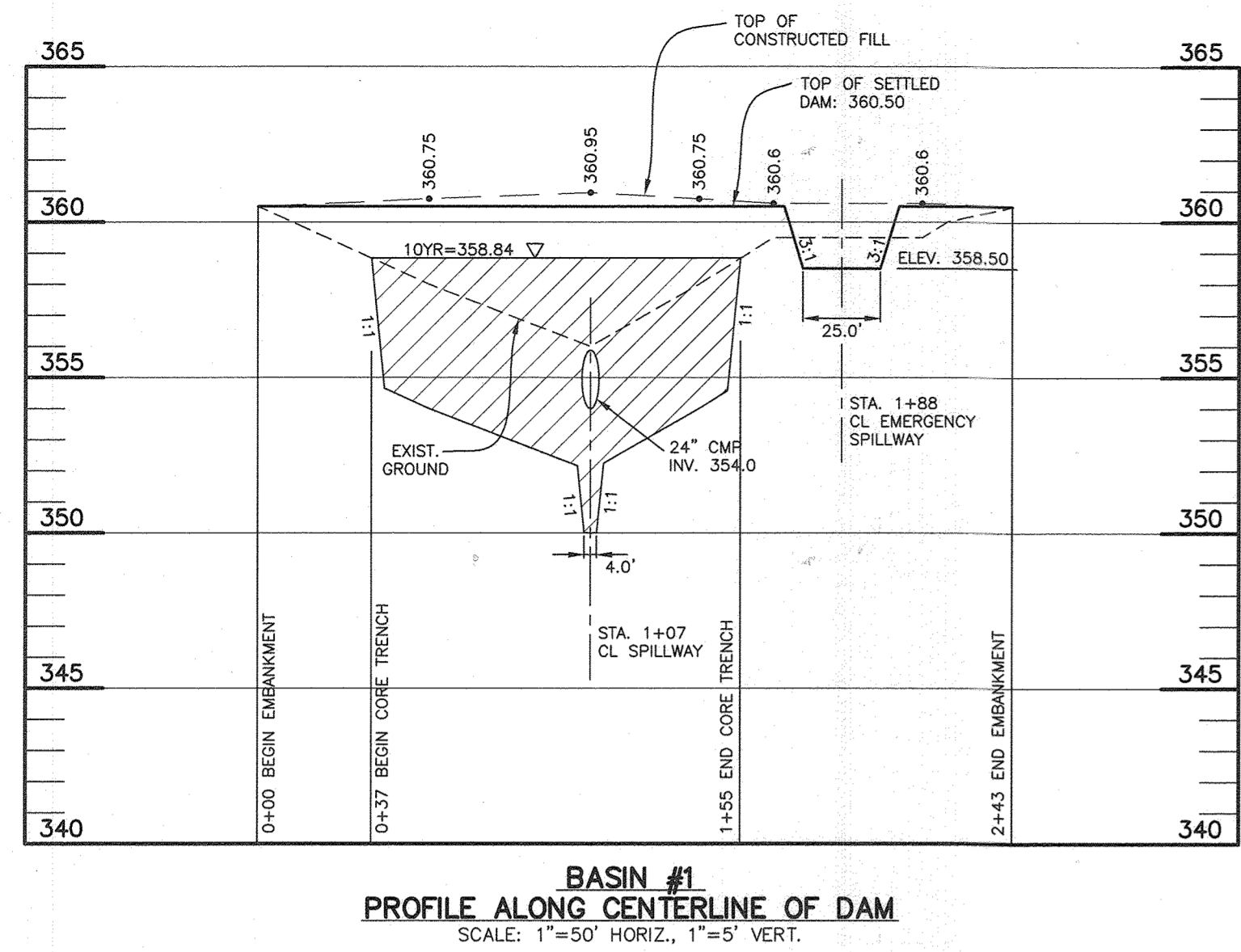
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*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7-12-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISION
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 6480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-485-6105 (F) 410-485-6644 WWW.BEI-CIVILENGINEERING.COM		
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443 Expiration Date: 12-21-24 <i>Cl. Molagan</i> 6-3-21		
<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Non-Buildable Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)		
OWNER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
DEVELOPER: ESC WELLINGTON, L.C. 5074 DORSEY HALL DRIVE, SUITE 205 ELLICOTT CITY, MARYLAND 21042 410-720-3021		
TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MKO-3 / R-20-MKO-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND		
<b>GRADING, SEDIMENT AND EROSION CONTROL PLAN</b>		
DATE: JUNE 4, 2021	BEI PROJECT NO. 2879	
DESIGN: DBT	DRAFT: DBT	SCALE: AS SHOWN SHEET 42 OF 47

AS-BUILT F-21-025





- SEDIMENT BASIN CONSTRUCTION SPECIFICATIONS**
- Install sediment control practices necessary to construct basin. Clear and grub to remove trees, vegetation, roots or other objectionable material from the areas where the embankment is to be placed. Do not clear the pool area until completion of the embankment, unless the pool area is to be used for borrow. Salvage topsoil for later use.
  - Excavate cut-off trench along centerline of proposed embankment a minimum depth of 4 feet and a bottom (min 4 feet) wide enough to permit operation of excavation and compaction equipment. Construct side slopes 1:1 or flatter. Cut-off trench must be continuous and extend the entire length of embankment. Compaction requirements are the same as those for the embankment. Dewater the trench during the backfilling compaction operations, using an approved practice.
  - Construct embankment of clean soil free of roots, woody vegetation, oversized stones, rocks, or other objectionable material. Fill material for impervious core and cut-off trench must conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30 percent passing the #200 sieve. Use fill material containing sufficient moisture so that the soil can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction. Place fill material in six-inch to eight-inch-thick continuous lifts over the entire length of the fill. Obtain compaction by passing construction equipment or compactor over the fill, so that the entire surface of each layer of fill is traversed at least four times. Construct the embankment to an elevation a minimum of 10 percent higher than the design height to allow for settlement.
  - Install principal spillway prior to, or concurrently with, fill placement. Do not excavate embankment for placement of spillway. All pipe connections, including anti-seep collars must be completely watertight. Install filter diaphragm when specified on plan. Barrel connection to riser must be welded all around when the pipe and riser are metal. Attach barrel stub to riser at the same percent (slope) of grade as the barrel. For concrete riser/barrel assembly, pour riser with barrel in place or set pre-cast riser and install projection collar for watertight connection. Place fill material around the pipe spillway in four (4) inch lifts and hand compact around the pipe to a depth of 1.5 times the pipe diameter (minimum). Securely install anti-vortex device and trash rack as shown on plan.
  - Install the emergency spillway in undisturbed natural ground. Construct spillway within a tolerance of +/- 0.2 feet.
  - Stabilize embankment and associated disturbed areas within three (3) days of completion with seed and mulch. Monitor embankment and maintain erosion free during the life of the basin.
  - Install fencing and signage in accordance with the approved plan.
  - Remove sediment when accumulated material has reached 25 percent of the total storage depth. Restore basin to original design volume. Place removed sediments in a controlled area and stabilize. Do not deposit sediment downstream of the embankment, adjacent to a stream or floodplain.
  - When the contributing drainage area is stable, the basin can be removed in accordance with the approved sediment control plan.
  - A sediment basin designed, built, and certified as a stormwater management structure, may be converted when the contributory drainage area is stable. Properly dewater basin, modify outlet structure, perform additional grading, and provide required storage volume in accordance with approved stormwater management plans.

**Permanent Seeding Summary**

Hardiness Zone (from Figure 8.3)	Seed Mixture (from Table 8.3)	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (lb/1000 ft <sup>2</sup> )	Lime Rate
9	Fescue, Tall	40	Mar 1 to May 15	1/4 - 1/2 in	45 pounds per acre (15-15-15)	21000/lb (900/1000 ft <sup>2</sup> )
	Bromegrass, Kentucky	40	Mar 1 to May 15	1/4 - 1/2 in	45 pounds per acre (15-15-15)	21000/lb (900/1000 ft <sup>2</sup> )

**Table 8.1: Temporary Seeding for Site Stabilization**

Plant Species	Seeding Rate 1/ (lb/ac)	Seeding Rate 2/ (lb/1000 ft <sup>2</sup> )	Seeding Depth 2/ (inches)	Recommended Seeding Dates by Plant Hardiness Zone 3/
<b>Cool-Season Grasses</b>				
Annual Ryegrass (Lolium perenne ssp. Multiclavatum)	40	1.0	0.5	Mar 1 to May 15; Aug 1 to Oct 31
Barley (Hordeum vulgare)	96	2.2	1.0	Mar 1 to May 15; Aug 1 to Oct 31
Oats (Avena sativa)	72	1.7	1.0	Mar 1 to May 15; Aug 1 to Oct 31
Wheat (Triticum aestivum)	120	2.8	1.0	Mar 1 to May 15; Aug 1 to Oct 31
Cereal Rye (Secale cereale)	112	2.6	1.0	Mar 1 to May 15; Aug 1 to Nov 15
<b>Warm-Season Grasses</b>				
Foxtail Millet (Setaria italica)	80	0.7	0.5	May 16 to Jul 31
Pearl Millet (Pennisetum glaucum)	30	0.5	0.5	May 16 to Jul 31

**ENGINEER'S CERTIFICATE**

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the HOWARD SOIL CONSERVATION DISTRICT.

*CL Malaga* 6-3-21  
ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a certificate of attendance at a department of the environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the HOWARD SOIL CONSERVATION DISTRICT.

*Q. V. W.* 6-3-21  
DEVELOPER DATE

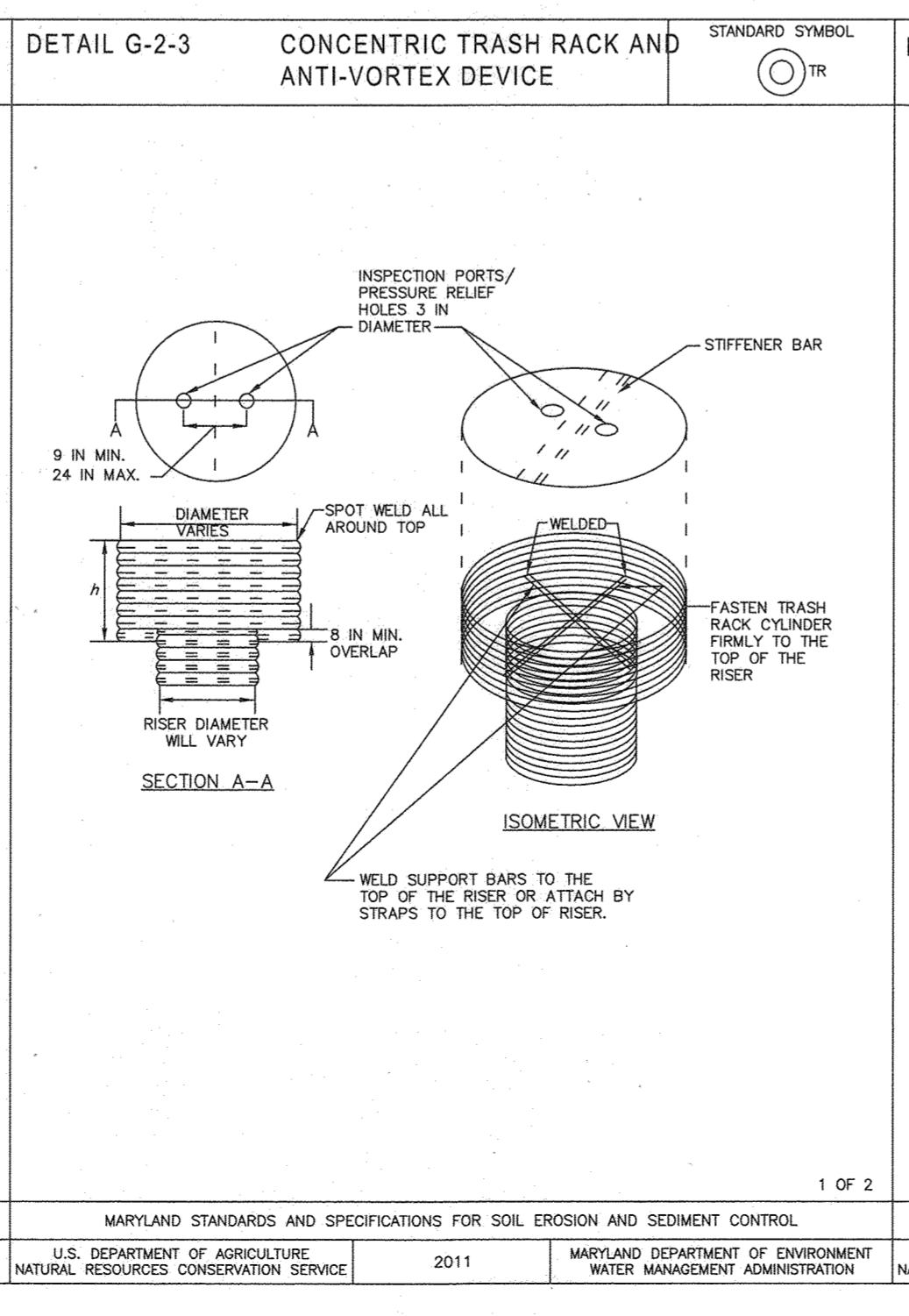
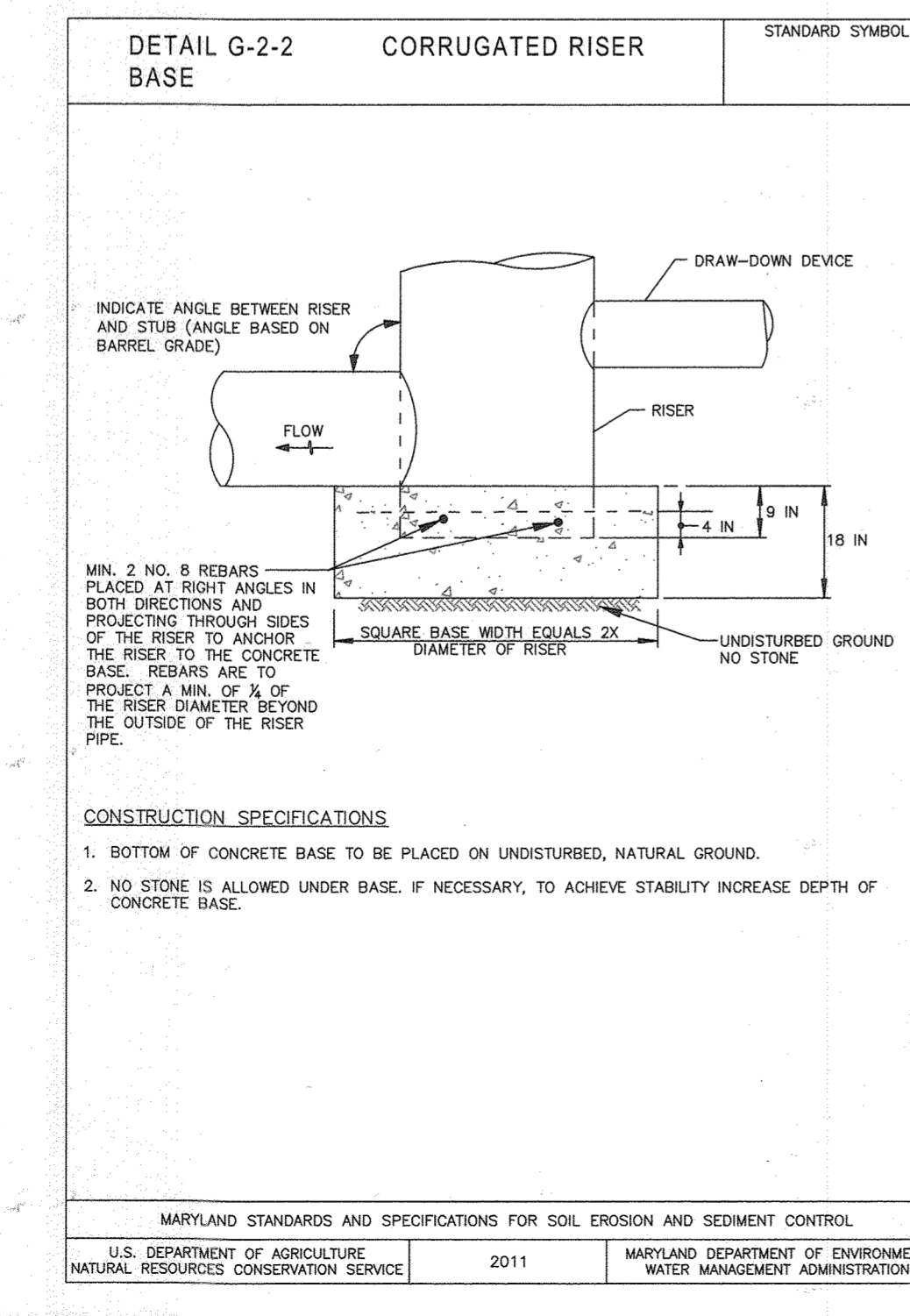
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexander Butcher* 06/07/21  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*James* 07/02/2021  
CHIEF, BUREAU OF HIGHWAYS DATE

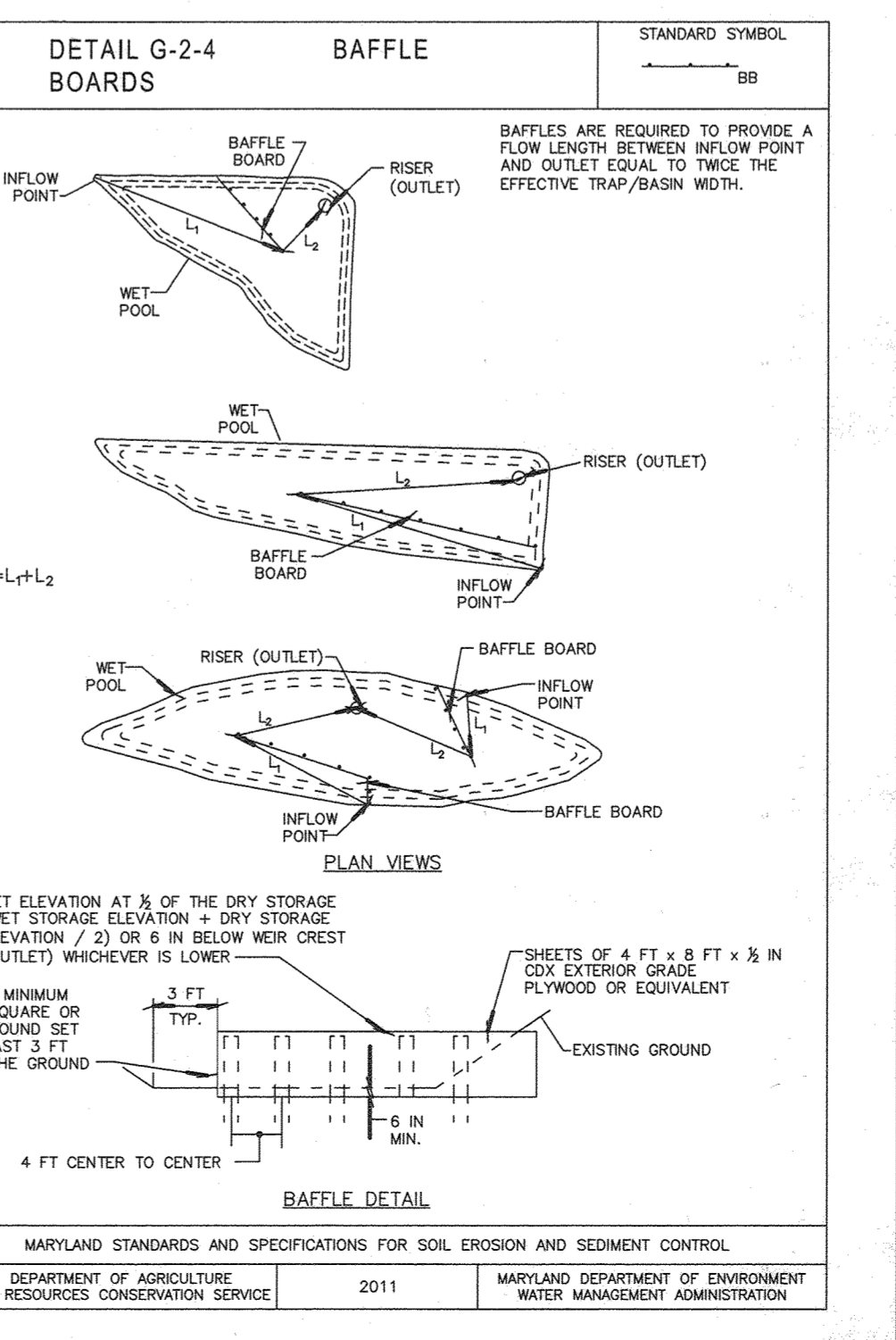
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*Quinn* 7/14/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*M. J. P.* 7.12.21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



**DETAIL G-2-3** CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE

RISER DIAM. (IN)	DIAM. THICKNESS (GAUGE)	MINIMUM SIZE	MINIMUM TDR	STIFFENER		
12	18	16	14	#6 REBAR	16	N/A
15	21	18	15	#6 REBAR	16	N/A
18	27	18	16	#6 REBAR	16	N/A
21	30	18	19	#6 REBAR	16	N/A
24	36	18	21	#6 REBAR	14	N/A
27	42	16	21	#6 REBAR	14	N/A
36	54	14	25	#6 REBAR	12	N/A
42	60	14	27	#6 REBAR	12	N/A
48	72	12	29	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	10	N/A
54	78	12	33	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	10	N/A
60	90	12	37	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	8	N/A
66	96	10	41	2 IN PIPE OR 2 x 2 x 1/4 ANGLE	8	2 x 2 x 1/4 ANGLE
72	102	10	44	2 IN PIPE OR 2 x 2 x 1/4 ANGLE	8	2 1/2 x 2 1/2 x 1/4 ANGLE
78	114	10	47	2 1/2 IN PIPE OR 2 x 2 x 1/4 ANGLE	8	2 1/2 x 2 1/2 x 1/4 ANGLE
84	120	10	50	2 1/2 IN PIPE OR 2 1/2 x 2 1/2 x 1/4 ANGLE	8	2 1/2 x 2 1/2 x 1/4 ANGLE



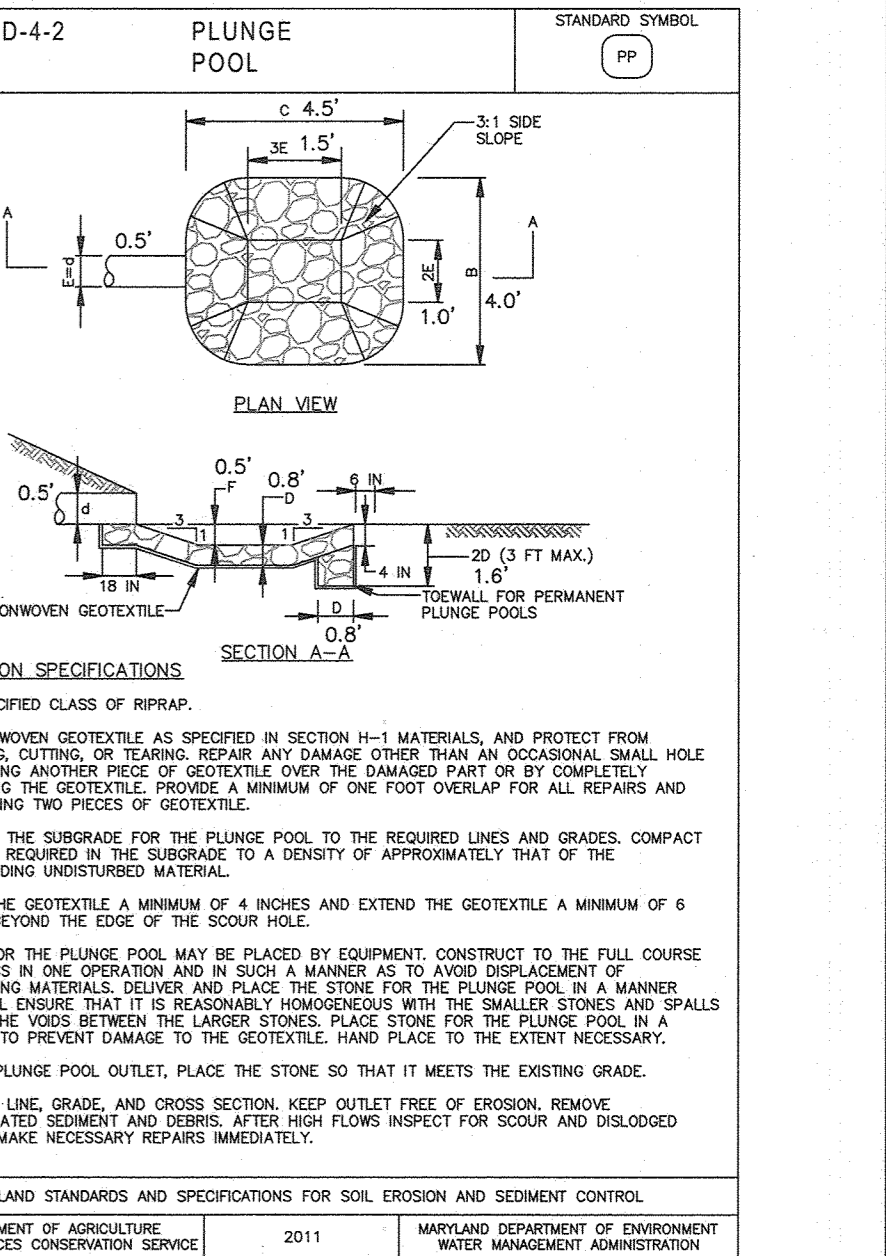
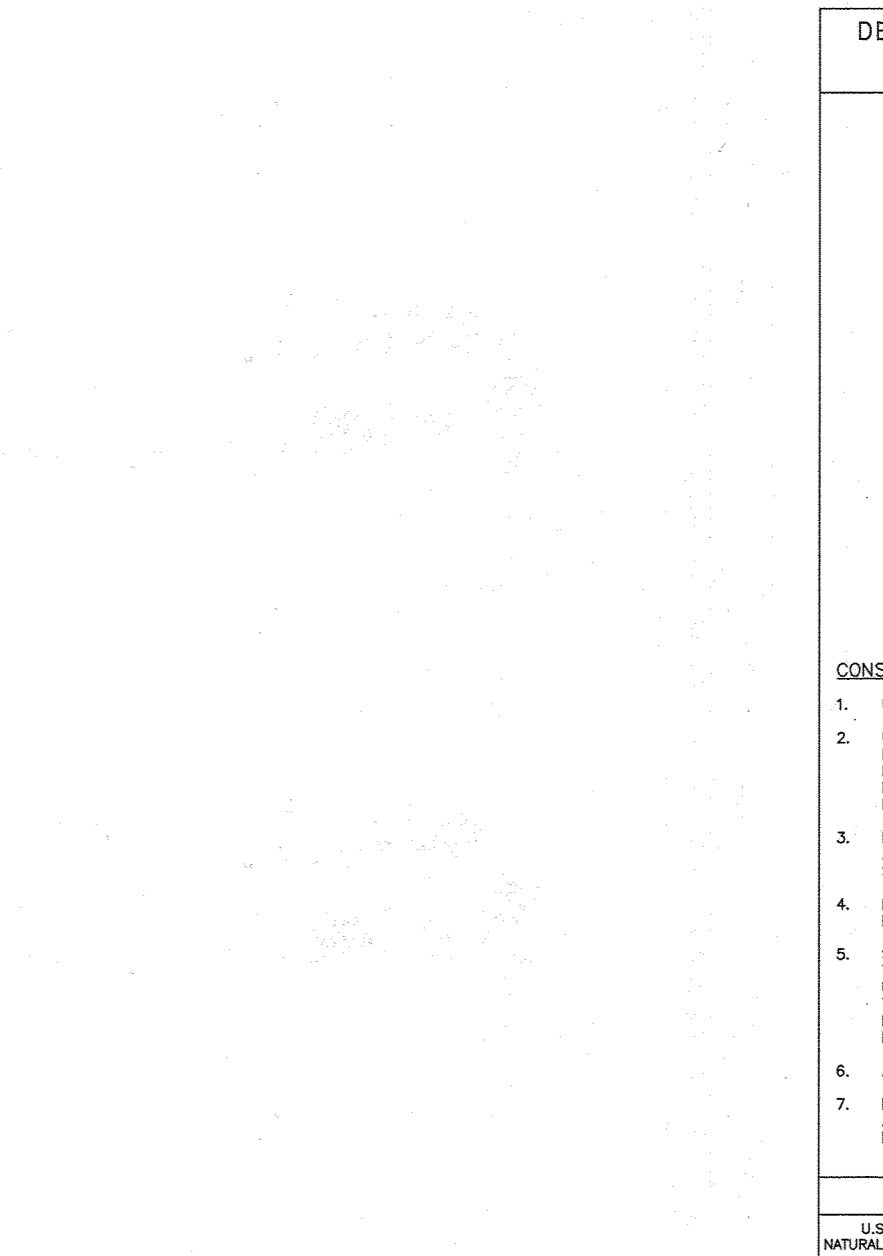
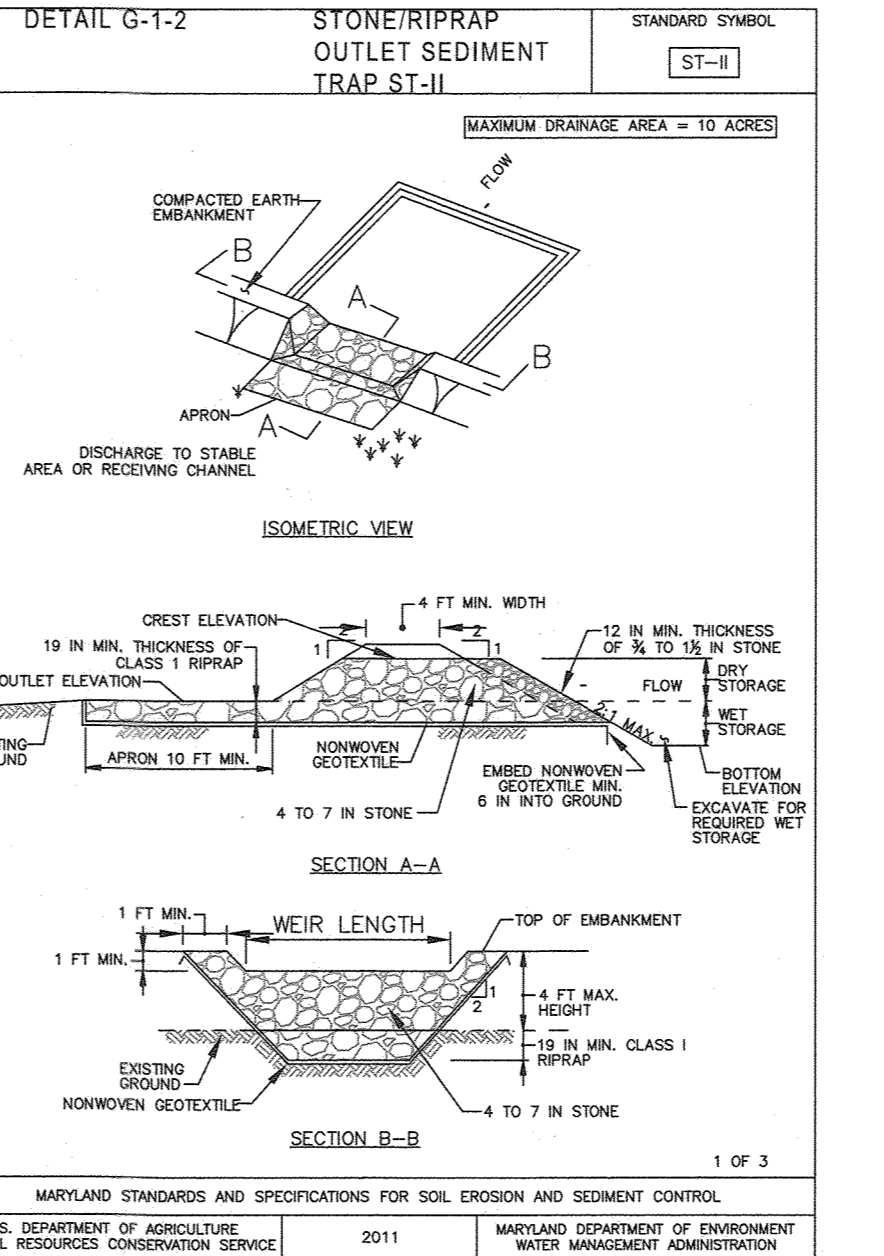
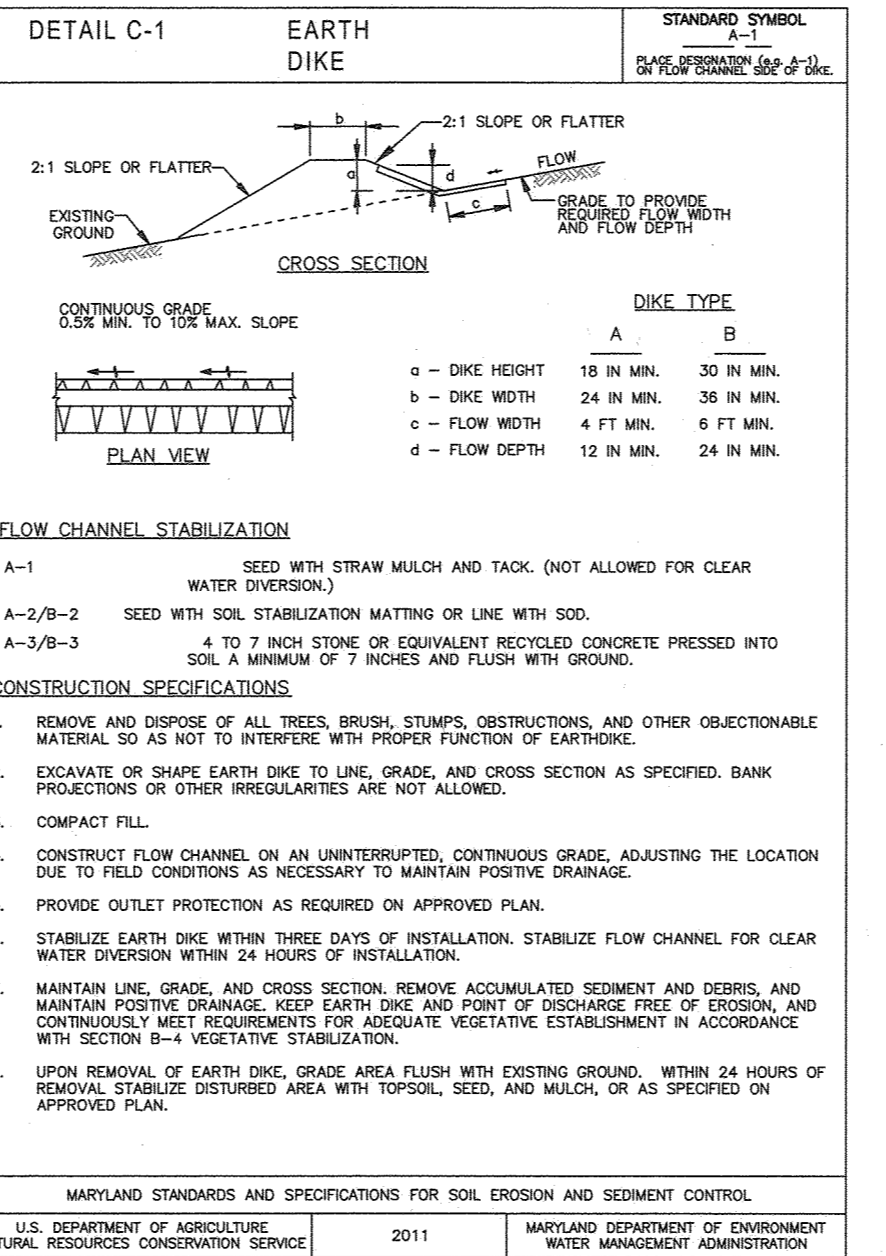
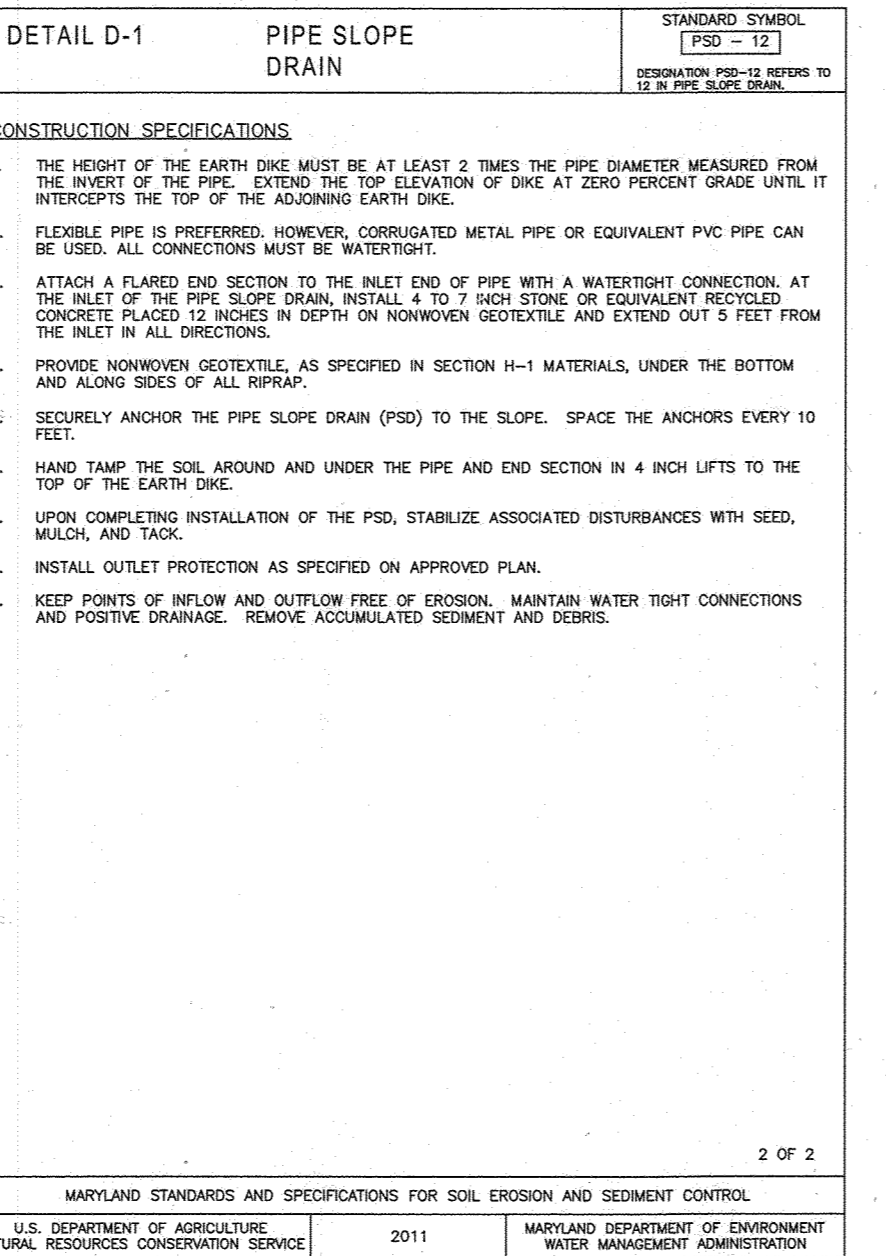
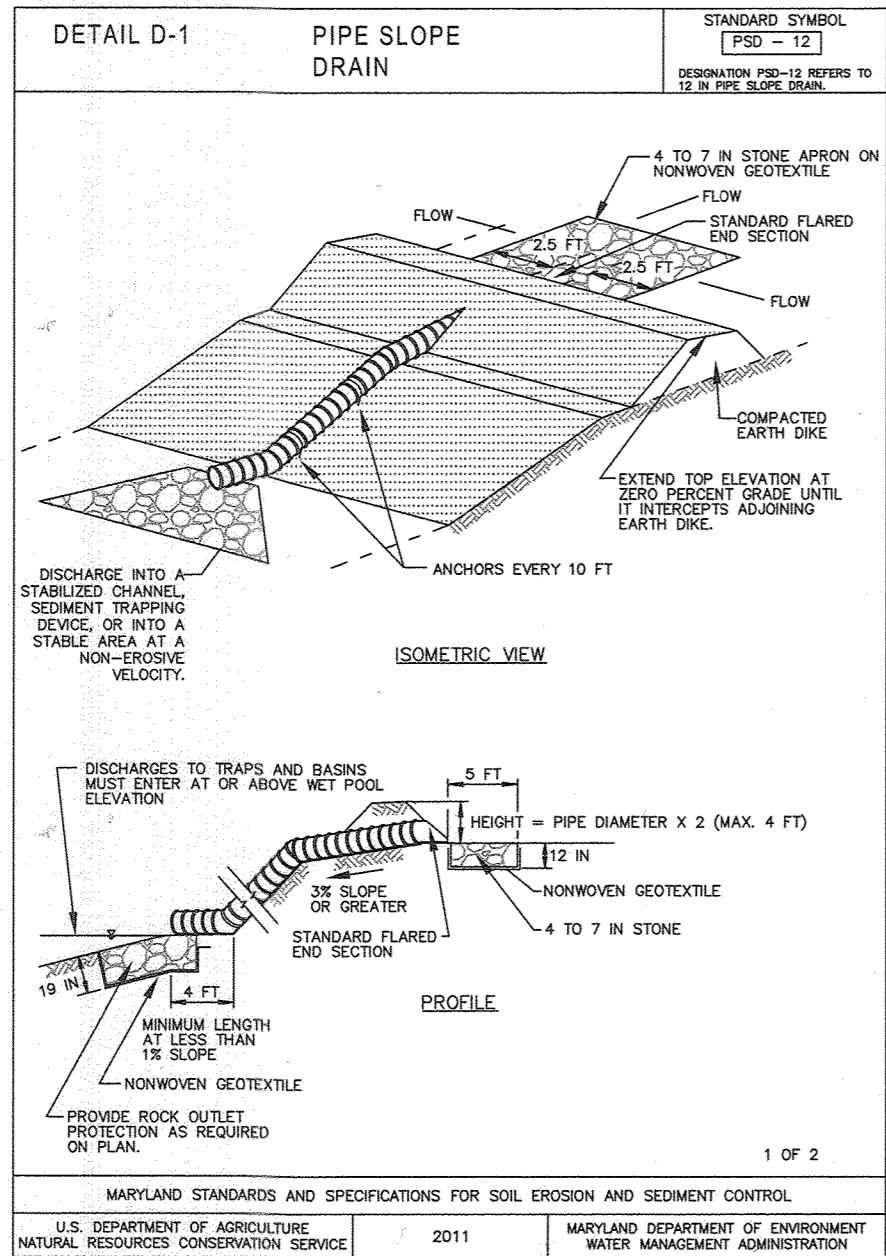
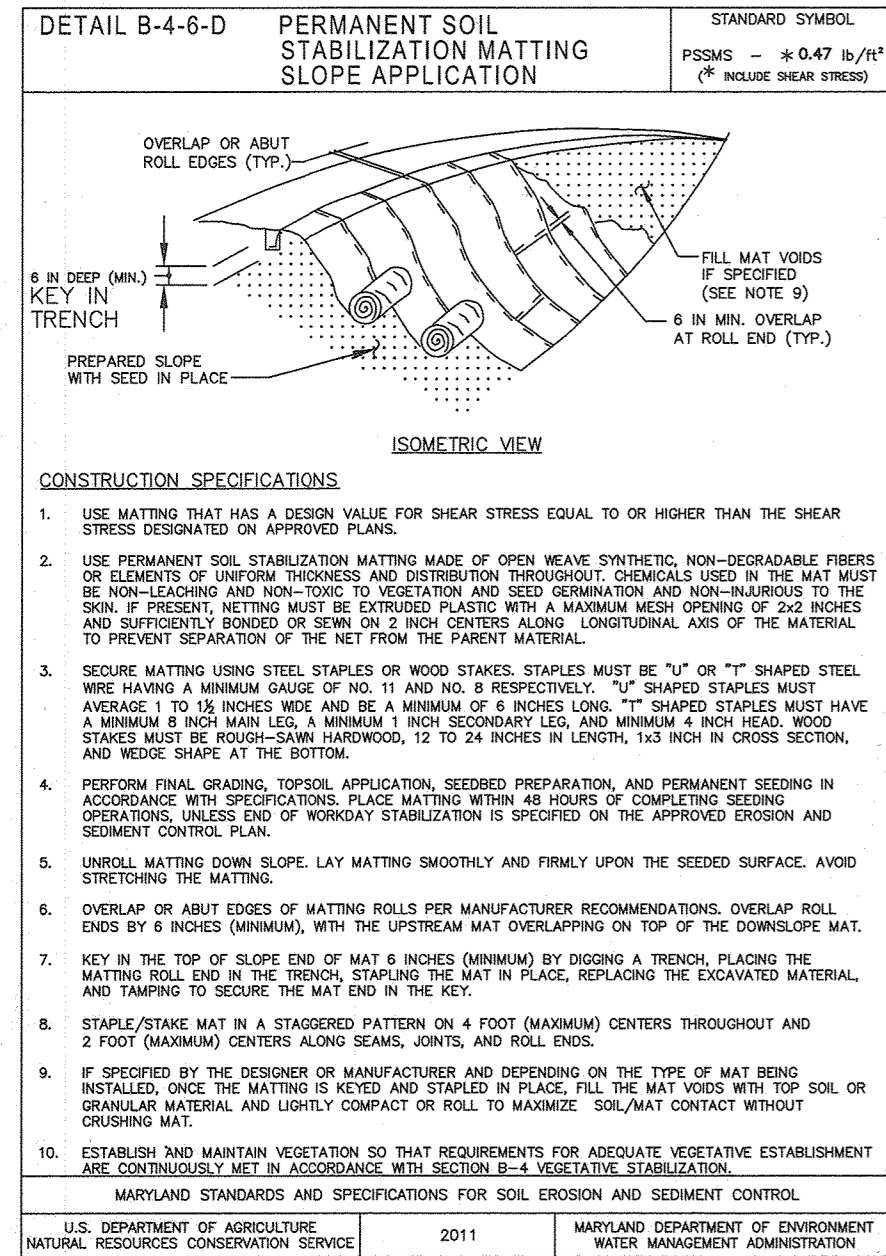
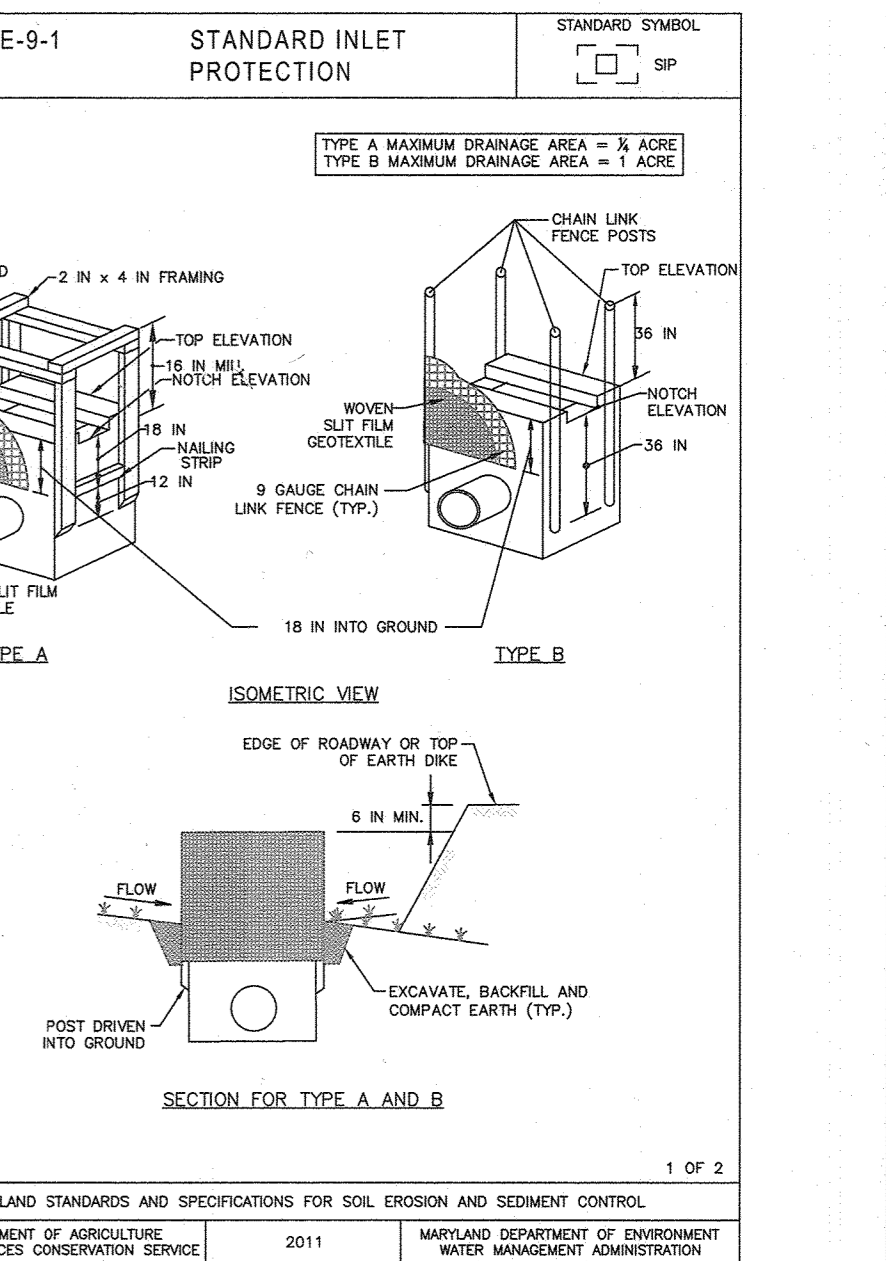
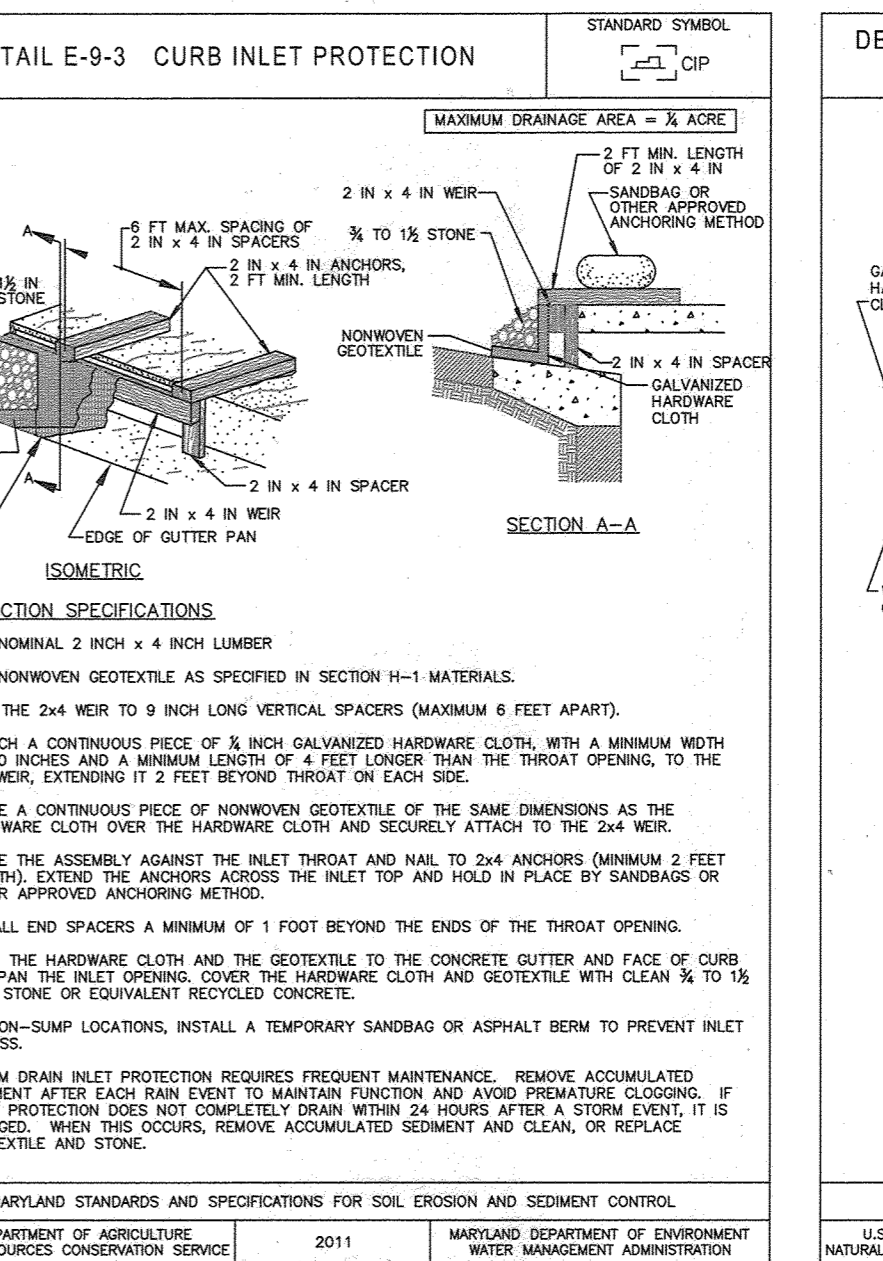
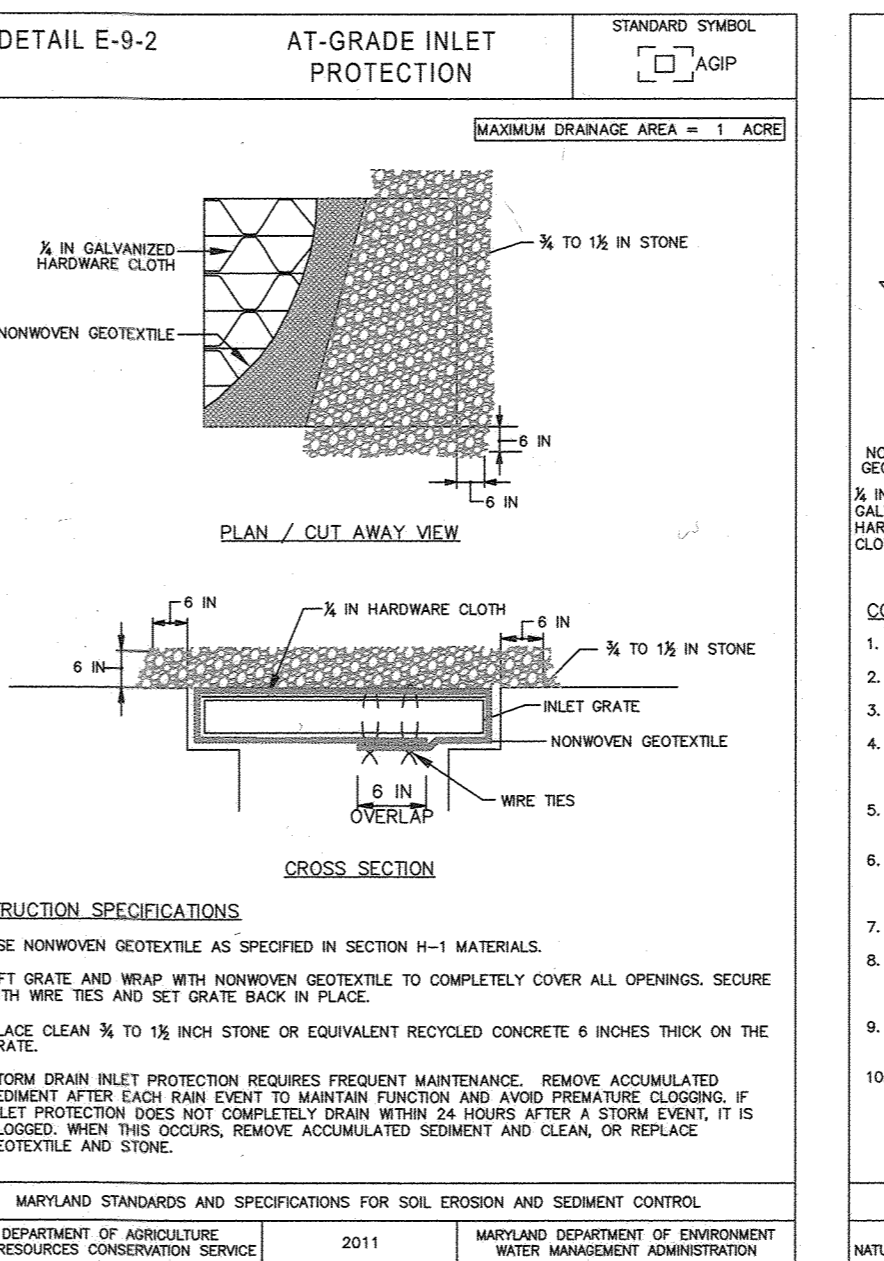
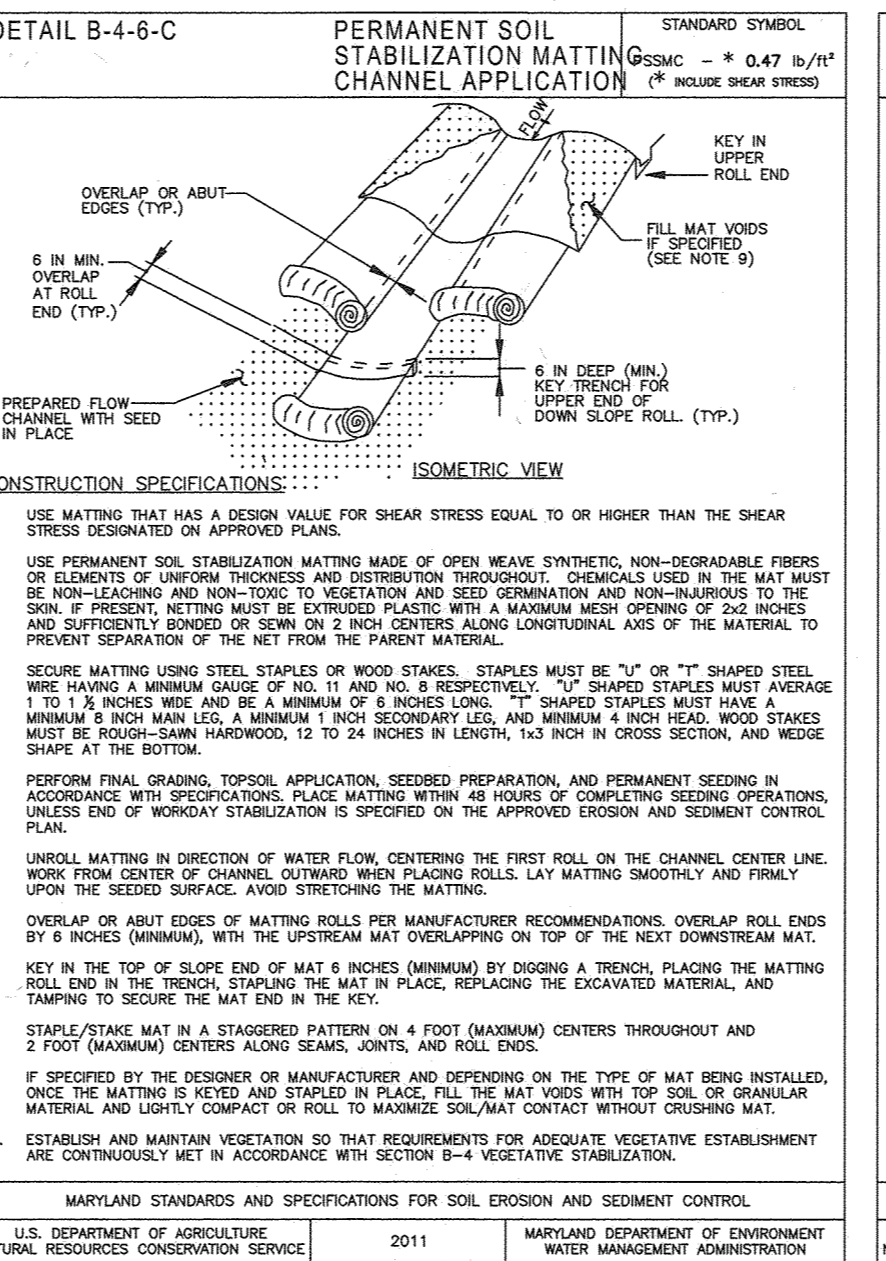
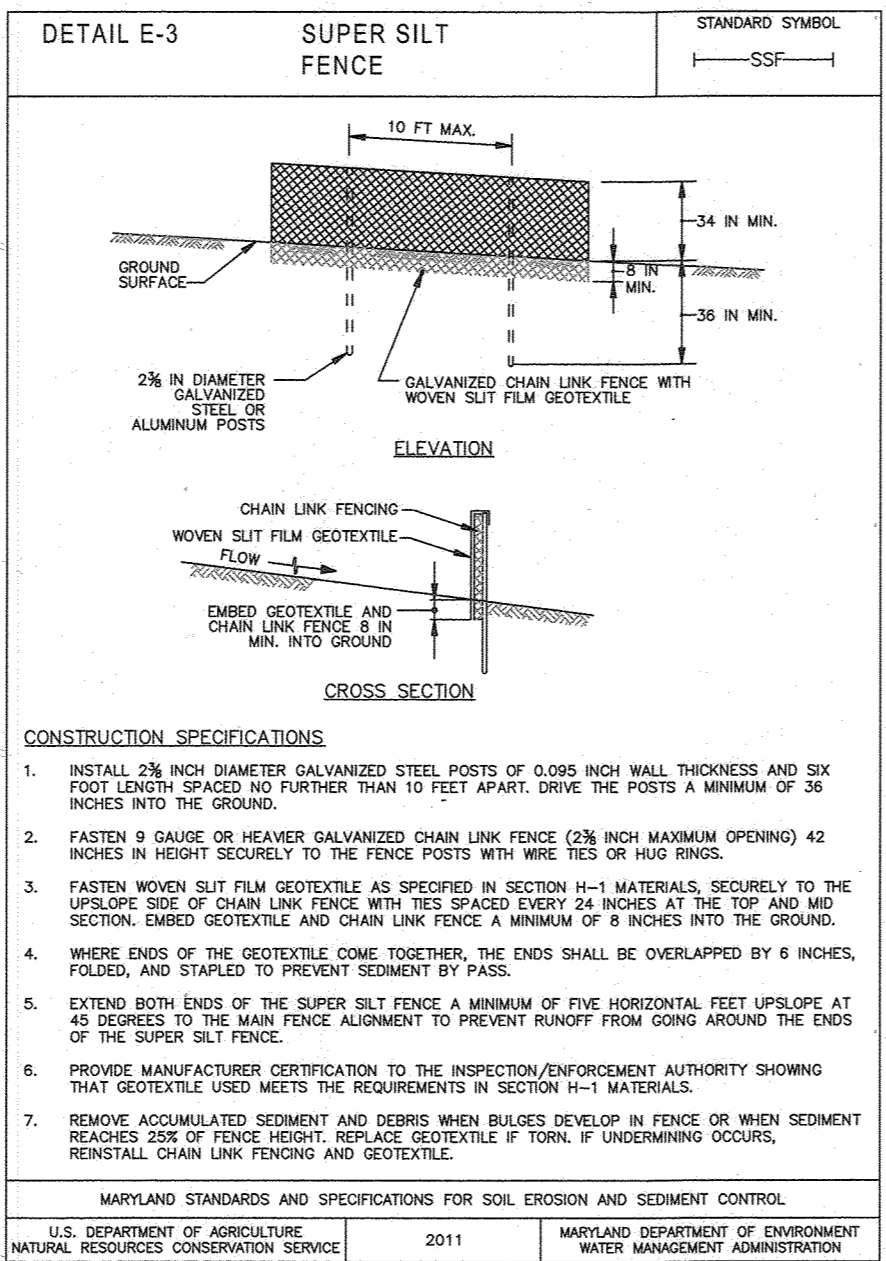
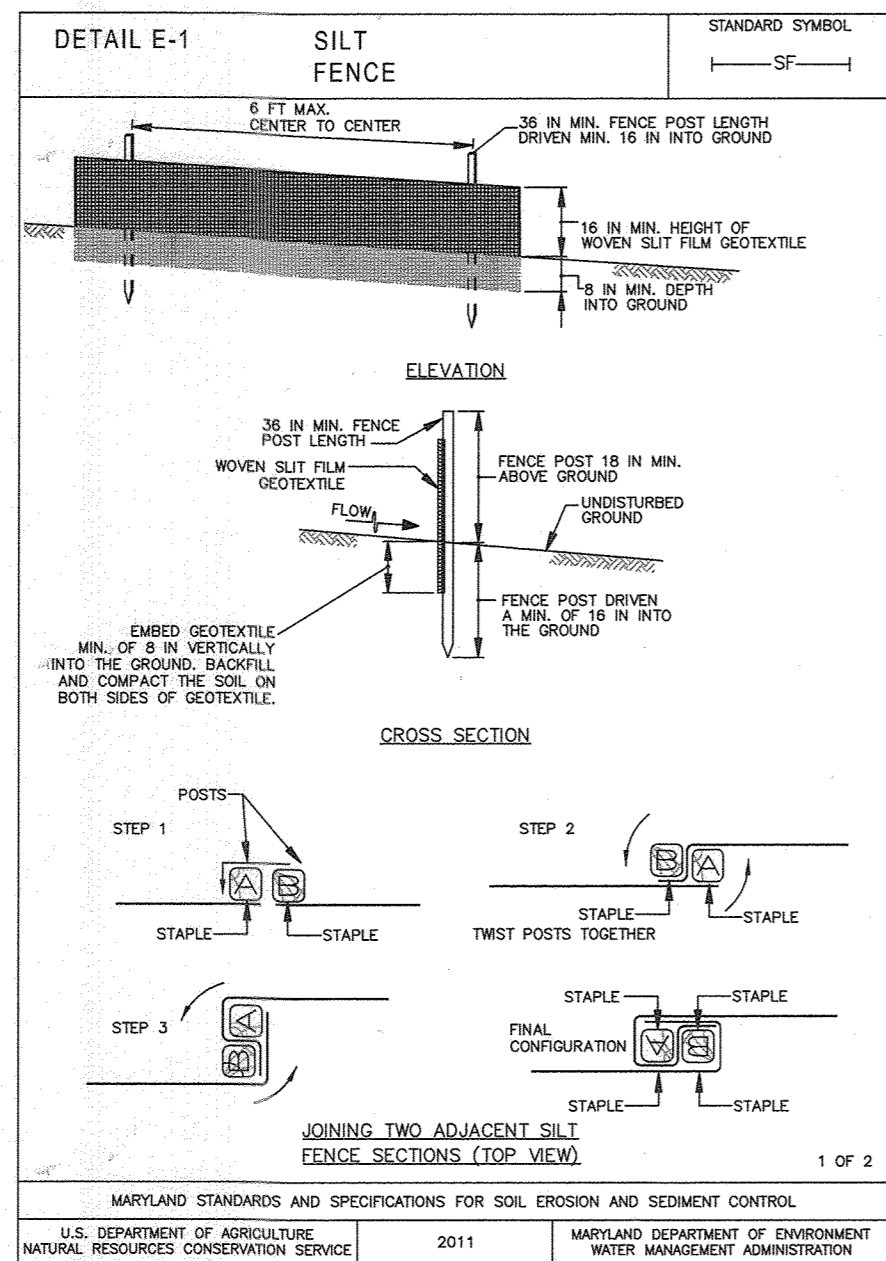
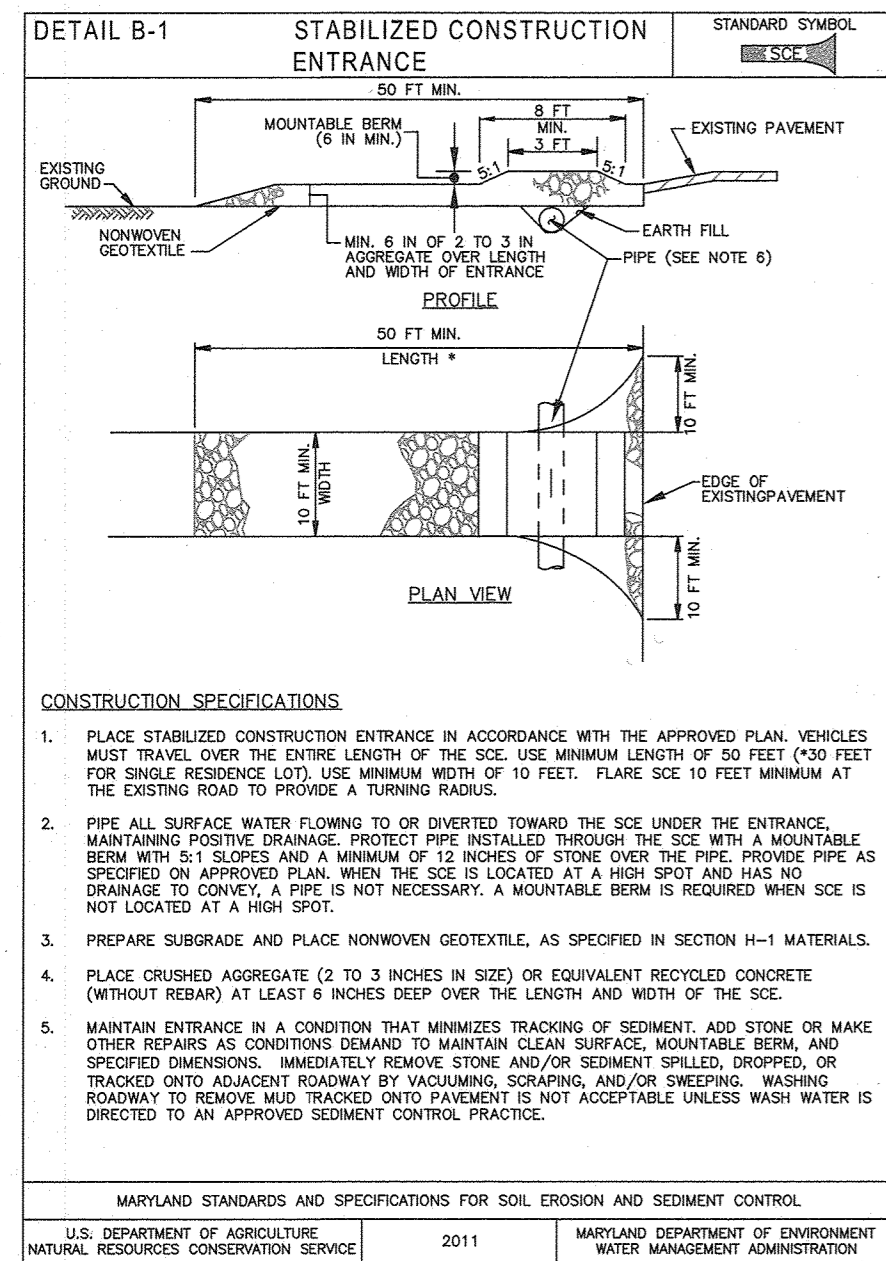
**BENCHMARK ENGINEERING, INC.**  
8490 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-8844  
WWW.BE-ENGINEERING.COM

**WELLINGTON FARMS**  
Phase 1 Section 1  
Lots 1 thru 45; Open Space Lots 46 thru 53;  
Non-Buildable Bulk Parcels A and B  
(A Resubdivision of Parcels 'C' and 'D'  
previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
ZONED: R-20-MXD-3 / R-SC-MXD-3  
ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**SEDIMENT AND EROSION CONTROL DETAILS**

DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
DESIGN: DBT DRAFT: DBT SCALE: N/A SHEET 44 OF 47



**ENGINEER'S CERTIFICATE**

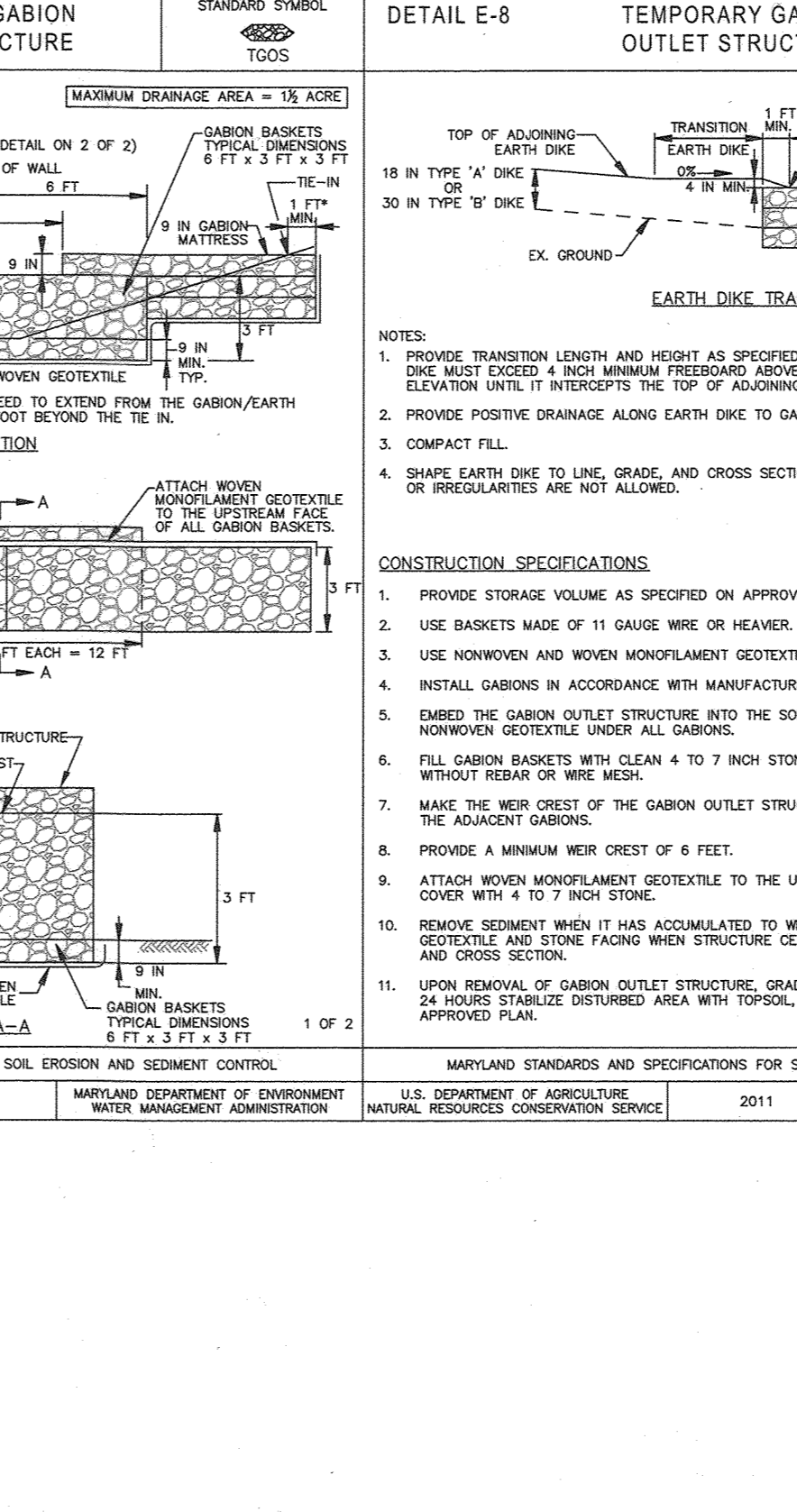
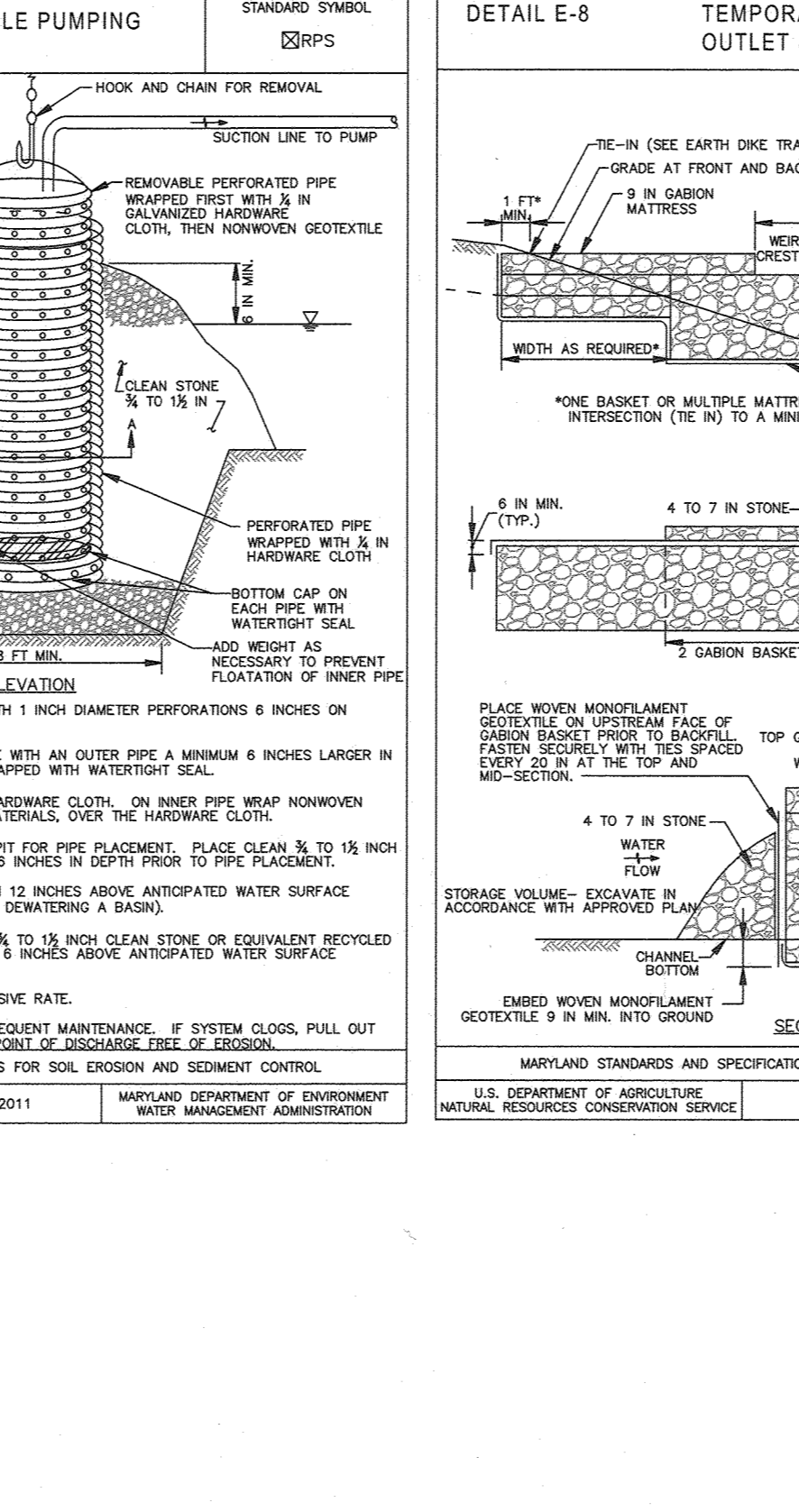
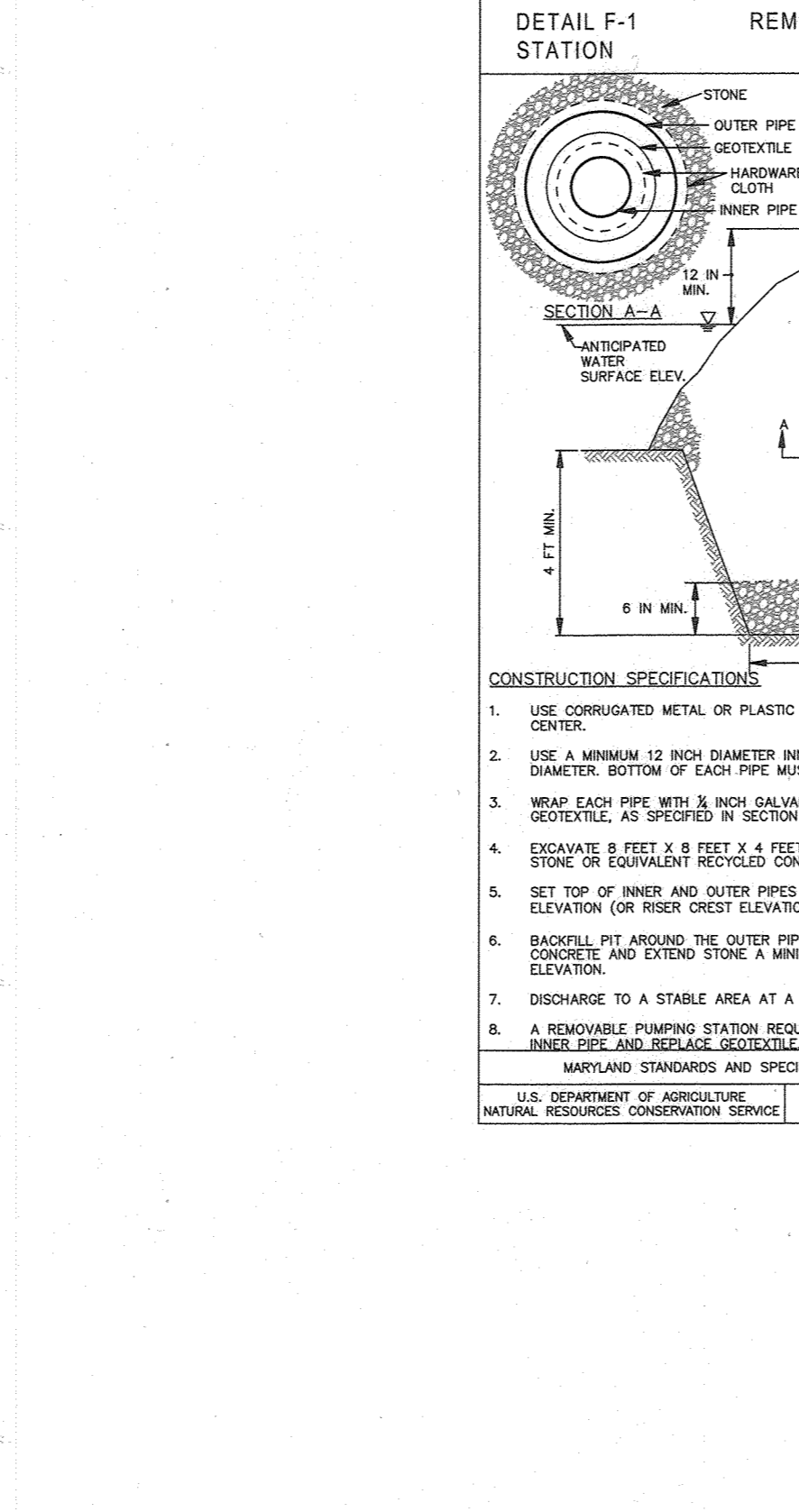
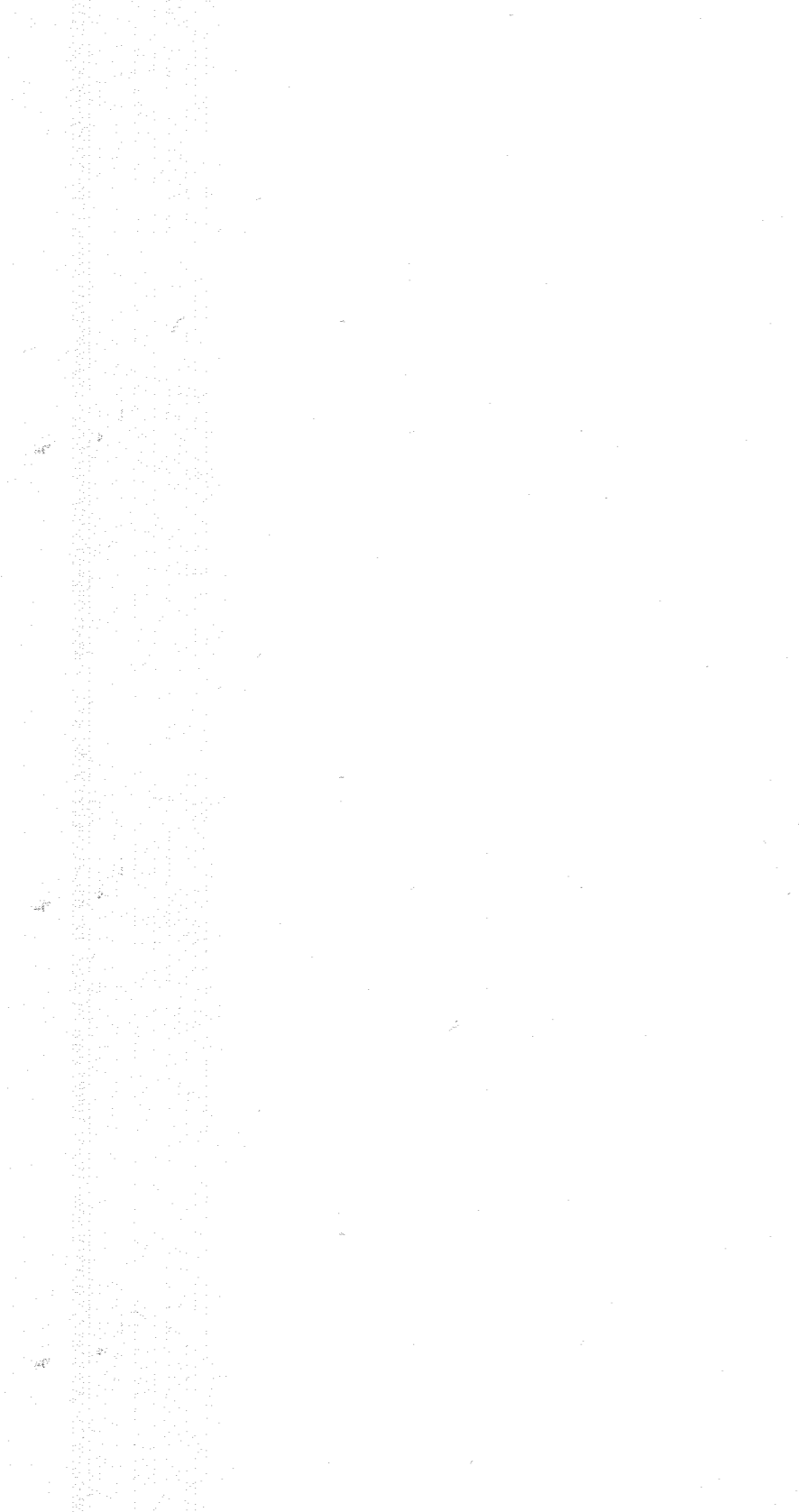
I, **Cl M. Morgan**, Engineer, certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the HOWARD SOIL CONSERVATION DISTRICT.

**DEVELOPER'S CERTIFICATE**

I, **J. V. M. Jr.**, Developer, certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a certificate of attendance at a Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the HOWARD SOIL CONSERVATION DISTRICT.

**APPROVED: DEPARTMENT OF PUBLIC WORKS**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**



**Professional Certification**

I, **Cl M. Morgan**, Professional Engineer, certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

**AS-BUILT** 12-15-23

**BENCHMARK ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE & SUITE 315, ELLOTT CITY, MARYLAND 21043  
 (410) 465-6105 (F) 410-465-8844  
 WWW.BEI-CIVILENGINEERING.COM

**WELLINGTON FARMS**

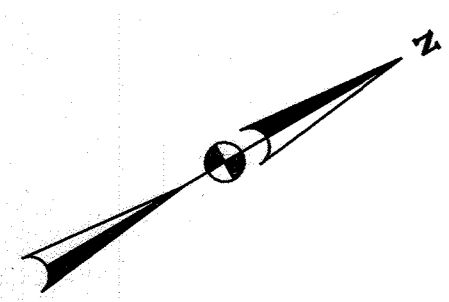
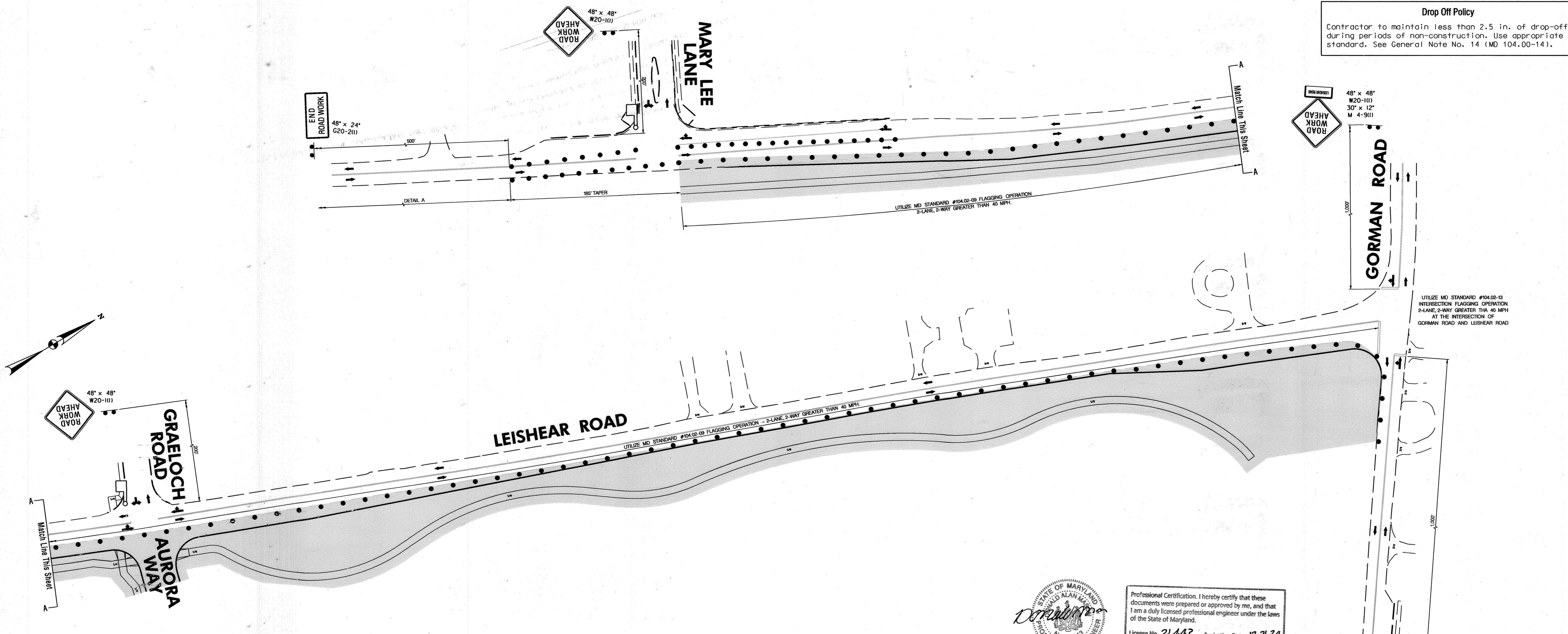
Phase I Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Non-Buildable Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONE: R-20-MAX-3 / P-C-MAX-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**SEDIMENT AND EROSION CONTROL DETAILS**

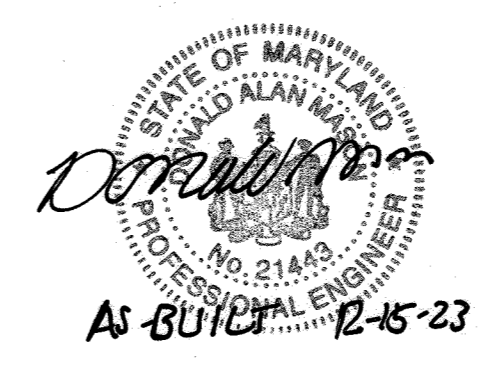
DATE: JUNE 4, 2021 BEI PROJECT NO. 2879  
 SCALE: N/A SHEET 45 OF 47

**Drop Off Policy**  
 Contractor to maintain less than 2.5 in. of drop-off during periods of non-construction. Use appropriate standard. See General Note No. 14 (MD 104.00-14).



**NOTE:**  
 The following standards are required for this project:  
 MD 104.02-01 Shoulder Work/2-Lane, 2-Way Greater than 40 MPH  
 MD 104.02-09 Flagging Operation /2-Lane, 2-Way Greater than 40 MPH  
 MD 104.02-13 Intersection Flagging Operation /2-Lane, 2-Way Greater than 40 MPH

For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:  
<http://apps.roads.maryland.gov/businesswithsharbizstdspecs/desmanualstdpub/publicationonline/bhd/bookstd/index.asp>  
 All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443, Expiration Date: 12-21-24

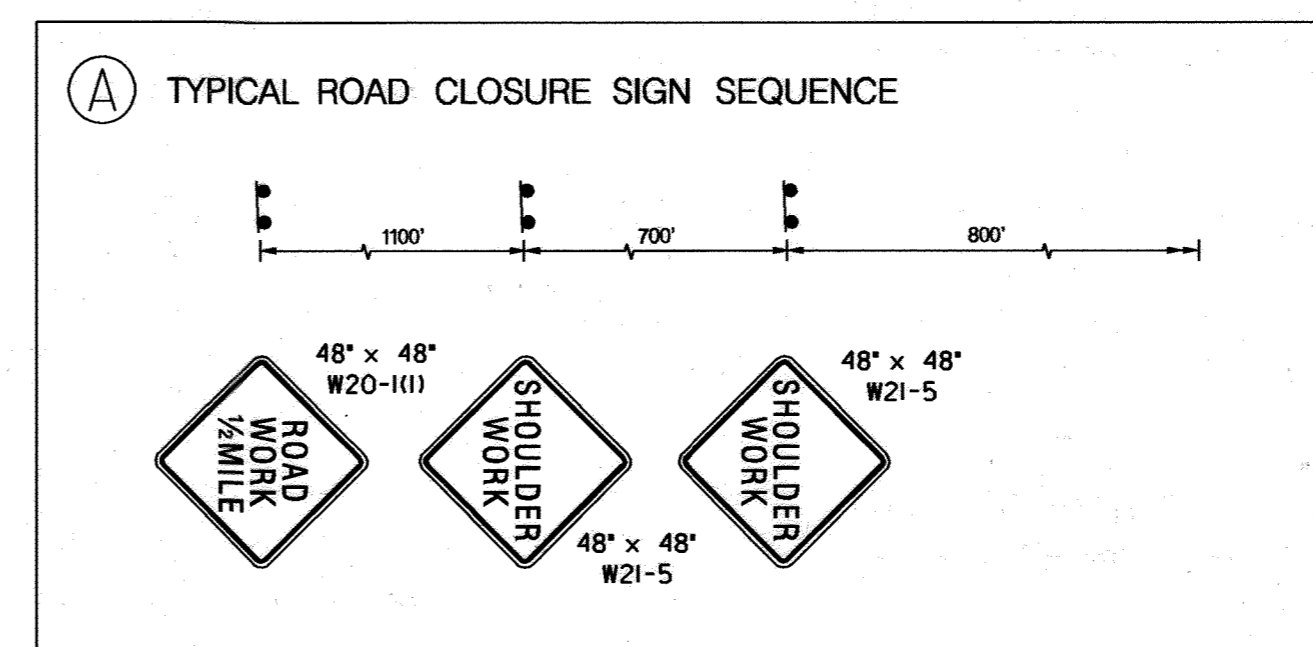
"NO AS-BUILT INFORMATION IS" PROVIDED ON THIS SHEET

**KEY**

- Area of Construction
- Direction of Traffic
- Channelizing Device (Drum)
- Temporary Construction Sign
- Flagger
- Existing Geometrics
- Proposed Geometrics

- SEQUENCE OF OPERATION PHASE 1**
1. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (DESIGN SPEED IS 45 MPH FOR LEISHEAR ROAD; AND 40 MPH FOR GORMAN ROAD. TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
  2. INSTALL CONSTRUCTION ENTRANCE.
  3. CONSTRUCT ROADWAY IMPROVEMENTS AS PER ROADWAY PLANS.

- MOT GENERAL NOTES**
1. CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL. PLANS DETAIL TRAFFIC CONTROL FOR PEAK-HOUR HOUR MOVEMENTS EXCEPT WHERE NOTED. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
  2. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.
  3. CONTRACTOR SHALL RESTORE CONSTRUCTION AREA BACK TO EXISTING GRADE AT THE END OF THE WORK DAY.
  4. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.
  5. CONTRACTOR TO INSTALL BASE COURSE ASPHALT SURFACE ONLY DURING ALL MOT CONSTRUCTION PHASES. FINAL PAVING SHALL BE INSTALLED UPON COMPLETION OF THE MILLING OPERATION.
  6. ADVANCE WARNING DEVICES, TAPERS AND TRANSITIONS SET PER DESIGN SPEED: 45 FOR LEISHEAR ROAD AND 40 FOR GORMAN ROAD.



**MOT PHASE 1**

NO.	DATE	REVISION

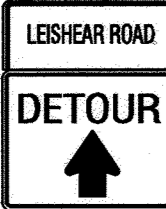





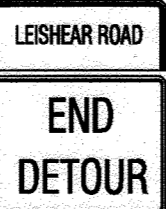









  

 <b>The Traffic Group, Inc.</b> Suite H 9900 Franklin Square Drive Baltimore, Maryland 21236 410-931-6600 1-800-583-8411 Fax 410-931-6601 "Merging Innovation and Excellence"®	<b>PROFESSIONAL CERTIFICATION -</b> I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 31757 EXPIRATION DATE: 6-28-2023
	<b>WELLINGTON FARMS</b> Phase 1 Section 1 Lots 1 thru 45; Open Space Lots 46 thru 53; Bulk Parcels A and B (A Resubdivision of Parcels 'C' and 'D' previously recorded as Plat No. 20136-20137)  TAX MAP: 46 - GRID: 6 - PARCEL: 163 ZONED: R-20-MD-3 / R-SC-MD-3 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND  <b>MOT DETOUR PLAN</b>
<b>OWNER:</b> ESC Wellington, LC 5074 Dorsey Hall Drive, Suite 205 Ellicott City, Maryland Suite 402 410-726-3821	<b>DEVELOPER:</b> ESC Wellington, LC 5074 Dorsey Hall Drive, Suite 205 Ellicott City, Maryland Suite 402 410-726-3821
DATE: MAY, 2021 SCALE: n/a	BEI PROJECT NO. 2879 SHEET 46 OF 47

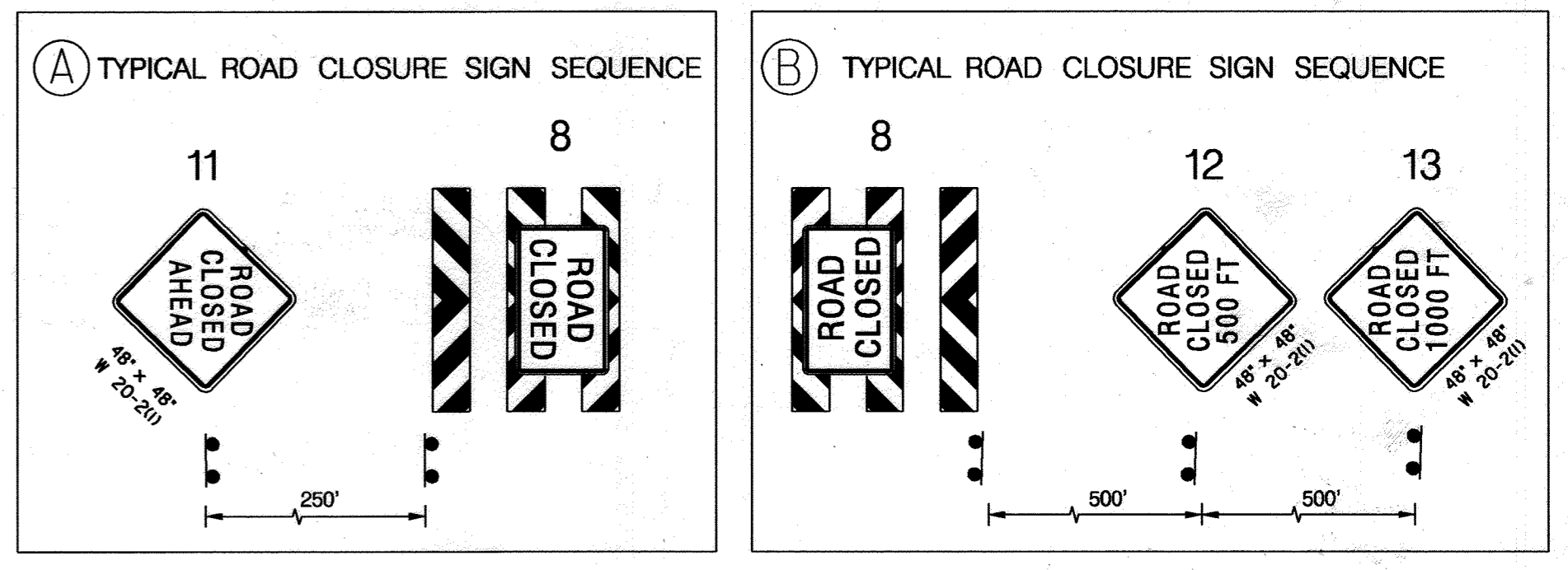
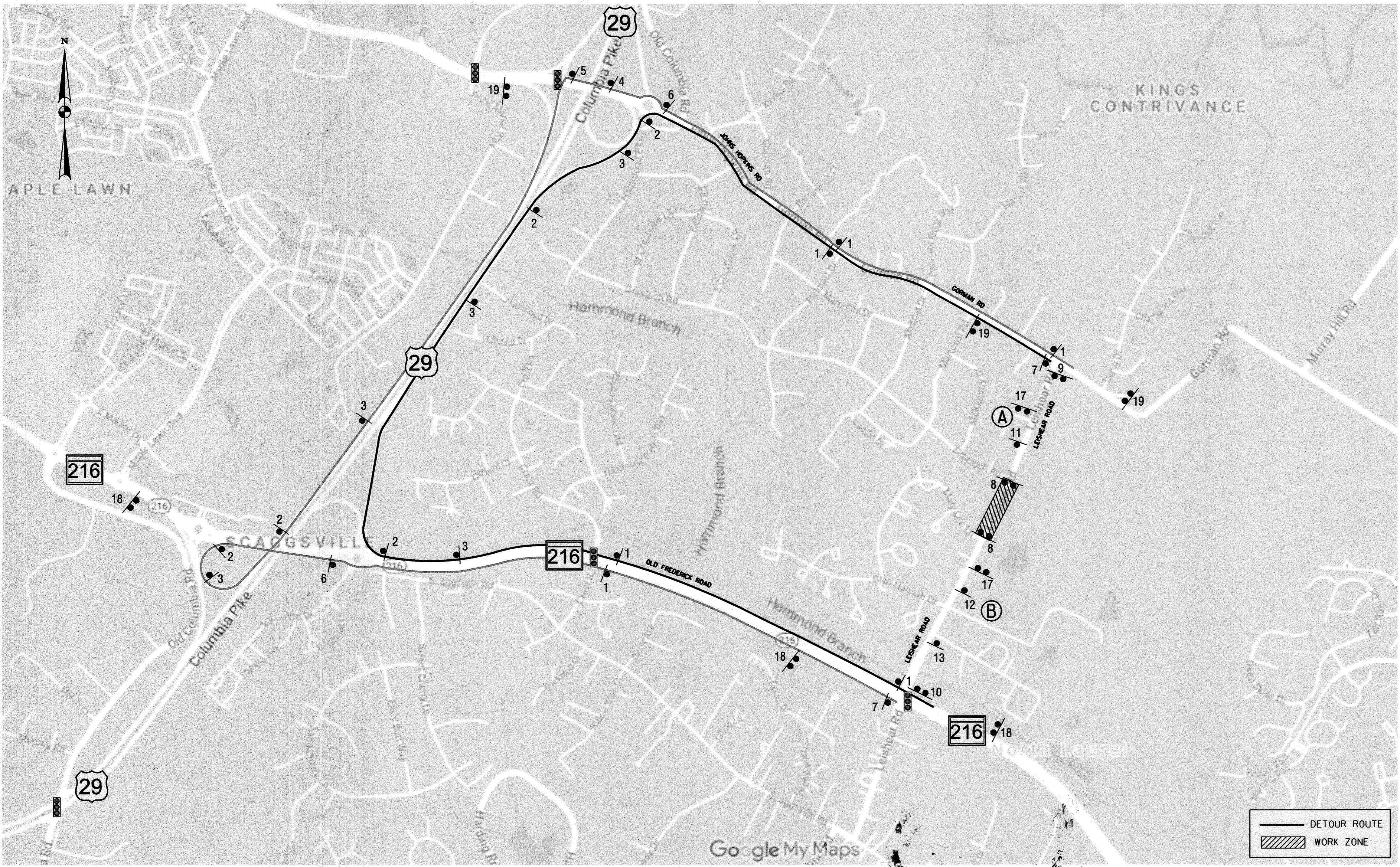
APPROVED: DEPARTMENT OF PUBLIC WORKS  
  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 07/02/2021

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 7/11/21

APPROVED: DEPARTMENT OF PUBLIC WORKS  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 7-12-21

- 1**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 2**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 3**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 4**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 5**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 6**  
  
 LEISHEAR ROAD  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 7**  
  
 LEISHEAR ROAD  
 END  
 DETOUR  
 30" x 12"  
 M 4-9(1)  
 B/W  
 30" x 24"  
 M 4-9  
 Black on Orange
- 8**  
  
 ROAD  
 CLOSED  
 R11-2  
 48" x 30"  
 Mounted on  
 Type III Barricade  
 60" x 12"  
 12 SIGNS - IN EACH DIRECTION
- 9**  
  
 ROAD CLOSED  
 1000 FT AHEAD  
 LOCAL TRAFFIC ONLY  
 60" x 30"  
 R 11-3A  
 BK/W  
 48" x 18"  
 M4-10(L)  
 Black on Orange  
 Mounted on  
 Type III Barricade  
 60" x 12"
- 10**  
  
 ROAD CLOSED  
 500 FT AHEAD  
 LOCAL TRAFFIC ONLY  
 60" x 30"  
 R 11-3A  
 BK/W  
 48" x 18"  
 M4-10(R)  
 Black on Orange  
 Mounted on  
 Type III Barricade  
 60" x 12"
- 11**  
  
 ROAD  
 CLOSED  
 AHEAD  
 48" x 48"  
 W 20-3(1)  
 Black on Orange
- 12**  
  
 ROAD  
 CLOSED  
 500 FT  
 48" x 48"  
 W 20-3(1)  
 Black on Orange
- 13**  
  
 ROAD  
 CLOSED  
 1000 FT  
 48" x 48"  
 W 20-3(1)  
 Black on Orange
- 14**  
  
 DETOUR  
 500 FT  
 48" x 48"  
 W 20-2(1)  
 Black on Orange
- 15**  
  
 DETOUR  
 1000 FT  
 48" x 48"  
 W 20-2(1)  
 Black on Orange
- 16**  
  
 DETOUR  
 1500 FT  
 48" x 48"  
 W 20-2(1)  
 Black on Orange

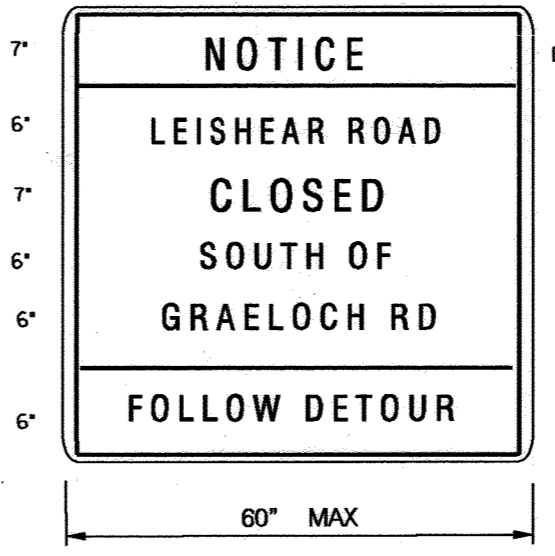
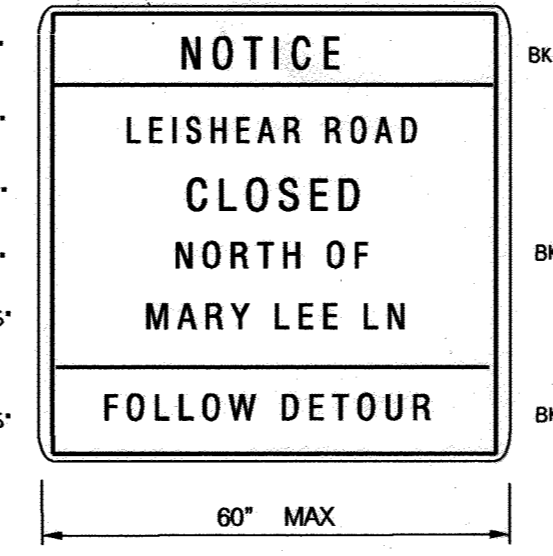
**Drop Off Policy**  
 Contractor to maintain less than 2.5 in. of drop-off during periods of non-construction. Use appropriate standard. See General Note No. 14 (MD 104.00-14).



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 07/02/2021  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: DEPARTMENT OF TRANSPORTATION  
*[Signature]* 7.17.21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

**GENERAL NOTES:**  
 1. NO WORK TO BEGIN UNTIL ALL ADVANCED ROADWAY WARNING SIGNS ARE IN PLACE AND OPERATIONAL.  
 2. ACCESS TO PRIVATE DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.  
 3. ALL SIGN LOCATIONS SHALL BE MARKED AND/OR APPROVED BY HOWARD COUNTY TRAFFIC (410-313-2430) PRIOR TO INSTALLATION OF SIGNS.  
 4. THE ADVANCE NOTICE VARIABLE MESSAGE SIGNS (VMS) SHALL BE IN PLACE A MINIMUM OF FOURTEEN (14) DAYS PRIOR TO THE DETOUR PLAN BEGIN OPERATIONS. HOWARD COUNTY TRAFFIC SHALL DETERMINE THE MESSAGE ON ALL VMS BOARDS.  
 5. ALL TEMPORARY TRAFFIC CONTROL AND DETOUR SIGNS SHALL BE FULL COVERED WITH A NONTRANSPARENT MATERIAL WHEN DETOUR IS NOT IN USE TO TRAFFIC AS APPROVED BY THE ENGINEER.

**NOTE:**  
 ROAD CLOSURE/DETOUR IS NECESSARY FOR THE OVER-VERTICAL CROWN RECONSTRUCTION OF THE EXISTING ROADWAY DETOUR WILL BE NECESSARY FOR APPROXIMATELY TWO CONSECUTIVE WEEKEND PERIODS. BEGINNING 7:00 PM FRIDAY - 5:00 AM MONDAY.




SIGN MUST BE INSTALLED 2 WEEKS PRIOR TO CLOSURE. THEN REMOVED UPON THE START OF THE CLOSURE.  
 \* TRAFFIC DIVISION WILL SUPPLY PHONE \*  
 \*\* SIGNS TO BE INSTALLED COVERED UNTIL THE DAY OF THE ACTUAL CLOSURE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 21443 Expiration Date: 12-21-24  
 AS-BUILT 12/15/23

"NO AS-BUILT INFORMATION IS PROVIDED ON THIS SHEET"

MOT DETOUR PHASE **PRELIMINARY REVIEW**

NO.	DATE	REVISION



**The Traffic Group, Inc.**  
 Suite H  
 9900 Franklin Square Drive  
 Baltimore, Maryland 21236  
 410-931-8600  
 1-800-583-8411  
 Fax 410-931-8601  
 "Merging Innovation and Excellence"

PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 31757  
 EXPIRATION DATE: 6-28-2023

OWNER:  
 ESC Wellington, LC  
 5074 Dorsey Hall Drive, Suite 205  
 Ellicott City, Maryland Suite 402  
 410-720-3021

**WELLINGTON FARMS**  
 Phase 1 Section 1  
 Lots 1 thru 45; Open Space Lots 46 thru 53;  
 Bulk Parcels A and B  
 (A Resubdivision of Parcels 'C' and 'D'  
 previously recorded as Plat No. 20136-20137)

DEVELOPER:  
 ESC Wellington, LC  
 5074 Dorsey Hall Drive, Suite 205  
 Ellicott City, Maryland Suite 402  
 410-720-3021

TAX MAP: 46 - GRID: 6 - PARCEL: 163  
 ZONED: R-20-MOD-3 / R-SC-MOD-3  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**MOT DETOUR PLAN**

DESIGN:	JAD	DRAFT:	JAD	SCALE:	n/a	DATE:	MAY, 2021	BEI PROJECT NO.:	2879
								SHEET:	47 OF 47