

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-12 PER OCTOBER 2013 COMPREHENSIVE ZONING PLAN.
- DEED REFERENCE: 2016/3/71
- DEED REFERENCE: 20347 & 25348
- DEED REFERENCE: 20347 & 25348
- GROSS AREA OF TRACT: 1717.00 SQ. FT. 0.3253 AC.
- AREA OF 100 YEAR FLOODPLAIN: 0.0 AC.
- NET AREA OF TRACT: 0.3253 AC.
- AREA OF PROPOSED PUBLIC ROADS: 0.0 AC.
- BUILDABLE LOTS: 0.3253 AC.
- BUILDABLE PRESERVATION PARCELS: 0.0 AC.
- NON-BUILDABLE PRESERVATION PARCELS: 0.00 AC.
- NON-BUILDABLE BULK PARCELS: 0.0 AC.
- AREA OF PROPOSED PUBLIC ROADS: 0.0 AC.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY SHANABERGER & LANE FEBRUARY-MAY 2007.
- THE EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN TOPOGRAPHY PERFORMED BY DDC, INC. IN JULY 2021 AND SUPPLEMENTED WITH SURROUNDING HOWARD COUNTY GIS.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NO'S 36BA & 36BC WERE USED FOR THIS PROJECT.
- A COMMUNITY MEETING WAS HELD ON JANUARY 23, 2017.
- WATER IS PUBLIC CONTRACT #24-4562-D
- SEWER IS PUBLIC CONTRACT #24-4562-D
- STORM WATER MANAGEMENT FOR THIS LOT WILL BE PROVIDED BY DRYWELLS, UNDERGROUND STORAGE AND A LEVEL SPREADER. THE UNDERGROUND FACILITY IS BEING USED TO TREAT THE 10 YEAR STORM. THESE ESD FEATURES WILL TREAT ALL IMPERVIOUS AREAS. THE ESD PRACTICES SATISFY THE ESD REQUIREMENTS AND THEREFORE NO ADDITIONAL STRUCTURAL SHM PRACTICES WILL BE REQUIRED.
- EXISTING UTILITIES SHOWN HEREON ARE BASED ON RECORD DRAWINGS. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THESE UTILITIES IN THE FIELD AT THE TIME OF CONSTRUCTION. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THERE IS NO FLOODPLAIN ON THE SITE.
- THERE ARE NO WETLANDS ON THE SITE OR STREAMS ON THIS SITE BASED ON A SITE INSPECTION BY EXPLORATION RESEARCH, INC. DATED 12/19/14.
- NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
- THERE ARE NO KNOWN CEMETERIES, BURIAL GROUNDS OR HISTORIC SITES ON THIS SITE.
- LANDSCAPING SURETY HAS BEEN PROVIDED PROVIDED UNDER F-08-121
- THE FOREST CONSERVATION OBLIGATION FOR THIS DEVELOPMENT WAS MET BY A PREVIOUS PAYMENT OF A FEE OF \$6,535.00 UNDER F-08-121
- BRI DENOTES THE BUILDING RESTRICTION LINE.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE PROVIDED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- IN ACCORDANCE WITH SECTION 120.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
WIDTH - 12' (4' SERVING MORE THAN ONE RESIDENCE)
SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR & CHIP COATING (1-1 1/2" MIN GEOMETRY - MAX 1% GRADE, MAX 1/8" CHANGING AND MIN 45' TURNING RADIUS)
STRUCTURE (SULVERTS / BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H2S LOADING)
DRAINAGE ELEMENTS SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1" DEPTH OVER DRIVEWAY SURFACE
- MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- THERE ARE SIX (6) NEW TREES PROPOSED ON THIS PLAN, TWO (2) 3" CALIPER SWEET GUMS AND FOUR (4) 2-1/2" SHADE TREES WHICH CANNOT BE REMOVED ONCE PLANTED.
- FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- PREVIOUS HOWARD COUNTY FILE NUMBERS: PLAT #23523-23525, F-86-25, F-90-193, F-08-121, WP-09-150, WP-10-046, WP-11-075, WP-12-095, WP-14-133, SDP-24-74, CONTRACT-24-1233-D, SDP-15-079, ECP-17-039, WP-15-051, WP-16-140, WP-17-065.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE MARS GROUP DATED JUNE 23, 2017 AND WAS APPROVED WITH F-17-105.
- THE SOILS SHOWN HEREON ARE TAKEN FROM WEB-SOIL SURVEY.
- A WAIVER TO DESIGN MANUAL VOLUME III, SECTION 2.6 & A TO ALLOW A SEVENTH LOT TO BE ADDED TO THE USE IN COMMON DRIVEWAY FOR THE MILL HAVEN SUBDIVISION WAS GRANTED ON OCTOBER 27, 2016.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THIS UTILITY AT 1-800-257-7711 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE
- FLAG PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY AND NOT ONTO THE PIPESTEM DRIVEWAY.

REVISED FINAL ROAD CONSTRUCTION PLAN

for
MILL HAVEN LOT 9

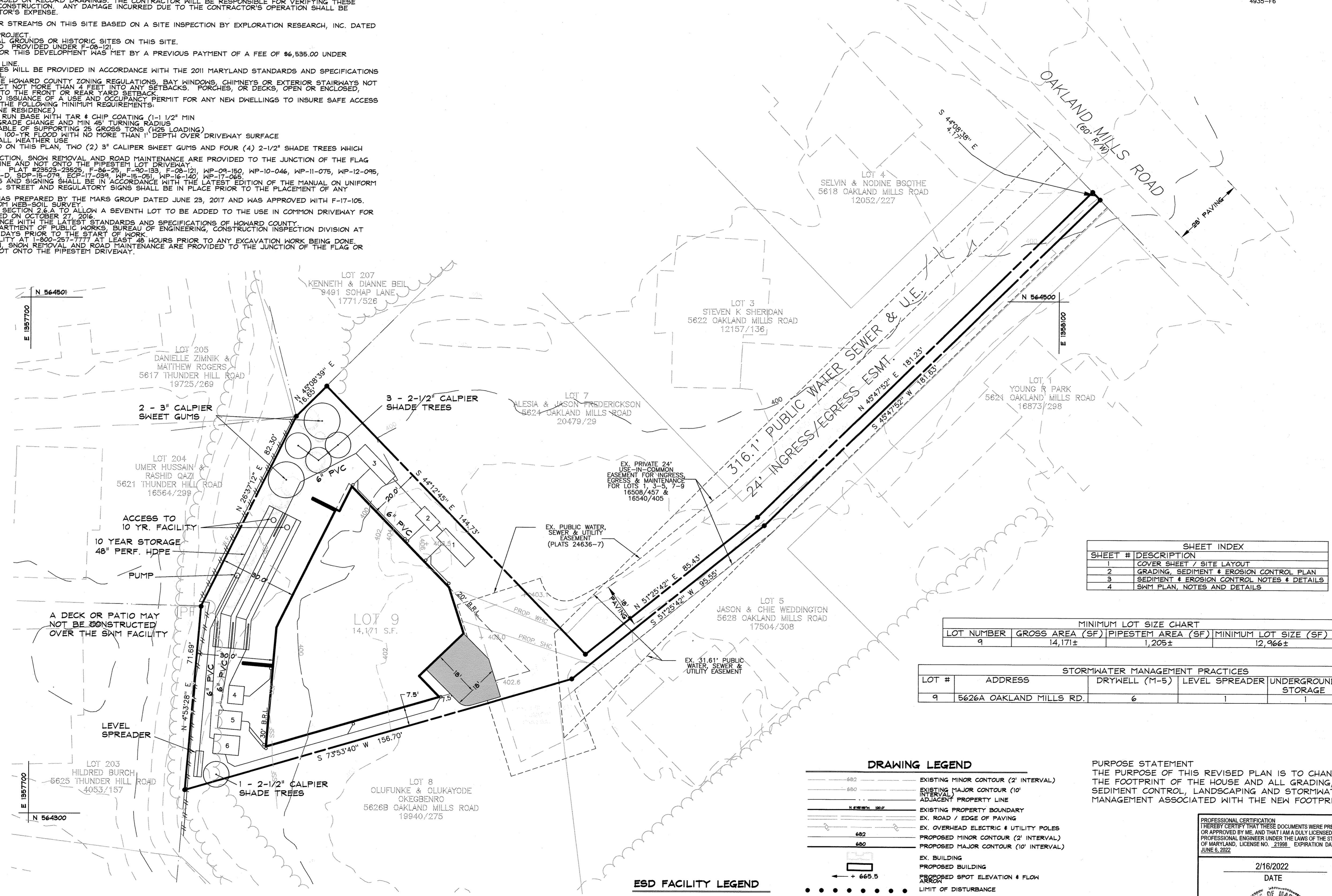
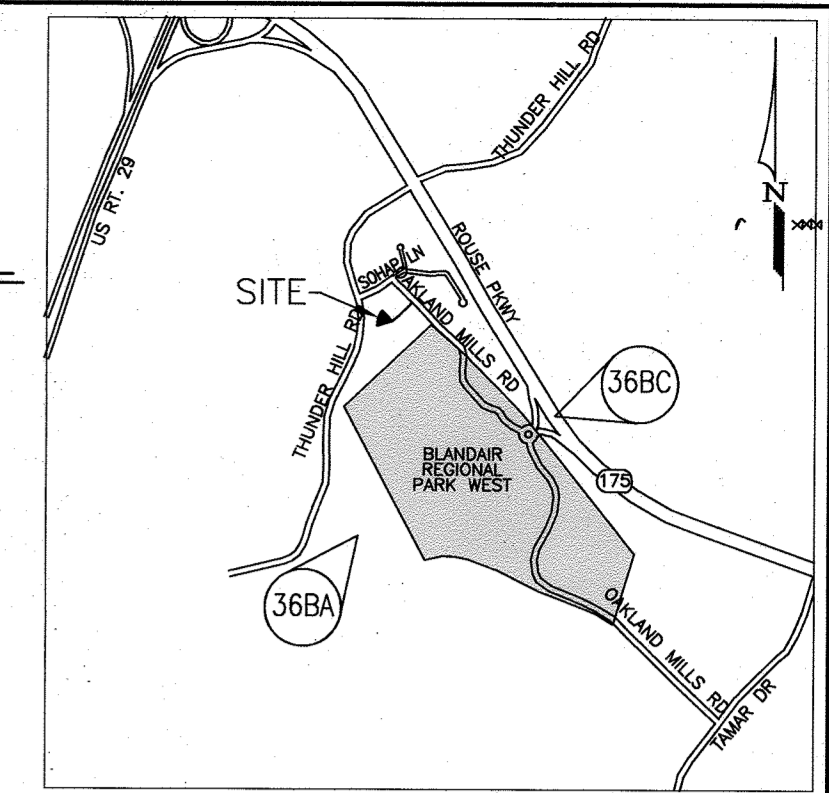
TAX MAP 36, GRID 4, PARCEL 2
6th ELECTION DISTRICT HOWARD COUNTY, MD

BENCHMARK

BENCHMARK 36BA
N. 562135.536
E. 1357571.674
B.M. STAMPED DISC
ELEV.N. 416.772

BENCHMARK 36BC
NORTHING: 563264.100
EASTING: 1359585.788
B.M. STAMPED DISC
ELEV. 416.772

ADC MAP MAP/GRID No:
4935-F6



SHEET INDEX

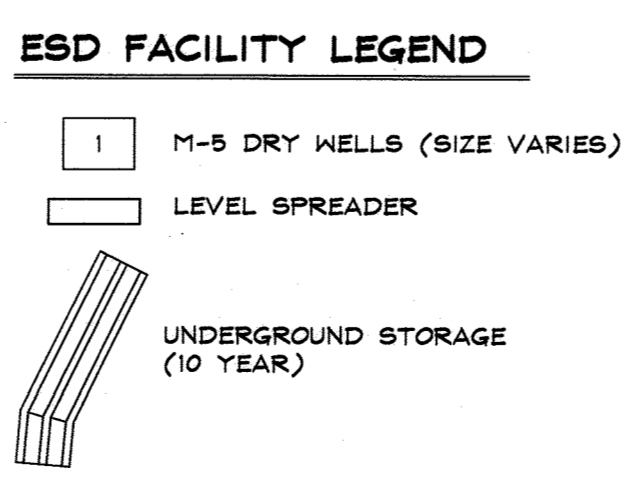
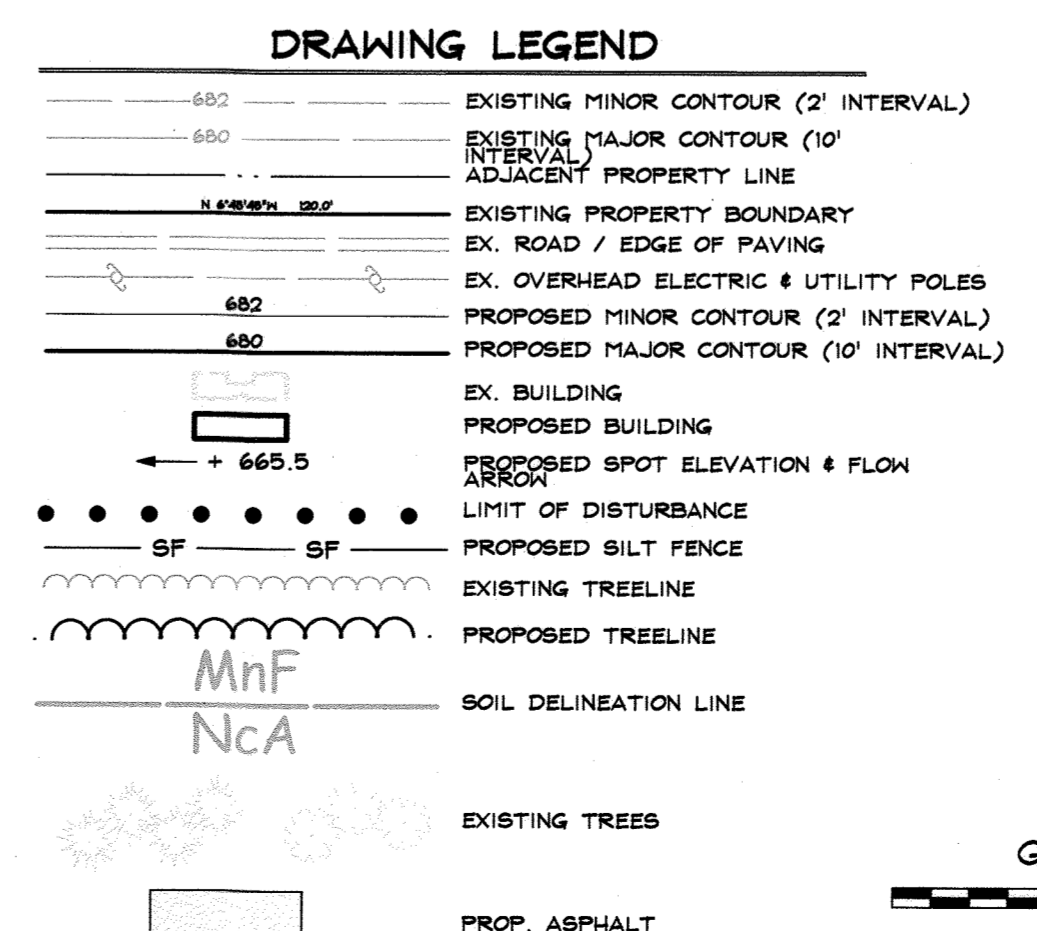
SHEET #	DESCRIPTION
1	COVER SHEET / SITE LAYOUT
2	GRADING, SEDIMENT & EROSION CONTROL PLAN
3	SEDIMENT & EROSION CONTROL NOTES & DETAILS
4	SMH PLAN, NOTES AND DETAILS

MINIMUM LOT SIZE CHART

LOT NUMBER	GROSS AREA (SF)	PIPESTEM AREA (SF)	MINIMUM LOT SIZE (SF)
9	14,171±	1,205±	12,966±

STORMWATER MANAGEMENT PRACTICES

LOT #	ADDRESS	DRYWELL (M-5)	LEVEL SPREADER	UNDERGROUND STORAGE
9	5626A OAKLAND MILLS RD.	6	1	1



PURPOSE STATEMENT
THE PURPOSE OF THIS REVISED PLAN IS TO CHANGE THE FOOTPRINT OF THE HOUSE AND ALL GRADING, SEDIMENT CONTROL, LANDSCAPING AND STORMWATER MANAGEMENT ASSOCIATED WITH THE NEW FOOTPRINT.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21998. EXPIRATION DATE: JUNE 5, 2022.

2/16/2022
DATE

W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Clark
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/10/22

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 4/11/22

SITE LAYOUT
SCALE: 1" = 20'



DATA SOURCES:
EXISTING BOUNDARY SHOWN PER BOUNDARY SURVEY BY EXACTA LAND SURVEYORS, LLC DATED 2/10/21.
TOPOGRAPHY SHOWN PER FIELD RUN TOPOGRAPHY PERFORMED BY DDC, INC. IN AUGUST 2021.

DDC Inc.
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

OWNER:
SHARON SALKIN CANNON
8394 LOOKINGGLASS LANE
COLUMBIA, MD 21045
402-870-7439

DEVELOPER:
SAME

SITE ADDRESS:
5626A OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21045

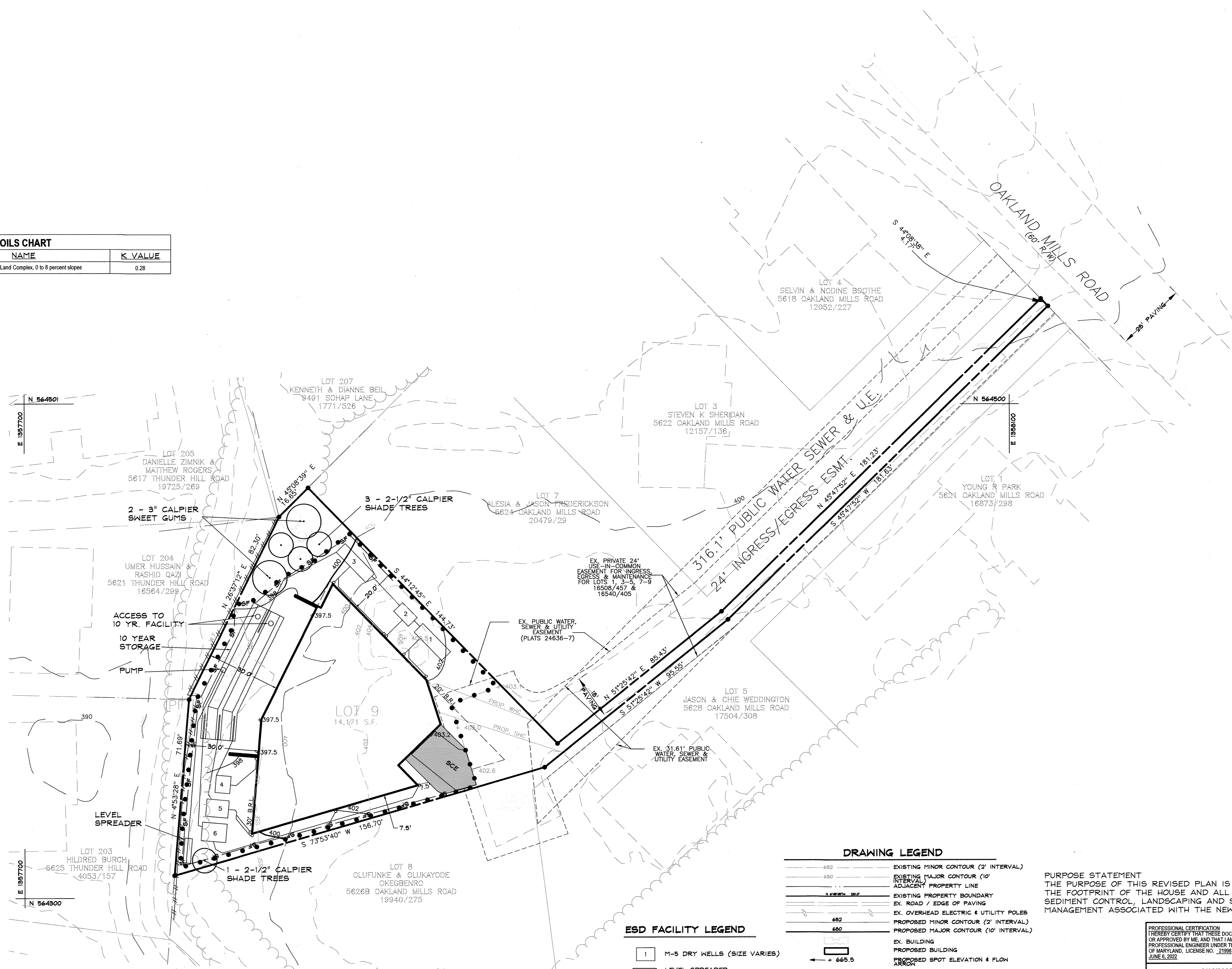
MILL HAVEN
LOT 9
REVISED FINAL ROAD CONSTRUCTION PLAN
COVER SHEET
SITE LAYOUT PLAN

6th Election District Howard County, Maryland

REVISIONS

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #:	F-17-105, ECP-17-039	DES. BY:	RM	
TAX ACC. #:	06-600824	DRN. BY:	RML/JC	
TAX MAP:	36	CHK. BY:	WRD	
BLOCK / GRID:	4	DATE:	2/16/2022	
PARCEL #:	2	DDC JOB#:	21021.1	
ZONE / USE:	R-12	SHEET NUMBER:		
DWG. SCALE:	1" = 20'		1 of 4	

SOILS CHART			
HSG	CODE	NAME	K VALUE
B	GhB	Glenn-Urban Land Complex, 0 to 8 percent slopes	0.28



DATA SOURCES:
 EXISTING BOUNDARY SHOWN PER BOUNDARY SURVEY BY EXACTA LAND SURVEYORS, LLC DATED 2/10/21. TOPOGRAPHY SHOWN PER FIELD RUN TOPOGRAPHY PERFORMED BY DDC, INC. IN AUGUST 2021.

DDC inc.
 Development Design Consultants

Planners
 Surveyors
 Engineers
 Landscape Architects

192 East Main Street
 Westminster, MD 21157
 410.386.0560
 410.386.0564 (Fax)
 DDC@DDCinc.us
 www.DDCinc.us

OWNER: SHARON SALKIN CANNON
 6394 LOCKINGLASS LANE
 COLUMBIA, MD 21045
 402-670-7439

DEVELOPER: SAME

SITE ADDRESS:
 5626A OAKLAND MILLS ROAD
 COLUMBIA, MARYLAND 21045

MILL HAVEN LOT 9
REVISED FINAL ROAD CONSTRUCTION PLAN
GRADING, SEDIMENT & EROSION CONTROL PLAN
 6th Election District Howard County, Maryland

REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN.	REV. DATE

DRAWING LEGEND

- EXISTING MINOR CONTOUR (2' INTERVAL)
- EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- EXISTING PROPERTY BOUNDARY
- EX. ROAD / EDGE OF PAVING
- EX. OVERHEAD ELECTRIC & UTILITY POLES
- PROPOSED MINOR CONTOUR (2' INTERVAL)
- PROPOSED MAJOR CONTOUR (10' INTERVAL)
- EX. BUILDING
- PROPOSED BUILDING
- PROPOSED SPOT ELEVATION & FLOW ARROW
- LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- EXISTING TREELINE
- PROPOSED TREELINE
- SOIL DELINEATION LINE
- EXISTING TREES
- PROP. ASPHALT
- STABILIZED CONSTRUCTION ENTRANCE

ESD FACILITY LEGEND

- M-5 DRY WELLS (SIZE VARIES)
- LEVEL SPREADER
- UNDERGROUND STORAGE (10 YEAR)

PURPOSE STATEMENT
 THE PURPOSE OF THIS REVISED PLAN IS TO CHANGE THE FOOTPRINT OF THE HOUSE AND ALL GRADING, SEDIMENT CONTROL, LANDSCAPING AND STORMWATER MANAGEMENT ASSOCIATED WITH THE NEW FOOTPRINT.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21988, EXPIRATION DATE: JUNE 8, 2022.

2/16/2022
 DATE

STATE OF MARYLAND
 PROFESSIONAL ENGINEER

W. RICHARD DEMARIO
 PROFESSIONAL ENGINEER NO. 21988



PLAN SCALE: 1" = 20'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development

4.19.22
 DATE

4/21/22
 DATE

BY THE DEVELOPER:
 I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: Sharon Cannon
 DATE: 2/16/2022

ENGINEER
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: W. Richard Demario
 DATE: 2/17/22

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT: Alexander Bitchi
 DATE: 04/14/22

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition - The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose - To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies - Where vegetative stabilization is to be established.

- Criteria
A. Soil Preparation
1. Temporary Stabilization
a. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment...
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more...
B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation...
2. Topsoil shall be placed on an existing site may be used provided it meets the standards as set forth in these specifications...
C. Soil Amendments and Lime Specifications
1. Soil tests must be performed to determine the exact ratios and application rates for lime and/or fertilizer...

B. Mulching

- 1. Mulch materials (in order of preference)
a. Straw
b. Clean wood chips
c. Clean sawdust
d. Clean wood shavings
e. Clean wood chips
f. Clean wood shavings
g. Clean wood chips
h. Clean wood shavings
2. Application
a. Apply mulch to all seeded areas immediately after seeding...
3. Anchoring
a. Form mulch anchoring immediately following application of mulch to minimize loss by wind or water...
b. Wood cellulose fiber may be used for anchoring straw...
c. Synthetic binders such as Acrylic DLR (Agra-Tack), DCA-70, Petroseal, Terra-Tax II, Terra-Tack AR or other approved equal may be used...

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

Definition - To stabilize disturbed soils with vegetation for up to 6 months.

Purpose - To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies - Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

- Criteria
1. Select one or more of the species or seed mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone...
2. For sites having soil tests performed, use and show the testing agency's test results and recommendations...
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Definition - To stabilize disturbed soils with permanent vegetation.

Purpose - To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies - Exposed soils where ground cover is needed for 6 months or more.

- Criteria
A. Seed Mixtures
1. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone...
2. Turfgrass
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites...
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose...
c. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management...
d. Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary...
e. Kentucky Bluegrass/Perennial Ryegrass: Partial Sun Mixture: For use in areas with shade...
f. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade...
3. Turfgrass Mixture
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites...
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose...
c. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management...
d. Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary...
e. Kentucky Bluegrass/Perennial Ryegrass: Partial Sun Mixture: For use in areas with shade...
f. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade...
4. Sod
a. Sod must be harvested, delivered, and installed within a period of 36 hours...
b. Sod must be machine cut at a uniform soil thickness of 3/4 inch, plus or minus 1/8 inch...
c. Standard size sections of sod must be strong enough to support their own weight and retain their shape when suspended in a firm grade on the upper 10 percent of the section...
d. Sod must not be harvested or transported when moisture content (excessively dry or wet) may adversely affect its survival...
e. Sod must be harvested, delivered, and installed within a period of 36 hours...
f. Sod not transported within 36 hours must be approved by an agronomist or soil scientist prior to its installation.

- 2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod...
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other...
c. Whenever possible, lay sod with the long edges parallel to the contour and with staggering joints...
d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet...
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches...
b. After the first week, sod watering is required as necessary to maintain adequate moisture content...
c. Do not mow until the sod is firmly rooted. No more than 1/4 of the grass leaf must be removed by the initial cutting or subsequent cuttings...
d. Maintain a grass height of at least 3 inches unless otherwise specified.

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into the loosened layer of soil. See Section B-4-2.

For sites over 5 ac, soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized laboratory. Minimum test conditions shall meet the requirements in section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soils tests.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates: N = 45 lb. per acre (1 lb. per 1000 sq.ft.), P2O5 = 90 lb. per acre (2 lb. per 1000 sq.ft.), K2O = 90 lb. per acre (2 lb. per 1000 sq.ft.) Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq.ft.)

Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B-3.

Permanent Seeding Summary

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for Annual Ryegrass and Ryegrass/Millet.

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 6 months) vegetation to temporarily stabilize any area where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into the loosened layer of soil. See Section B-4-2.

For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 45 lb. per acre (1 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq. ft.) and shall meet the requirements in section B-4-2 and B-4-4.

Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B.1. (page B.20).

Temporary Seeding Summary

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for Tall Fescue 95% and Kentucky Bluegrass 95%.

Sequence of Construction

- 1. Obtain a Grading Permit. (1 day)
2. Notify 'Miss Utility' at least 48 hours before beginning any work at 1-800-257-7777. Notify Howard County Department of Inspections, Licenses and Permits, Sediment Control Division at 410-319-1855 at least 24 hours before starting any work. (2 days)
3. Install SCE and silt fence at locations shown on plan.
4. Grade site and complete house construction.
5. With all disturbed areas stabilized, and with permission from the sediment control inspector, remove sediment control devices. (1 week)
6. Notify Howard County Office of Inspections and Permits for a final inspection of the completed site. (2 days)

SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-319-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
a. PRIOR TO THE START OF EARTH DISTURBANCE,
b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING,
c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER UNIT,
d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3), TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH 1/5' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, FLOW CHANNELS, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

SITE ANALYSIS:

Table with columns: TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, TOTAL CUT, TOTAL FILL, OFF-SITE WASTE/BORROW AREA LOCATION, OFF-SITE NUMBERS SHOWN ARE FOR REVIEWING AGENCIES ONLY CONTRACTOR TO VERIFY QUANTITIES.

7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

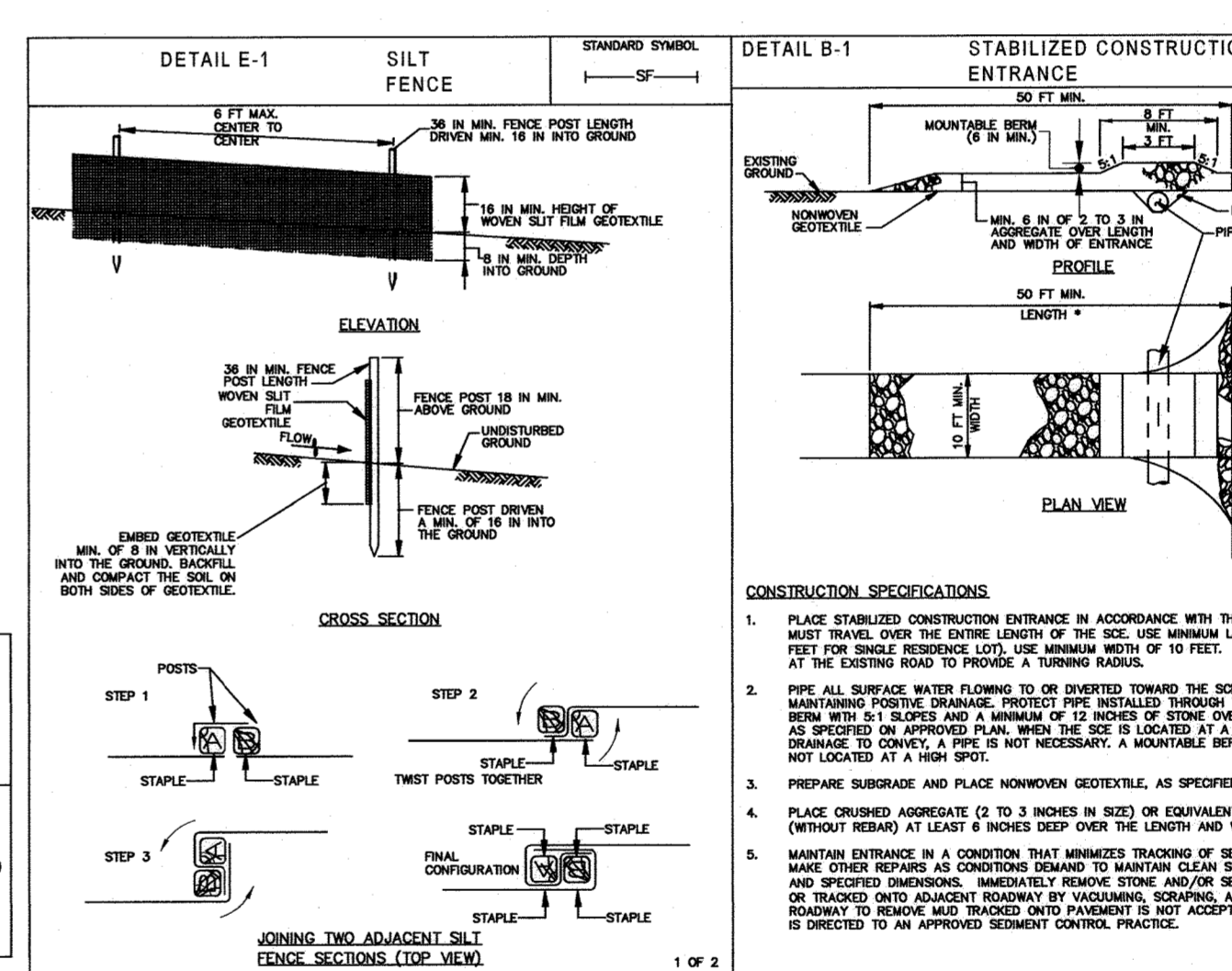


Table with columns: NO., DESCRIPTION OF CHANGES, DRN., REV., DATE. Includes rows for construction specifications and revisions.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21998, EXPIRATION DATE: JUNE 5, 2022.

PURPOSE STATEMENT: THE PURPOSE OF THIS REVISED PLAN IS TO CHANGE THE FOOTPRINT OF THE HOUSE AND ALL GRADING, SEDIMENT CONTROL, LANDSCAPING AND STORMWATER MANAGEMENT ASSOCIATED WITH THE NEW FOOTPRINT.

- 8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH INSPECTION, A WRITTEN REPORT BY THE CONTRACTOR MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
• INSPECTION DATE
• INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
• NAME AND TITLE OF INSPECTOR
• WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
• BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
• EVIDENCE OF SEDIMENT DISCHARGES
• IDENTIFICATION OF PLAN DEFICIENCIES
• IDENTIFICATION OF CONDITIONS THAT REQUIRE MAINTENANCE
• IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
• COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
• PHOTOGRAPHS
• MONITORING/SAMPLING
• MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
• OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).

- 9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THE LENGTH OF THE TRENCH, WHICHEVER IS SHORTER, AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO THE START OF ANY CONSTRUCTION. ANY REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MINIMUM ACREAGE OF ONE GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD. NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROPRIATE WASHOUT STRUCTURE.
13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON THE CONTOUR AND BE IRRIGATED AT 2' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.
15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
• USE I AND II MARCH
• USE III AND IIIP OCTOBER 1 - APRIL 30
• USE IV MARCH 1 - MAY 31
16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

EXISTING BOUNDARY SHOWN PER BOUNDARY SURVEY BY EXACTA LAND SURVEYORS, LLC DATED 2/10/21. TOPOGRAPHY SHOWN PER FIELD RUN TOPOGRAPHY PERFORMED BY DDC, INC. IN AUGUST 2021.

DDC Development Design Consultants logo and contact information: 192 East Main Street, Westminster, MD 21157, 410.386.0560, DDC@DDCinc.us, www.DDCinc.us

OWNER: SHARON SALKIN CANNON, 6344 LOOKINGGLASS LANE, COLUMBIA, MD 21046, 410-670-7439

DEVELOPER: SAME

SITE ADDRESS: 5628A OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045

REVISED FINAL ROAD CONSTRUCTION PLAN

GRADING, SEDIMENT & EROSION CONTROL PLAN

6th Election District, Howard County, Maryland

Table with columns: NO., DESCRIPTION OF CHANGES, DRN., REV., DATE. Includes rows for CO. FILE #, TAX ACC., TAX MAP, BLOCK/GRID, PARCEL #, ZONE/USE, DWG. SCALE, and sheet number 3 of 4.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineering Division and Chief Division of Land Development.

BY THE DEVELOPER: IWE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL... Includes signature and date for the developer.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL AND CONSERVATION DISTRICT. Includes signature and date for the district engineer.

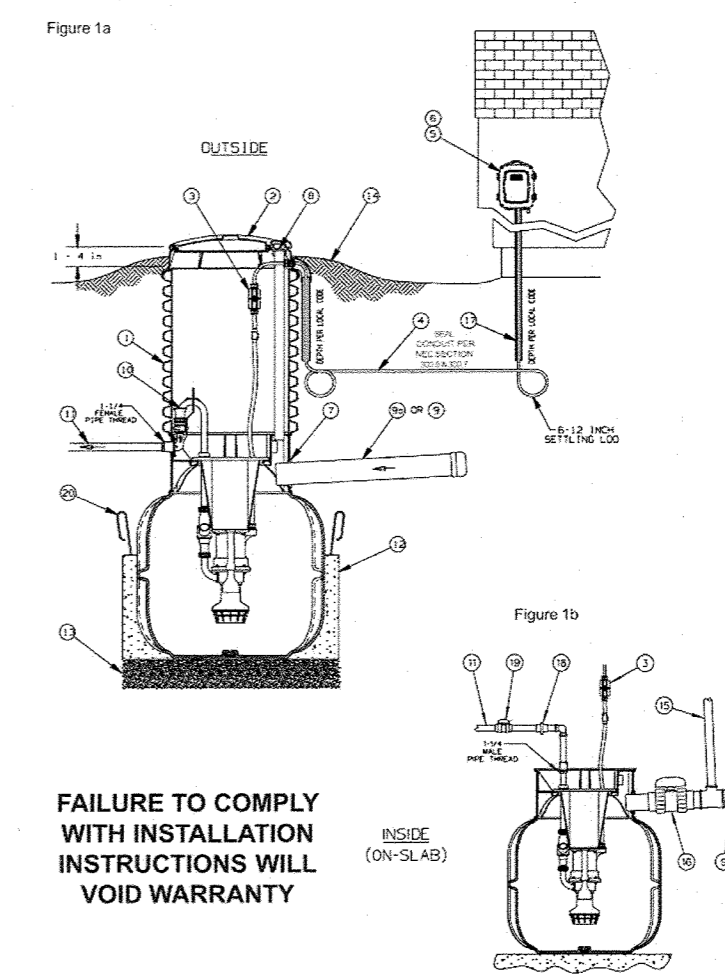
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21998, EXPIRATION DATE: JUNE 5, 2022. Includes signature and date for the professional engineer.

DESIGN NARRATIVE

1. THE PARCEL HAS BEEN INVESTIGATED AND NO WETLANDS OR FOREST RETENTION / REFORESTATION AREAS OF INTEREST WERE FOUND.
2. THE NATURAL FLOW PATTERNS ARE MAINTAINED.
3. THE SITE IS WITHIN A RESIDENTIAL AREA AND THE USE IN COMMON DRIVEWAY IS EXISTING STORM WATER MANAGEMENT FOR THE USE IN COMMON DRIVEWAY WAS PROVIDED BY SDP-17-105.
4. NONE OF THE FILTERING PRACTICES WILL BE INSTALLED PRIOR TO THE DRAINAGE AREA BEING STABILIZED.
5. THE HYDROLOGY HAS BEEN DEVELOPED BASED ON THE PROPOSED IMPROVEMENTS. THE ESD PRACTICES TO BE UTILIZED WILL BE DRYWELLS (7-9). THE FACILITIES HAVE BEEN SIZED TO TREAT 100% OF THE NEW IMPERVIOUS AREAS.
6. DRY WELLS (M-5) WILL BE CONNECTED TO THE PROPOSED HOUSE VIA 6 INCH ROOF DRAINS. THE DRY WELLS PROVIDE AN EFFICIENT OPTION FOR TREATING ROOF RUNOFF ONSITE. PRETREATMENT FOR THE DRY WELLS WILL BE PROVIDED BY A GUTTER DRAIN FILTER IN ORDER TO BLOCK SEDIMENT, LEAVES, OR OTHER DEBRIS FROM ENTERING THE SYSTEM.
7. THE DRYWELLS ARE CONNECTED TO THE UNDERGROUND STORAGE VIA 6" PVC, WHERE THE PIPES ENTER THE STONE FOR THE FACILITY THEY WILL EXTEND FOR 20 FT AND THOSE 20FT SHALL BE PERFORATED OR SLOTTED. THE FACILITY IS DESIGNED TO CAPTURE AND STORE THE 10 YR STORM EVENT UNTIL IT CAN INFILTRATE.
8. AN E-ONE 2012-99 PUMP (OR EQUIVALENT) SHALL BE INSTALLED NEAR THE MIDDLE OF THE 10 YR FACILITY. THE OUTFLOW OF THE PUMP SHALL ALWAYS HAVE A POSITIVE SLOPE UNTIL IT ENTERS THE LEVEL SPREADER.
9. THE LEVEL SPREADER SHALL BE 10 FT LONG, 3 FT WIDE, AND 2.6 FT DEEP. A 6" PERFORATED PIPE WILL BE INSTALLED IN THE UPPER THIRD OF THE STONE AND RUN THE LENGTH OF THE LEVEL SPREADER.
10. THERE WILL BE NO REQUEST FOR DESIGN MANUAL WAIVERS FOR THE STORM WATER DESIGN.
11. THE ESD VOLUME CAN BE FULLY COLLECTED AND TREATED WITHIN THE PROPOSED FACILITIES SINCE ESDY GOALS ARE MET, NO ADDITIONAL SWM PRACTICES ARE REQUIRED.

SEQUENCE OF CONSTRUCTION FOR 10 YR FACILITY

1. CONTACT THE CERTIFYING PROFESSIONAL ENGINEER (PROFESSIONAL LAND SURVEYOR (DDC, INC.)) ONCE THE CERTIFYING PROFESSIONAL HAS GIVEN HIS/HER APPROVAL IN ACCORDANCE WITH INSPECTION CHART.
2. EXCAVATE FOR 10 YR FACILITY AND LEVEL SPREADER.
3. INSTALL FILTER FABRIC ON THE SIDES.
4. INSTALL 8" STONE BASE, THEN INSTALL THE PIPES. THEN INSTALL THE PUMP NEAR THE MIDDLE OF THE FACILITY. ENSURE THAT THE TEES ARE INSTALLED ON THE PIPES THEN THE NEXT STEP CAN BEGIN.
5. ONCE THE PIPE IS INSTALLED TO THE LEVEL SPREADER, FILL WITH STONE, IN 6" LIFTS. COVER THE TOP WITH FILTER FABRIC BEFORE BACKFILLING.
6. ONCE LEVEL SPREADER AND 10 YR FACILITY IS INSTALLED, SUBMIT AS-BUILT CERTIFICATION FOR BOND RELEASE.



Environment One Grinder Pump Feature Identification

1. GRINDER PUMP BASIN - High density polyethylene (HDPE).
2. ACCESSWAY COVER - FRP.
3. ELECTRICAL QUICK DISCONNECT (EQD) - Cable from pump core terminates here.
4. POWER AND ALARM CABLE - Circuits to be installed in accordance with local codes.
5. ALARM PANEL - NEMA 4X enclosure. Equipped with circuit breakers. Locate according to local codes.
6. ALARM DEVICE - Every installation is to have an alarm device to alert the homeowner of a potential malfunction. Visual devices should be placed in visible conspicuous locations.
7. INLET - EPDM gasket (4.5" ID). For 4.5" OD DWV pipe.
8. WET WELL VENT - 2" dia. vent, supplied by factory in unit with accessories.
9. GRAVITY SERVICE LINE - 4" DWV (4.5 OD). Supplied by others.
- 9a. STUB-OUT - 4" x 2' long watertight stubout, to be installed at time of burial unless the gravity service line is connected during installation. Supplied by others.
10. DISCHARGE VALVE - 1.5" Female pipe thread.
11. DISCHARGE LINE - 1.5" Nominal pipe size. Supplied by others.
12. BEEDING MATERIAL - 6" minimum depth, round aggregate, (gravel). Supplied by others.
13. FINISHED GRADE - Grade line to be 1" to 4" below removable lid and slope away from the station.
14. VENT - Indoor installation. See section 6, Venting, on page 8.
15. VALVE - Full ported ball valve. Recommended option, for use during service operations. Supplied by others.
17. CONDUIT - 1" or 1.5" material and burial depth as required per national and local codes. Conduit must enter cable from bottom and be sealed per NEC section 300.5 & 300.7. Supplied by others.
18. UNION - 1.5" or compression type coupling. Supplied by others. (Do not use rubber sleeve and hose clamp type coupling.)
19. VALVE - Ball valve, must provide a full ported 1.5" nut passage when open. Supplied by others.
20. REBAR - Required to lift back after ballast concrete anchor has been attached, 4 pieces, 6" x 6" spaced around base.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITIES (MINIMUM ANNUAL INSPECTIONS)

- INSPECT LEVEL SPREADER FOR INTEGRITY (HOLES, CORROSION, CRACKS), SPALLING AND SEPARATION. REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS, SILT, OR PLANTS. REPAIR STRUCTURES TO GOOD CONDITION PER THE APPROVED PLANS AND SPECIFICATIONS. REPLACE ANY MISSING GRAVEL. ROOF DRAINS AND ROOF GUTTERS SHALL BE INSPECTED AND CLEANED ANNUALLY.
- DRY WELLS SHALL BE INSPECTED AND CLEANED ANNUALLY. THIS INCLUDES PIPES, GUTTERS, DOWNSPOUTS AND ALL FILTERS. PONDING, STANDING WATER OR ALGAE GROWTH ON THE TOP OF A DRY WELL MAY INDICATE FAILURE DUE TO SEDIMENTATION IN THE GRAVEL MEDIA. IF WATER PONDS FOR MORE THAN 48 HOURS AFTER A MAJOR STORM OR MORE THAN 6" OF SEDIMENT HAS ACCUMULATED, THE GRAVEL MEDIA SHOULD BE EXCAVATED AND REPLACED. THE UNDERGROUND STORAGE MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER SEVERE STORM EVENTS. THE FACILITY SHALL BE CLEANED WHEN SEDIMENT HAS ACCUMULATED TO THE POINT THE PIPE INVERT AND JOINTS CANNOT BE PROPERLY INSPECTED. WHEN ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFLOW IS OBSERVED, THE FACILITY SHALL BE CLEANED. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. INLET AND OUTLET PIPES SHALL BE CHECKED FOR OBSTRUCTIONS AT LEAST ONCE EVERY (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF ALL SPILLS OTHER FROM THE UNDERGROUND STORAGE SHALL BE HANDLED TO AN APPROVED MARYLAND DEPARTMENT OF THE ENVIRONMENT DISPOSAL SITE. CONTRACTORS MAY BE REQUIRED TO PROVIDE DUMP TICKETS SHOWING DUMP SITE, DATE, AMOUNT DUMPED AND CONTRACTOR TO SPILLER/REMOVAL COUNTY (MD GOV. 410-313-6490 (FAX) OR 6751 COLUMBIA GATEWAY DRIVE SUITE 514 COLUMBIA, MD 21046) IF ALARM FOR PUMP SOUNDS, THE PUMP SHALL BE INSPECTED AND THE ISSUE RESOLVED.

ENVIRONMENTAL SITE DESIGN SUMMARY TABLE

DRYWELLS	PROVIDED ESD VOL	REQUIRED ESD VOL
DRYWELL 1 5'X16'X5'	160 CF	160 CF
DRYWELL 2 5'X8'X5'	90 CF	85 CF
DRYWELL 3 5'X17'X5'	173 CF	168 CF
DRYWELL 4 7'X6'X5'	84 CF	79 CF
DRYWELL 5 7'X10'X5'	140 CF	140 CF
DRYWELL 6 7.5'X10'X5'	150 CF	148 CF
TOTAL	797 CF	780 CF

*DRYWELLS MUST BE 10' FROM HOUSE

DATA SOURCES:
EXISTING BOUNDARY SHOWN PER BOUNDARY SURVEY BY EXACTA LAND SURVEYORS, LLC DATED 2/10/21.
TOPOGRAPHY PER FIELD RUN TOPOGRAPHY PERFORMED BY DDC, INC. IN AUGUST 2021.

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

DDC
Development Design Consultants

OWNER:
SHARON SALKIN CANNON
6394 LOOKINGGLASS LANE
COLUMBIA, MD 21045
402-670-7439

DEVELOPER:
SAME

SITE ADDRESS:
5626A OAKLAND MILLS ROAD
COLUMBIA, MARYLAND 21045

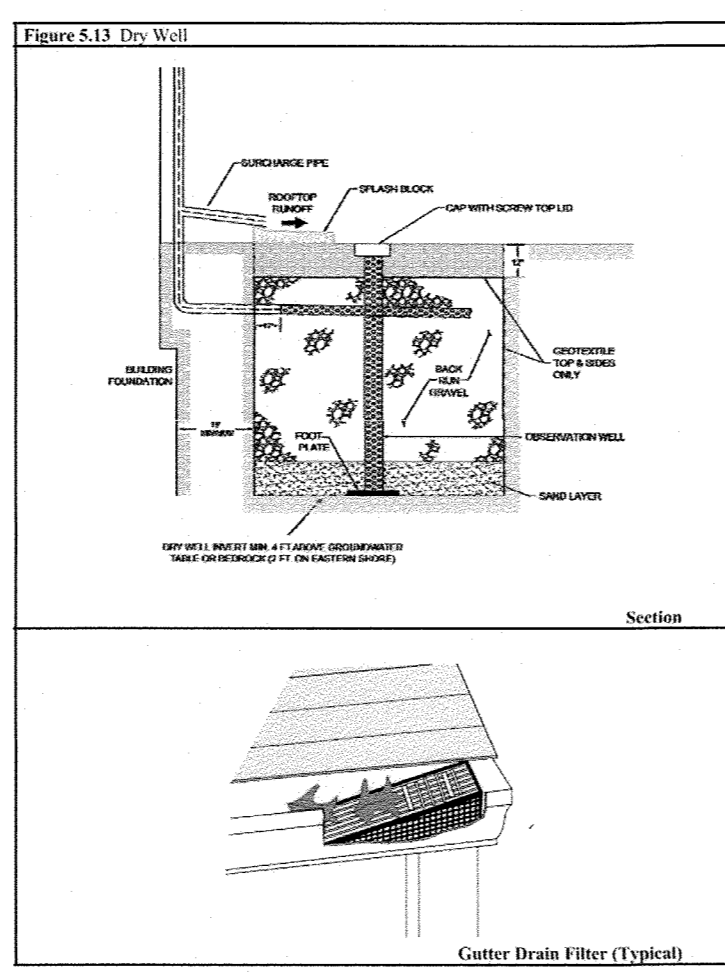
MILL HAVEN LOT 9
REVISED FINAL ROAD CONSTRUCTION PLAN
GRADING, SEDIMENT & EROSION CONTROL PLAN
6th Election District Howard County, Maryland

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #:	F-17-105, ECP-17-039	DES. BY:	RM	
TAX ACC. #:	06-600824	DRN. BY:	RMLJC	
TAX MAP:	36	CHK. BY:	WRD	
BLOCK / GRID:	4	DATE:	2/16/2022	
PARCEL #:	2	DDC JOB#:	21021.1	
ZONE / USE:	R-12	SHEET NUMBER:		
DWG. SCALE:	1" = 20'			

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 21998. EXPIRATION DATE: JUNE 5, 2022.

2/16/2022
DATE

W. Richard Demario
W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998



5.93 Sept.1

LOT 4
SELVIN & NOBINE BOSCHE
5618 OAKLAND MILLS ROAD
12052/227

LOT 3
STEVEN K SHERIDAN
5622 OAKLAND MILLS ROAD
12157/138

LOT 7
ALEXIA & JASON FREDERICKSON
5624 OAKLAND MILLS ROAD
20479/29

LOT 5
JASON & CHIE WEDDINGTON
5628 OAKLAND MILLS ROAD
17504/308

LOT 9
14,171 S.F.

LOT 8
OLUFUNKE & OLUKAYODE
OKEGBENRO
5626B OAKLAND MILLS ROAD
19940/275

LOT 207
KENNETH & DIANNE BEIL
9491 SCHAP LANE
1771/526

LOT 205
DANIELLE ZIMNIK & MATTHEW ROGERS
5617 THUNDER HILL ROAD
19725/263

LOT 204
UMER HUSSAIN & RASHID QAZI
5621 THUNDER HILL ROAD
16564/298

LOT 203
HILDED BURCH
5625 THUNDER HILL ROAD
4053/137

LOT 203
HILDED BURCH
5625 THUNDER HILL ROAD
4053/137

LOT 203
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HILDED BURCH
5625 THUNDER HILL ROAD
4053/137

2012-93

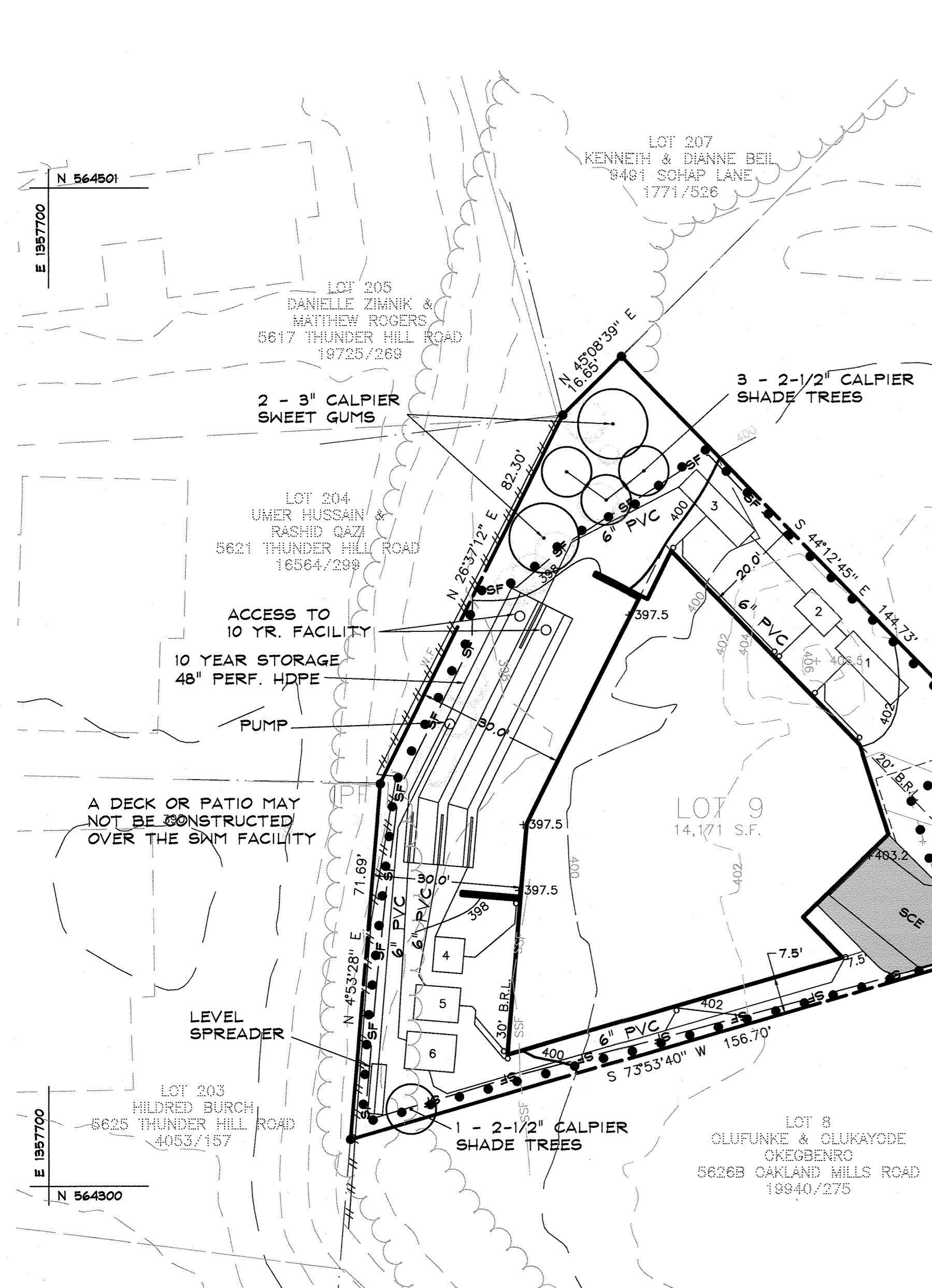
PA1336P04

2012

PA0909P01

SOILS CHART

HSG	CODE	NAME	K VALUE
B	GhB	Glenn-Urban Land Complex, 0 to 8 percent slopes	0.28



APPROVED: DEPARTMENT OF PLANNING AND ZONING

4/17/22
DATE

1/21/22
DATE

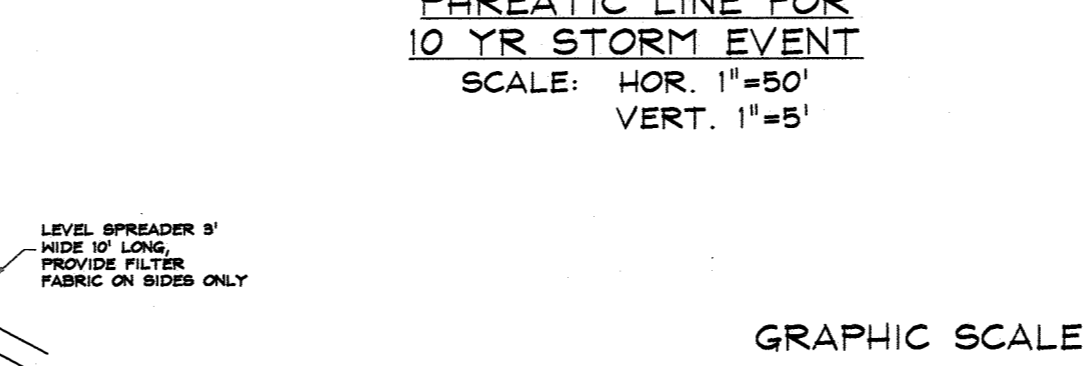
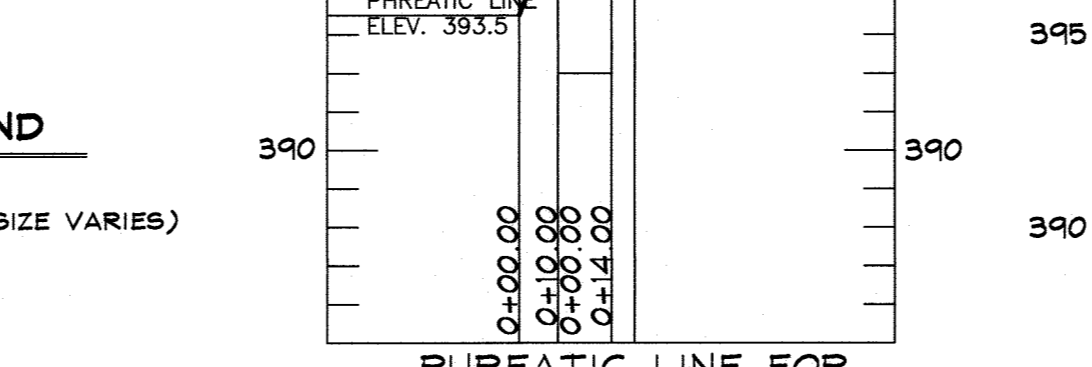
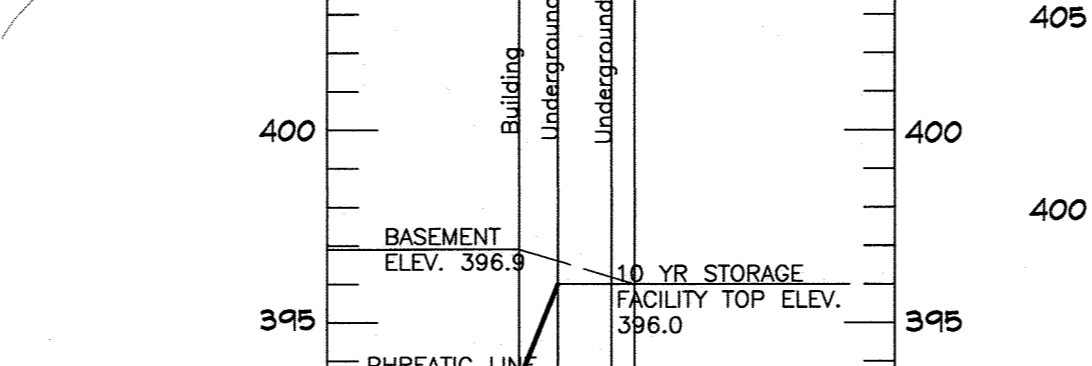
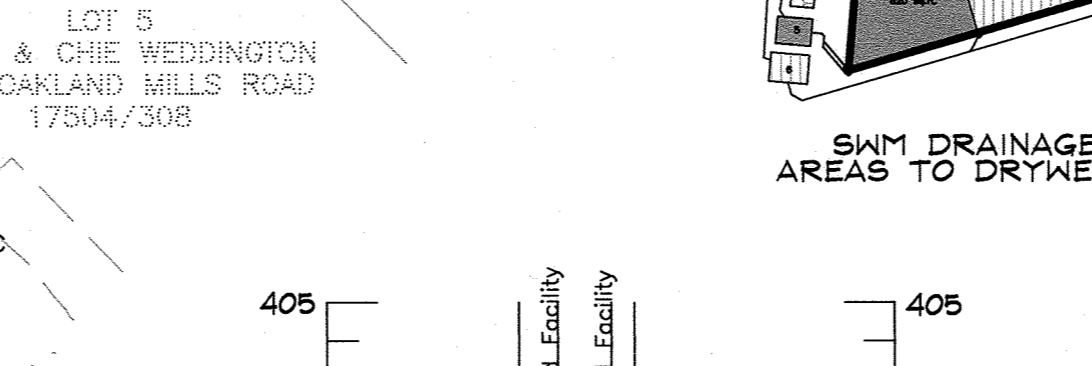
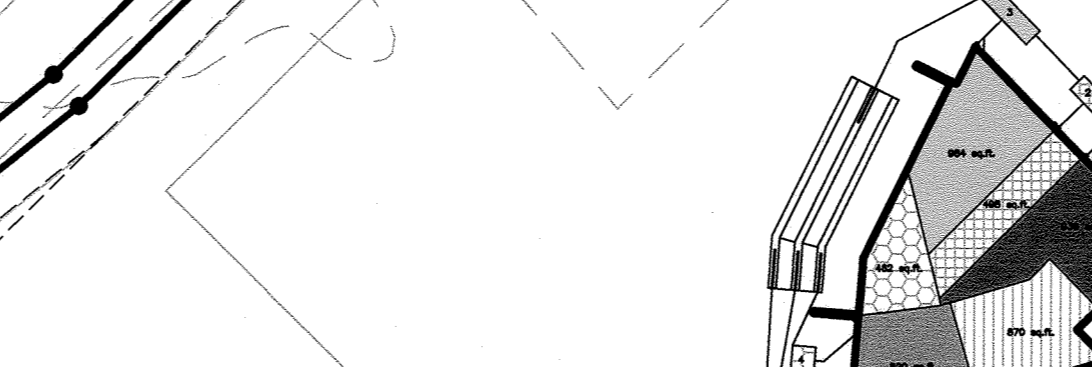
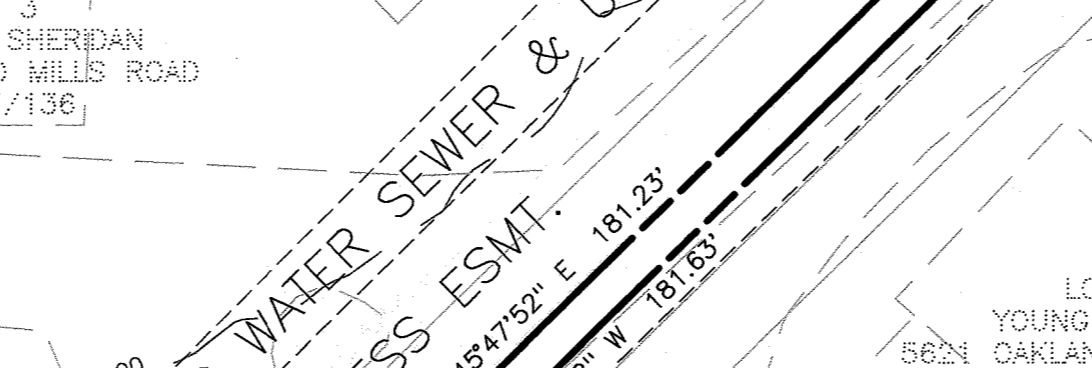
ACCESS TO 10 YR STORAGE

10 yr Storage

ESD FACILITY LEGEND

[Symbol]	M-5 DRY WELLS (SIZE VARIES)
[Symbol]	LEVEL SPREADER

PHREATIC LINE FOR 10 YR STORM EVENT
SCALE: HOR. 1"=50'
VERT. 1"=5'



PURPOSE STATEMENT
THE PURPOSE OF THIS REVISED PLAN IS TO CHANGE THE FOOTPRINT OF THE HOUSE AND ALL GRADING, SEDIMENT CONTROL, LANDSCAPING AND STORMWATER MANAGEMENT ASSOCIATED WITH THE NEW FOOTPRINT.