

**GENERAL NOTES**

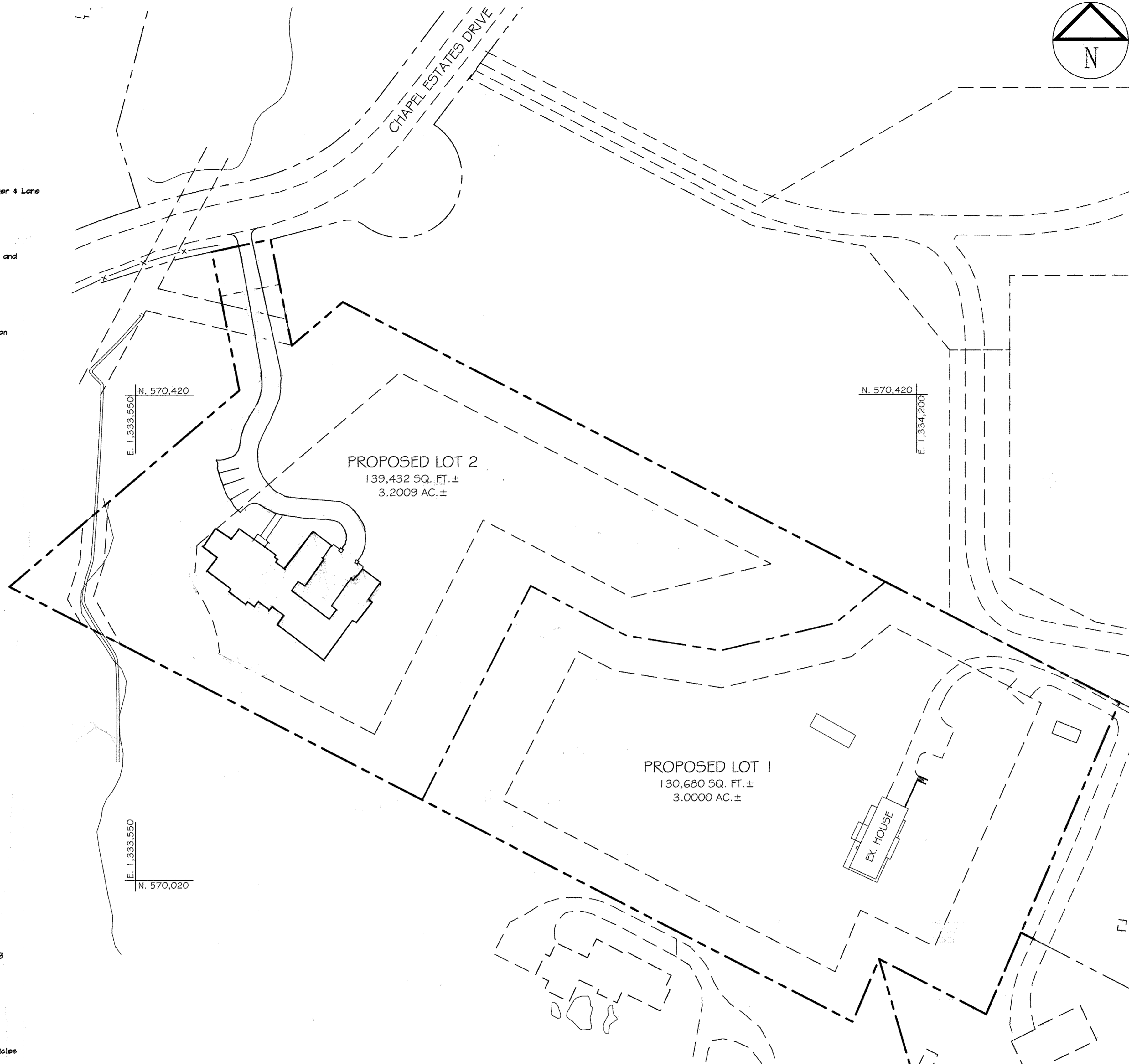
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 315-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-251-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- The existing topography and boundary is taken from field run survey with maximum two foot contour intervals prepared by Shanaberger & Lane June, 2012.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County Monument Nos. 246B and 246S were used for this project.
- Site is located outside the metropolitan district.
- Stormwater Management for this site is provided by environmental site design to the maximum extent practical consisting of rooftop and non-rooftop disconnection, and micro bio-retention privately maintained.
- Existing utilities are based on plans of record, field run topography.
- No regulated floodplains exist onsite.
- Vegetative Analysis and Wetlands report prepared by Eco Science Professionals Dated 10/30/13.
- This project is exempt from Forest Conservation under Minor Subdivisions that create 1 additional Lot and have no further subdivision potential based on current zoning.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb, and gutter, existing utilities, etc. shall be repaired at the Contractor's expense.
- All hydraulic data is for the 10-year storm unless otherwise noted.
- All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-150.
- All plan dimensions are to edge of paving unless otherwise noted. Numerically written dimensions take precedence over scaled dimensions.
- There are no known cemeteries or burial grounds or historical structures on this site.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the wetlands, streams and associated buffers except as allowed by NP 14-022.
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (14 gauge) inserted into a 2-1/2" galvanized steel perforated, square tube sleeve (12 gauge) - 5' long. A galvanized steel pole cap shall be mounted on top of each post.
- The landscape plan has been prepared in accordance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual. Landscaping for lots 1 and 2 is provided in accordance with a certified landscape plan as part of the supplemental drawings in accordance with section 16.124 of the Howard County Code and the landscape manual. Landscape Surely in the amount of \$1800 (6 shade trees) shall be posted with the grading permit application.
- Signage at the street identifying the address is required.
- See previous DPZ Files ECP 14-030, NP 14-022.
- The property is zoned RC-DEO per the 10/06/13 comprehensive zoning plan.
- This plan is subject to conditions of approval of NP-14-022 below:  
The purpose of this letter is to inform you that the Director of the Department of Planning and Zoning considered your request for a waiver of Subsections 16.114(a)(1), 16.115(s)(3), 16.120(b)(4)(i), 16.120(b)(4)(ii)(b) and 16.120(c)(2) of the Howard County Subdivision and Land Development Regulations. A waiver of these regulations would: 1) allow for grading, removal of vegetative cover and trees, paving and new structures within 25 feet of a wetland; 2) allow wetlands, streams and their buffers to be located on residential lots rather than on required open space or a non-buildable preservation parcel; 3) allow for the design of residential lots having an irregular, non-rectangular shape; 4) allow wetlands, streams and their buffers to be located on residential lots less than 13 acres in size; and, 5) allow for creation of a single-family detached lot not having public road frontage, respectively.  
As of the date of this letter, the Planning Director approved your request to waive the aforementioned regulations as they apply to the proposed subdivision of the Balakirsky Property, subject to the following conditions:  
1. The petitioner shall obtain authorization of proposed activities in the existing public 20' drainage & utility easement from the applicable agency prior to the start of work.  
2. The petitioner shall obtain State and federal authorizations of activities proposed in wetland/wetlands, the 25-foot wetland buffer and waters of the US.  
3. The petitioner shall provide a culvert or similar structure as part of the proposed driveway to maintain hydrologic conveyance in the wetland area.  
4. The petitioner shall submit a final subdivision plan application to the Department of Planning and Zoning for processing approval in compliance with County and State requirements.  
5. The petitioner shall delineate and label the existing recorded driveway access easement for Lot 1 on the final plat submission.  
6. Approval of this waiver is solely for the wetlands and buffer disturbance located at Chapel Estates Drive for the new driveway. No clearing, grading or disturbance is approved for the wetlands, stream and buffer located at the western corner of Lot 2.  
7. Both Lots 1 and 2 shall comply with the minimum 3-acre lot size requirement with the final plat submission.
- For flag or pipeline lots, refuse collection, recycling, snow removal, and road maintenance are provided to the junction of the flag or pipeline and road right-of-way line and not onto the pipeline lot driveway.
- A Pre-Submission Community Meeting for this project was held February 12, 2014.
- There are no regulated steep slopes on site.
- Percolation Certification Plan prepared by Shanaberger & Lane approved 4/5/13.
- Sight Distance Analysis prepared by Shanaberger & Lane dated 4/2/14.
- Driveway(s) shall be provided prior to issuance of a use and occupancy permit to ensure safe access for fire and emergency vehicles per the following:  
1) Width - 12 feet (6 feet if serving more than 1 residence)  
2) Surface - six (6) inches of compacted "crusher run" base with tar and chip coating (1-1/2" min.)  
3) Geometry - max. 15% grade, max 10% grade change and minimum 45' turning radius  
4) Structures (culverts/bridges) - capable of supporting 25 gross tons (25 loading)  
5) Drainage elements - capable of safely passing 100-year flood with no more than 1-foot depth over driveway surface.  
6) Maintenance - sufficient to ensure all weather use.
- Joint Federal State Permit Tracking Number CEN4B-OP-RMN 2014-60080-MS6. Permit 14-NT-3008/201460080 was issued 7/15/14 by MDE.
- Property is served by private water and sewer since it is not in the metropolitan district.
- No traffic study or noise study is required for the project.

**SUMMARY OF BMPS**

LOT 2	MICRO BIO RETENTION	M-6
	NON ROOFTOP DISCONNECTION	N-2
	ROOFTOP DISCONNECTION	N-1

APPROVED: DEPARTMENT OF Planning & Zoning  
*10/22/14*  
 Chief, Division of Land Development  
*9-22-14*  
 Chief, Development Engineering Division

REV #1 REVISE TITLE OF 4HT 5, ADD SHT 7, & REVISE HOUSE & DRIVE ON LOT 2. 12/12/17



Scale: 1"=50'

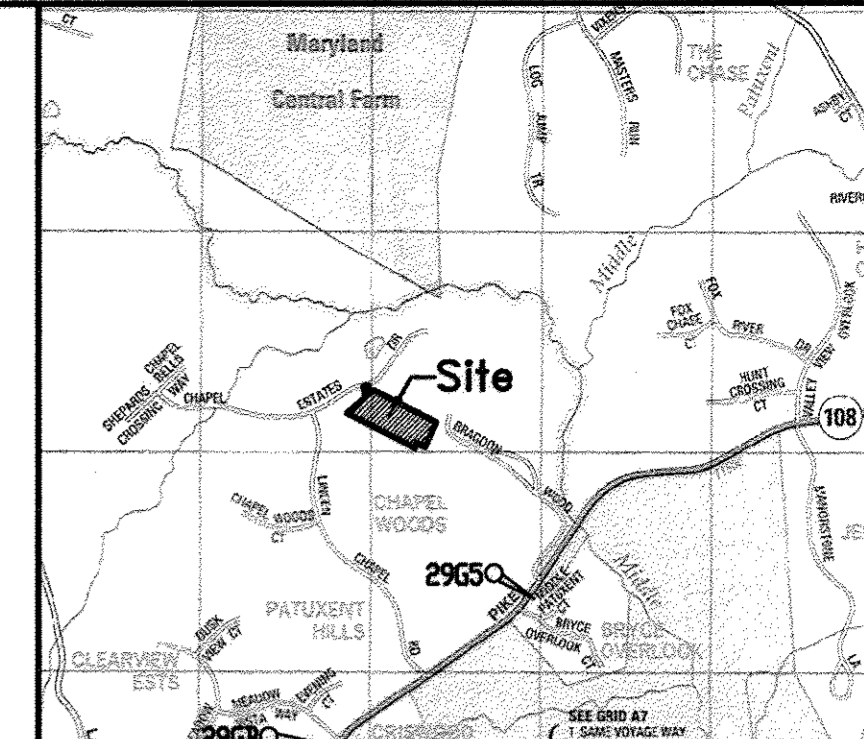
# Cover Sheet

for

# Balakirsky Property

Howard County, Maryland

LOTS 1 and 2



Vicinity Map - Scale: 1" = 2000'

MAP 25 E 5 E 6

ADC The Map People - Permitted Use # 20612205

BENCHMARK DESCRIPTIONS

The courses and coordinates shown hereon are based on the following Howard County monuments:

Point	Northing	Easting	Elevation
29GB	N 566826.1708	E 1333265.8543	455.965
29G5	N 568341.218	E 1335392.3757	387.358

**SHEET INDEX**

SHEET	DESCRIPTION
1	Cover Sheet
2	SEC & Driveway Plan
3	SEC Details & Notes
4	Landscape Plan
5	Sediment Control Plan & Drainage Area Map
6	SWM Plan & Landscape Plan
7	Sediment & Erosion Control Notes & Details (House)

**OWNER**  
 Michael Balakirsky  
 11755 Bragdon Wood  
 Clarksville, MD 21029  
 Phone: 410-340-7823

**CONTACT**  
 Jeffrey L. Schwab  
 401 Washington Ave. Suite 303  
 Towson, MD 21029  
 Phone: 410-321-7600



**Cover Sheet**  
**Balakirsky Property**  
 Howard County, Maryland

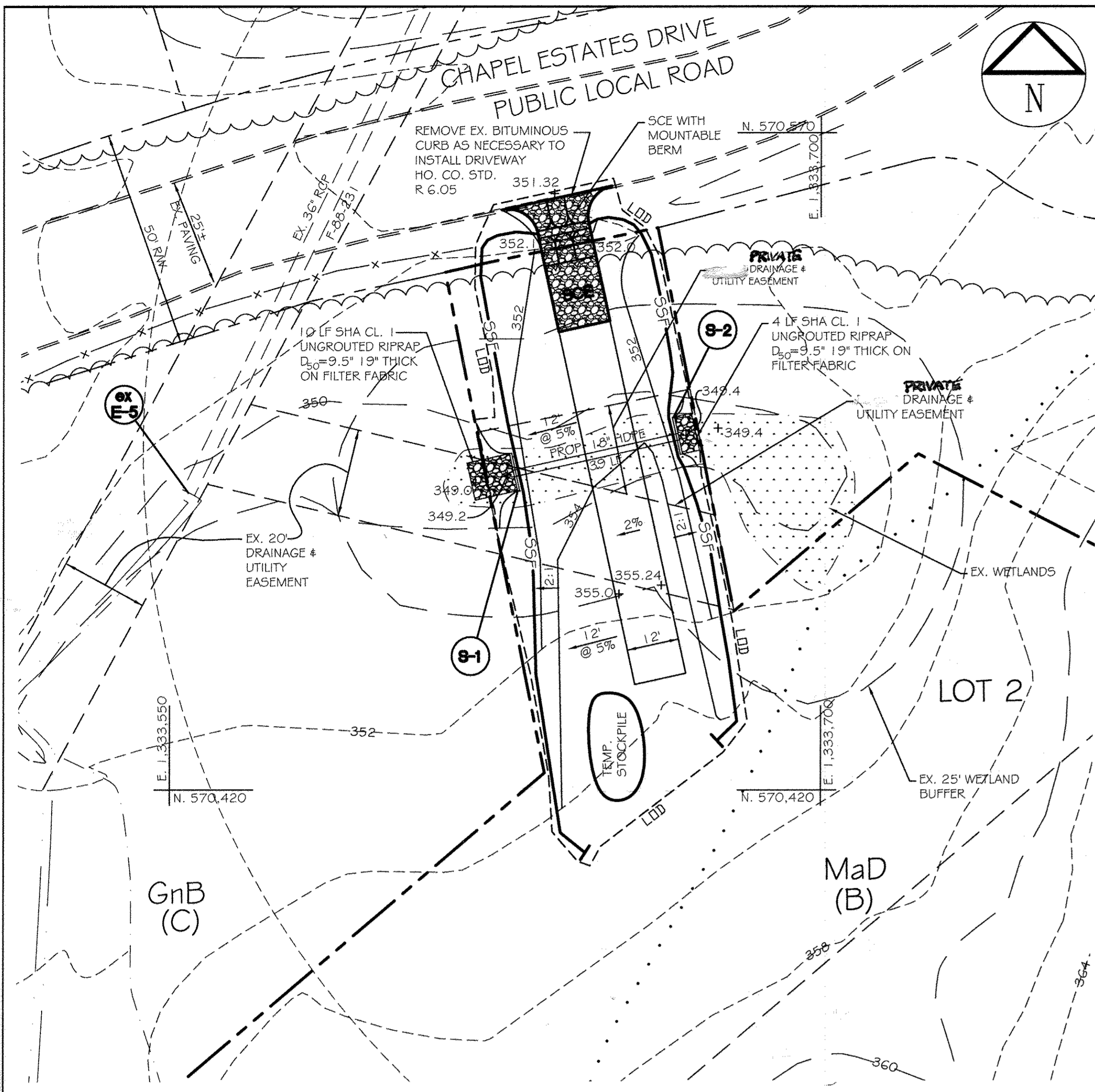
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14230, Expiration Date: 12/30/14.

PARCEL	LIBS/FEES	PLANS
42	14885/154	N/A
ORD	ZONE	ELECTRICAL
14	RC-DEO	29

Date: 9/12/2014  
 Proj. #: 13012  
 Scale: 1" = 50'

**1 of 7**

DESIGN: JLS DRAWN: MAS CHECK: JLS



PLAN  
SCALE: 1" = 20'

LIMIT OF DISTURBANCE: 6,558 SF. = 0.15 Ac.



REV #1 REVISE TOTAL SHITS TO 7 12/12/17  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
 Signature of Engineer (print name below signature) Date  
 Jeffrey L. Schwab 9/18/14  
 Howard SCD

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Signature of Engineer (print name below signature) Date  
 Jeffrey L. Schwab 9/18/14

**DEVELOPER'S CERTIFICATE**  
 I/we certify that all development and construction will be done according to this plan of development for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.  
 Signature of Developer (print name below signature) Date  
 Michael Balakirsky 9/13/14

APPROVED: DEPARTMENT OF Planning & Zoning  
 Chief, Division of Land Development Date  
 10/26/14  
 Chief, Development Engineering Division Date  
 9-29-14

NOTE: TEMPORARY STOCKPILE AREAS SHALL NOT EXCEED 15' IN HEIGHT.  
 NOTE: IF REQUIRED BY THE SEDIMENT CONTROL INSPECTOR A DOUBLE ROW OF SSF IS TO BE INSTALLED AT THE CULVERT AREA.  
 NOTE: TEMPORARY OR PERMANENT SEEDING SHALL BE PERFORMED AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF ANY STANDARD NOTES.

TEMPORARY SEEDING

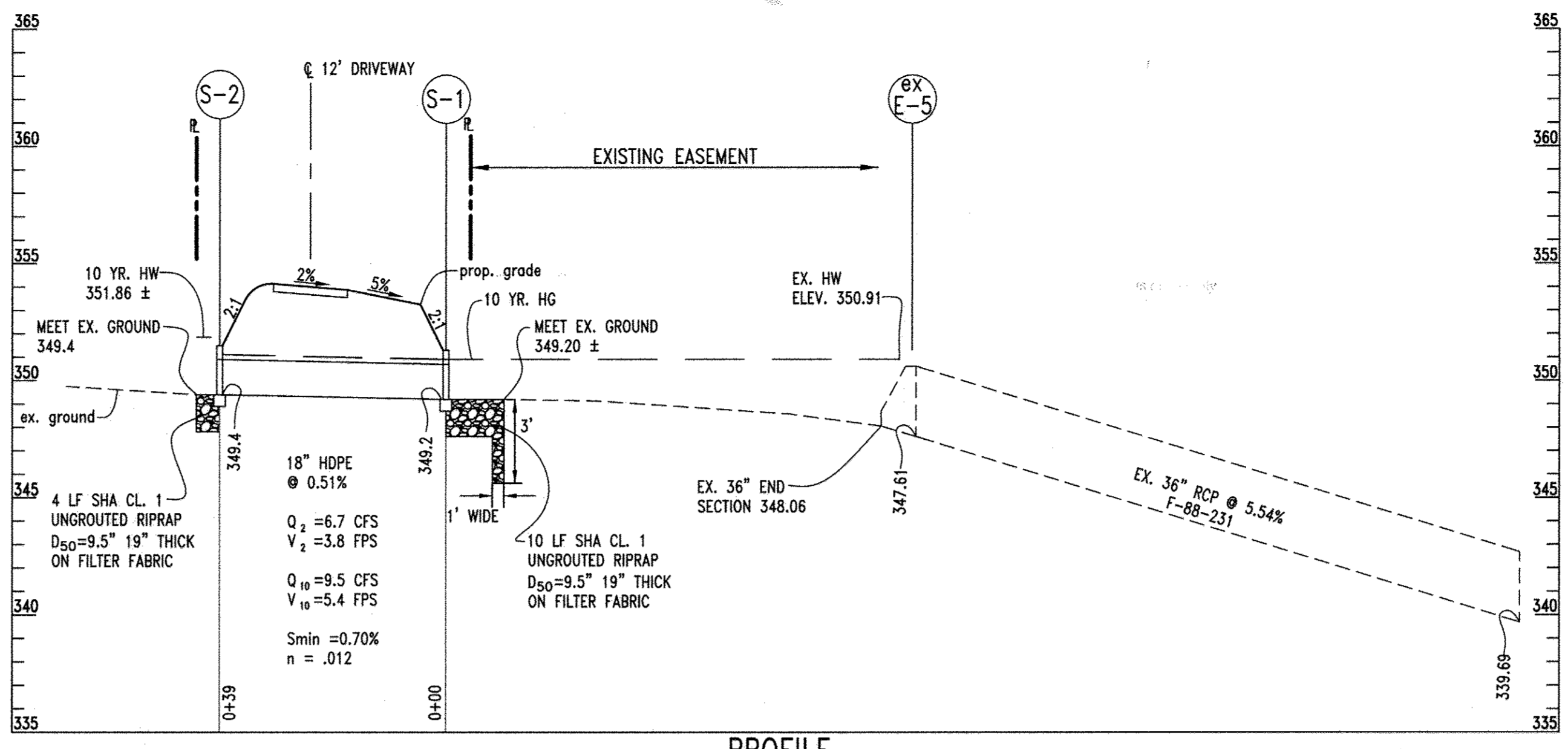
No.	Species	Seed Mixture (For Hardiness Zone 6b) Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20)	Lime Rate
1	Foxtail Millet	30	5/16-7/31	0.5 in.	436 lb/ac (10lb/1000 sq ft)	2 tons/ac (90 lb/1000 sq ft)
2	Annual Ryegrass	40	3/1-5/15 8/1-10/15	0.5 in.		
3	Pearl Millet	20	5/16-7/31	0.5 in.		

PERMANENT SEEDING

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P205	K20	Lime Rate
1	Creeping Red Fescue Chenopod Fescue Kentucky Bluegrass	30 30 20	3/1-5/15 8/1-10/15	1/4"-1/2"	45 lb/ac (1 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)	90 lb/ac (2 lb/1000 sq ft)	2 tons/ac (90 lb/1000 sq ft)

\* FOR SEEDING DATES 5/16 - 7/31, ADD 4.0 LBS PER ACRE OF FOXTAIL OR PEARL MILLET TO SEED MIXTURE NO. 11.

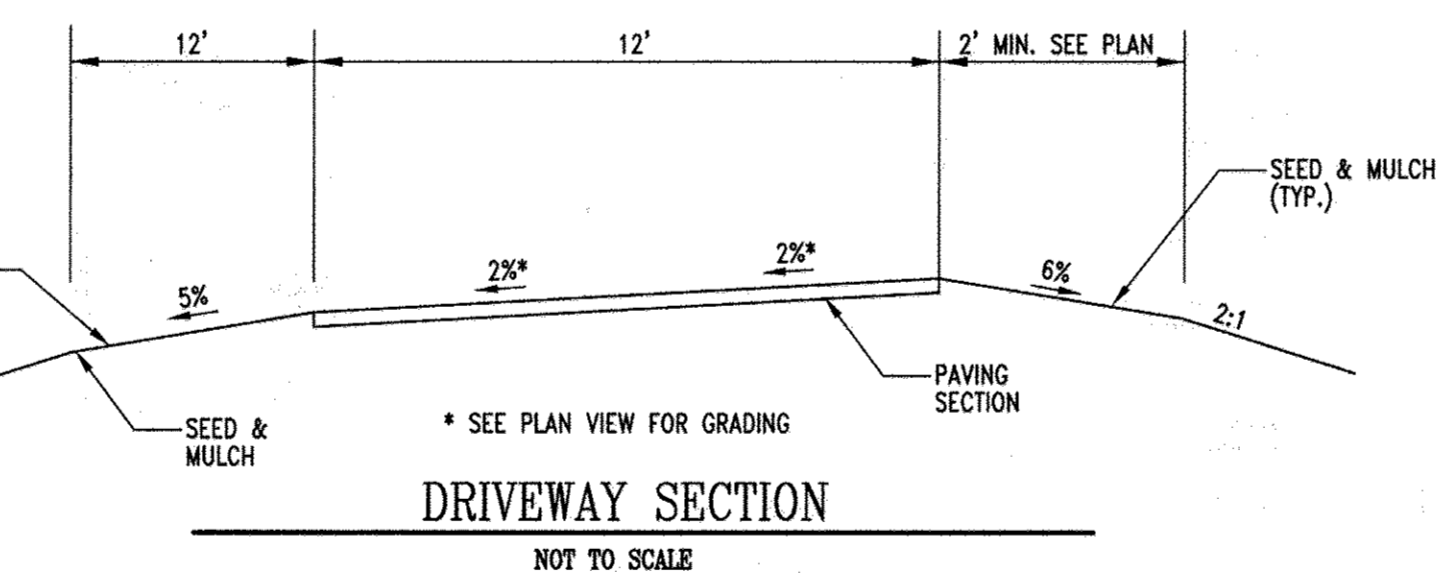
Seeding grass and legumes to establish ground cover for a minimum period of 6 months or more on disturbed areas generally receiving low maintenance.



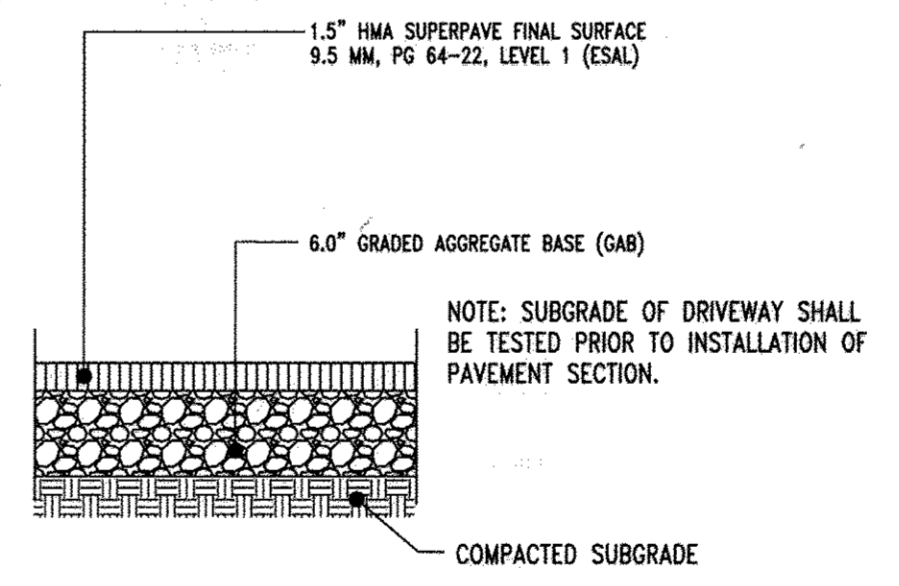
PROFILE  
SCALE: HORIZ. 1"=20'  
VERT. 1"=5'

**PERMANENT SEEDING NOTES**  
 Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.  
**Seedbed Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.  
**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:  
 1. Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.).  
 2. Acceptable -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.  
**Seeding:** -- For the periods March 1 -- April 30, and August 1 -- October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 -- July 31, seed with 60 lbs/acre of Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lb/1000 sq. ft.) of weeping lovegrass. During the period of October 16 -- February 28, protect site by:  
 Option 1 -- Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.  
 Option 2 -- Use sod.  
 Option 3 -- Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.  
**Mulching:** -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.  
**Maintenance:** -- Inspect all seeding areas and make needed repairs, replacements and reseeding.

**TEMPORARY SEEDING NOTES**  
 Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.  
**Seedbed Preparation:** -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.  
**Soil Amendments:** -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).  
**Seeding:** -- For periods March 1 -- April 30 and from August 15 -- October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq. ft.). For the period May 1 -- August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 -- February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.  
**Mulching:** -- Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.  
 Refer to the 2011 MARIAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.



DRIVEWAY SECTION  
NOT TO SCALE



Driveway Paving Section of 5<7  
NOT TO SCALE

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT AND JOINT FEDERAL STATE PERMIT AND REQUEST. PRECONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR.
  - CLEAR & GRUB FOR AND INSTALLATION OF SCE AND INSTALLATION OF 18" CULVERT AND INSTALL 18" CULVERT ENDWALLS AND RIPRAP. ONCE CULVERT IS INSTALLED, IMMEDIATELY INSTALL SSF SHOWN IN 50' WIDE AREA TO ACCESS LOT.
  - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB REMAINING AREA WITHIN LOD.
  - PLACE REMAINING FILL OVER CULVERT.
  - CONSTRUCT DRIVEWAY TO LIMITS SHOWN.
  - FINE GRADE AND STABILIZE SITE WITH SEED AND MULCH.
  - UPON THE ESTABLISHMENT OF VEGETATIVE COVER WITHIN THE LOD AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT AND EROSION CONTROL MEASURES AND STABILIZE AREAS DISTURBED BY THIS PROCESS.

NO. OF DAYS
7
1
7
7
7
21
7

**LEGEND**

EXISTING	PROPOSED
Boundary	Boundary
Setback Lines	Setback Lines
Soils Lines	Soils Lines
Contours	Contours
Tree Lines	Tree Lines
Buildings	Buildings
Road Edge	Road Edge
Well & 100' circle	Well & 100' circle
Ex. Specimen Tree	Ex. Specimen Tree
House	House
Road Edge	Road Edge
Septic Reserve Area	Septic Reserve Area
Limit of Disturbance	Limit of Disturbance
Storm drain	Storm drain
Spot Elevation	Spot Elevation
Super Silt Fence	Super Silt Fence
Super Fence Diversion	Super Fence Diversion
Stabilized Construction Entrance w/ Mountable Berm	Stabilized Construction Entrance w/ Mountable Berm
Ex. Steep Slopes ≥ 25.00%	Ex. Steep Slopes ≥ 25.00%
Ex. Steep Slopes 15-24.99%	Ex. Steep Slopes 15-24.99%

- HOWARD SOIL CONSERVATION DISTRICT**  
**STANDARD SEDIMENT CONTROL NOTES**
- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
  - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
  - Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 3 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 7 days as to all other disturbed or graded areas on the project site.
  - All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
  - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
  - Site Analysis:  
 Total Area of Site: 6.20 Acres  
 Area Disturbed: 0.15 Acres  
 Area to be paved: 0.032 Acres  
 Area to be vegetatively stabilized: 0.118 Acres  
 Total Cut: 10 Cu. Yds.  
 Total Fill: 345 Cu. Yds.  
 Offsite waste/borrow area location: Unknown.
  - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
  - Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
  - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
  - Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.
  - Any changes or revisions to the sequence of construction must be reviewed and approved by the plan approval authority prior to proceeding with construction.
  - A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority, unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.

**OWNER**  
 Michael Balakirsky  
 11755 Bragdon Wood  
 Clarksville, MD 21029  
 Phone: 410-340-7823

**CONTACT**  
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 401 Washington Ave., Suite 303  
 Towson, MD 21029  
 Phone: 410-321-7600

**Tesseract**  
 TESSERACT SITES, INC.  
 401 Washington Ave., Suite 303  
 Towson, Maryland, 21284  
 P. 410.321.7600  
 F. 410.321.7601

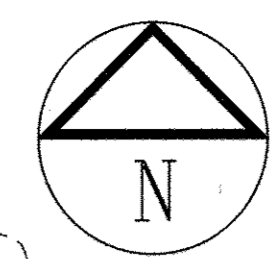
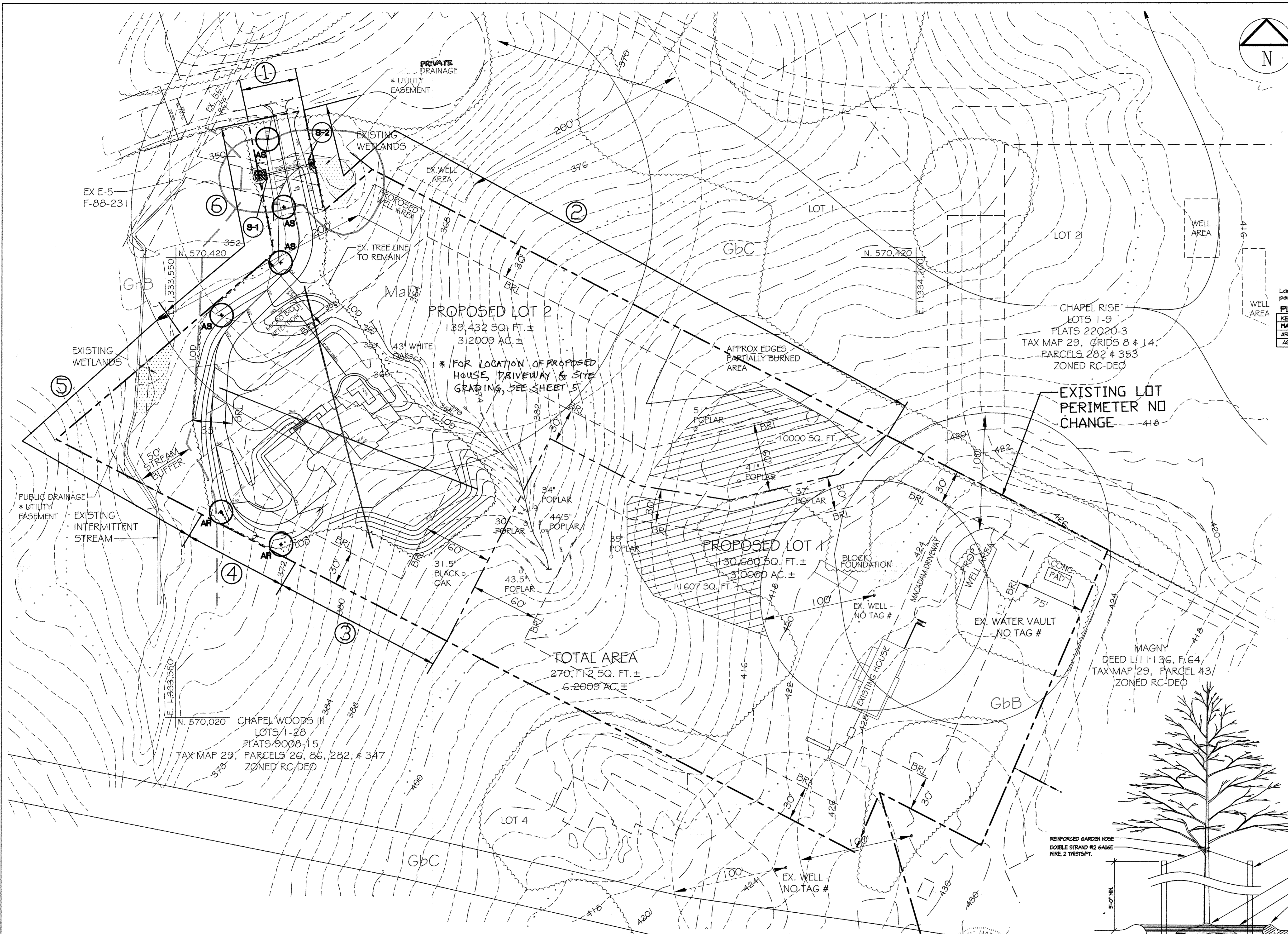
**Driveway Plan**  
**Balakirsky Property**  
 Howard County, Maryland

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14230, Expiration Date: 12/09/14.

PROJECT:	LIBRARY/154	PLANS:	N/A
DATE:	9/12/2014	PROJECT #:	13012
SCALE:	1" = 20'	2 of 7	

DESIGN: JLS DRAWN: MAS CHECKED: JLS





SCHEDULE A - PERIMETER LANDSCAPING

Category	Adjacent to Roadways		Adjacent to Perimeter Properties			
	1	2	3	4	5	6
Perimeter Landscape Type	N/A*	A	A	A	A	A
Linear Feet of Edge	N/A	653'	150'	90'	293'	240'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	YES 653'	YES 150'	NO 90'	YES 293'	NO 240'
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	NO	NO	NO	NO	NO
Number of Plants Required	N/A	0	0	2	0	4
Shade Trees	---	---	---	2	---	4
Evergreen Trees	---	---	---	---	---	---
Shrubs	---	---	---	---	---	---
Number of Plants Provided	N/A	0	0	2	0	4
Shade Trees	---	---	---	2	---	4
Evergreen Trees	---	---	---	---	---	---
Other Trees (2:1 substitution)	---	---	---	---	---	---
Shrubs (10:1 substitution)	---	---	---	---	---	---
(Describe plant substitution credits below if needed)	---	---	---	---	---	---

\*THERE IS NO LANDSCAPE REQUIREMENT FOR FRONT OF SINGLE FAMILY DETACHED TO ROADWAY

Landscape Surety in the amount of \$1800 (6 shade trees) shall be posted with the grading permit application.

PLANT SCHEDULE (for mitigation planting required by removal of specimen tree)

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" CAL.	2	B4B
AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" CAL.	4	B4B

LEGEND

- EXISTING
- PROPERTY LINE
  - ▭ BUILDINGS
  - ~ CONTOURS
  - EX. TREES
  - ROADS
  - TREE LINE
- PROPOSED
- PROPERTY LINE
  - ▭ BUILDINGS
  - ~ CONTOURS
  - ROADS
  - ⊕ MAJOR SHADE TREE
  - TREE LINE TO REMAIN

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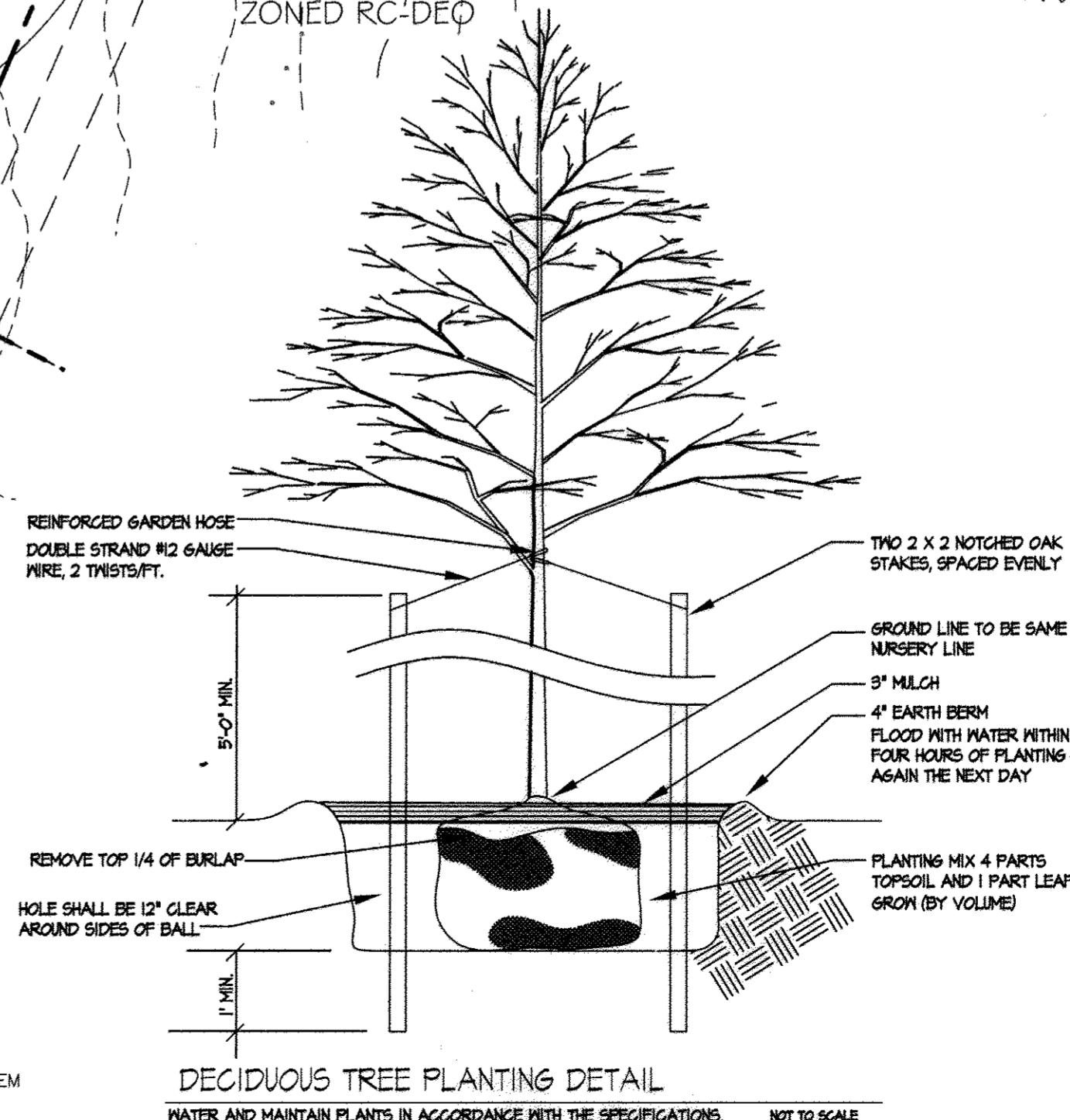
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Landscape Plan  
**Balakirsky Property**  
 Howard County, Maryland

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14230, Expiration Date: 12/09/14.

PARCEL	LABOR/PRICE	PLANT
42	14885/154	N/A
14	RC-DEQ	5

Date: 9/12/2014  
 Proj. #: 13012  
 Scale: 1" = 40'



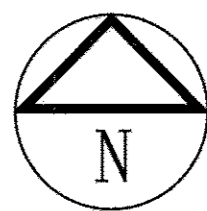
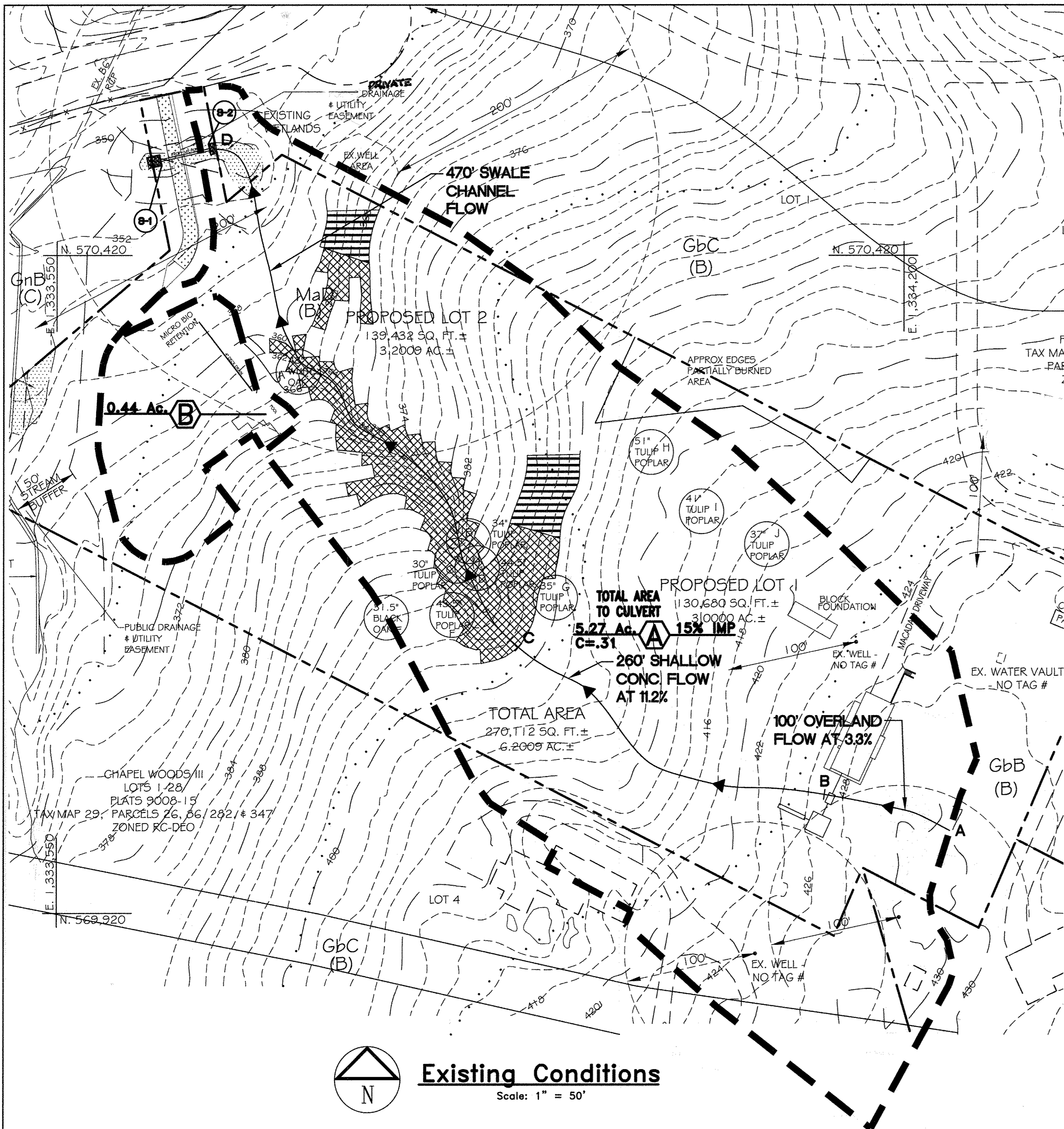
APPROVED: DEPARTMENT OF Planning & Zoning  
 Chief, Division of Land Development  
 Date: 10/06/14  
 Date: 9-22-14

DEVELOPER'S / BUILDER'S CERTIFICATE  
 I / we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I / we further certify that upon completion, a Letter of Landscape Installation accompanied by an executed one-year guarantee of plant materials will be submitted to the Department of Planning and Zoning.  
 Name: Michael Balakirsky  
 Date: 9/12/14

REV #1 REVISE TOTAL SHTS TO 7 & ADD NOTE REFERRING DESIGN TO SHY 5 12/12/17

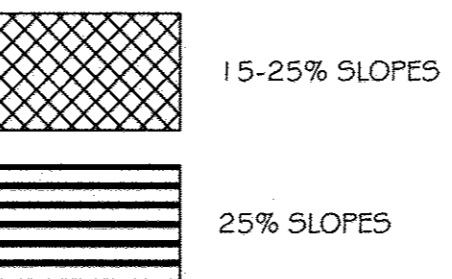


NOTE: DESIGN AND DRAWING BASED ON THE MARYLAND COORDINATE SYSTEM  
 HORIZONTAL - NAD 83/91  
 VERTICAL - NAVD 88



**Existing Conditions**

Scale: 1" = 50'

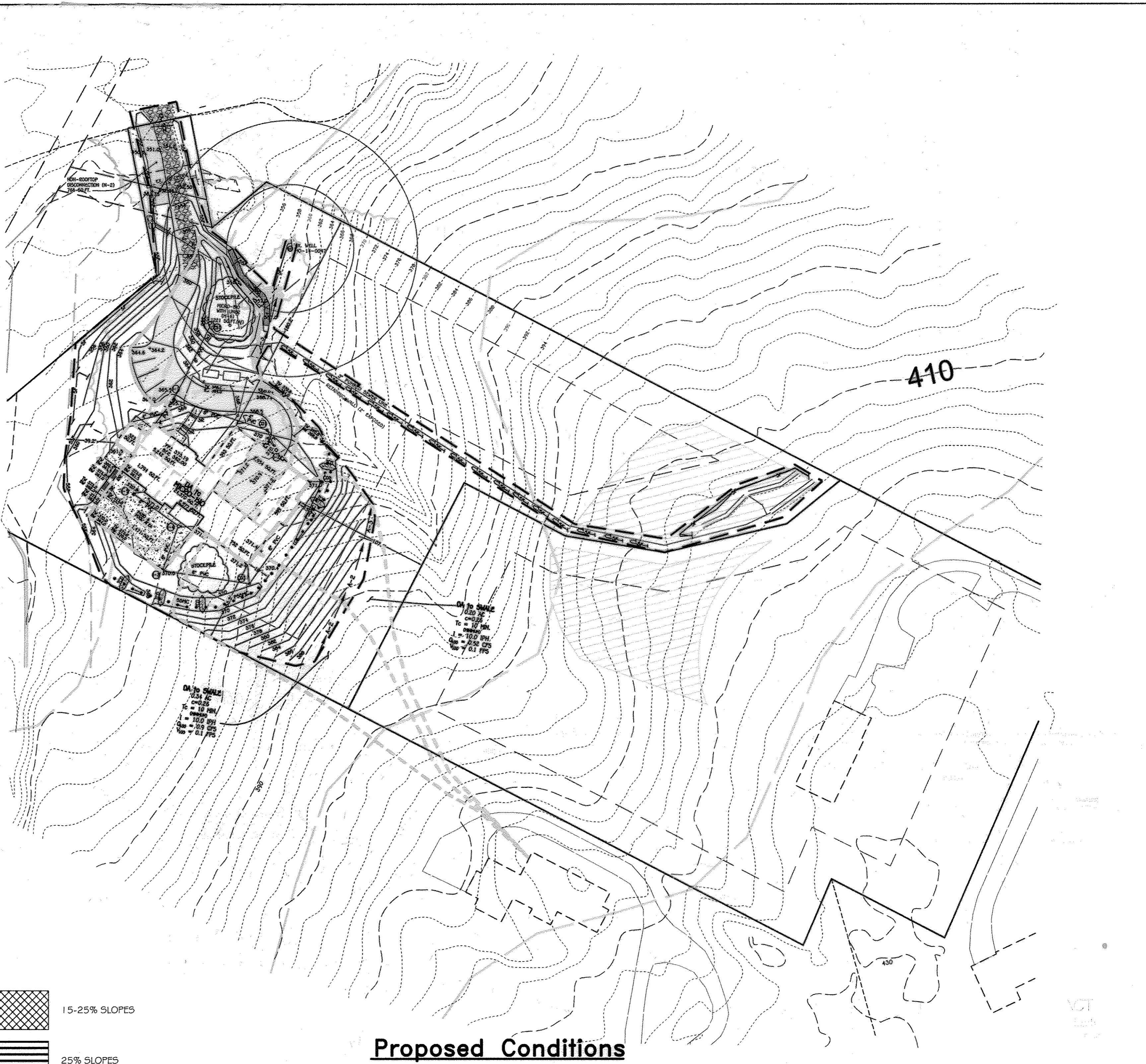


Specimen Tree Chart

Key	Species	Size (inches dbh)	CRZ Diameter (feet)	Condition
A	White oak	43	64.5	good
B	Tulip poplar	34	51	good
C	Tulip poplar	30	45	good
D	Tulip poplar	44.5	66.75	good
E	Tulip poplar	43.5	65.25	good
F	Black oak	31.5	47.25	good
G	Tulip poplar	35	52.5	good
H	Tulip poplar	51	76.5	good
I	Tulip poplar	41	61.5	good
J	Tulip poplar	37	55.5	good

<b>SUMMARY TABLE LOT 2</b>	
TYPE	ESDv PROVIDED
NON ROOFTOP DISCONNECTION N-2	60 CF
ROOFTOP DISCONNECTION N-1	0 CF
MICRO BIO RETENTION M-6	2,083 CF
TOTAL ESDv PROVIDED	2,143 CF
ESDv REQUIRED	1,704 CF
RECHARGE VOLUME REQUIRED	299 CF
RECHARGE VOLUME PROVIDED	571 CF

<b>FACILITY SUMMARY MICRO BIO RETENTION M-6</b>			
BOTTOM ELEV.	ESDv ELEV.	P <sub>E</sub>	ESDv REQ.
355.0	356.0	1.34'	1,745 CF
			ESDv PROV. 2,083 CF



**Proposed Conditions**

Scale: 1" = 50'

LIMIT OF DISTURBANCE (SWM) = 64,934 SQ. FT. = 1.48 ACRES

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. APPROVED:

*John K. Robertson* 12/13/17  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF Planning & Zoning  
*Kurt Slawson* 10/26/14  
 Chief, Division of Land Development DATE

*Chris Edman* 9.29.14  
 Chief, Development Engineering Division DATE



REV#1 REVISE TOTAL SHTS TO 7, REVISE SUMMARY TABLES AND LOD AREA, AND REVISE PROPOSED CONDITIONS TO REFLECT NEW HOUSE, DRIVE, & GRADING, ETC.

**OWNER**  
 Michael Balakirsky  
 11755 Bragdon Wood  
 Clarksville, MD 21029  
 Phone: 410-340-7823

**CONTACT**  
 Jeffrey L. Schwab  
 401 Washington Ave., Suite 303  
 Towson, MD 21029  
 Phone: 410-321-7600

**Tesseract**  
 TESSERACT SITES, INC.  
 401 Washington Ave., Suite 303  
 Towson, Maryland, 21204  
 P. 410.321.7600  
 F. 410.321.7601

**Sediment Control Plan & Drainage Area Map**  
**Balakirsky Property**  
 Howard County, Maryland

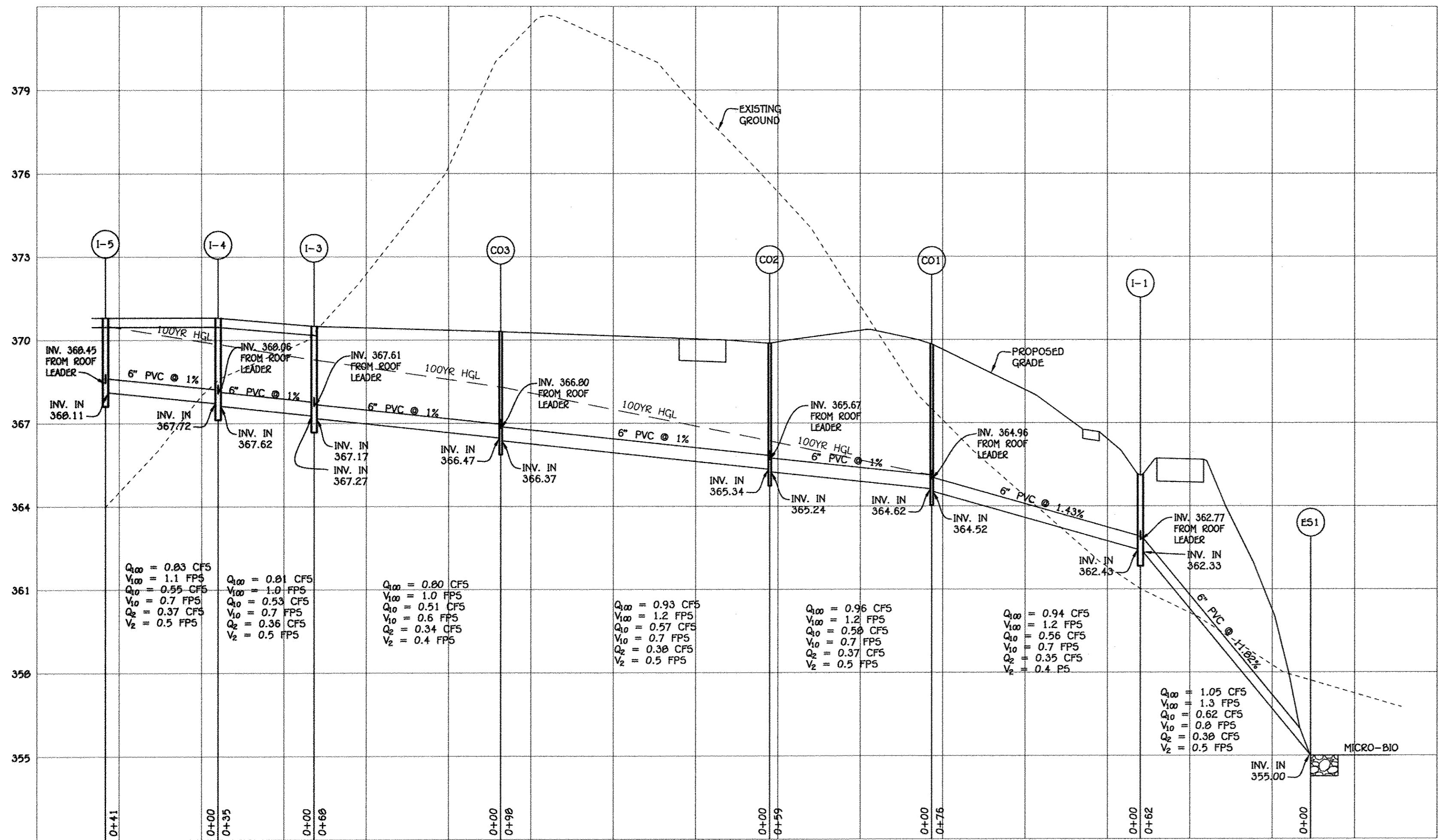
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14230, Expiration Date: 12/09/14.

PARCEL: 42	LIBER/PAGE: 14885/154	PLAT: N/A
ROW: 14	ZONE: RC-DEO	DATE: 29
ELECTRICITY: 5	GENERIC TRAC: 5	

Date: 9/12/2014  
 Proj. #: 13012  
 Scale: 1" = 50'

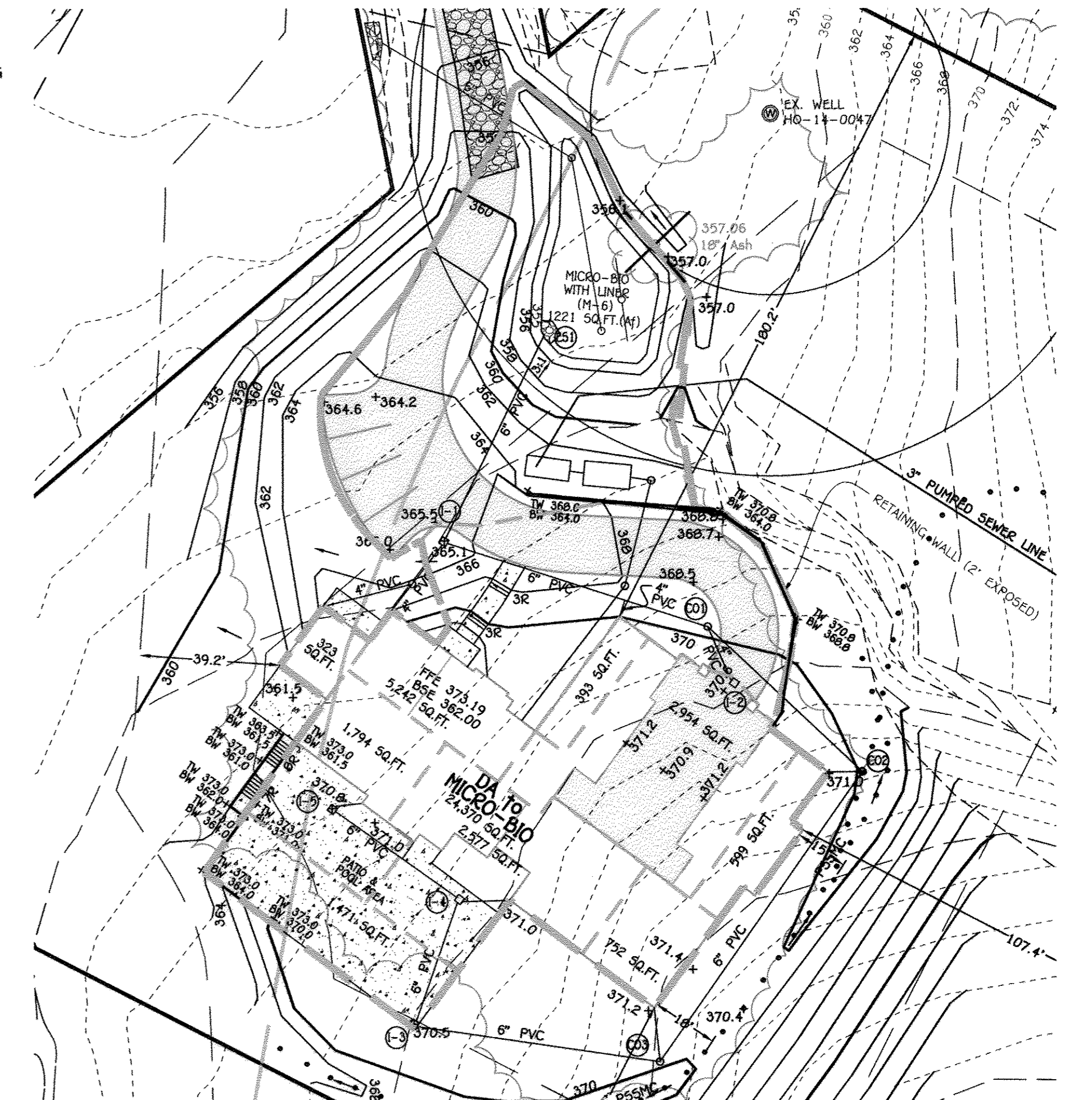
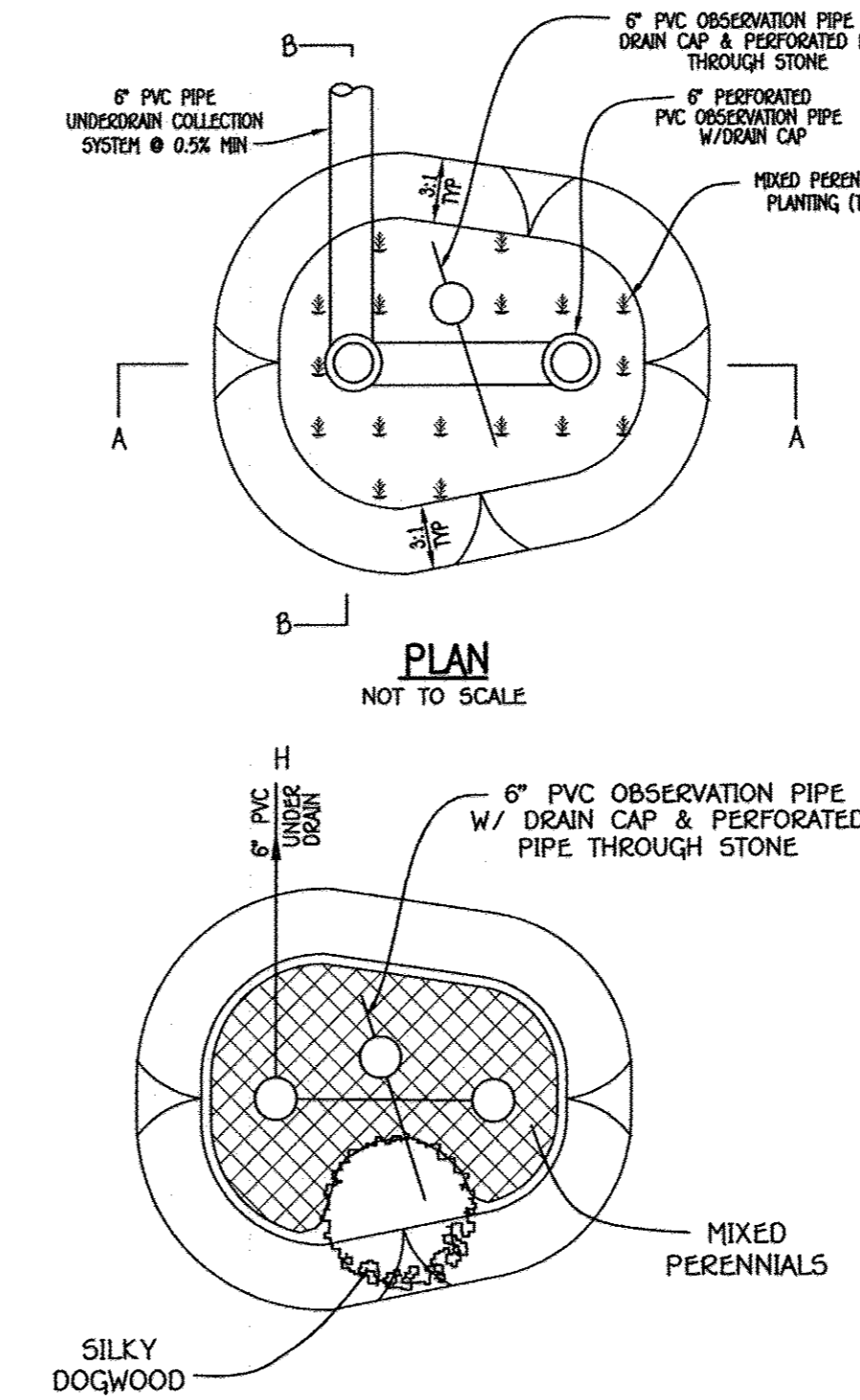
**5 of 7**

DESIGN: JLS DRAWN: MAS CHECKED: JLS



**OPERATION & MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)**

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR DURING THE INSPECTION. THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS AND REPLACE ALL DEFICIENT STAKES AND NAILS.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

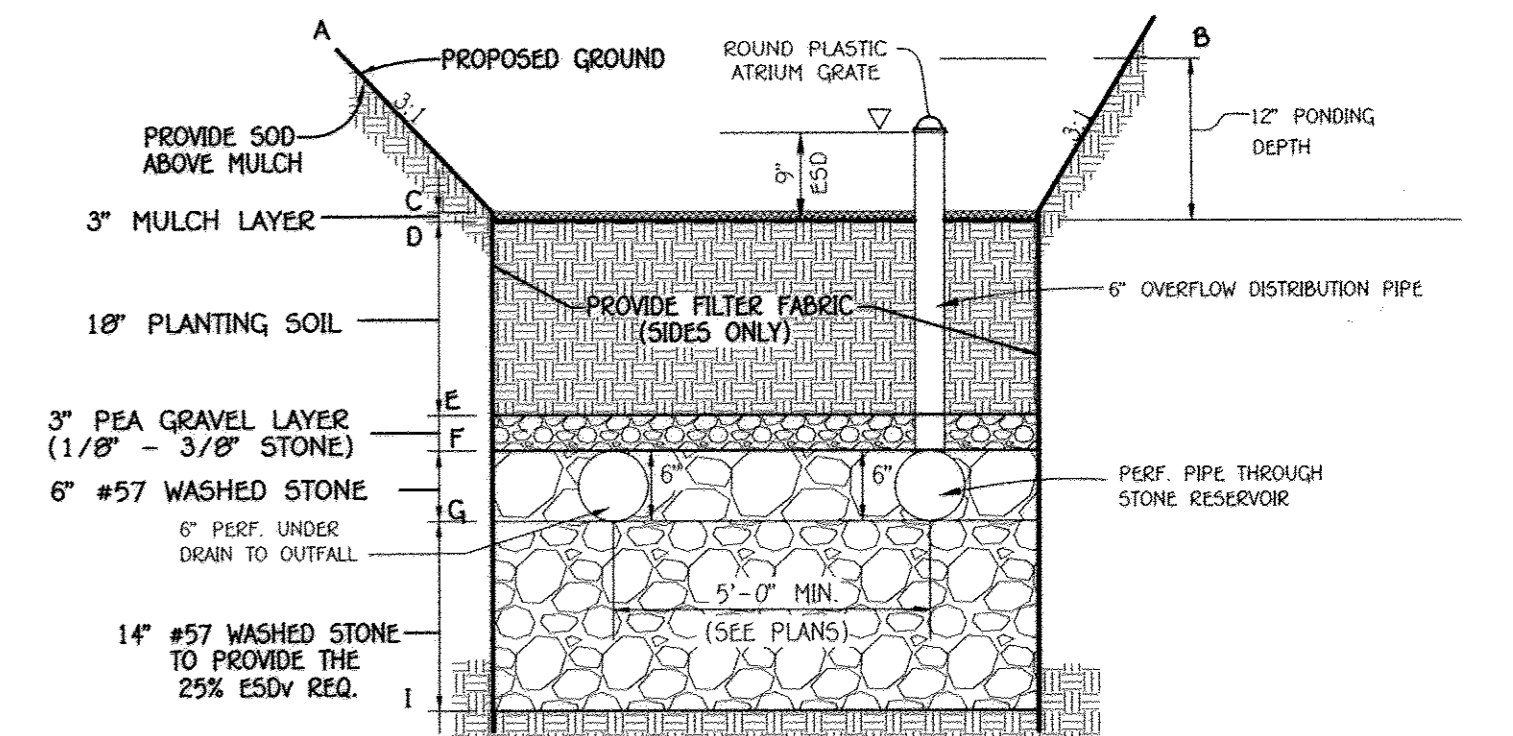
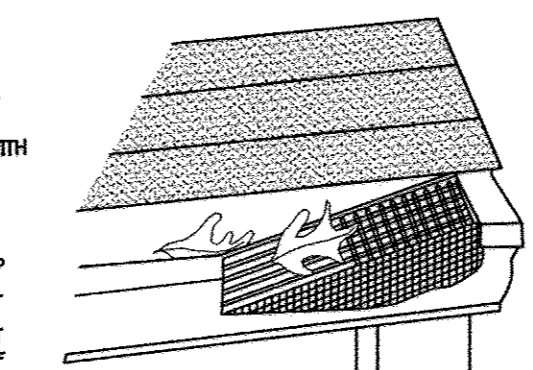


**MICRO-BIORETENTION PLANTING DETAIL**  
NOT TO SCALE

- MIXED PERENNIALS CUT-LEAF CORNFLOWER (1.5' SP) BRESLAU (1.5' SP) JOE-PYE-WEED (3' SP)
  - SILKY DOGWOOD
- SEE PLANT MATERIAL CHART FOR QUANTITIES AND SPACING

**STORMWATER MANAGEMENT NOTES**

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
- MAXIMUM CONTROLLING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE 1,000 SQ. FT. OR LESS.
- DOWNSPOUTS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 2% SLOPE AND CONSTRUCTION OF THE DOWNSPOUT SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.



**MICRO BIORETENTION (M-6) SECTION WITH 6\"/>**



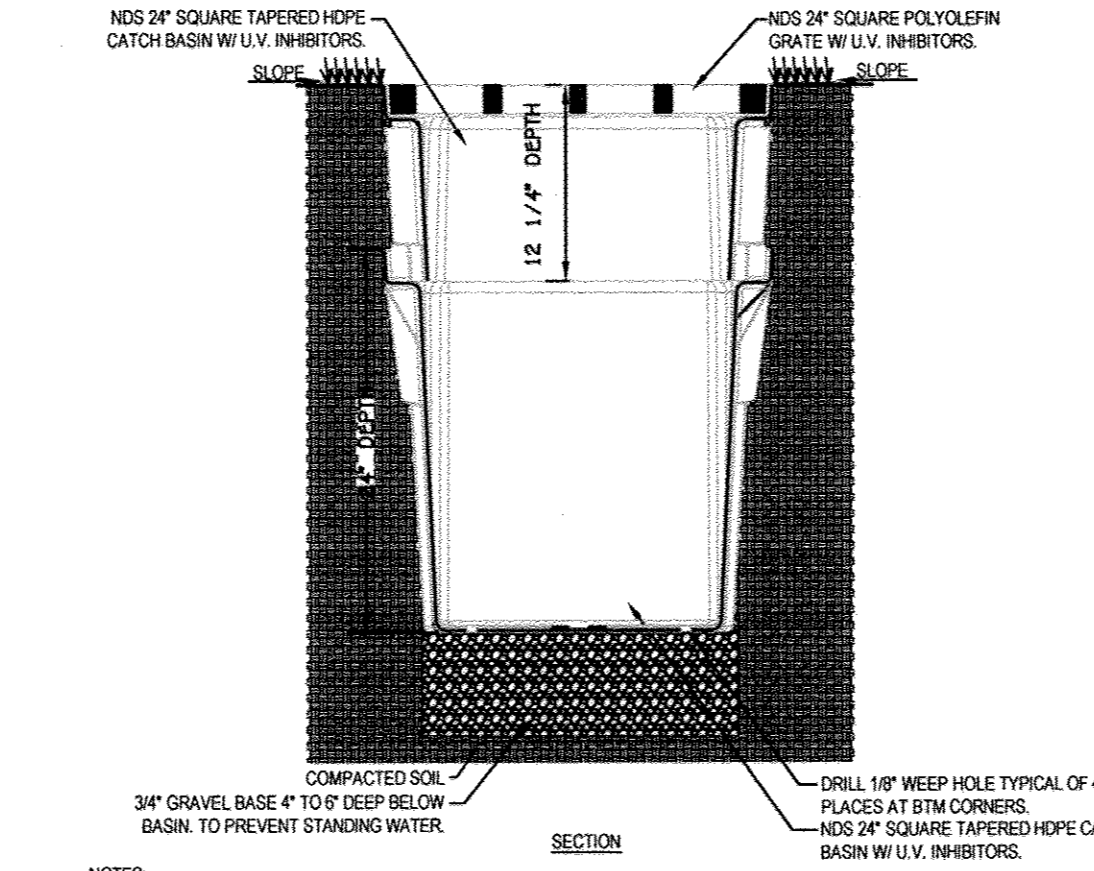
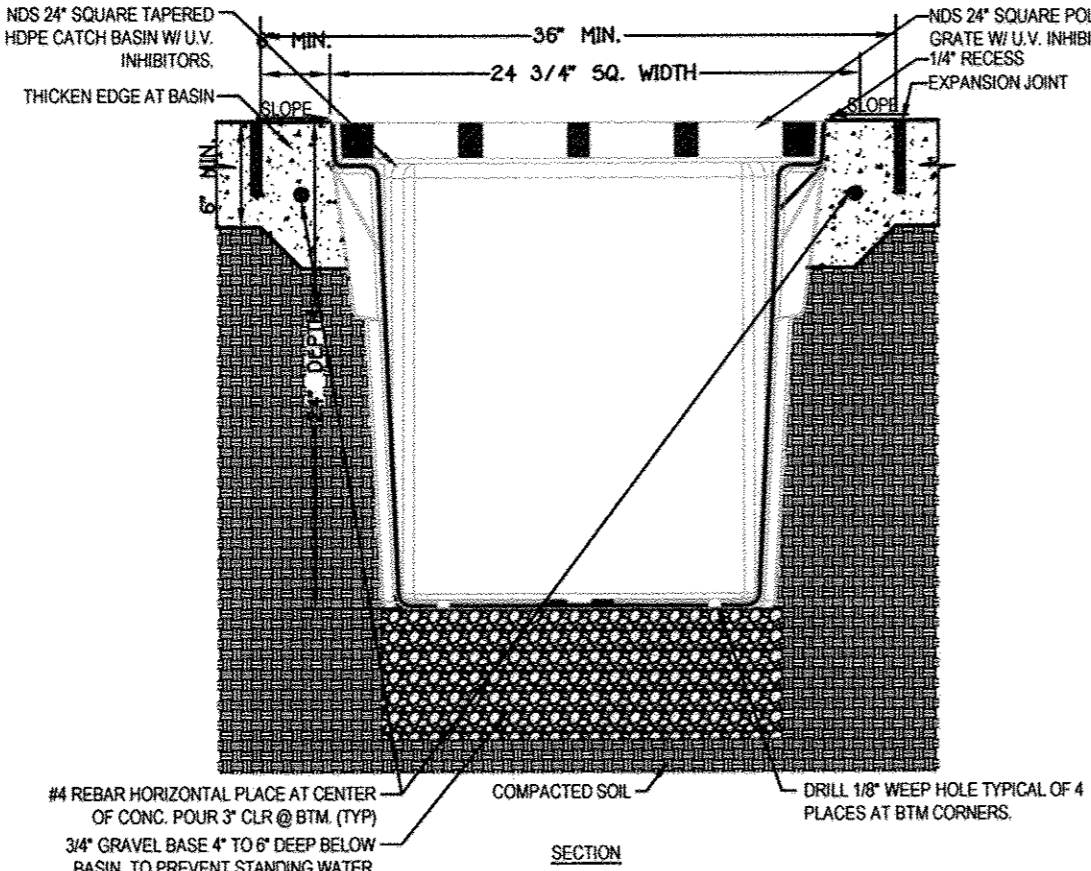
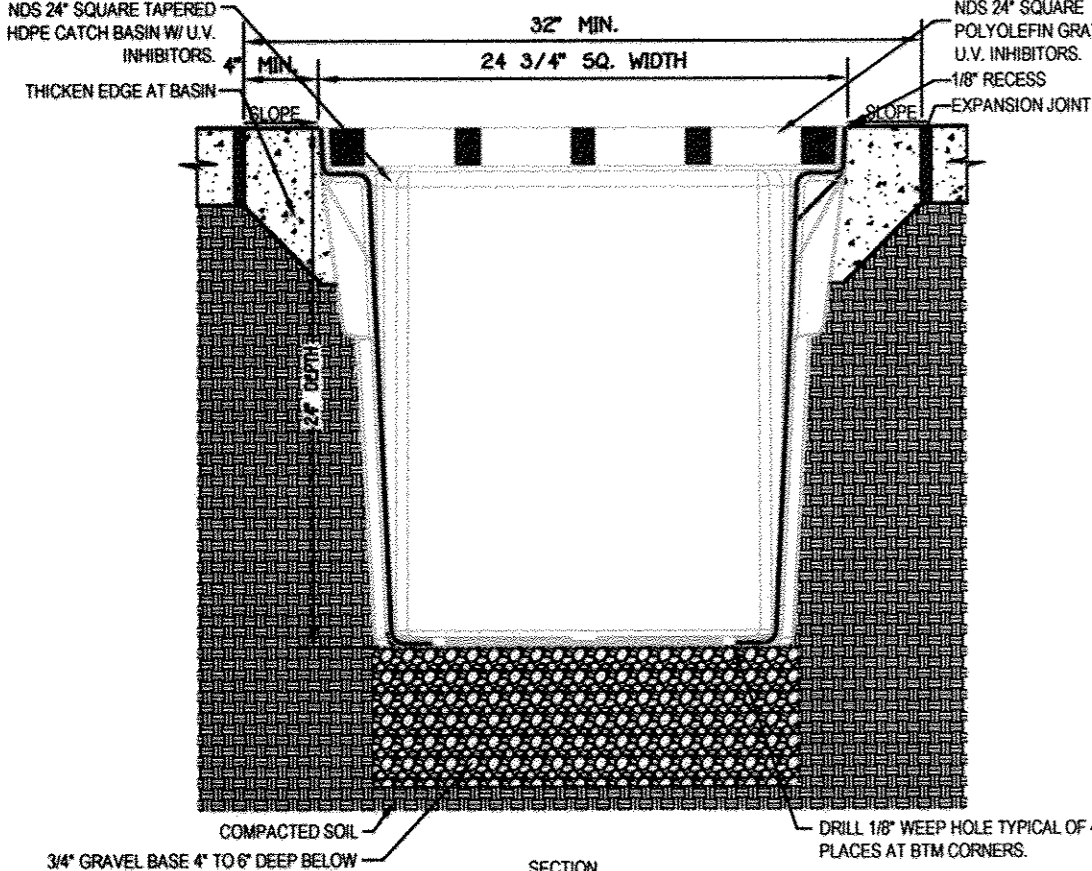
NDS, INC.  
851 NORTH HARVARD AVE.  
LINDSAY, CA 93247  
TOLL FREE: 1-800-726-1994  
PHONE: (559) 562-9888  
FAX: (559) 562-4488  
www.ndspro.com



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**NOTES:**

- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**SQUARE CATCH BASIN (1-3, 1-4, & 1-5)**  
24" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR PEDESTRIANS AND LIGHT VEHICULAR TRAFFIC APPLICATIONS CASE A & B

**NOTES:**

- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
- RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**SQUARE CATCH BASIN (1-2)**  
24" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR VEHICULAR TRAFFIC APPLICATIONS LOAD C

**NOTES:**

- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
- RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
- DO NOT USE OVER 5 RISERS WITH CATCH BASIN.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**SQUARE CATCH BASIN (1-1)**  
24" SQUARE CATCH BASIN WITH RISER INSTALLATION FOR LANDSCAPE APPLICATIONS

**BUILDER/DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SOIL EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*B. James Crawford* 12/12/17  
SIGNATURE OF DEVELOPER DATE

**ENGINEER'S CERTIFICATE**

"I/WE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Stephen J. Tuite* 12/11/17  
SIGNATURE OF ENGINEER DATE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: 01/12/2016.

*Stephen J. Tuite* 12/11/17  
SIGNATURE OF PROFESSIONAL ENGINEER DATE



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK  
ELUGOTT CITY, MARYLAND 21042  
(410) 461-1095

APPROVED: DEPARTMENT OF PLANNING & ZONING

*Y. Murchland* 12-19-17  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John* 12-19-17  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

**OWNER**  
NISHA PATEL  
C/O GREENFIELD FAMILY HOMES  
6420 AUTUMN SKY WAY  
COLUMBIA, MD 21044  
(443) 324-4732

**Table B.4. Materials Specifications for Micro-Bioretenment, Rain Gardens & Landscape Infiltration**

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2' to 4' deep)	loamy sand 60-85% compost 25-40% or sandy loam 30% coarse sand 30% compost 40%		USDA soil types loamy sand or sandy loam; clay content <5%
Organic Content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum
Pea gravel diaphragm	pea gravel ASTM-D-448	No. 8 or No. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	ASTM H-43	No. 57 or No. Approx. (3/8" to 3/4")	
Underdrain piping	1" 756, Type P5 20 or AASHTO H-270	6" to 6" rigid schedule 40 PVC or SDR25	Slotted or perforated pipe: 3/8" perf. @ 6" on center, 4 holes per row, minimum of 3" of gravel over pipe; not necessary underdrains. Perforated pipe shall be wrapped with 1/4 inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved site or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACT Code 300.87(a), vertical loading (10-10 or H-20); allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	ASTM-H-6 or ASTM-C-33	0.02" to 0.04"	sand substitutions such as diabase and Geyserite (MSHT0) are not acceptable. No calcium carbide or diatomic sand substitutions are acceptable. No "rock dust" can be used for sand.

**MICRO-BIORETENTION PLANT MATERIAL**

MICRO-BIO QUANTITY	NAME	MAXIMUM SPACING (FT.)
100	MIXED PERENNIALS	1.5 TO 3.0 FT.
3	DOGWOOD	PLANT AWAY FROM INFLOW LOCATION

**MICRO-BIORETENTION**

MICRO-BIO FILTER	A	B	C	D	E	F	G	H	I
1	\$56.00	\$56.00	\$55.00	\$54.75	\$52.75	\$52.50	\$52.00	\$51.70	\$50.80

**REPLACEMENT SHEET**  
**STORMWATER MANAGEMENT PLAN & LANDSCAPE PLAN**  
**BALAKIRSKY PROPERTY, LOT 2**  
 PLAT #32307  
 11011 CHAPEL ESTATES DRIVE  
 ZONING: RC-DEO  
 TAX MAP No. 29 GRID No. 14 PARCEL No. 42  
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: OCTOBER, 2017  
 SHEET 6 OF 7

F-14-119

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. Soil Preparation
1. Temporary Stabilization
a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.

- B. Topsoiling
1. Topsoiling is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants or soil organisms.

- C. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.

- 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.

- 3. Lime materials must be ground limestone (hydrated or burnt lime) may be substituted except when hydroseeding which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.

- 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.

- 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 6 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

The application of seed and mulch to establish vegetation cover.
Purpose: To protect disturbed soils from erosion during and after the period of construction.

- A. Seeding
1. Specifications
a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of seeding such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.

Permanent Seeding Summary table with columns for Hardness Zone, Species, Application Rate, Seeding Dates, Seeding Depths, and Fertilizer/Lime Rates.

OWNER: NISHA PATEL, C/O GREENFIELD FAMILY HOMES, 6202 ALTIMAN SILEY WAY, COLUMBIA, MD 21044

- B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
1. General Specifications
a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.

TEMPORARY SEEDING NOTES (B-4-4)

To stabilize disturbed soils with vegetation for up to 6 months.
Purpose: To use fast growing vegetation that provides cover on disturbed soils.

- 1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.

Temporary Seeding Summary table with columns for Hardness Zone, Seed Mixture, Species, Application Rate, Seeding Dates, Seeding Depths, and Fertilizer/Lime Rates.

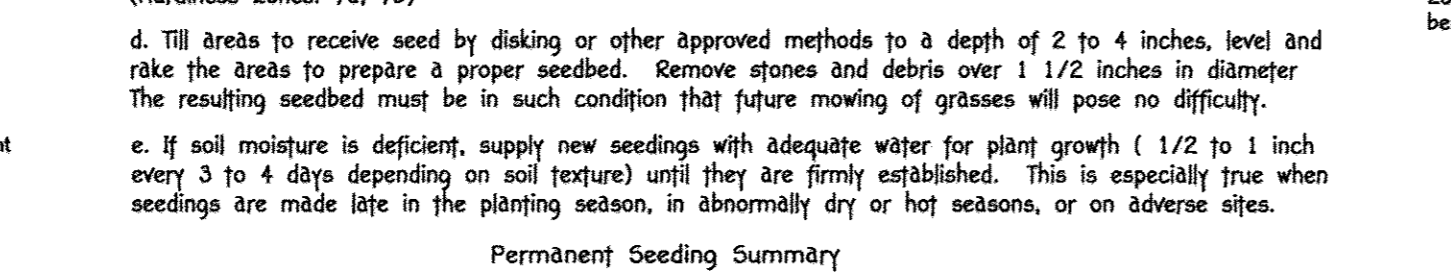
PERMANENT SEEDING NOTES (B-4-5)

- A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and enter the appropriate application rates, application rates, application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.

B-4-B STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREAS

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.
Purpose: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

- 1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benchmarks must be provided in accordance with Section B-3 Land Grading.



CONSTRUCTION SPECIFICATIONS

- 1. REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBSTACLES MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.

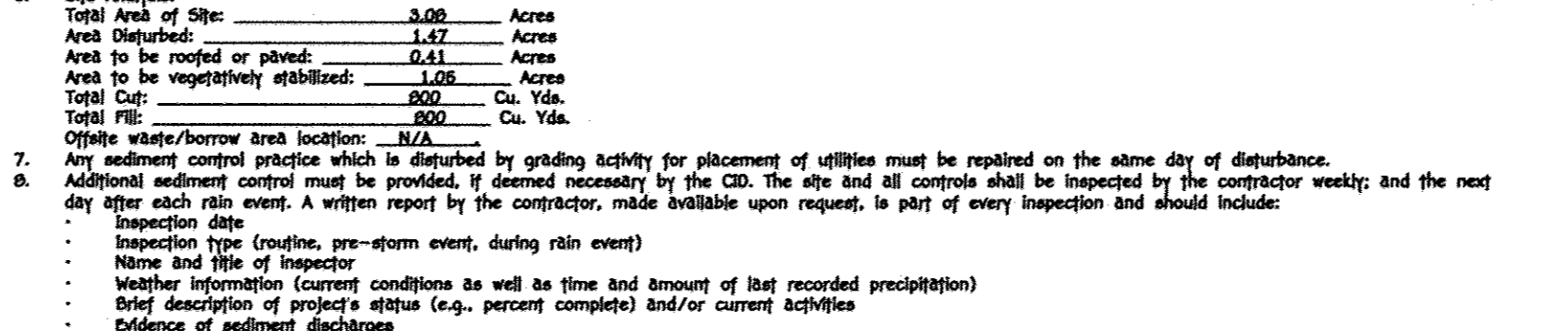
Table with columns for Dike Height, Dike Width, and Dike Depth, showing minimum and maximum values for different dike types.

Builder/Developer's Certificate: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR CONSTRUCTION AND EROSION CONTROL...

- 2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other.

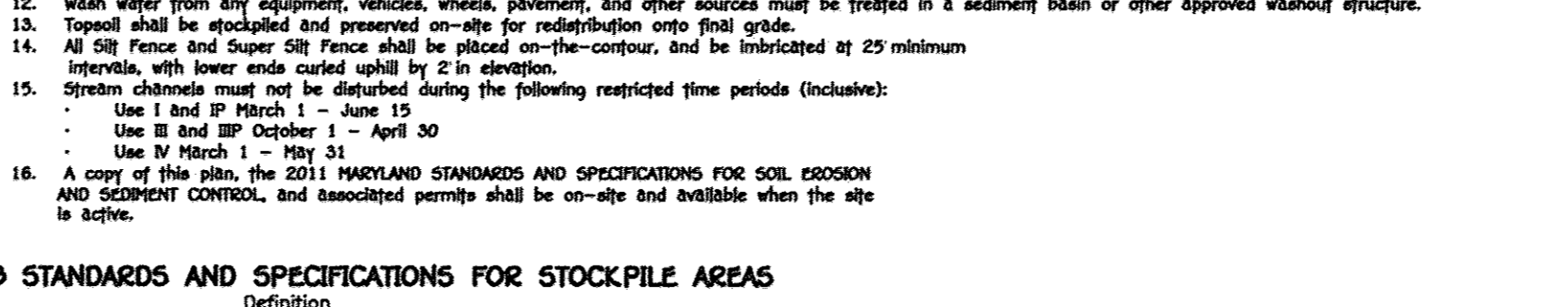
HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1895 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hours notice to CID must be given at the following stages:
a. Prior to the start of earth moving or excavation.
b. Prior to the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading.



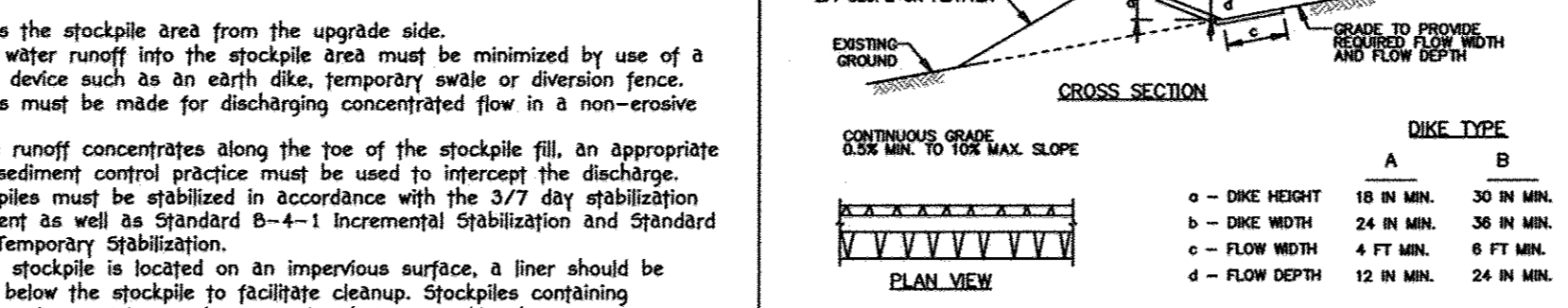
CONSTRUCTION SPECIFICATIONS

- 1. REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBSTACLES MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.



CONSTRUCTION SPECIFICATIONS

- 1. REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBSTACLES MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.



CONSTRUCTION SPECIFICATIONS

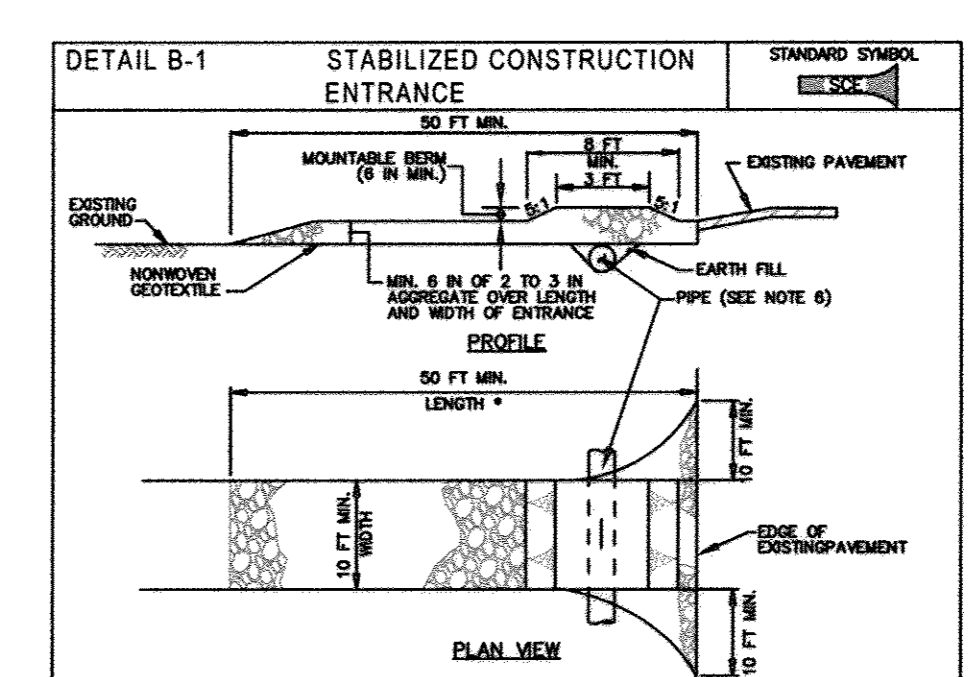
- 1. INSTALL 2x6 INCH DIAMETER GALVANIZED STEEL POSTS AT 40-60 INCH WALL THICKNESS AND SIX FOOT CENTER TO CENTER SPACING.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (2 WEEKS)

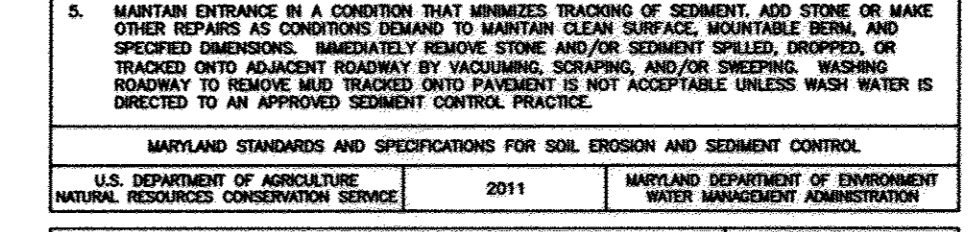
SEDIMENT & EROSION CONTROL NOTES & DETAILS (HOUSE) BALAKIRSKY PROPERTY, LOT 2

NOTE: REAR OF HOUSE: SPACING = 0.6 FT / 0.022 FT/FT = 27 FT MIN. CHECK DAMS SPACED 30 FT APART WITH WEIR HEIGHT OF WEIR 4 FT WIDE.



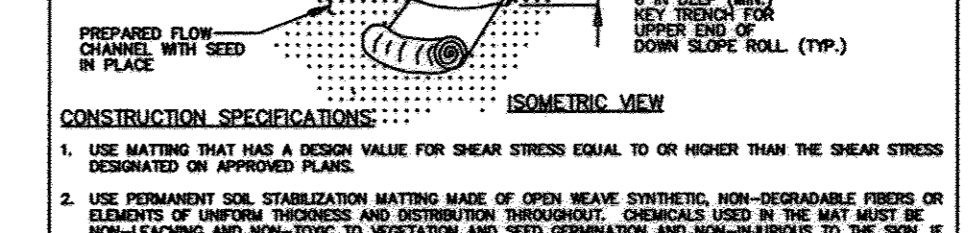
CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. WEIR MUST BE LOCATED UPSTREAM OF THE ENTRANCE. USE MINIMUM WIDTH OF 10 FEET. FLARE SIZE TO FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE TURNING RADIUS.



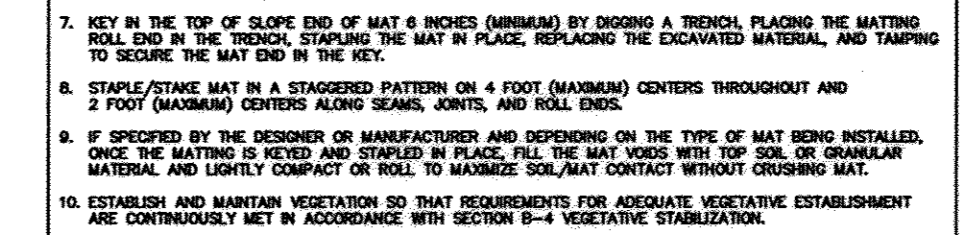
CONSTRUCTION SPECIFICATIONS

- 1. USE MATTING THAT HAS A MINIMUM VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.



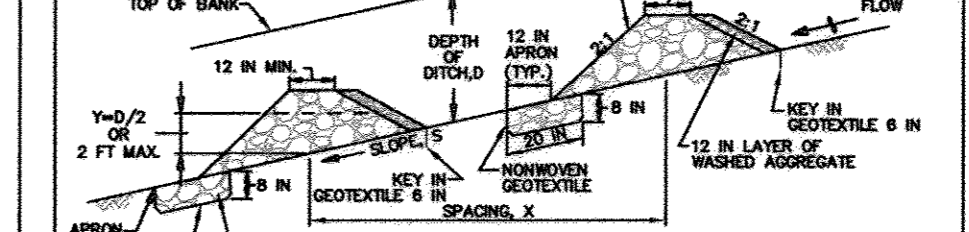
CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 2x6 INCH DIAMETER GALVANIZED STEEL POSTS AT 40-60 INCH WALL THICKNESS AND SIX FOOT CENTER TO CENTER SPACING.



CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 2x6 INCH DIAMETER GALVANIZED STEEL POSTS AT 40-60 INCH WALL THICKNESS AND SIX FOOT CENTER TO CENTER SPACING.

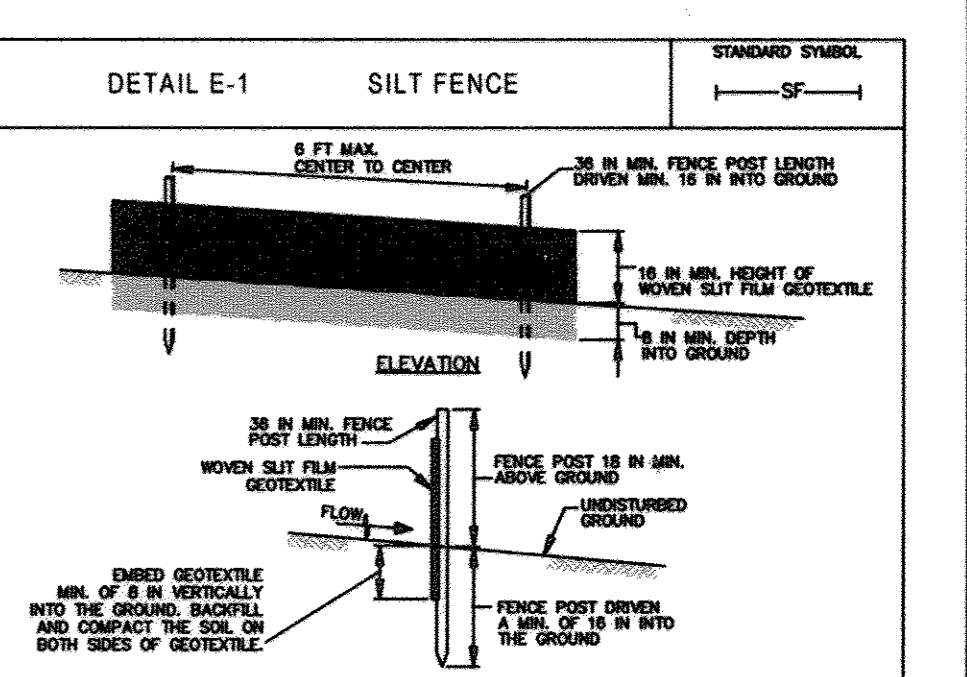


SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (2 WEEKS)

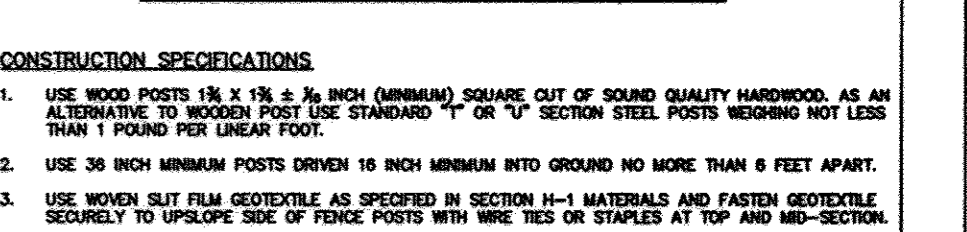
SEDIMENT & EROSION CONTROL NOTES & DETAILS (HOUSE) BALAKIRSKY PROPERTY, LOT 2

NOTE: REAR OF HOUSE: SPACING = 0.6 FT / 0.022 FT/FT = 27 FT MIN. CHECK DAMS SPACED 30 FT APART WITH WEIR HEIGHT OF WEIR 4 FT WIDE.



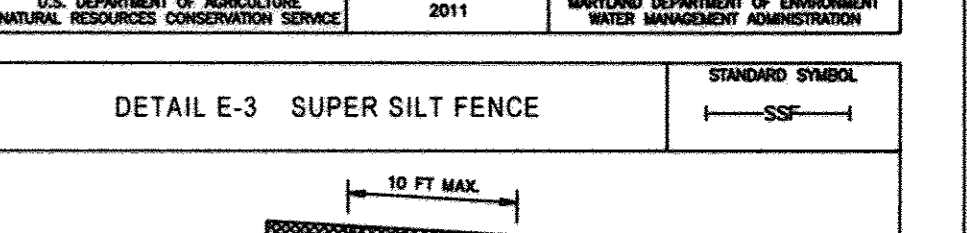
CONSTRUCTION SPECIFICATIONS

- 1. USE WOOD POSTS 1 1/2 x 1 1/2 x 16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POSTS USE STANDARD 4" OR 6" TUBE SECTION STEEL POSTS WEIRING NOT LESS THAN 1/4 INCH DIAMETER.



CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 2x6 INCH DIAMETER GALVANIZED STEEL POSTS AT 40-60 INCH WALL THICKNESS AND SIX FOOT CENTER TO CENTER SPACING.



SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (2 WEEKS)

SEDIMENT & EROSION CONTROL NOTES & DETAILS (HOUSE) BALAKIRSKY PROPERTY, LOT 2

NOTE: REAR OF HOUSE: SPACING = 0.6 FT / 0.022 FT/FT = 27 FT MIN. CHECK DAMS SPACED 30 FT APART WITH WEIR HEIGHT OF WEIR 4 FT WIDE.