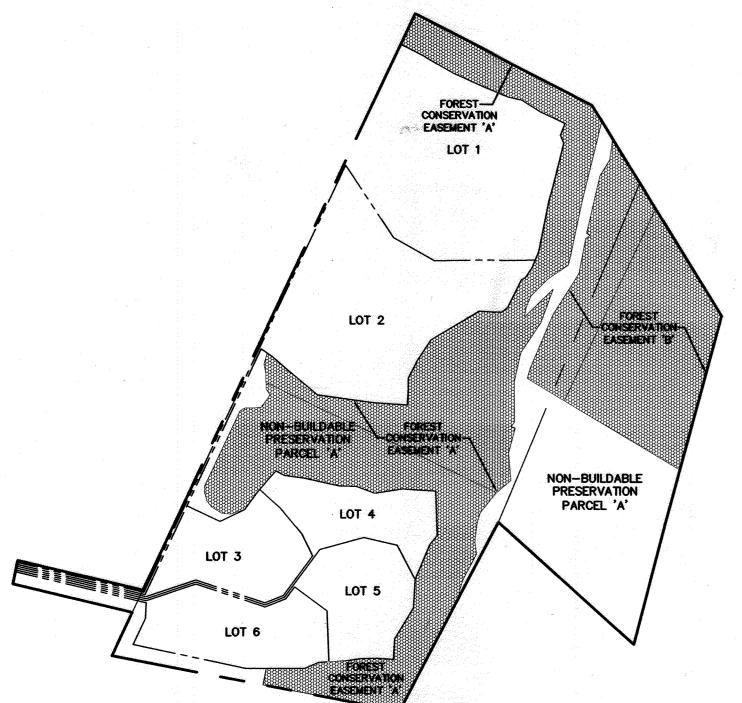
	A	<u>ar ann an an</u>					
	MINIMUM	LOT SIZE CHAP	T				
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE				
1	145,250 SF/3.33 Ac	5,003 SF/0.11 Ac	140,247 SF/3.22 Ac				
2	134,180 SF/3.08 Ac	3,246 SF/0.08 Ac	130,934 SF/3.00 Ac				
3	48,952 SF	1,096 SF	47,856 SF				
4	44,097 SF	2,762 SF	41,335 SF				
5	47,280 SF	2,462 SF	44,818 SF				
6	53.972 SF	1.123 SF	52.849 SF				

SUPPLEMENTAL PLANS MELCHIOR PROPERTY

LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL 'A'

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND



LOT LAYOUT DETAI;

<u>OWNER</u>

DORSEY FAMILY HOMES, INC. 10717-B BIRMINGHAM WAY WOODSTOCK, MARYLAND 21163 (410)465-7200

ENGINEER'S CERTIFICATE I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

JEFFREY SLOMAN, PE PRINTED NAME OF ENGINEER

DEVELOPERS CERTIFICATE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNE INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED

TO CONDUCT PERIODIC ON-SITE INSPECTION. SIGNATURE OF DEVELOPER

CHIEF, DIVISION OF LAND DEVELOPMENT

ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC. PRINTED NAME OF DEVELOPER

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT

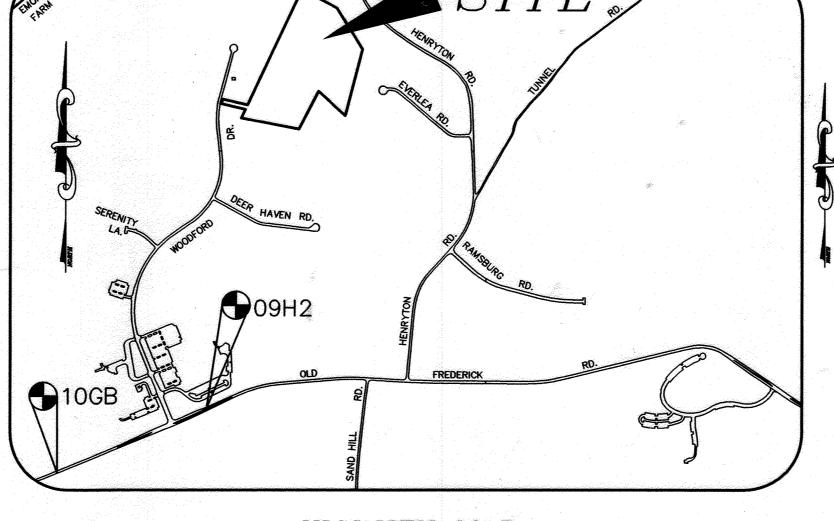
m/ Kobulson MOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE KetSherbrook 1-13-14

PROPOSED SUBDIVISION UNDER F-13-074 GROSS ACREAGE: 24.11 Ac TOTAL AREA LOTS 1 & 2: 6.41 Ac AREA AVAILABLE FOR FUTURE CLUSTER SUBDIVISION: 17.70 Ac

PROPOSED RESUBDIVISION UNDER F-13-075

17.70 / 4.25 = 4.16 CLUSTER LOTS: 4 LOTS @ NET ACREAGE OF 50,000 SF PROPOSED 17.70 - 4.46 Ac (AREA OF CLUSTERED LOTS 3 THRU 6) = 13.24 Ac (REQUIRED PRESERVATION PARCEL TO SUPPORT 4 CLUSTERED LOTS)



VICINITY MAP

1" = 1000'ADC MAP 11 GRID E7, F7

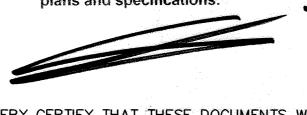
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS AND LOT LAYOUT
3	SUPPLEMENTAL AND GRADING PLAN
4	SUPPLEMENTAL AND GRADING PLAN
5	SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN
6	SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN
7	SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN
8	SUPPLEMENTAL, EROSION, AND SEDIMENT CONTROL PLAN
9	SUPPLEMENTAL, EROSION, AND SEDIMENT CONTROL PLAN
10	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
11	STORMWATER MANAGEMENT AND STORM DRAINAGE PLAN
12	STORMWATER MANAGEMENT AND STORM DRAINAGE PLAN
13	STORMWATER MANAGEMENT AND CONSTRUCTION DETAILS AND PROFILES
14	STORMWATER MANAGEMENT AND STREAM BANK RESTORATION DETAILS

					On antonia and a site and a sure	SI	ORMWATE	R MANA	GEMENT	PRACTI	CES	and the second second				
#	ADDRESS		PAVEMENTS A-2		DISCONNECTION OF ROOFTOP RUNOFF N-1 (NUMBER)	DISCONNECTION OF NON-ROOFTOP RUNOFF N-2 (Y/N)	SHEETFLOW TO CONSERVATION AREAS N-3 (Y/N)	RAINWATER HARVESTING M-1 (NUMBER)	SUBMERGED GRAVEL WETLANDS M-2 (NUMBER)	LANDSCAPE INFILTRATION M-3 (NUMBER)	INFILTRATION BERMS M-4 (NUMBER)	DRY WELLS M-5 (NUMBER)	MICRO- BIORETENTION M-6 (NUMBER)	RAIN GARDENS M-7 (NUMBER)	SWALES M-8 (NUMBER)	ENHANCED FILTERS M-9 (NUMBER)
	WOODFORD DR.	N	Y	N	0	N	N	0	0	0	0	0	1	0	0	0
	WOODFORD DR.	N	N	N	0	N	N	0	0	0	0	0	1	0	0	0
	WOODFORD DR.	N	N	N	0	N	N	0	0	0	0	0	2	0	0	0
	WOODFORD DR.	N	Υ	N	0	N	N	0	0	0	0	0	1	0	0	0
	WOODFORD DR.	N	Υ	N	0	N.	N	0	0	0	0	0	1	0	0	0
	WOODFORD DR.	Ŋ	N	N	0	N	N	0	0	0	0	0	2	0	0	0
,		N	N	N	0	N	N	0	0	0	0	0	3	0	0	0



AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility shown on this plan was constructed as shown on the 'As-Built' plans and meets with the approved plans and specifications.



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.

1. HORIZONTAL & VERTICAL DATUM FOR THIS AS-BUILT IS BASED ON THE MARYLAND STATE REFERENCE SYSTEM NAD 83/ADJ O7 AS PROJECTED FROM HOCO GEODETIC CONTROL STATIONS 0942 & 1068. THE INSTRUMENTS USED IN PERFORMING THE AS-BUILT WERE A 5" SE TRIMBLE ROBOTIC TOTAL STATION WITH A TSC3 DATA COLLECTOR AND A TRIMBLE R780 RTX GPS UNIT WITH TDC800 DATA COLLECTOR.

THIS AS-BUILT WAS PERFORMED BY MILDENBERG, BOENDER ! ASSOCIATES, INC. STORMWATER MANAGEMENT FOR LOTS 1, 2,3.4,5, AND 6 SHALL BE INSTALLED UNDER THE RESIDENTIAL LOT GP PLAN. THESE NOTED LOTS ARE TO BE AS-BUILT AS PART OF THE INDIVIDUAL GRADE CERTIFICATION FOR EACH LOT.

EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SEDIMENT CONTROL OPERATIONS ARE TO BE DONE IN ACCORDANCE WITH SECTION 219 OF THE HOWARD COUNTY VOLUME IV DESIGN MANUAL AND THE STANDARDS AND SPECIFICATIONS FOR SEDIMENT CONTROL IN DEVELOPING AREAS.
- 2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS THE FIRST ORDER OF
- 3. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED ON THE UPGRADE SIDE OF THE MAIN TRENCH.
- 4. EXCAVATION AND BACKFILL SHALL BE LIMITED TO THAT WHICH CAN BE STABILIZED WITHIN ONE
- 5. IMMEDIATELY FOLLOWING BACKFILL OF THE SEWER TRENCH, ALL DISTURBED AREAS ARE TO BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION AND SEEDING NOTES SHOWN
- THROUGHOUT THE PROJECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEDIMENT CONTROL DEVICES AND PROVIDE ALL NECESSARY MAINTENANCE TO INSURE THAT ALL DEVICES ARE IN
- 7. ALL SEDIMENT CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SITE ANALYSIS DATA: LOCATION: TAX MAP: 10 PARCEL: ELECTION DISTRICT: THIRD ZONING: RR-DEO TOTAL GROSS SITE AREA: 24.11 AC.± TOTAL NET SITE AREA: 24.11 AC.± AREA OF 15-24.99% SLOPES: 8.18 AC.± AREA OF >=25% SLOPES: 4.37 Ac±

LIMIT OF DISTURBED AREA: 4.58 AC.± PROPOSED USE FOR SITE: RESIDENTIAL. TOTAL NUMBER OF UNITS: 2 (NOT INCL. EXIST DWELLING TO BE REMOVED) SF LOTS

1 BUILDABLE BULK PARCEL TYPE OF PROPOSED UNIT : SFD

DEED REFERENCE: 4038 / 0416 PREVIOUS DPZ NUMBERS: F-07-214 WP-06-132 WP-13-049 ECP-13-037 F-07-215 WP-08-039 WP-13-050 WP-13-168 HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND

STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 09H2 & 10GB STA. No. 09H2 N 601,676.7094 E 1,329,520.9963 EL. 640.22

STA. No. 10GB N 602,275.9611 E 1,331,069.3672 EL. 597.35 THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (COUNCIL BILL 45-2003). DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION OR BUILDING/GRADING PERMIT.

BOUNDARY SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY MILDENBERG, BOENDER AND ASSOC, IN OCTOBER, 2012

CONSULTANTS, INC. IN NOVEMBER, 2004. OFFSITE TOPOGRAPHY BASED ON HOWARD COUNTY GIS.

6. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION WILL BE FULFILLED BY ON—SITE FOREST CONSERVATION (RETENTION).

7. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT. 8. FOREST STAND DELINEATION WAS PERFORMED BY ECO-SCIENCE, INC. IN NOVEMBER, 21 WETLAND DELINEATION WAS TAKEN FROM PREVIOUS PLANS F-07-214 AND F-07-215.
A FIELD INVESTIGATION WAS PERFORMED IN NOVEMBER, 2012 AND IT WAS DETERMINED THAT THERE WERE NO SUBSTANTIAL DEVIATIONS FROM THE WETLAND DELINEATION

9 FINANCIAL SURETY FOR PERIMETER LANDSCAPING AND TRASH PAD SCREENING IN THE AMOUNT OF \$10.800.00 FOR 35 SHADE TREES AND 10 SHRUBS SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SUBDIVISION, F-13-074.

10. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.

11. NO CEMETERIES EXIST ON SITE.

12. THIS PROPOSED SUBDIVISION WILL CONSIST OF SINGLE FAMILY DETACHED DWELLINGS. 13. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS

FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE, A/WIDER WIDTH MAY BE REQUIRED IN CERTAIN CASES-SEE NOTE BELOW).

B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP

C) GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. OF 45 FOOT TURNING RADIUS. D) STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).

E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD PLAIN WITH N MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE. F) STRUCTURE CLEARANCES - MINIMUM 12 INCHES

G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.

14. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT—OF—WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.

15. STORMWATER MANAGEMENT IS PROVIDED WA PERVIOUS CONCRETE, NON—ROOFTOP (N-2) DISCONNECTION AND AND MICRO—BIORETENTION FACILITIES IN ACCORDANCE WITH THE 2000 MDE STORMWATER DESIGN MANUAL. ALL ESD PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED. PRIOR TO SIGNATURE APPROVAL OF THE FINAL PLAT OR SITE DEVELOPMENT PLAN, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DECLARATION OF COVENANT AND/OR A DEVELOPER'S ACREEMENT FOR THE CONSTRUCTION OF THE OF COVENANT AND/OR A DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT PRACTICES AND A MAINTENANCE AGREEMENT FOR THE PRIVATELY OWNED AND MAINTAINED ESD PRACTICES (DISCONNECTIONS, PERVIOUS

CONCRETE AND MICRO-BIORETENTION FACILITIES). 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF

17. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE

18. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

19. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF 9.37 Ac. (408,157.2 SQ.FT.) INTO FORE CONSERVATION EASEMENTS A (6.08 Ac) AND B (3.29 Ac) WHICH IS SUFFICIENT TO MEET THE BREAKEVEN POINT OF 9.37 AC OF REQUIRED RETENTION.

20. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO GRADING, REMOVAL OF VEGETATIVE COVER OF TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR BUFFERS, FLOODPLAINS, OR FOREST CONSERVATION EASEMENT AREAS EXCEPT AS SHOWN ON THE APPROVED

21. WATER WILL BE PUBLIC (CONTRACT NO. 44-4791-D) AND SEWER WILL BE PRVATE

22. WATER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE VIA CONNECTIONS TO EXISTING CONTRACT 44-3478.

23. PUBLIC WATER ALLOCATION WILL BE GRANTED AT THE TIME OF THE ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE. 24. THERE IS AN EXISTING DWELLING AND GRAVEL DRIVEWAY ON BUILDABLE BULK PARCEL A

25. ENVIRONMENTAL CONCEPT PLAN, ECP-11-037, FOR THIS SUBDIVISION WAS APPROVED ON FEBRUARY 11, 2013.

26. ANY PRIVATE WELL OR SEPTIC SYSTEM ENCOUNTERED SHALL BE PROPERLY ABANDONED AND THE HEALTH DEPARTMENT NOTIFIED OF SUCH. 27. A USE-IN-COMMON ACCESS MAINTENANCE AGREEMENT FOR LOTS 1-6 SHALL BE RECORDED SIMULTANEOUSLY IN THE LAND RECORDS OFFICE OF HOWARD COUNTY,

MARYLAND WITH THE RECORD PLAT. 28. HORIZONTAL GEOMETRY OF THE MICRO-BIORETENTION FACILITIES MAY BE MODIFIED WHILE MAINTAINING SURFACE AREA.

29. A PRIVATE RANGE OF ADDRESS SIGN SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER'S/OWNER'S EXPENSE.

CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-2430 FOR DETAILS AND COST

30. A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) PERMIT WILL BE OBTAINED (TRACKING NUMBER 201360983) FOR THE PROPOSED WATER MAIN AND DRIVEWAY CONSTRUCTION THROUGH THE WETLANDS AND STREAM BANK BUFFER. 31. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.

32. A TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC. IN JANUARY, 2013. 33. NO GRADING OR DISTURBANCE IS ALLOWED IN THE STREAM, WETLANDS, OR THEIR BUFFER OR FLOODPLAIN AREA UNLESS APPROVED BY THE DEPARTMENT OF PLANNING

34. WAIVER PETITION WP-13-168 REQUESTING A WAIVER TO SECTION 16.1205(a)(7) TO ALLOW TO THE REMOVAL OF SIX (6) SPECIMEN TREES WAS GRANTED ON MAY 15, 2013.

35. WAIVER PETITION WP-13-168 REQUESTING A WAIVER TO SECTION 16.116(a)(3) TO ALLOW A PORTION OF THE 100-FOOT STREAM BANK BUFFER TO BE INCLUDED WITHIN

36. THE GRADING IN THE ENVIRONMENTAL FEATURES FOR INSTALLATION OF PUBLIC WATER. SEWER AND / OR UTILITIES ARE CONSIDERED ESSENTIAL DISTURBANCE BY DPZ.

37. THIS PROJECT WILL BE SUBMITTED FOR FINAL SUBDIVISION APPROVAL IN TWO PHASES THE FIRST PHASE WILL SUBDIVIDE THE PROPERTY INTO LOTS 1, 2, AND BUILDABLE BULK PARCEL 'A'. THE SECOND PHASE WILL CONSIST OF SUBDIVIDING BULK PARCEL 'A' INTO LOTS 3, 4, 5, 6 AND NON-BUILDABLE PRESERVATION PARCEL 'A'.

38. FINAL PLANS F-07-214 AND F-07-215 WERE VOIDED ON JANUARY 26, 2009 39. WAIVER PETITIONS WP-13-49 AND WP-13-050 WERE APPLIED FOR TO REACTIVATE

FINAL PLANS F-07-214 AND F-07-215. THESE WAIVER PETITIONS WERE DENIED ON OCTOBER 25, 2012. 40. GRADING IN ENVIRONMENTAL FEATURES FOR THE SHARED DRIVEWAY AND/OR UTILITIES IS CONSIDERED ESSENTIAL DISTURBANCE BY DPZ.

41. MARYLAND DEPARTMENT OF THE ENVIRONMENTAL PERMITS HAVE BEEN APPLIED FOR AND ISSUED TRACKING NUMBER 201360983.

42. THERE ARE FLOODPLAIN, STEEP SLOPES, STREAMS, WETLANDS AND THEIR BUFFERS LOCATED ON THIS SITE.

43. THE FLOODPLAIN STUDY APPROVED UNDER FINAL PLANS F-07-214 AND F-07-215 WAS SUBMITTED AS PART OF THIS FINAL PLAN.

44. HOA DOCUMENTS ARE RECORDED WITH THE MARYLAND DEPARTMENT OF ASSESSMENTS 45. HOA COVENANTS AND RESTRICTIONS ARE RECORDED IN THE LAND RECORDS OFFICE OF

HOWARD COUNTY SIMULTANEOULY WITH RECORDATION OF F-13-075. 46. NON-BUILDABLE PRESERVATION PARCEL 'A' WILL BE OWNED BY THE HOMEOWNERS' ASSOCIATION WITH THE EASEMENT HOLDER BEING HOWARD COUNTY MO.

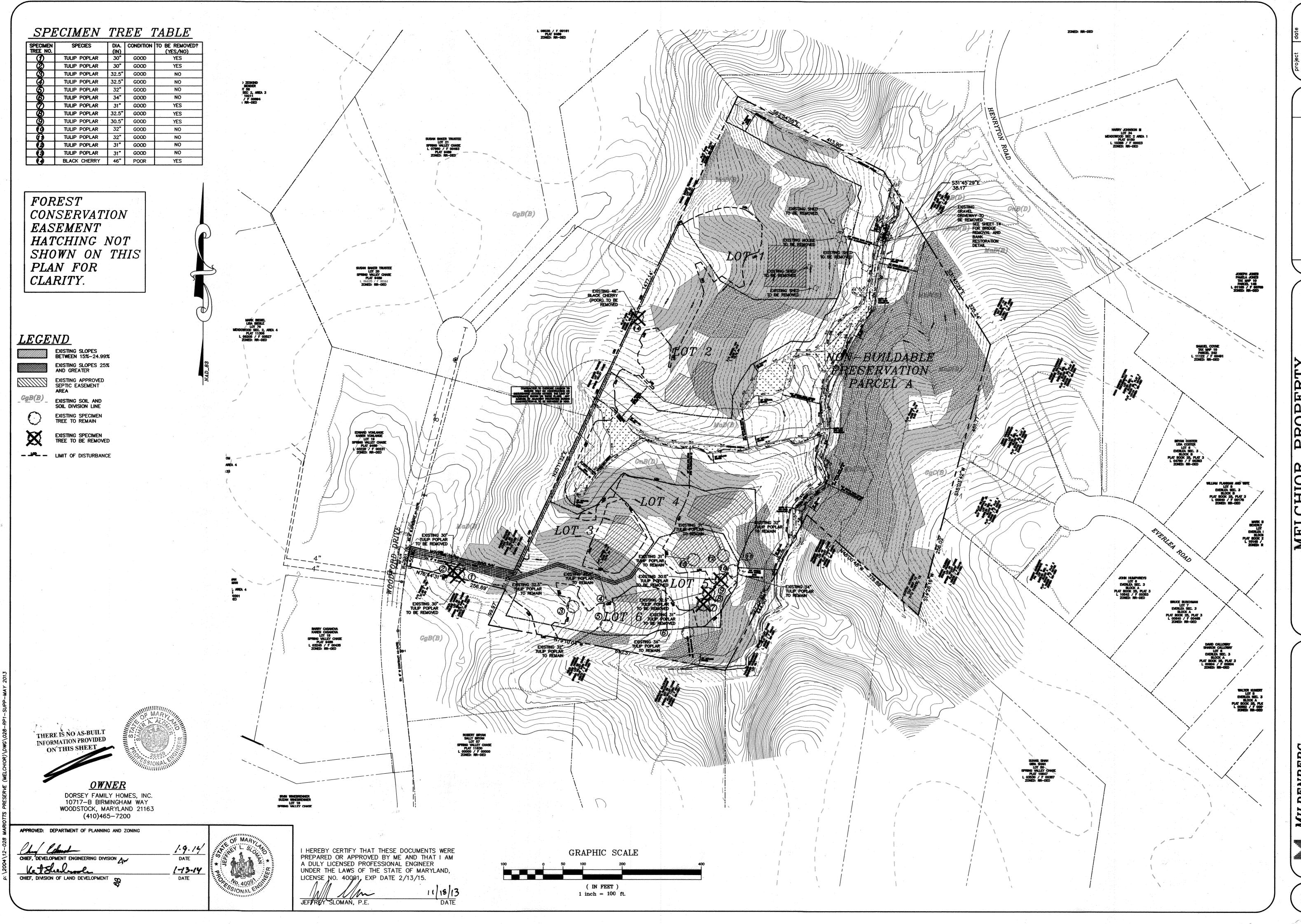
47. ON-LOT STORMWATER MANAGEMENT DEVICES ARE SUBJECT TO RECORDED DECLARATION OF COVENANTS (DOC).

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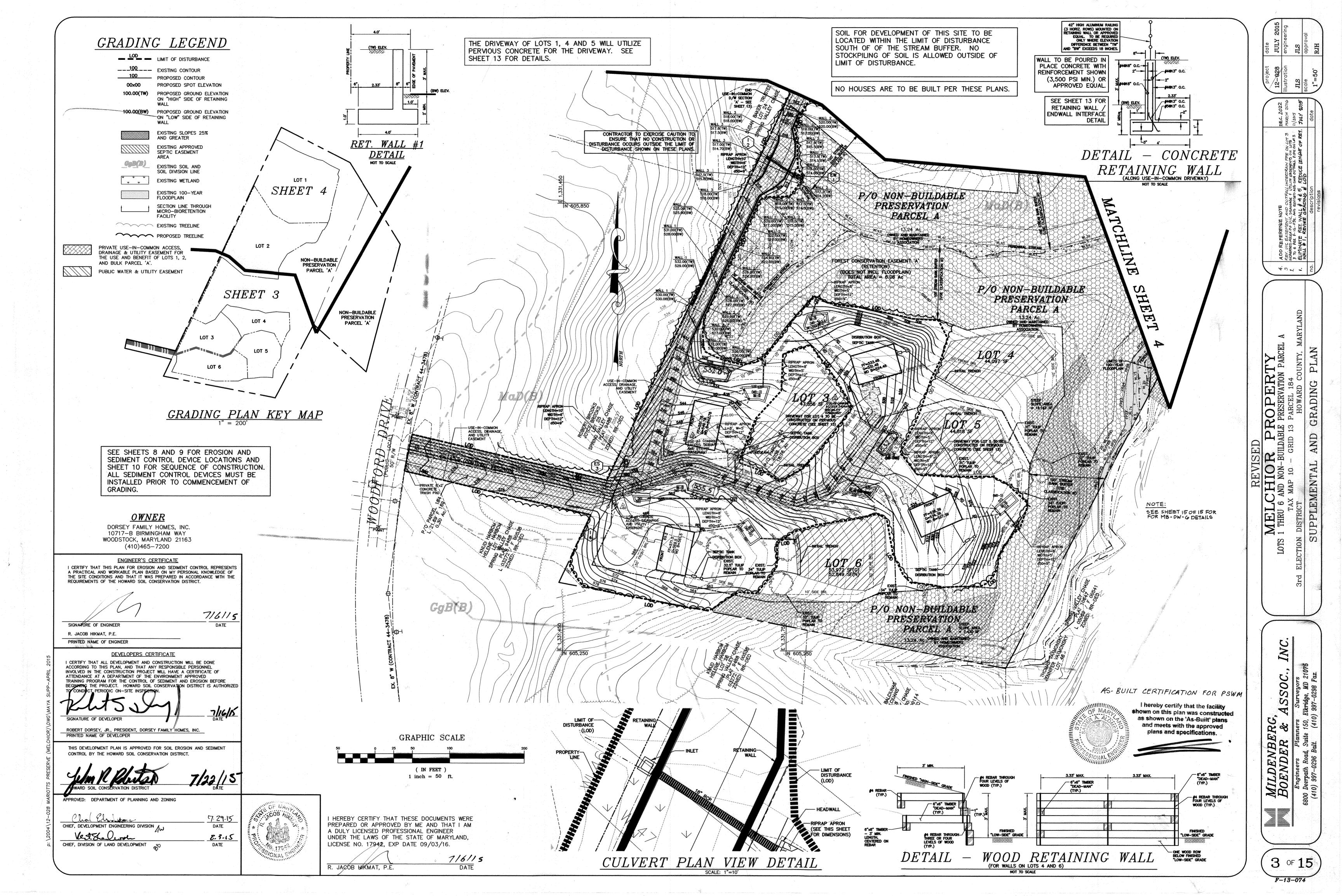


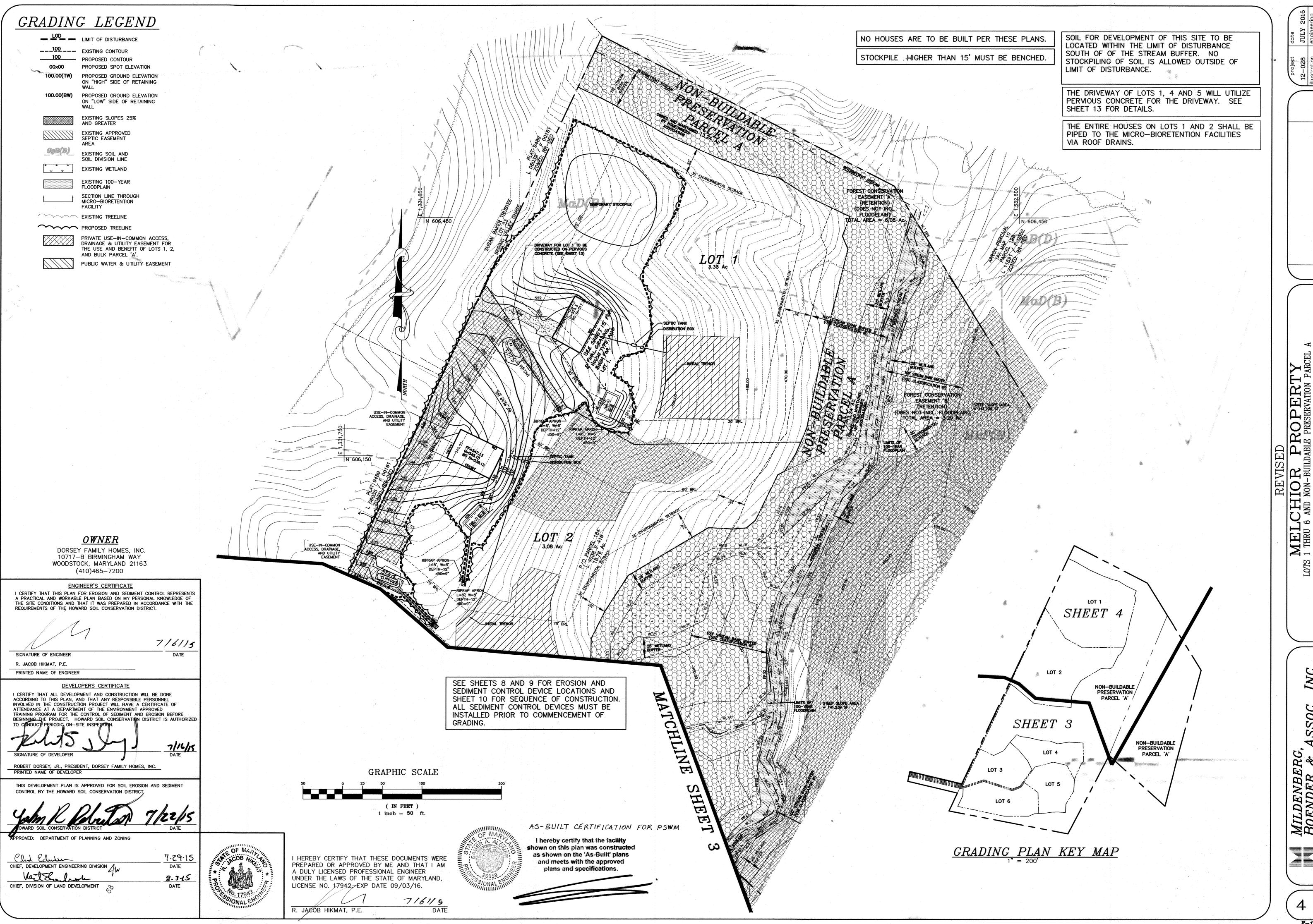
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O - GRID 13 PARCEL 184

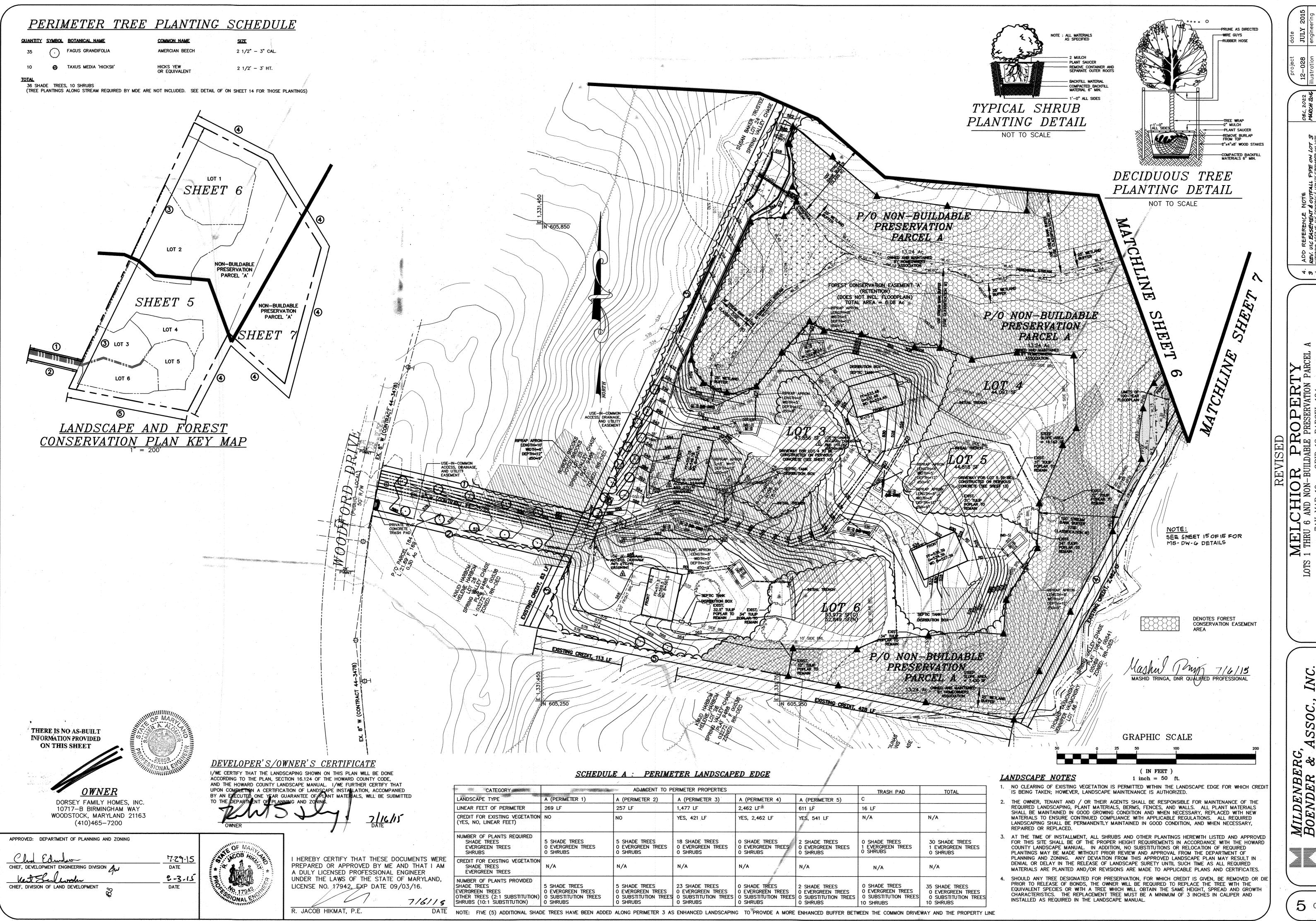
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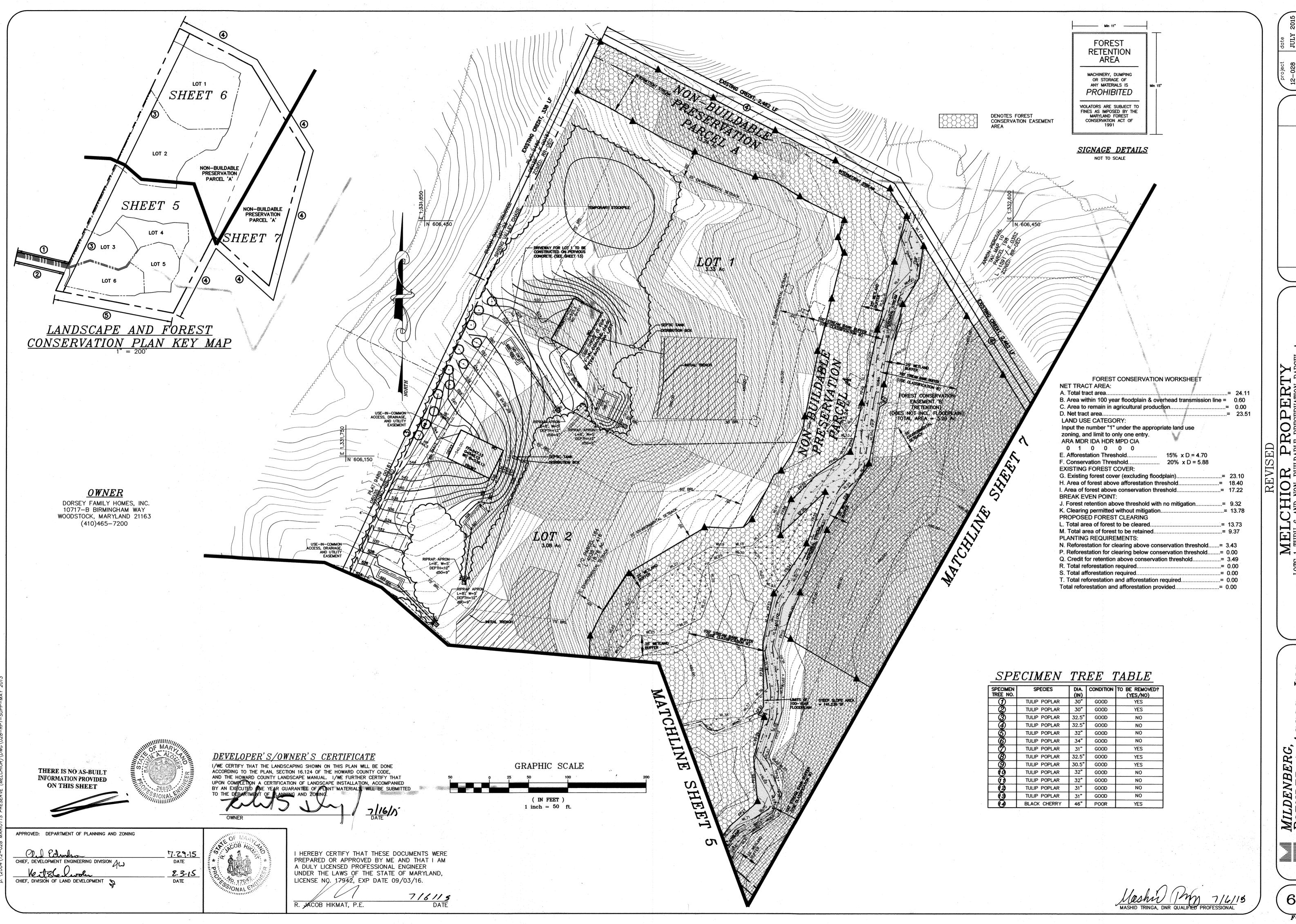
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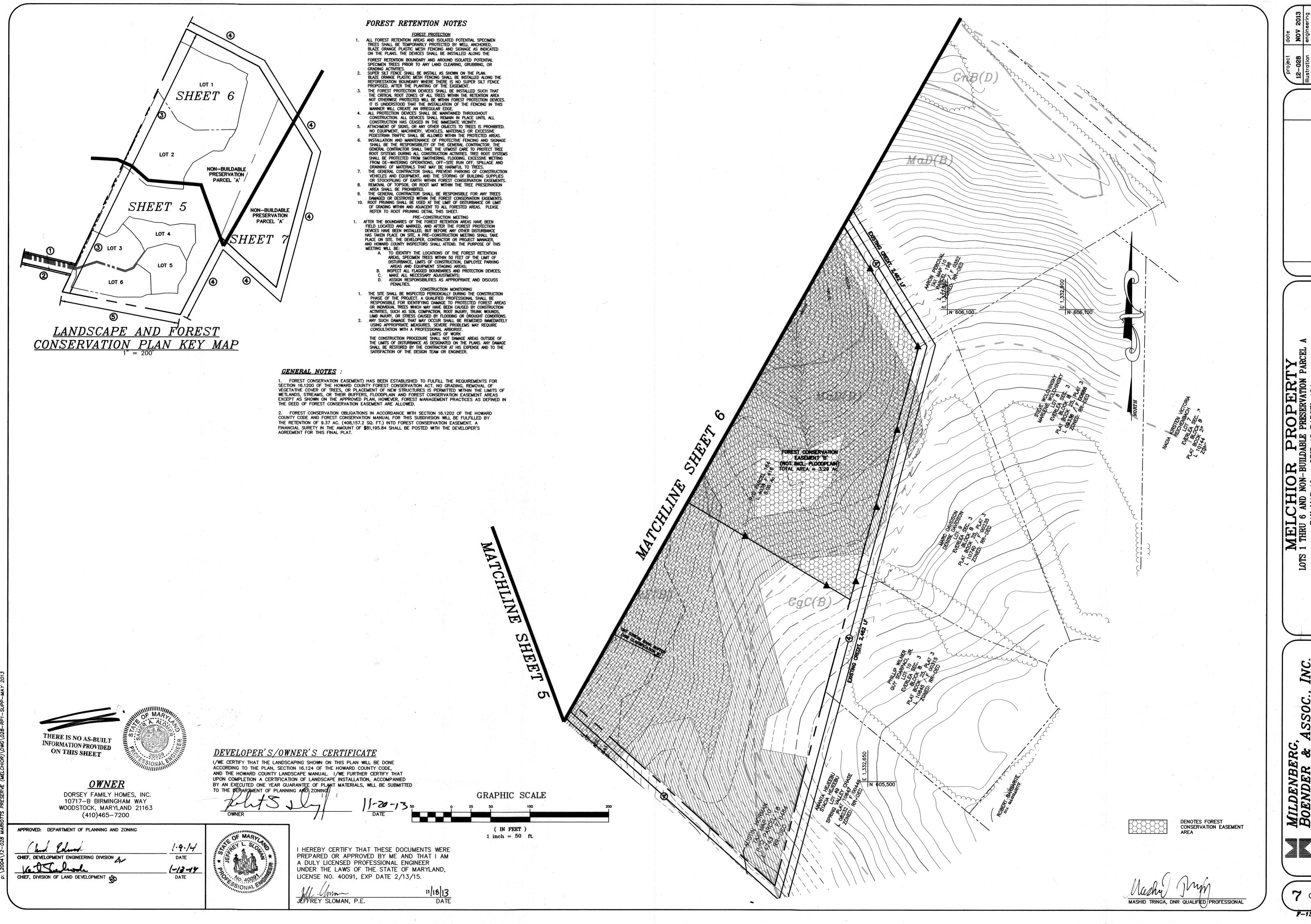
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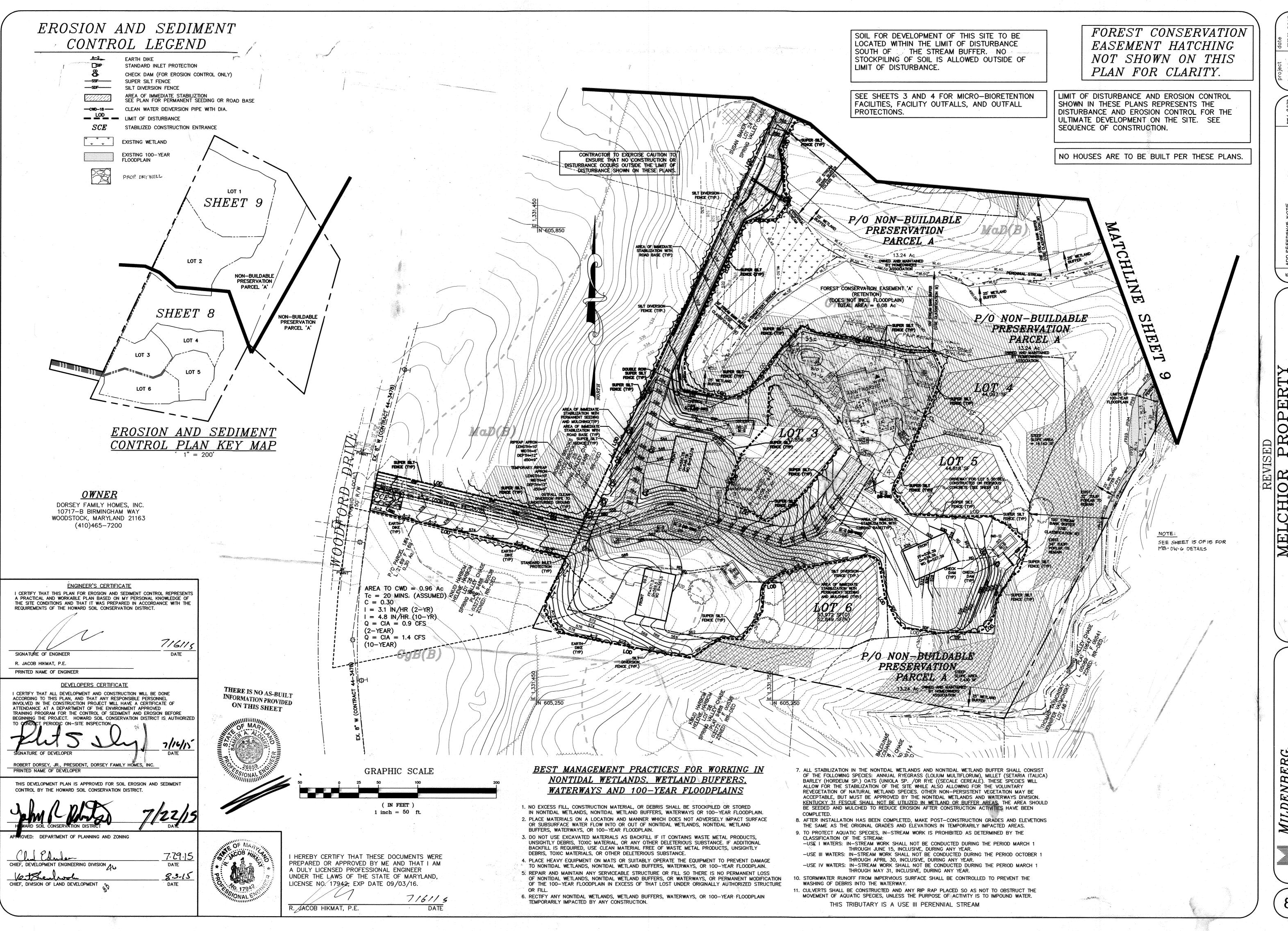


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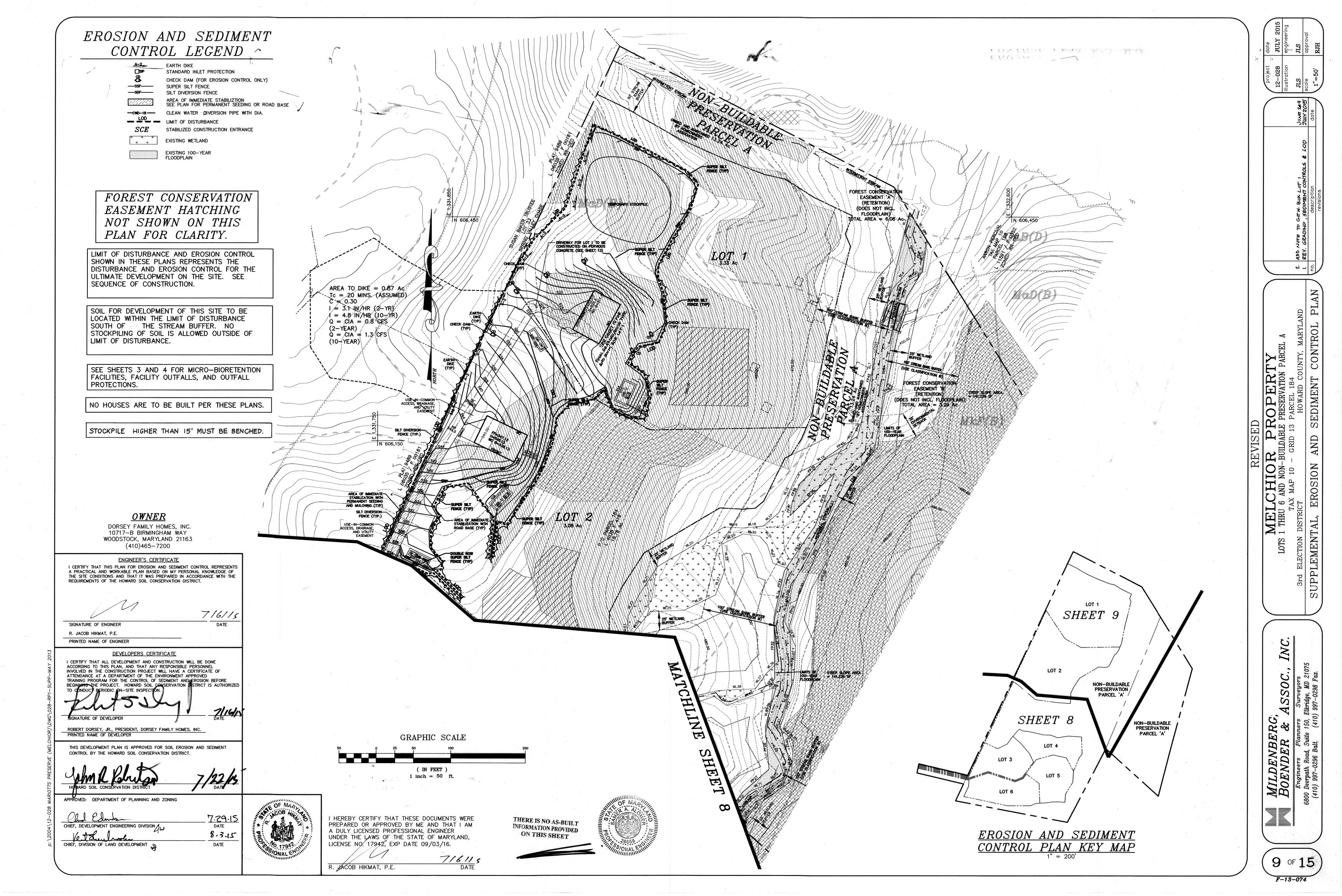
Engineers Planners
6800 Deerpath Road, Suite 150,
(410) 997-0296 Balt. (410)



D COUNTY, MARYLAND
CONSERVATION PLAN



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DEVELOPERS CERTIFICATE I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED ENGINEER'S CERTIFICATE I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE O THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. 7/6/15 DATE THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. PROVED: DEPARTMENT OF PLANNING AND ZONING Chil Edula 7.29.15 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE Kent Sterlinger CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

DATE

(B-4-3) STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSETO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING A. SEEDING

1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE VERIFY TYPE OF SEED AND SEEDING RATE.

b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN

WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT

 DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
 INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE—SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL

I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. I. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN . Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P O (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY TIME, DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING

III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

a. Straw consisting of thoroughly threshed wheat, Rye, Oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the maryland seed law and not MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE

PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.

III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WIL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL MITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE HE APPLICATION RATE TO 2.5 TONS PER ACRE. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS

ANCHORING PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. I. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000

STANDARD SEDIMENT CONTROL NOTES

AT A GIVEN TIME

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID) PRIOR TO THE START OF ANY ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF

THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION A) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES

AND ALL SLOPES GREATER THAN 3:1,

B) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.B-4-5), TEMPORARY SEEDING (SEC.B-4-4) AND MULCHING (SDC.B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SITE ANALYSIS: TOTAL AREA OF SITE: AREA DISTURBED: 6.20 ACRES

0.64 ACRES

5.56 ACRES (INCLUDING ROAD BASE) BE ROOFED OR PAVED: AREA TO BE VEGITATIVELY STABILIZED: __

> THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

R. JACOB HIKMAT, P.E.

OFFSITEWASTE/BORROW AREA LOCATION: N/A
THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITIES MEASUREMENTS. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

9) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK FILLED AND STABILIZED BY THE END OF EACH WORKING DAY, WHICHEVER IS SHORTER.

ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCESSING WITH CONSTRUCTION.

A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITIES, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE

PREPARED OR APPROVED BY ME AND THAT I AM

UNDER THE LAWS OF THE STATE OF MARYLAND,

A DULY LICENSED PROFESSIONAL ENGINEER

LICENSE NO. 1/942, ZXP DATE 09/03/16.

FOR INSTALLATION OF THE

7/6/15

CULVERT MAY ONLY OCCUR DURING THE PERIOD OF MAY 1st TO SEPTMBER 30th.

(1 LB./1000 SF) (2 LB./1000 SF) (2 LB./1000 SF) MIXTURES 1, 4-7, 9, AND 10 FROM TABLE B.3 OF THE 2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MAY BE USED.

LIME RATE

2 TONS / ACRE

(90 LBS / 1000

GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE WOVEN SLIT FILM GEOTEXTILE-FLOW

DETAIL E-3 SUPER SILT FENCE

-----SSF-----I

CROSS SECTION INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FO LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.

MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASRERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS SEEDING RETA: 1.5 TO 2.0 POUNDS PER 1000 S.F. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO KENTUCKY BLUEGRASS/PERENIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY ABD WHEN TURF WILL RECEIVE MEDIUM TO INTENSUVE MANAGEMENT. CERTIFIED PERENIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDINGRATE: 2 POUNDS MIXTURE PER 1000 S.F. SHOOSE A MINIMUM OF THREE KENTUCKYBLUEGRASS CULTIVARS EITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL

MIXTURE BY WEIGHT.

III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL MIXTURE: FOR USE IN DROUGHT AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 65 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 PERCENT PER 1000 S.F. ONE OR

KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TIRF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCANT AND CERTIFIES FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATES 1 1/2 TO 3 POUNDS PER 1000 S.F. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURE WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B,6A)

(B-4-5) STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER OF DISTURBED

A. SELECT ONE OR MORE OF THE SPIECES OF MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE

PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED IN THE SITE CONDITION OR PURPOSE

FOUND IN USDA—NRCS TECHNICAL FIELD GUIDE, SECTION 342—CRITICAL AREA PLANTING.

D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FROM FERTILIZED (40-0-01) AT 3 1/2

FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN

FOR SITES HAVING DISTURBAD AREA OVER 5 ACRES, USE AND SHOW RATES RECOMMENDED BY TH

POUNDS PER 1000 S.F. (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES

A. AREAS WHERE TURFGRASS MAY BE DESIRE INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLOCATION RATES, AND SEEDING

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE

SELECT ONE OR MORE OF THE SPECIES OF MIXTURES LISTED BELOW BASED ON THE SITE

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DINES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE

TO STABILIZE DISTURBED SOIL WITH PERMANENT VEGETATION

DATES IN THE PERMANENT SEEDING SUMMARY.

MIXTURE BY WEIGHT.

CONDITIONS WHERE PRACTICE APPLIES

(HARDINESS ZONE: 7A, 7B) TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONE AND DEBRIS OVER 1.5 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)

SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

MOWING OF GRASS WILL POSE NO DIFFICULTY.
IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH 0.5 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASON, OR ON ADVERSE SITES.

(B-4-8) STANDARDS AND SPECIFICATION FOR STOCKPILE AREA

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. O PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION , AND CHANGES TO DRAINAGE PATTERNS. CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH

SECTION B-3 LAND GRADING. 3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. 4. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.

CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVISE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.

TEMPORARY SEEDING FOR SITE STABILIZATION

5B AND 6A

AUG 1 TO SEP 30

AUG 1 TO SEP 30

MAR 15 TO MAY 31;

AUG 1 TO SEP 30

AUG 1 TO SEP 30

JUN 1 TO JUL 31

JUN 1 TO JUL 31

PERMANENT SEEDING SUMMARY

PER ACRE

SEEDING

DEPTHS

DEPTH

(INCHES)

. STOCKPILE MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH

RATE

30 0.7 0.5

SEEDING

DATES

MARCH 1-MAY 15

AUG 15-OCT 15

0.5

PLANT SPECIES

ANNUAL RYEGRASS

(HORDEUM VULGARE)

(AVENA SATIVA

WHEAT

(TRITICUM AESTIVUM)

CEREAL RYE

(SECALE ITALICA)

FOXTAIL MILLET

(SETARIA ITALICA

PEARL MILLET

SPECIES

TALL FESCUE

CLOSURE AND / OR

(PENNISETUM GLAUCUM)

HARDINESS ZONE (FROM FIGURE B.3): 6b

SEED MIXTURE (FROM TABLE B.3): 8

APPLICATION

RATE (LB/AC)

100

DIVERSION OF THE STREAM

LOLIUM PERENNE SSP. MULTIFLORUM)

COOL SEASON GRASSES

WARM SEASON GRASSES

8. PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLAN. THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN DEWATER WORK AREA USING AN APPROVED EROSION AND SEDIMENT CONTROL PRACTICE AS SPECIFIED ON APPROVED PLAN.

RECOMMENDED SEEDING DATED BY PLANT HARDINESS ZONE

MAR 15 TO MAY 31; MAR 1 TO MAY 15; FEB.15 TO APR 30;

MAR 15 TO MAY 31; | MAR 1 TO MAY 15; | FEB.15 TO APR 30:

AUG 1 TO OCT 15

AUG 1 TO OCT 15

MAR 15 TO MAY 31; MAR 1 TO MAY 15; FEB.15 TO APR 30;

AUG 1 TO OCT 15

MAR 15 TO MAY 31; MAR 1 TO MAY 15; FEB.15 TO APR 30; AUG 1 TO OCT 31 AUG 1 TO OCT 15 AUG 15 TO DEC 15

MAY 16 TO JUL 31

MAY 16 TO JUL 31

FERTILIZER RATE

(10-20-20)

90 LBS.

PER ACRE

AUG 1 TO OCT 15 AUG 15 TO NOV 30

MAR 1 TO MAY 15; FEB.15 TO APR 30;

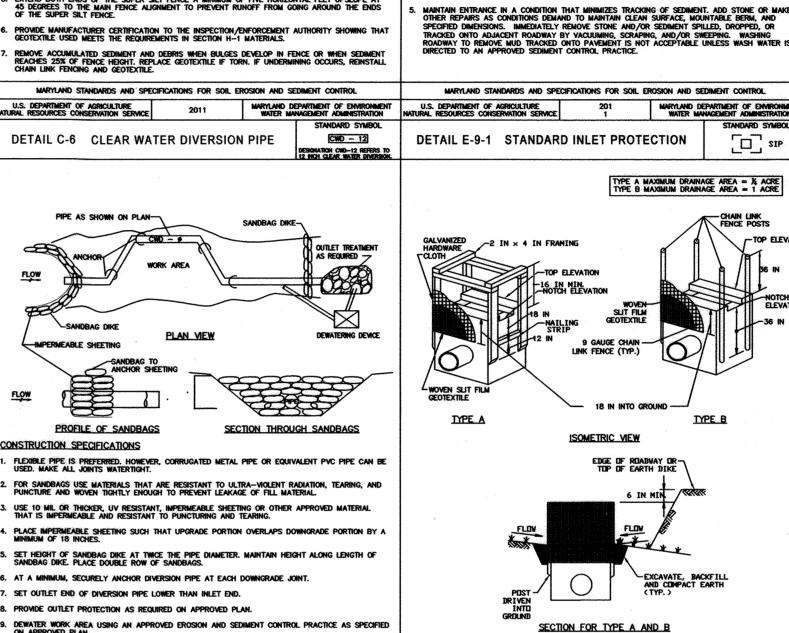
7A AND 7B

AUG 15 TO NOV 30

MAY 1 TO AUG 14

90 LBS.

PER ACRE



DETAIL B-1 STABILIZED CONSTRUCTION

MOUNTABLE BERM (6 IN MIN.)

PROFILE

PLAN VIEW

. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT), USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE A SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAIN/TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS

PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHO REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.

50 FT MIN.

LENGTH '

ENTRANC

MARYLAND DEPARTMENT OF ENVIRONMENT
U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
2011 (B-4-4) STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION **DEFINITION**TO STABILIZE DISTURBED SOIL WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURB SOIL.

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE

WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.a.1b, and Maintain until the next seeding season.

SEQUENCE OF CONSTRUCTION

OBTAIN GRADING PERMIT. (1 DAY).

GRADING ACTIVITIES ON NORTH SIDE OF THE SITE (3 DAYS). INSTALL SUPER SILT FENCE, DIVERSION FENCING AND PIPES,

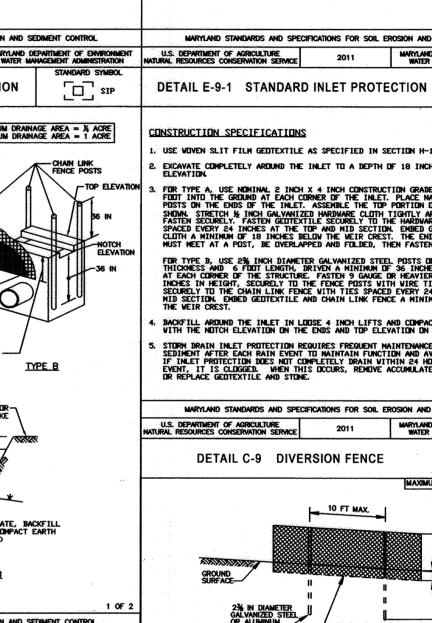
CLEAR AND GRUB SITE (5 DAYS) CONSTRUCT PERMANENT BYPASS PIPE UNDER DRIVEWAY NEAR

CONSTRUCT CULVERT UNDER STREAM AND RETAINING WALLS ALONG DRIVEWAY (10 DAYS)

CONSTRUCT SITE TO GRADES INDICATED (60 DAYS). CONSTRUCT UTILITIES (20 DAYS).

10. CONSTRUCT USE-IN-COMMON DRIVEWAYS (10 DAYS) 11. CONSTRUCT STORM WATER MANAGEMENT FEATURES (MICRO-BIORETENTION) (5 DAYS).

12. SEED AND MULCH ALL DISTURBED AREAS. (3 DAYS). 13. UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE REMOVAL OF CONTROLS (2 DAYS).



SCE

1110

USE WOVEN SLIT FILM GEDTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.

EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION. 3. FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN, STRETCH & INCH GALVANIZED HARDWARE CLOTH TIGHTLY ARRUND THE FRAME AND FASTEN SECURELY. FASTEN GEDTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE WEIR CREST. THE ENDS OF THE GEDTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.

DETAIL C-1 EARTH DIKE

CONTINUOUS GRADE 0.5% MIN. TO 10% MAX. SLOPE

PLAN VIEW

FLOW CHANNEL STABILIZATION

DIKE TYPE

a - DIKE HEIGHT 18 IN MIN. 30 IN MIN.

b - DIKE WIDTH 24 IN MIN. 36 IN MIN.

c - FLOW WIDTH 4 FT MIN. 6 FT MIN.

SEED WITH STRAW MULCH AND TACK. (NOT ALLOWED FOR CLEAR WATER DIVERSION.)

A-3/B-3 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE PRESSED INTO SOIL A MINIMUM OF 7 INCHES AND FLUSH WITH GROUND.

CONSTRUCTION SPECIFICATIONS

REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.

CONSTRUCT FLOW CHANNEL ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.

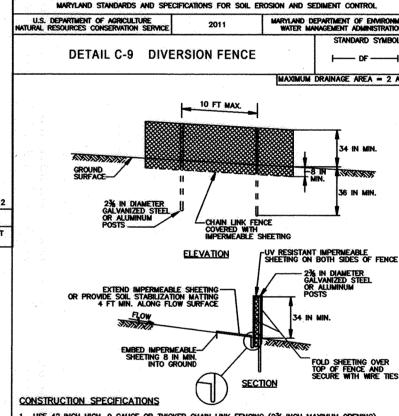
STABILIZE EARTH DIKE WITHIN THREE DAYS OF INSTALLATION. STABILIZE FLOW CHANNEL FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.

PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLA

d - FLOW DEPTH 12 IN MIN. 24 IN MIN.

FOR TYPE B, USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, DRIVEN A MINIMUM OF 36 INCHES BELOW THE MEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH WIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE MEID CORST. BACKFILL AROUND THE INLET IN LODGE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.

i. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS DCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.



AND

3rd ELECTI

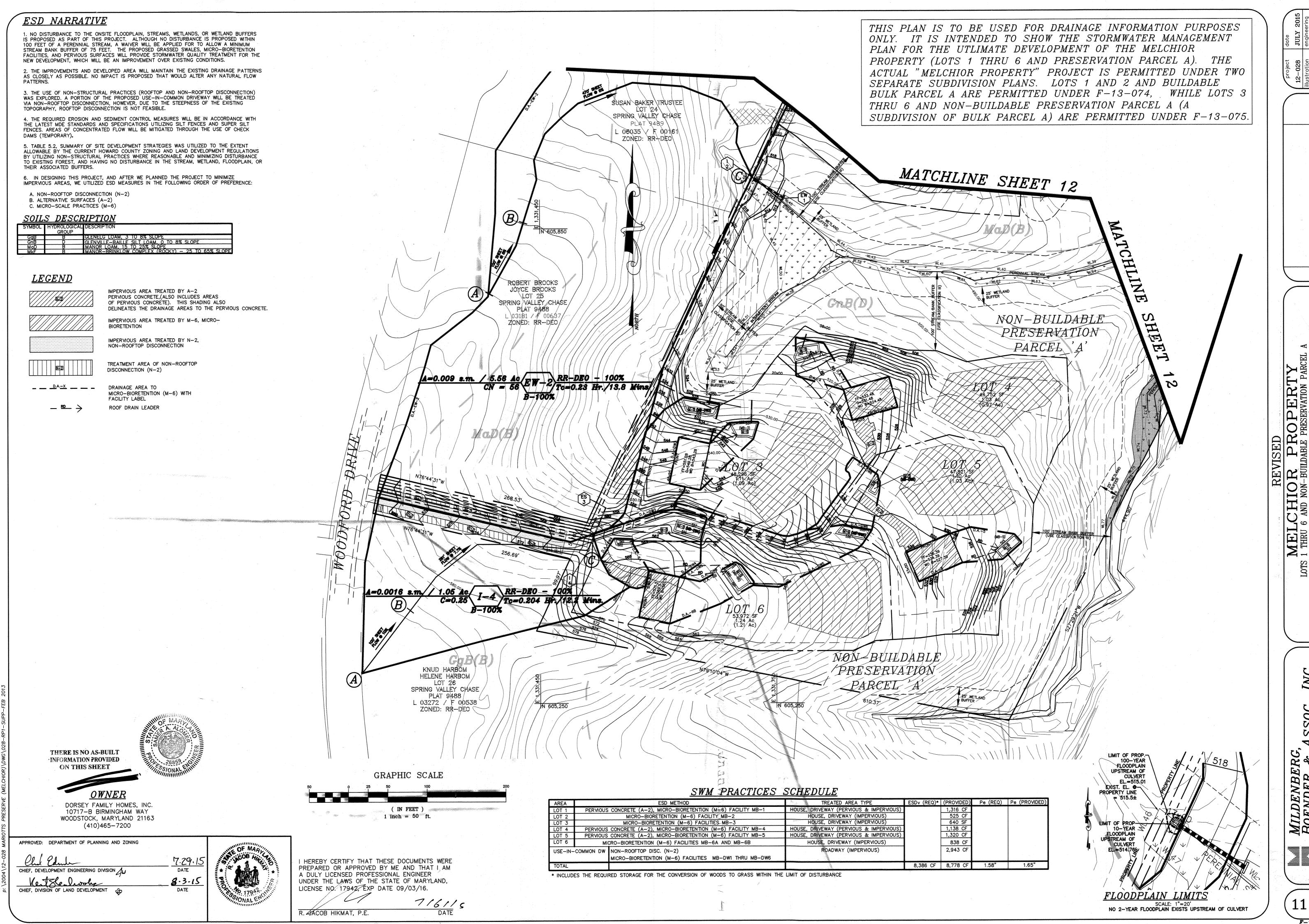
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ME 1 THRU CONDITIONS WHERE PRACTICE APPLIES

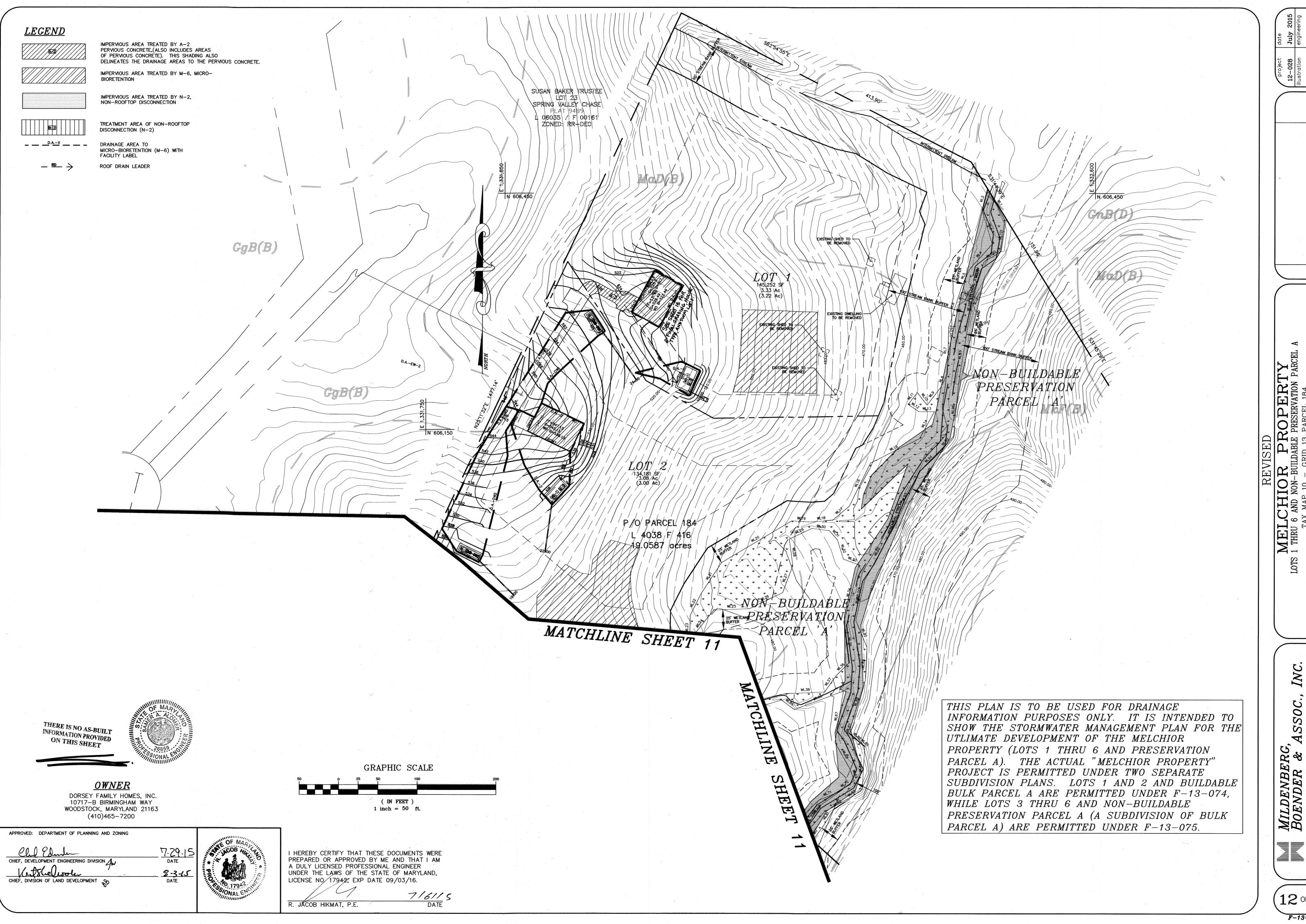
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED. . USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2% INCH MAXIMUM OPENING). 2. USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN COMPARED. APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B—1 PLUS FORTELIZER AND LIME RATES MUST BE PUT ON THE PLAN. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL REQUEST PRE-CONSTRUCTION MEETING IF NECESSARY AND 2011 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCT STREAM DIVERSION PRIOR TO COMMENCING ANY AND EARTH DIKES (3 DAYS

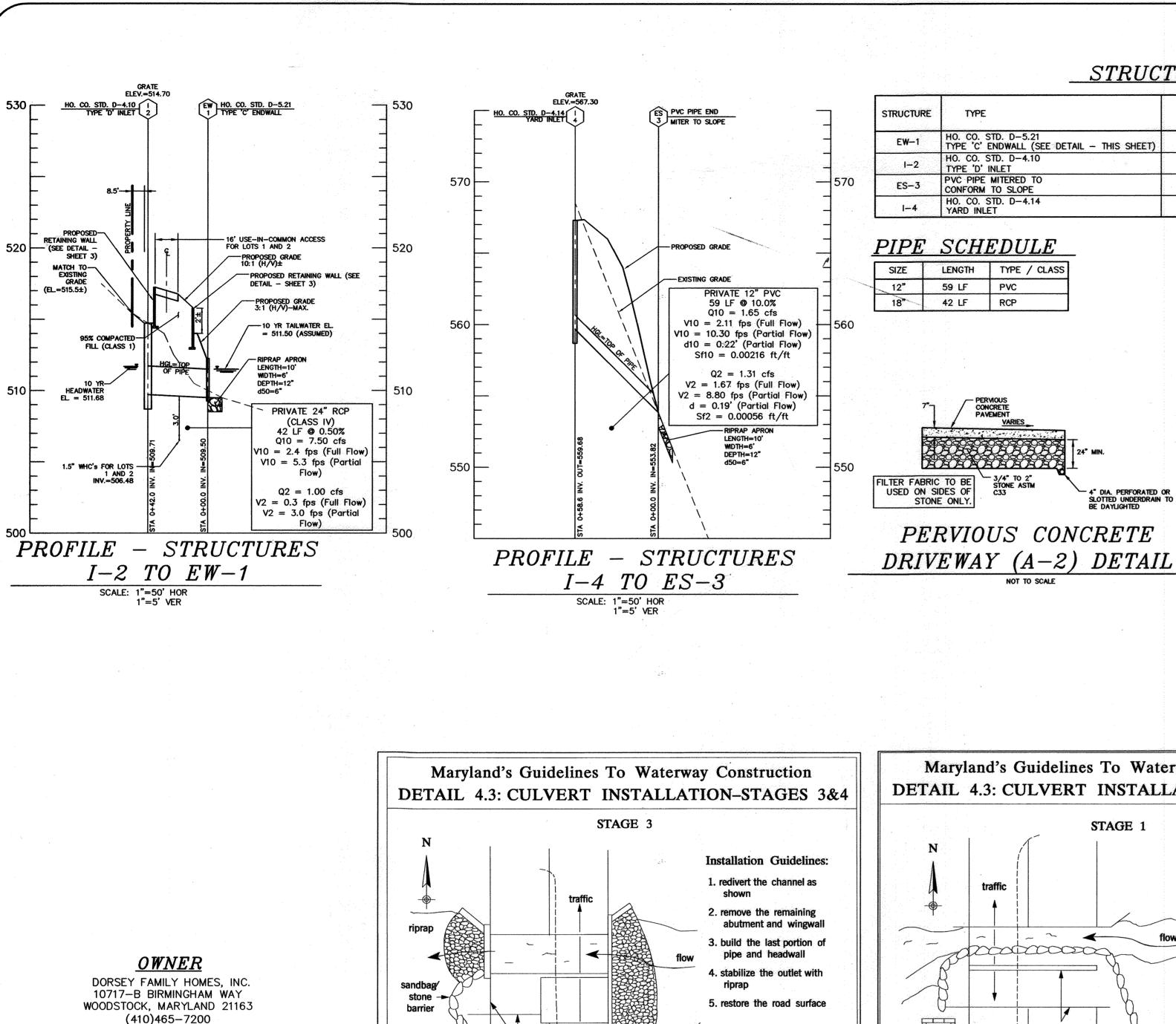
OWNER

DORSEY FAMILY HOMES, INC 10717-B BIRMINGHAM WAY WOODSTOCK, MARYLAND 21163 (410)465-7200



MILDENBERG BOENDER &





STAGE 4

PAGE 4.3 - 3

JEFFREY SLOMAN, P.E.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE

PREPARED OR APPROVED BY ME AND THAT I AM

UNDER THE LAWS OF THE STATE OF MARYLAND,

A DULY LICENSED PROFESSIONAL ENGINEER

LICENSE NO. 40091, EXP DATE 2/13/15.

Installation Guidelines:

2. stabilize all disturbed areas

with seed and mulch

3. remove sediment control

MARYLAND DEPARTMENT OF THE ENVIRONMEN WATER MANAGEMENT ADMINISTRATION

THERE IS NO AS-BUILT

INFORMATION PROVIDED

ON THIS SHEET

1. remove traffic barriers

ENGINEER'S CERTIFICATE

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE

INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED

ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL

ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER

PRINTED NAME OF ENGINEER

PRINTED NAME OF DEVELOPER

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION 1.2

CHIEF, DIVISION OF LAND DEVELOPMENT

TO CONDUCT PERIODIC ON-SITE INSPECTION.

JEFFREY SLOMAN, PE

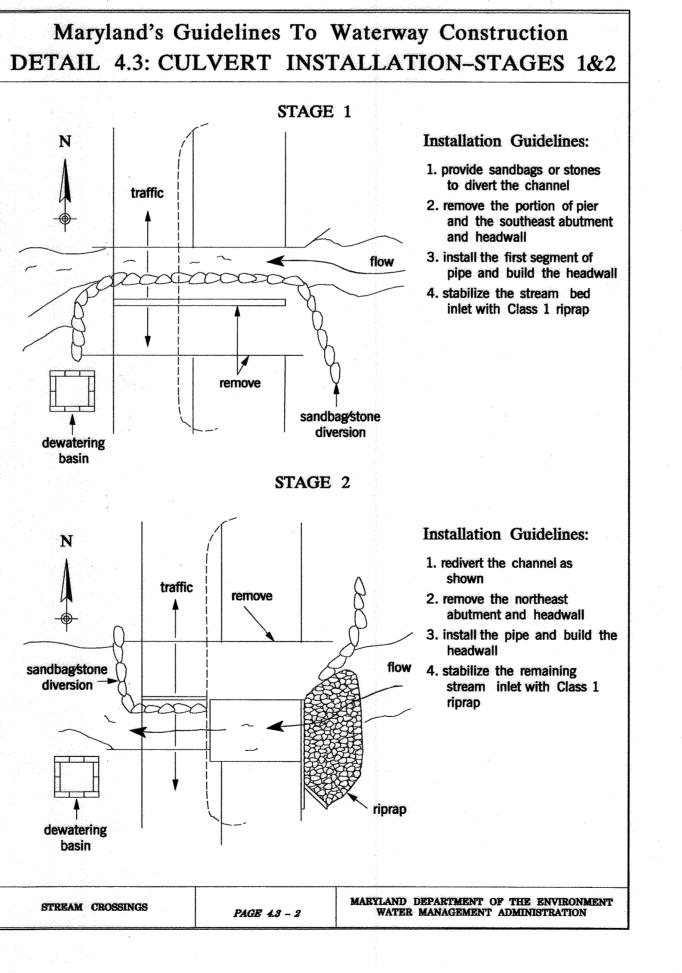
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE

11/18/13

DATE

DATE

1-13-14



- 4" DIA. PERFORATED OR SLOTTED UNDERDRAIN TO BE DAYLIGHTED

STRUCTURE SCHEDULE

COORDINATES

MATCH TO-

MATCH TO EXISTING GRADE

EXISTING GRADE

N 605,887.8940 E 1,331,759.7418

N 605,910.5640

E 1,331,724.4963

N 605,496.9402

E 1.331.533.3366

N 605,442.9356

E 1,331,510,6247

INV. OUT

RETAINING WALL AND

RAILING (WHERE

APPLICABLE, SEE

DETAIL-SHEET 3

(SEE PLAN)

GRASSED SHOULDER*

(SEE PLAN FOR WIDTH)

THERE IS NO GRASSED

GRADE AT 2:1 (H/V) SLOPE

---2:1 (H/V)

-MATCH TO EXISTING GRADE

SHOULDER, TIE BACK TO EXISTING

553.82

16' PAVED DRIVEWAY

PROP. TYPICAL HO. CO. P-2 PAVING SECTION

16' PAVED DRIVEWAY

PROP. TYPICAL HO. CO. P-2 PAVING SECTION

TYPICAL USE-IN-COMMON ACCESS CROSS SECTION 'B'

TYPICAL USE-IN-COMMON ACCESS CROSS SECTION 'A

567.30 (GRATE)

LOCATION

HO. CO. STD. D-5.21 TYPE 'C' ENDWALL (SEE DETAIL - THIS SHEET)

PVC PIPE MITERED TO

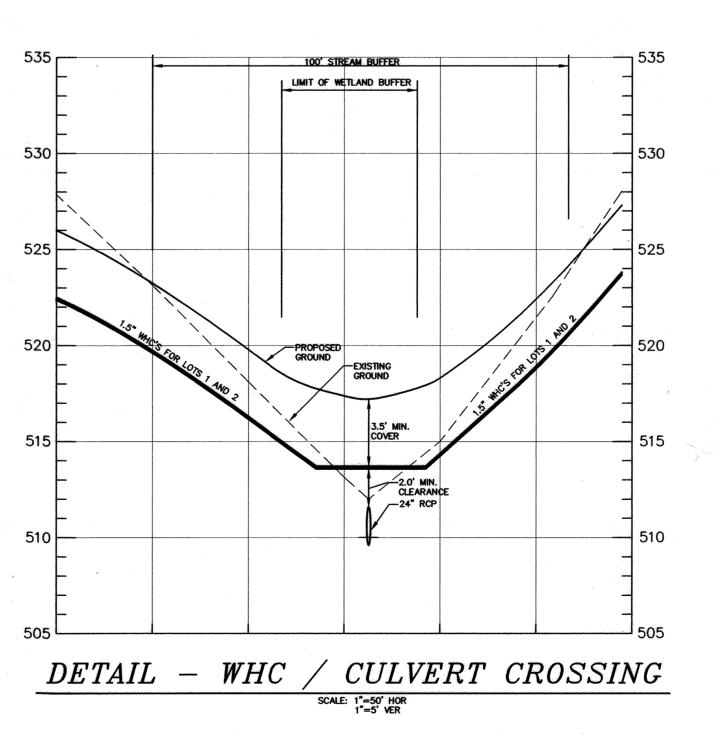
LENGTH TYPE / CLASS

CONFORM TO SLOPE

HO. CO. STD. D-4.14 YARD INLET

59 LF PVC

42 LF RCP



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OF DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

A. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.

SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.

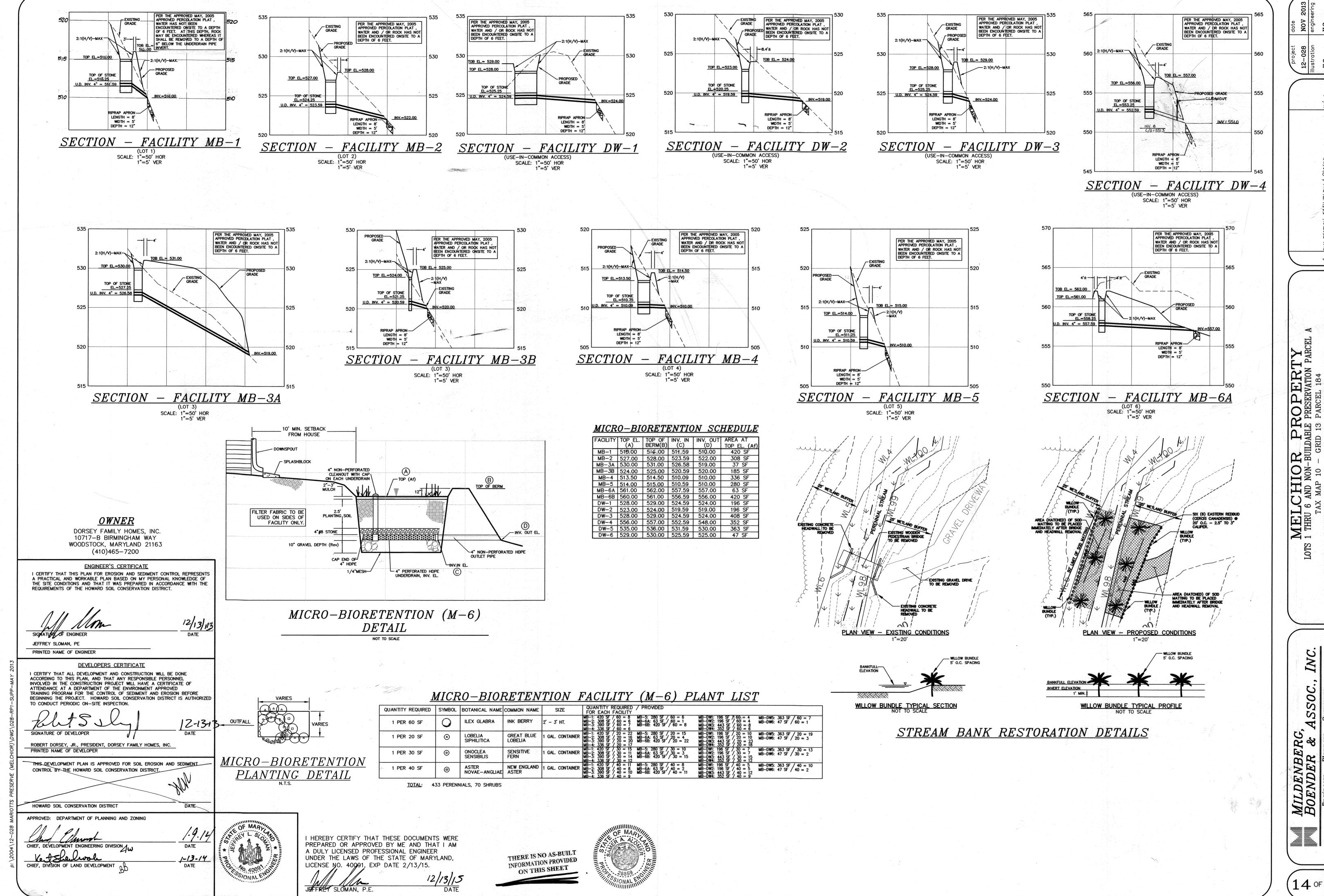
MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3

SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM

OPERATION AND MAINTENANCE SCHEDULE FOR PERVIOUS CONCRETE (A-2)

- A. THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, I NLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

RG.



14 of 15.

REVISE FACILITY DW-4 PRO REVISE FACILITY MB-1

description revisions

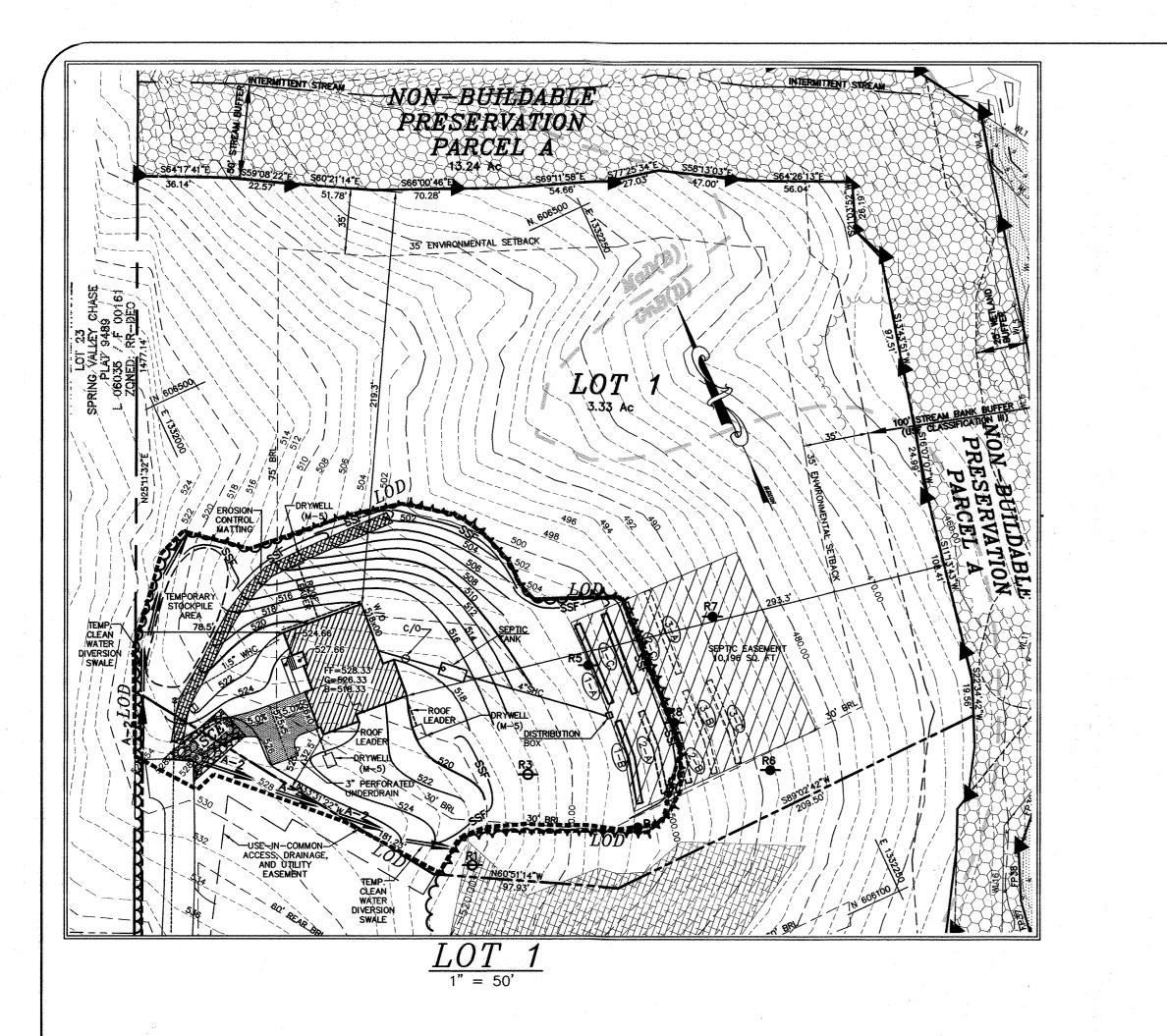
ARYLAND DETAILS

RESTORATION

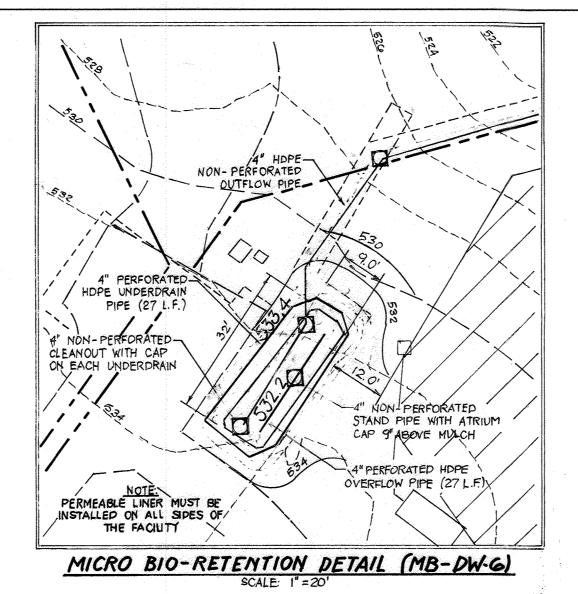
STREAM

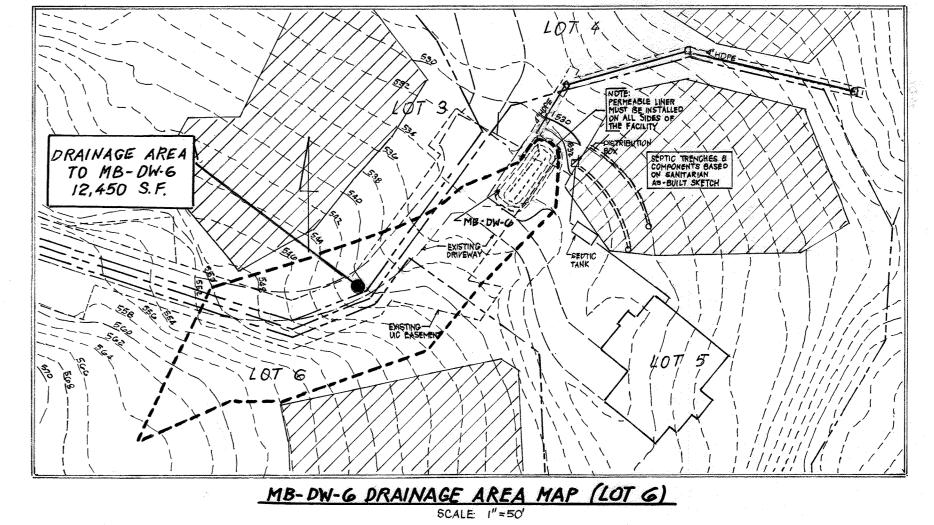
AND

ord ELECTION DISTRICT STORMWATER MANAGEMEN



APPROVED: DEPARTMENT OF PLANNING AND ZONING





NOTE:
INPERMEABLE LINER MUST BE INSTALLED
ON ALL SIDES OF THE FACILITY NOTE: THE ENTIRE DRAINAGE AREA MUST BE FULLY STABILIZED BEFORE RUNOFF CAN BE DIRECTED TO THE FACILITY TYPICAL MICRO-BIORETENTION PROFILE

TYP. SECTION
MICRO-BIORETENTION (M-G)

MB-DN-6 532.25/ 533.00/ 533.50/ 529.42/ 511.3 280 S.F. 476 S.F. 9"/ 12"/

TYP. MICRO-BIORETENTION (M-G) PLANTING DETAIL

MICRO-BIORETENTION DESIGN DATA

AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility
shown on this plan was constructed
as shown on the 'As-Built' plans
and meets with the approved
plans and specifications.

THE PURPOSE OF THIS PLAN IS TO SHOW THE FINAL GRADING, SEDIMENT CONTROL AND STORMWATER MANAGEMENT FOR EACH LOT.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/20.

GRAPHIC SCALE (IN FEET) 1 inch = 50 ft.

15 of 15

ASSOC.,

CONSTRUCTION