

GENERAL NOTES:

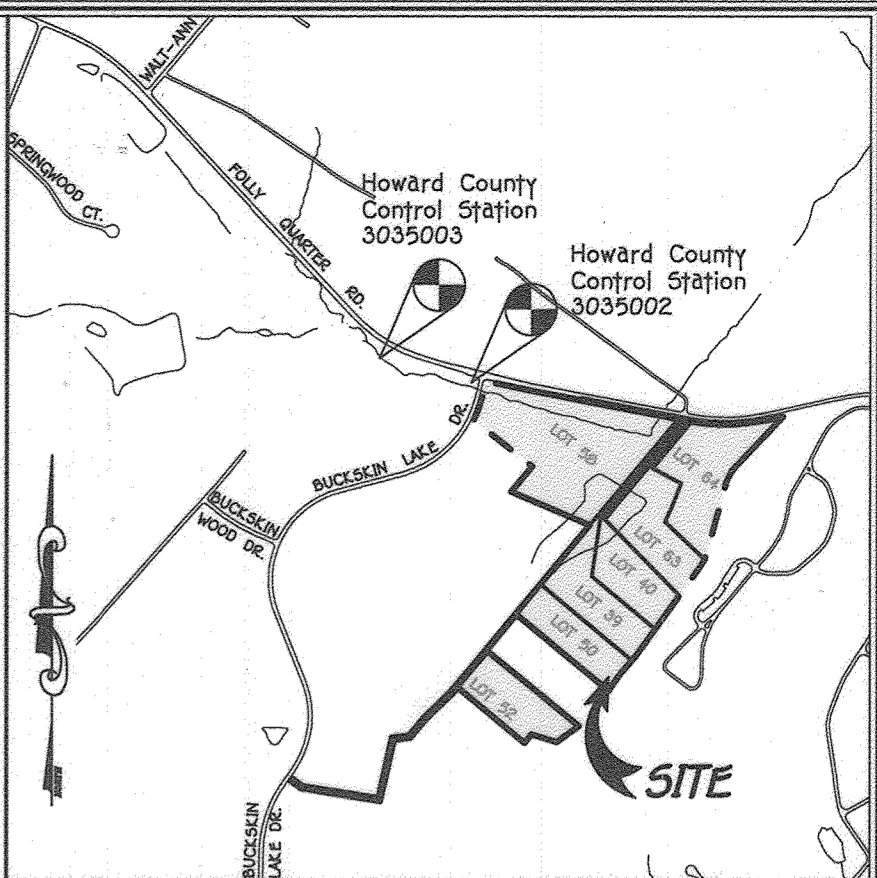
- This Area Designates A Private Sewerage Easement Of 10,000 Square Feet As Required By The Maryland State Department Of The Environment For Individual Sewerage Disposal. Improvements Of Any Nature In This Area Are Restricted Until Public Sewerage Is Available. These Easements Shall Become Null And Void Upon Connection To A Public Sewerage System. The County Health Officer Shall Have The Authority To Grant Variances For Encroachments Into The Private Sewerage Easement. Recordation Of A Modified Easement Shall Not Be Necessary.
- The Lots Shown Hereon Comply With The Minimum Ownership Width And Lot Area As Required By The Maryland State Department Of The Environment.
- Subject Property Is Zoned "RR-DEO" Per 2/2/04 Comprehensive Zoning Plan And Per The "Comp Plan" Zoning Regulation Amendments Effective 7/28/06.
- Coordinates Based On NAD 83 - Maryland Coordinate System As Projected By Howard County Geodetic Control Stations No. 3035002 And No. 3035003.
- 9th. 3035002 N 518569.898
E 809377.985
9th. 3035003 N 518771.894
E 808654.115
- This Plan Is Based On The Plat Meridian Of Buckskin Woods Lots 50 - 54 Plat No. 11116 And 11117 From A Field Run Monumented Boundary Survey Performed On Or About March, 1992, By Fisher, Collins And Carter, Inc.
- B.S.L. Denotes Building Restriction Line.
- Denotes Iron Pin Set Capped "F.C.C. 106".
- Denotes Iron Pipe Or Iron Bar Found.
- Denotes Angular Change In Bearing Of Boundary Or Rights-Of-Way.
- Denotes Concrete Monument Set With Aluminum Plate "F.C.C. 106".
- Denotes Concrete Monument Or Stone Found.
- All Lot Areas Are More Or Less (±).
- Plan Is Subject To Waiver Petition WF92-08 Which The Planning Director On May 8, 1992 Responded To The Following:
1) Approval To Waive Section 16.115(b)(4) To Allow The Subdivision Of Proposed Lots 50-55, Inclusive Without Providing The Required Public Road Frontages.
2) Approval To Waive Section 16.115(b)(5) To Allow The Length Of A Commonly Owned Lot Containing A Shared Driveway To Exceed 200 Feet
- Denotes Forest Conservation Easement. The Forest Conservation Easement Has Been Established To Fulfill The Requirements Of Section 16.120D Of The Howard County Code Forest Conservation Act. No Clearing, Grading Or Construction Is Permitted Within The Forest Conservation Easement; However, Forest Management Practices As Defined In The Deed Of Forest Conservation Easement Are Allowed.
- Plan Subject To A Waiver To Design Manual, Volume II, Section 2.6.2 Approved On September 15, 2006 To Allow An Additional Lot To Be Placed On An Existing Use-In-Common Access.
- This Plan Is Exempt From Providing Stormwater Management Since This Is Solely To Revise The Existing Forest Conservation Easement Boundaries.
- Effective January 8, 2007, The Private Road Access From The Maisel Property To Folly Quarter Road Will Be Named "Maisel Farm Lane".
- Wetlands Shown Hereon Are Based On Previously Recorded Plats.
- The Purpose Of This Plan Is To Add And Remove Portions Of Recorded Forest Conservation Easements on Lots 39, 40, 50, 52, 58, 63, & 64.

LEGEND

- EXISTING 100 YR FLOODPLAIN, DRAINAGE & UTILITY EASEMENT
- EXISTING FOREST CONSERVATION EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- EXISTING PRIVATE DRIVEWAY ACCESS & MAINTENANCE EASEMENT
- EXISTING INGRESS/EGRESS RIGHT OF WAY
- PROPOSED FOREST CONSERVATION (RETENTION) SIGN

FOREST PROTECTION NOTES

- ALL FOREST RETENTION AREAS SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED BLAZE ORANGE PLASTIC MESH FENCING AND SIGNAGE AT TIME OF PROPOSED HOUSE CONSTRUCTION ON EACH LOT. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES. ON LOTS IN WHICH THE FOREST CONSERVATION EASEMENT AND THE PRIVATE SEWERAGE EASEMENT OVERLAP, DISTURBANCE RELATED TO THE PERMITTED REPAIR, REPLACEMENT, OR MAINTENANCE OF PRIVATE SEWERAGE SYSTEMS WILL BE ALLOWED WITHIN THE OVERLAPPING PORTION OF THE FOREST CONSERVATION EASEMENT.
- THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES.
- ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING SILT FENCE BEING USED AS PROTECTIVE FENCING. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
- ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS EXCEPT AS PERMITTED UNDER NOTE 1 ABOVE FOR INSTALLATION, REPAIR, AND MAINTENANCE OF THE OVERLAPPING PROTECTIVE AREAS.
- INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOTHERING, FLOODING, EXCESSIVE WETTING FROM DE-WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
- THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
- REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED UNLESS OTHERWISE PERMITTED UNDER NOTE 1 ABOVE.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS EXCEPT AS PERMITTED IN NOTE 1 ABOVE.
- ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL PRESERVATION AREAS, AS NECESSARY.



VICINITY MAP
SCALE: 1" = 1200'

FOREST CONSERVATION EASEMENT

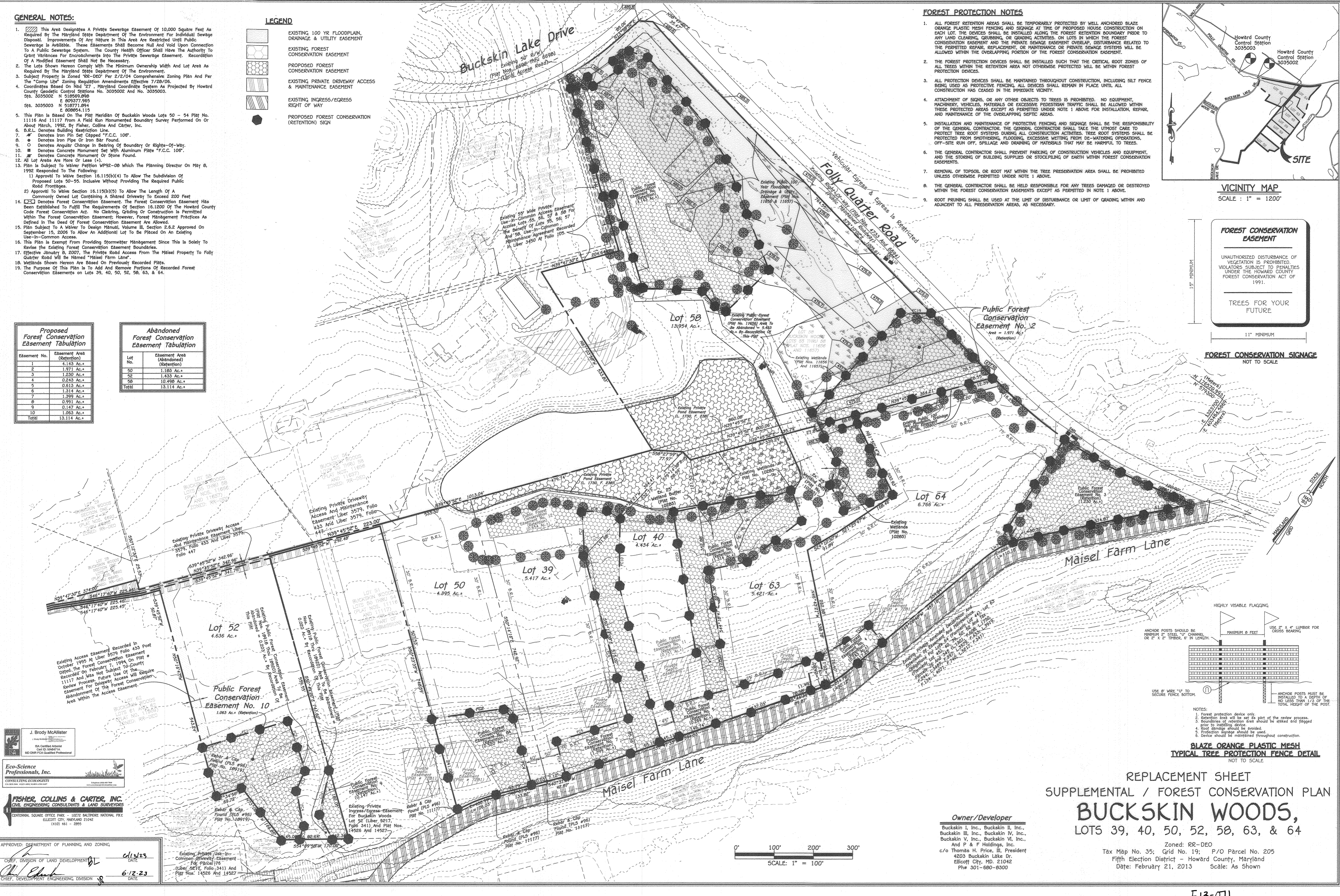
UNAUTHORIZED DISTURBANCE OF VEGETATION IS PROHIBITED. VIOLATORS SUBJECT TO PENALTIES UNDER THE HOWARD COUNTY FOREST CONSERVATION ACT OF 1991.

TREES FOR YOUR FUTURE

11" MINIMUM

FOREST CONSERVATION SIGNAGE
NOT TO SCALE

Proposed Forest Conservation Easement Tabulation		Abandoned Forest Conservation Easement Tabulation	
Easement No.	Easement Area (Retention)	Lot No.	Easement Area (Abandoned) (Retention)
1	4.143 Ac.*	50	1.971 Ac.*
2	1.971 Ac.*	52	1.230 Ac.*
3	1.230 Ac.*	58	1.433 Ac.*
4	0.243 Ac.*	58	10.498 Ac.*
5	0.613 Ac.*	Total	13.114 Ac.*
6	1.314 Ac.*		
7	1.339 Ac.*		
8	0.991 Ac.*		
9	0.147 Ac.*		
10	1.063 Ac.*		
Total	13.114 Ac.*		



J. Brody McAllister
Professional Engineer
No. 111177

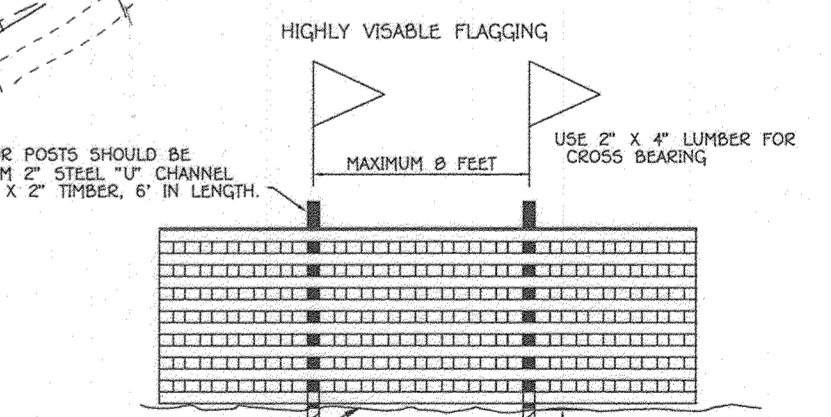
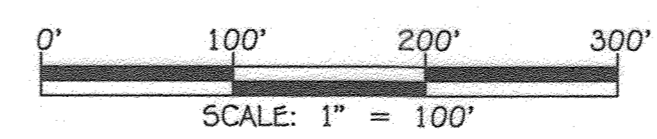
Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 6/12/23

DATE: 6/12/23



- BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**
NOT TO SCALE
- NOTES:
- Forest protection device only.
 - Retention lines will be set as part of the review process.
 - Boundaries of retention lines should be staked and flagged prior to installing device.
 - Any damage should be avoided.
 - Protection signage should be used.
 - Device should be maintained throughout construction.

REPLACEMENT SHEET
SUPPLEMENTAL / FOREST CONSERVATION PLAN
BUCKSKIN WOODS,
LOTS 39, 40, 50, 52, 58, 63, & 64

Owner/Developer
Buckskin I, Inc., Buckskin II, Inc.,
Buckskin III, Inc., Buckskin IV, Inc.,
Buckskin V, Inc., Buckskin VI, Inc.,
And P & F Holdings, Inc.
c/o Thomas H. Price, III, President
4203 Buckskin Lake Dr.
Ellicott City, MD 21042
Ph: 301-680-8300

Zoned: RR-DEO
Tax Map No. 35; Grid No. 19; P/O Parcel No. 205
Fifth Election District - Howard County, Maryland
Date: February 21, 2013 Scale: As Shown