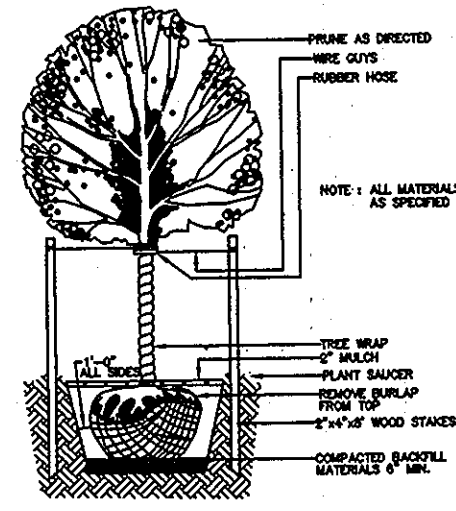


**SOILS DESCRIPTION**

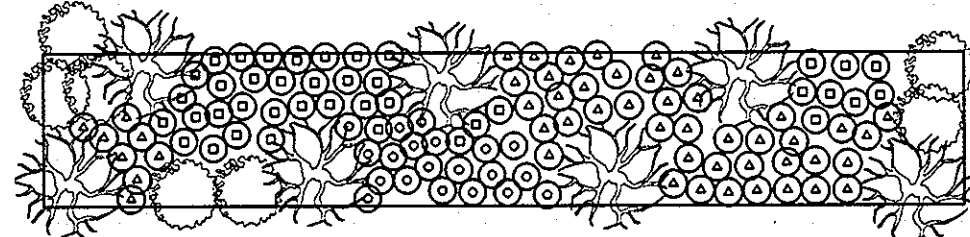
EBC (A) EVESBORO LOAMY SAND, 2-10% SLOPES  
 DnC (B) DOWNER-HAMMONTIN SANDY LOAMS, 5-10% SLOPES  
 Rsc (C) RUSSETT FINE SANDY LOAM, 5-10% SLOPES

**LEGEND**

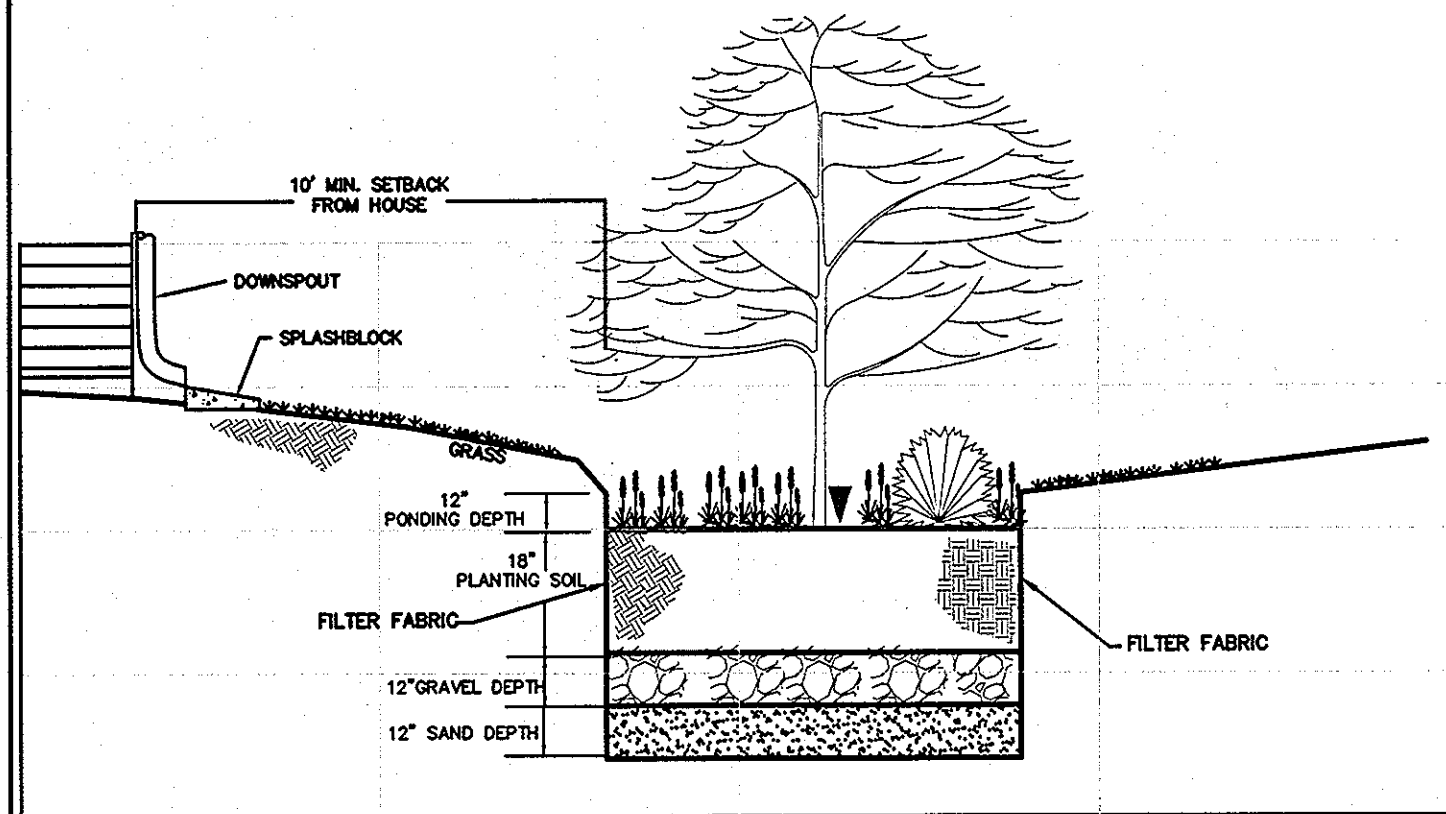
- PROPOSED DRIVEWAY
- 24' PRIVATE USE-IN-COMMON DRIVEWAY ACCESS AND UTILITY EASEMENT FOR LOTS 3-5.
- PROPOSED TREELINE
- CONCEPTUAL LIMIT OF DISTURBANCE
- EX. TREELINE
- M-3, LANDSCAPE INFILTRATION
- EXISTING STREET TREES PER F-95-182



TYPICAL DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



TYP. LANDSCAPE INFILTRATION DETAIL  
N.T.S.



TYPICAL LANDSCAPE INFILTRATION PROFILE  
N.T.S.

**LANDSCAPE INFILTRATION PLANT LIST**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
7		PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2-1/2" - 3" CAL.
7		ILEX GLABRA	INK BERRY	2' - 3' HT.
20		LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	1 GAL. CONTAINER
38		ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL. CONTAINER
36		ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER

TOTAL: 96 PERENNIALS, 7 SHRUBS, 7 TREES  
 NOTE: APPROVED ALTERNATIVE PLANTS MAY BE USED.

**STORMWATER MANAGEMENT PRACTICES**

LOT #	ADDRESS	GREEN ROOF (Y/N)	PERMEABLE PAVEMENTS (Y/N)	REINFORCED TURF (Y/N)	DISCONNECTION OF ROOFTOP RUNOFF (NUMBER)	DISCONNECTION OF NON-ROOFTOP RUNOFF (NUMBER)	SHEETFLOW TO CONSERVATION AREAS (Y/N)	RAINWATER HARVESTING (NUMBER)	SUBMERGED GRAVEL WETLANDS (NUMBER)	LANDSCAPE INFILTRATION (NUMBER)	INFILTRATION BERMS (NUMBER)	DRY WELLS (NUMBER)	MICRO-BIOTENTATION (NUMBER)	RAIN GARDENS (NUMBER)	SWALES (NUMBER)	ENHANCED FILTERS (NUMBER)
2	7315 GOLDEN FERN COURT	N	N	N	2	Y	N	0	0	1	0	0	0	0	0	0
3	7317 GOLDEN FERN COURT	N	N	N	4	Y	N	0	0	0	0	0	0	0	0	0
4	7319 GOLDEN FERN COURT	N	N	N	4	Y	N	0	0	1	0	0	0	0	0	0
5	7321 GOLDEN FERN COURT	N	N	N	4	Y	N	0	0	0	0	0	0	0	0	0

**LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
19		ACER RUBRUM 'RED SUNSET' OR EQUIVALENT	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL 19		SHADE TREES OR EQUIVALENT	OR EQUIVALENT	

**SCHEDULE A: PERIMETER LANDSCAPED EDGE**

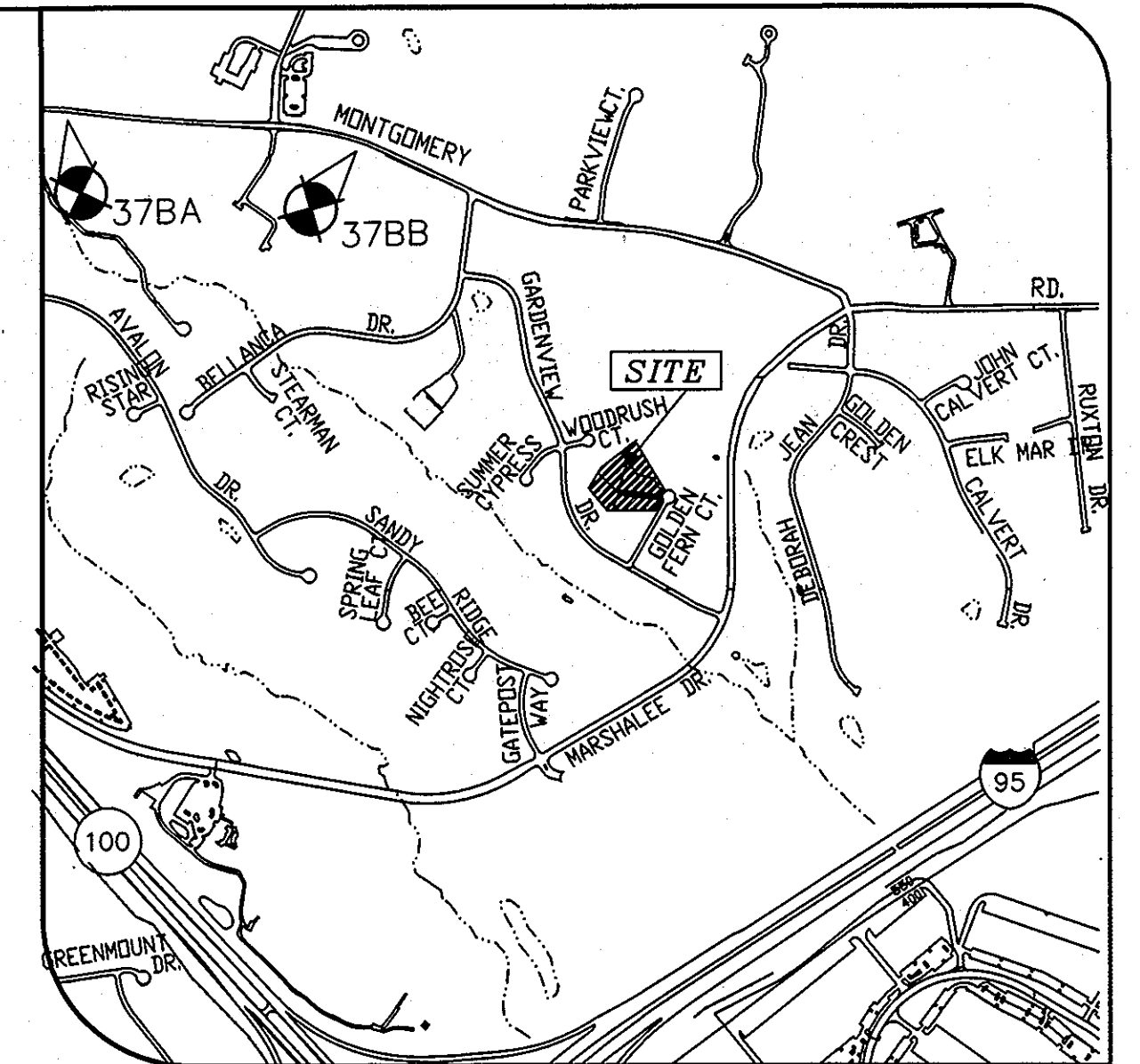
CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTALS
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	
LINEAR FEET OF PERIMETER	289.47 LF	165.01 LF	360.85 LF	241.43 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	7 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	19 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES (2:1 SUBSTITUTION) 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	7 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	19 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

**OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (TO BE PRIVATELY MAINTAINED)**

- A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- B. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**CONSTRUCTION CRITERIA:**

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH LANDSCAPE INFILTRATION:  
 EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR LANDSCAPE INFILTRATION SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AROUND THE PROPOSED LOCATION OF THE FACILITY.  
 SOIL COMPACTION: SUB SOILS SHALL NOT BE COMPACTED. EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION SHOULD BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHOULD BE PLACED IN A CONTAINED AREA.  
 PLANTER BOXES: PLANTER BOXES MAY BE MADE OF STONE, BRICK, OR CONCRETE.



VICINITY MAP  
SCALE: 1"=1000'  
ADC MAP: 5052 J-9

**GENERAL NOTES:**

1. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
2. PROJECT BACKGROUND:  
TAX MAP PARCEL: 696 LOT: 64  
ELECTION DISTRICT: FIRST ZONING: R-20  
DEED REFERENCE: L 699 / F. 314  
DPZ FILE NOS: F-95-182, ECP-11-039
3. AREA TABULATION:  
A. TOTAL TRACT AREA: 2.59 AC. ±  
B. NUMBER OF PROPOSED BUILDABLE LOTS: 5  
C. NUMBER OF OPEN SPACE LOTS: 0 AC.  
D. AREA OF PUBLIC UTILITY: 0 AC.  
E. AREA OF BUILDABLE LOTS: 2.59 AC. ±
4. ON-SITE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY CONDUCTED BY MILDENBERG, BOENDER AND ASSOCIATES ON OR ABOUT MAY 2011.
5. COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NGVD '29 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 378A & 378B.  
STATION 378A: NORTHING 563,785.618, EASTING 1,376,343.172, ELEVATION 394.786  
STATION 378B: NORTHING 563,663.415, EASTING 1,376,040.471, ELEVATION 394.786
6. PUBLIC WATER AND SEWER WILL BE UTILIZED UNDER CONTRACT # 14-3488-D.
7. THE PROPOSED SUBDIVISION WILL CONSIST OF SINGLE FAMILY DETACHED DWELLINGS.
8. THE SUBDIVISION IS IN THE METROPOLITAN DISTRICT.
9. STEEP SLOPES OVER 20,000 SQ. FT. IN AREA DO NOT EXIST ON-SITE.
10. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).  
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.  
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.  
D) STRUCTURES (OVERHEAD/UNDER) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADING).  
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.  
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET  
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
11. THE FOREST CONSERVATION OBLIGATIONS FOR THIS RESUBDIVISION WAS MET BY RECORDED PLAT F-95-182. SEE GENERAL NOTE 13 ON PLAT SHEET 1 OF F-95-182 AND THE FOREST CONSERVATION EASEMENT ON PLAT SHEET 3 OF F-95-182.
12. THIS SUBDIVISION IS IN COMPLIANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
13. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (19 SHADE TREES) WILL BE POSTED WITH THE GRADING PERMIT FOR LOTS 2-5 IN THE AMOUNT OF \$5,700.00 PER THE SITE DEVELOPMENT PLAN REQUIRED FOR THE DEVELOPMENT OF LOTS 2-5.
14. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BENES, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
15. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWIT LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
16. SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH LANDSCAPING CREDIT IS GIVEN, BE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 2 1/2 TO 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
17. NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
18. DRIVEWAY ENTRANCE IS PER HOWARD COUNTY STANDARD DETAIL R-6.06.
19. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM LOT AND ROAD RIGHT OF WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
20. STORMWATER MANAGEMENT IS PROVIDED VIA ROOFTOP, NON-ROOFTOP DISCONNECTION AND LANDSCAPE INFILTRATION IN ACCORDANCE WITH THE 2007 MDE STORMWATER DESIGN MANUAL.
21. A SITE DEVELOPMENT PLAN APPROVAL BY THE DEPARTMENT OF PLANNING AND ZONING IS REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLINGS ON LOTS 2-5.
22. THE OPEN SPACE REQUIREMENT FOR THIS RESUBDIVISION WAS MET BY RECORDED PLAT, F-95-182. SEE THE OPEN SPACE TABULATION CHART ON PLAT SHEET 1 OF F-95-182.
23. THERE IS AN EXISTING STRUCTURE ON LOT 1 IS TO REMAIN. NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATORY REQUIREMENTS. ALL OTHER STRUCTURES WILL BE REMOVED, UNLESS OTHERWISE NOTED.
24. NO FOREST STAND OR WETLAND EXISTS ON SITE AS CERTIFIED BY ECO-SCIENCE PROFESSIONALS, INC. IN A WETLAND CERTIFICATION LETTER DATED NOVEMBER, 2010. HOWEVER, A 25' WETLAND BUFFER IS LOCATED ON THE REAR AREAS OF LOTS 3 AND 4. NO DISTURBANCE, CLEARING, REMOVAL OF VEGETATIVE COVER, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE 25' WETLAND BUFFER.
25. ENVIRONMENTAL CONCEPT PLAN, ECP-11-039, FOR THIS RESUBDIVISION WAS APPROVED ON FEBRUARY 9, 2011.
26. ANY PRIVATE WELL OR SEPTIC SYSTEM ENCOUNTERED SHALL BE PROPERLY ABANDONED AND THE HEALTH DEPARTMENT NOTIFIED OF SUCH.

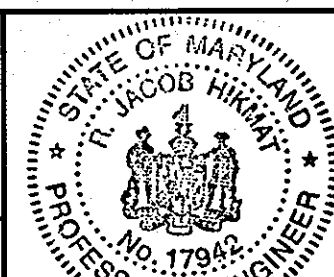
**DEVELOPER**

DORSEY FAMILY HOMES  
 10717 BIRMINGHAM WAY SUITE B  
 WOODSTOCK, MARYLAND 21163  
 410-465-7200

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Ch. Edwards*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Kate Schaefer*  
 CHIEF, DIVISION OF LAND DEVELOPMENT



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17949, EXP DATE 9/3/14.

R. JACOB HIKMAT, P.E. DATE 8/28/12

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 6800 Deerpath Road, Suite 150, Ellicott City, Maryland 21075  
 (410) 997-0286 Fax (410) 997-0288 Fax

**GOLDEN FERN HILL, LOTS 1 THRU 5**  
 A RESUBDIVISION OF LOT 64 MARSHALLEE WOODS, SECTION 2, AREA 2  
 TAX MAP 37, PARCEL 696, LOT 64, GRID 5  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Project date: AUG 2012  
 Illustration: MMT  
 Scale: 1"=50'  
 Description: REVISIONS

1 OF 1