

# CONSTRUCTION PLAN

## ROAD AND STORM DRAIN PLANS

# MAPLE LAWN FARMS

## Westside District - Area 1

### Parcels B-1 through B-5, Non-Buildable Parcels 'I', 'J' & 'K', and Open Space Lots 1 through 4

#### GENERAL NOTES

- Zoning: Site is being developed under MXD-3 regulations, per ZB495M, approved on 2/16/07 and approved on 2/20/07. Underlying Zoning is RR-DEO and the Comp. Lite Zoning Regulation Amendments dated 07/29/06.
- The previous Department of Planning and Zoning file numbers: S-01-T, S-06-16, ZB-495M, ZB-1034M, PB-353, PB-518, NF-01-11, NF-03-02, P-02-012, P-05-01, P-07-18F-03-01, F-04-055, F-04-115, F-05-075, F-05-078, F-05-112, F-05-150, F-05-178, F-06-140, F-07-071, F-07-183, F-08-54, F-08-55, F-04-041, SDF-03-06, SDF-04-044, SDF-04-041, SDF-04-046, SDF-05-05, SDF-05-36, SDF-05-36, SDF-05-41, SDF-06-01, SDF-07-43, NF-02-54, NF-02-52, NF-02-122, and NF-02-04.
- This project is in conformance with the latest Howard County standards unless waivers have been approved.
- The Cemetery Inventory Maps do not show any cemeteries within the project limits. The existing cemetery once located on the Hessel Property has been relocated under NF-05-12.
- The scenic roads map does not indicate any scenic roads within or adjacent to the project limits.
- This property was brought into the Metropolitan District on July 2, 2007.
- This area of development has both public and private roads, which have been detailed on the plan.
- Site Analysis:
  - Gross Site Area: 605.3 Acres ±
  - Total Area of Site: 406.0 Acres ±
  - Area of Open Space: 26.65 Acres ±
  - Area of 100 Year Floodplain: 1.22 Acres ±
  - Area of Roadway (Public): 1.81 Acres ±
  - Area of Roadway (Private): 0.00 Acres ±
  - Area of Employment Parcels: 30.64 Acres ±
  - No. of Employment Parcels: 5 parcels
  - Area of Non-Buildable Parcels: 31.35 Acres ±
  - No. Non-Buildable Parcels: 3 parcels
- Open Space Requirements:
  - Minimum Open Space Requirement for Project is 35%. Total Open Space Required: 31.71 Acres ± (52%)
  - Total Open Space Provided: 26.65 Acres ± (21.4%)
  - Recreational Open Space Required: 2.67 Acres (10%)
  - Recreational Open Space Provided: 4.16 Acres (17.5%)
  - (See chart-see sheet 2)
- Excess open space area from previous phases is being used to fulfill the minimum open space requirement for this phase.
- Soils data was taken from the Soil Survey of Howard County, Maryland issued July 1969.
- Contours shown were taken from aerial topography prepared during March 1941 by SDI and then updated by grade checks performed by Gutschick, Little & Weber, P.A. Contours shown in Parcel C-18, C-19, C-20, and C-22 are per SDF-07-43. Boundary information shown is based upon a field survey prepared by Gutschick, Little, and Weber, P.A. on or about June, 2001.
- Wetland delineation by Exploration Research, Inc. approved by the Corps of Engineers, 23 63781-3 on 03/18/06. Notice of intent to issue a permit is covered by MDE Tracking #04-NIT-0244/200165421. The 100-year flood plain limits were determined by the Floodplain study prepared by Gutschick, Little and Weber, P.A. as part of P-03-01 and P-07-18.
- Horizontal and vertical datum is based on Howard County Station 46BC and 46BD.
- Existing utilities were taken from available Howard County records.
- Public water and sewer to be utilized.
- Existing Water Contract Number: 44-3505-D, 24-4062-D
- Existing Sewer Contract Number: 24-4062-D, 20-3506-D
- Traffic Study was prepared and submitted as part of S-06-16, which was signed by the Planning Board on 02/20/07.
- Perennial stream buffers are determined by land use adjoining the open space (i.e. Employment = 50' buffer, Residential = 75' buffer). All uses adjoining an intermittent stream = 50' buffer.
- Stormwater Management, for both quality and quantity, for the development proposed by these plans will be satisfied by two regional facilities being constructed under F-08-55 and an existing facility constructed under F-03-07. The existing facility and the facility on Open Space Lot 3 will be publicly owned and maintained. The facility on Open Space Lot 2 will be privately owned and maintained. The recharge requirements for this development will be provided in privately owned and maintained facilities on Parcel J. The recharge facilities will be infiltration trenches and constructed per F-08-55.
- Temporary Stormwater Management and Sediment Control for the area of development shown on these plans is provided by F-08-55.
- The residential lots, parcels and employment use structures developed or proposed on the original SDF case for Maple Lawn Farms are grandfathered to the Fourth Edition of the Subdivision and Land Development Regulations as developed under S-01-T, PB Case 353 and ZB Case No. 495M. However, the proposed residential and employment uses that are to be developed under the Amended CSP, S-06-16 and ZB Case No. 1034M for the former Hessel and Oliver properties are subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Zoning Regulations per Council Bill No. 75-2003.
- As stated in the Decision and Order for this plan, the Planning Board shall review and approve site development plans for all single family attached and multi-family residential uses, and all employment and open space use development for the subject Maple Lawn Farms project. All of the improvements that were necessary for the Maple Lawn Farms project to be in compliance with the subdivision regulations restrictions enacted by the Zoning Board on page 22-23 of its decision on the PDP have been constructed.
- No grading, removal of vegetation cover or trees, or placement of new structures is permitted within limits of wetlands, streams or their required buffers, and 100 year flood plain areas, except as permitted under NF-02-54, NF-03-02, and NF-05-120.
- Open space lots may contain active recreational facilities as allowed by the approved Comprehensive Development Criteria.
- Phasing for this project is in accordance with the Decision and Order for Zoning PB Case No. ZB-495M & ZB-1034M and the Decision and Order for PB Case No. 353 (Comprehensive Sketch Plan, S-01-T) and No. 518 (Comprehensive Sketch Plan, S-06-16).
- Development for this phase will be done in accordance with the Comprehensive Development Criteria approved with S-01-T, S-06-16, PB-353, AND PB-518.
- The transportation and transit design will be implemented as outlined in the Petitioner's Exhibit 55 as submitted as part of ZB495M.
- A Noise Study was prepared by Wilson & Associates for S-01-T, approved by Planning Board on August 8, 2001, and updated by Hilson T. Ballard company in May 2006 for S-06-16 (approved by Planning Board on February 20, 2007). The 65 dBA Noise Line falls entirely within the Maryland Route 216 Right-of-Way and the Westside Boulevard Right-of-Way.
- The limits of this submission does not include moderate income housing units.
- For soil types, descriptions and limitations, see S-01-T, and S-06-16.
- The Forest Conservation requirements per section 16.1202 of the Howard County Code and the Forest Conservation Manual for phase 6b of this project with 2.44 acres of retention, 4.20 acres of reforestation, and 5.71 acres of afforestation planting for a total obligation of 9.91 acres will be fulfilled with 11.22 acres of afforestation and reforestation planting, which leaves 5.32 acres of excess afforestation planting and retention being done in advance as forest conservation credit for future phases of this project. Forest Conservation solely in the amount of \$248,421.00 will be posted with the Developer's Agreement.
- The 'T' Tree Conflict easement shown on these plans grants PEPCO the right to enter the easement for the purpose of cutting down, trimming, removing and/or keeping all trees which may interfere with any towers, poles, structures, wires, cables, conduits or other improvements within the PEPCO R/W, as per Liber 2305 Folio 53.
- Minimum building setback restrictions from public roads and property lines will be provided in accordance with the Comprehensive Development Criteria approved for this project under S-06-16, PB-378 and ZB-1034M.
- The shared access and parking requirement for Parcels 'B-1' thru 'B-5' covered by Section 16.111, Access and Parking Easements in "Amended and Restated Declaration of Covenants, Condition and Restrictions for Maple Lawn Commercial Association, Inc." and recorded among the land records of Howard County, Maryland in Liber 1418 of folio 290.
- All sidewalks and street trees along the Private Access Roads shall be provided in accordance with Sections 16.124 and 16.134 of the Subdivision and Land Development Regulations at Site Development Plan stage. Sidewalks and Street trees along all proposed Public roads shall be installed per these plans.
- All buffering and other landscaping requirements/features not shown on this final plan will be shown on the Site Development Plan stage and will be provided in accordance with the Comprehensive Sketch Plan criteria.
- All street trees, street light and street sign locations shown on these plans shall be verified in the field by Department of Public Works - Traffic Division prior to installation.

On May 2, 2007, NF-01-11 was granted for the following:

- Additional points of access allowed onto Somer Road other than those permitted by 16.141(f), subject to further analysis and approvals at later plan stages.
- Residential lots are allowed to front on neighborhood parks instead being limited frontage on public R/Ws as in 16.120(a)(2), subject to adequate private access.

On April 2, 2002, NF-02-54 was granted, allowing the following:

- Development within a 100 year floodplain, and
  - Grading and removal of vegetative cover within a 25' wetland buffer and a 50' stream buffer.
- The approval is subject to the following conditions:
- The waiver petition approval pertains to the limits of disturbance to the wetlands, stream channel, and floodplain areas identified within the proposed employment districts located in the southeast portion of Parcel C-2.
  - MDE waterway construction approval is required prior to road plan approval.
  - All grading, clearing and filling disturbances within the 100 year floodplain, wetlands, stream channel and their required buffers are subject to obtaining all necessary Water Quality Certificates and Permits from the Maryland Departments of the Environment, Natural Resources and the U.S. Army Corps of Engineers, and prior to commencement of any grading disturbances. Reference the approved permits, certificates or grading numbers on all future plan and permit submissions.
  - The Phase I stream channel mitigation and restoration plan shall be implemented for this project as proposed and shown on the Petitioner's Waiver Petition Plan Exhibit "E".

On Oct. 1, 2002, NF-03-02 was granted to allow:

- Grading within the 75' stream buffer and floodplain as shown on the revised grading exhibit submitted 5/6/02 (waiver from Section 16.116 (a)(2)(ii) and Section 16.115 (a)(2) respectively).
  - Elimination of truncation at right-of-way corners of residential lots and other parcel corners at right-of-way where necessary to achieve the traditional neighborhood design (waiver from Section 16.119 (a)(5)).
- The disturbance within the floodplain and stream buffer is subject to obtaining the necessary permits from MDE and DNR. Elimination of the truncations is subject to having adequate sight and intersection distance as determined by the DPZ, Development Engineering Division.

On August 20, 2004, NF-05-12 was granted, allowing the following:

- Development or subdivision in a cemetery (waiver from 16.1304)
- Removal of Human Remains from a cemetery prior to development (waiver from Section 16.1305)

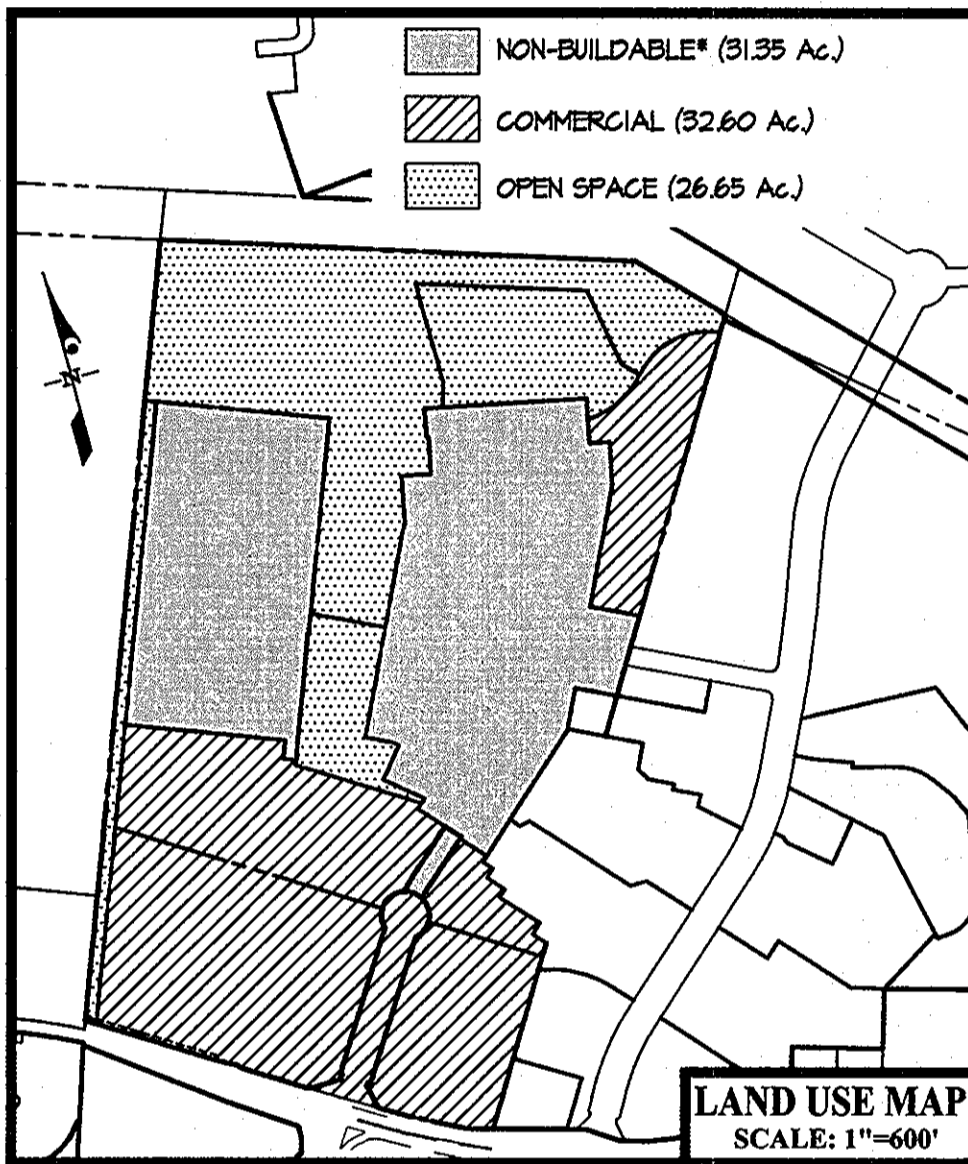
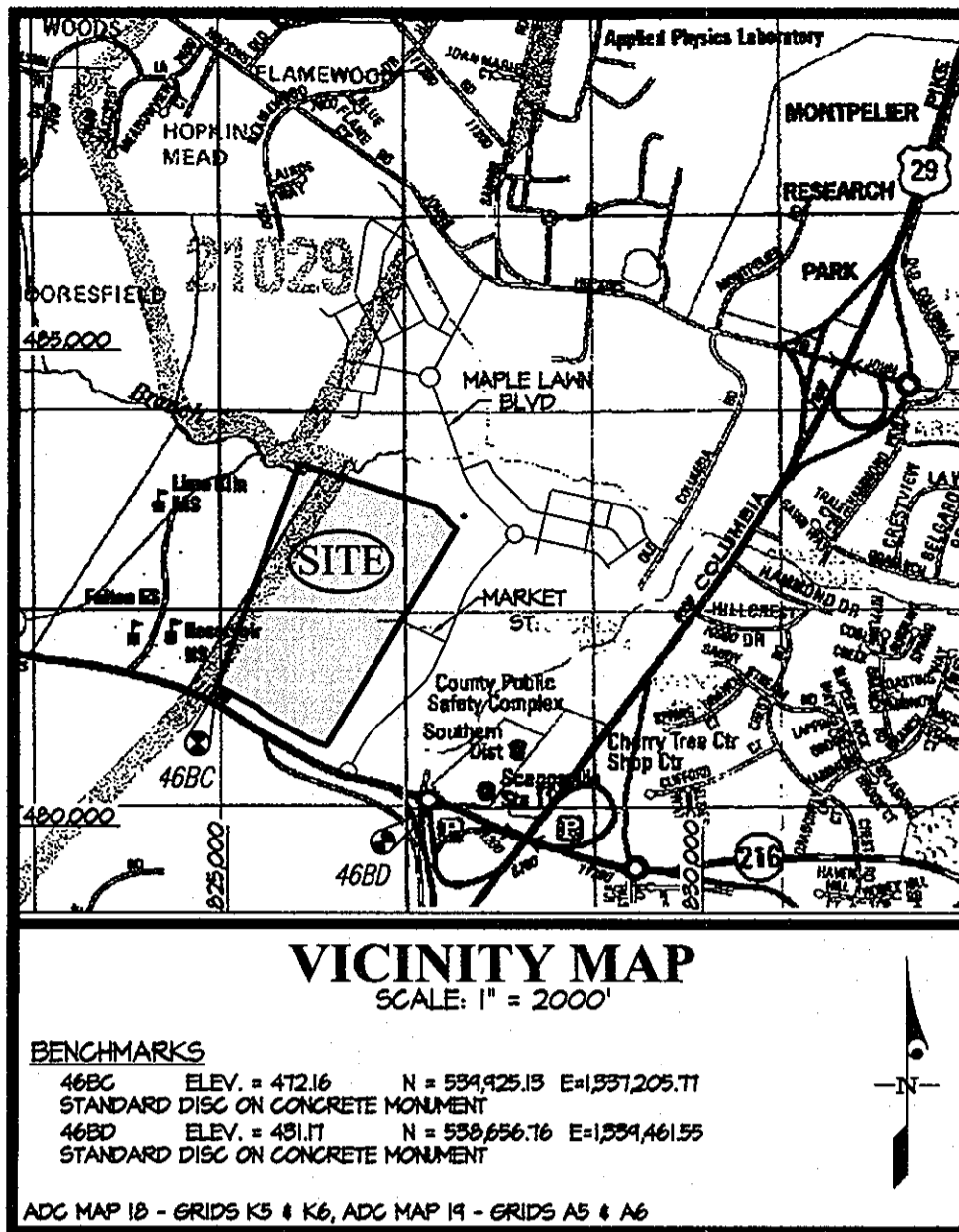
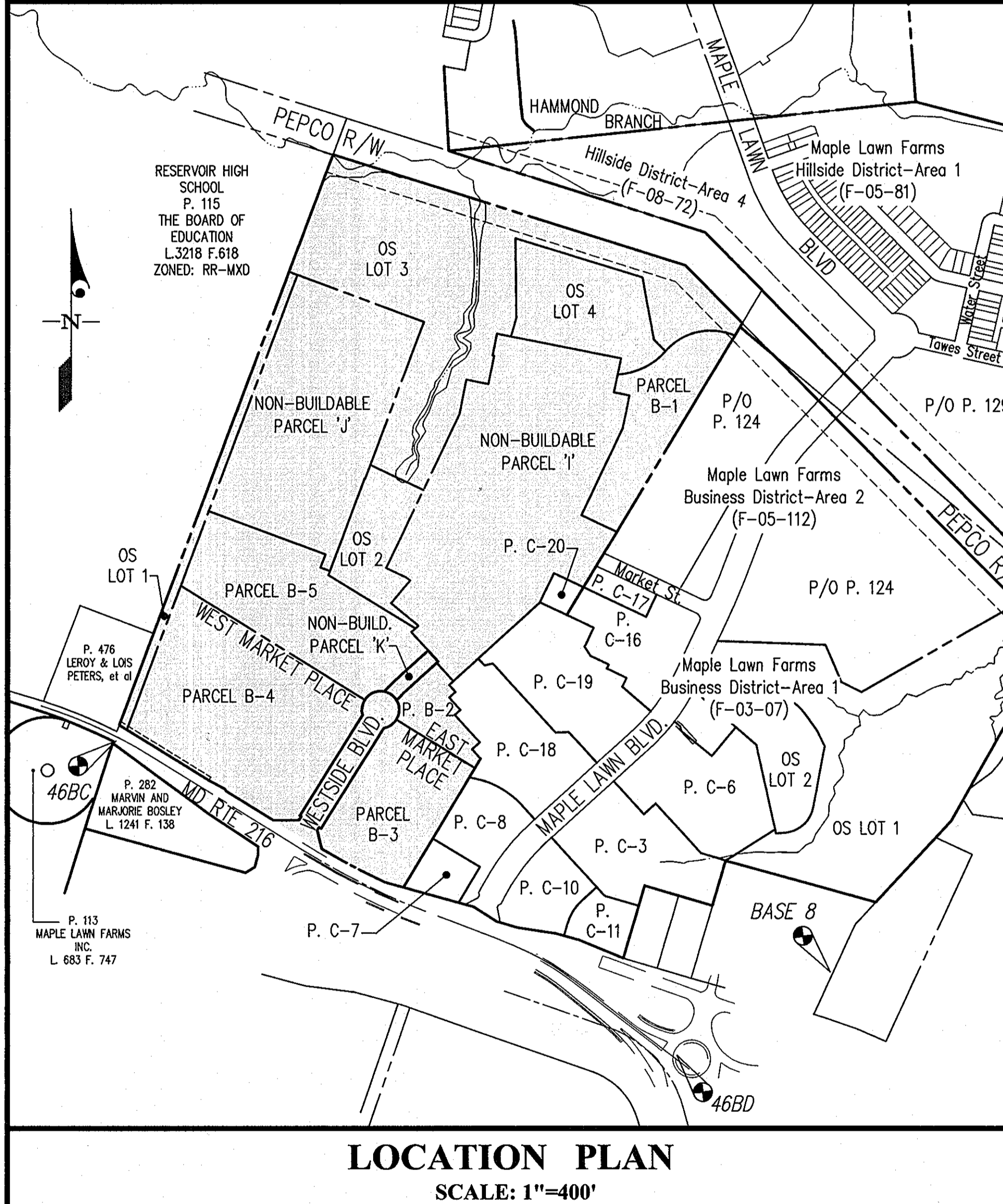
On August 20, 2004, NF-05-12 was granted, allowing the following:

- Development or subdivision in a cemetery (waiver from 16.1304)
- Removal of Human Remains from a cemetery prior to development (waiver from Section 16.1305)

On August 8, 2007, NF-08-04 was granted to waive Section 16.12(a)(ii) which requires open space lots (Open Space Lots 1 thru 4) to have a minimum of 40 feet of frontage onto a public road for access by pedestrians and maintenance vehicles.

The approval is subject to the following conditions:

- Ballard markers or some form of permanent signage shall be installed at the public or private road frontages to identify pedestrian and vehicular access to Open Space Lots 1 thru 4 and for Open Space Lots 2 and 4 at the 50M access easement to identify maintenance vehicle access to the SRM facilities.
- Subject to the SRC comments issued for Preliminary Plan, P-07-18.
- The minimum public road frontage for HOA Open Space Lot 2 shall be increased in width from the 14 feet presently proposed on the waiver plan exhibit to a minimum of 20 feet in width.
- A 20' wide minimum unrestricted public or private road access must be provided to serve as an entranceway leading into HOA Open Space Lot 4 (future HOA recreational ball fields) to accommodate pedestrian access and periodic access for maintenance and emergency vehicles.
- The processing of this waiver request for the minimum open space frontage requirements for Open Space Lots 1 thru 4 as shown on P-07-18 shall be considered as a temporary deferral of the public or private frontage requirement until the final subdivision plans are submitted for this project.



- #### LEGEND
- 400 --- EXISTING CONTOUR
  - 400 --- PROPOSED CONTOUR
  - EXISTING TREELINE
  - EX. S.S. --- EXISTING SANITARY SEWER
  - EX. W. --- EXISTING WATERLINE
  - EXISTING FIRE HYDRANT
  - PROPOSED STORM DRAIN
  - STRUCTURE NUMBER
  - CONCRETE SIDEWALK
  - PROPOSED CROSSWALK
  - EXISTING CURB AND GUTTER
  - PROPOSED CURB AND GUTTER
  - FUTURE CURB LINE
  - PROPOSED BARRICADE
  - 100 YEAR FLOODPLAIN
  - LIMIT OF WETLAND
  - WETLAND AREA
  - STREAM BUFFER
  - WETLAND BUFFER
  - FOREST CONSERVATION EASEMENT
  - CENTERLINE OF STREAM
  - BOTTOM OF STREAM
  - CENTERLINE CURVE
  - STEEP SLOPES - 25% AND GREATER
  - STEEP SLOPES - 15% TO 25%
  - 15' NO-HOODY VEGETATION ZONE

\* - NON-BUILDABLE ACREAGE INCLUDES ACREAGE WHICH WILL BE CONVERTED TO COMMERCIAL, OTHER RESIDENTIAL, AND OPEN SPACE LAND USES IN THE FUTURE.

- #### SHEET INDEX
- COVER SHEET
  - OVERALL PROJECT CRITERIA AND INFORMATION
  - ROAD CONSTRUCTION PLAN - WESTSIDE BOULEVARD
  - ROAD CONSTRUCTION PLAN - PRIVATE ROADS
  - ROAD CONSTRUCTION PLAN - MD ROUTE 216
  - ROAD DETAILS - COUNTY
  - ROAD DETAILS - MARYLAND ROUTE 216
  - SIGNING AND STRIPING PLAN
  - STORM DRAIN INFORMATION PLAN
  - STORM DRAIN PROFILES
  - STORM DRAIN PROFILES
  - STORM DRAIN PROFILES
  - STORM DRAIN - DRAINAGE AREA MAP
  - FINAL LANDSCAPING PLAN AND ROUTE 216 STREET TREE PLAN
  - FINAL LANDSCAPING NOTES
  - FINAL FOREST CONSERVATION PLAN
  - FINAL FOREST CONSERVATION NOTES AND DETAILS
  - OVERALL SEDIMENT CONTROL PLAN
  - 19A CURB, STORM DRAIN, AND PAVING PLAN

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways  
 Date: 6/19/09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Chief, Division of Land Development  
 Date: 6/25/09

Chief, Development Engineering Division  
 Date: 6/25/09

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20868  
 TEL: 301-421-4024 FAX: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8/21/08	REMOVED ORIGINAL REFERENCES & ADDED F-08-55 TO LANDSCAPE NOTE	ljp	
6/15/09	SHEET INDEX UPDATED AND GENERAL NOTES 2 & 19 REVISED (REPLACEMENT SHEET)	dgs	
4/24/08	REVISED FOREST CONSERVATION NOTE PER CHANGES TO F-08-72	DEV	

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 26, 2010  
 6-10-09



REVISOR COVER SHEET  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JUNE, 2009	41-21&22 46-3	1 OF 19

HOWARD COUNTY, MARYLAND

THIS PLAN SET (F-08-54) AND F-08-55 REPRESENT ALL THE WORK CALLED FOR ON P-07-18, AND ARE MEANT TO BE REVIEWED AND APPROVED TOGETHER. THE REASON FOR THE DUAL SET OF PLANS IS THE DIFFERENTIAL TIMES FOR DEDICATING THE SWM FACILITIES FROM THE REST OF THE PUBLIC IMPROVEMENTS.

L:\CAD\DRAWINGS\03067\06081\FINALS\06081CS01.dwg PLOTTED: 6/19/2009 1:56 PM, LAST SAVED: 6/19/2009 9:10 AM, PLOTTED BY: Don Swenney

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55

**SUMMARY OF DEVELOPMENT CRITERIA (FOR 5-06-16)**  
**Open Space (OS)**

**Permitted Uses:**  
 Any uses which do not involve any extensive coverage of land with structures, including, but not limited to, parks, playing fields, playgrounds, tennis, basketball and all purpose courts, golf courses, pools, pathways, any other outdoor recreational uses, and environmental facilities such as storm water management facilities or water quality facilities. In addition, buildings and parking lots shall be permitted if they are for the public or for residents and people working within the Subject Property and are owned by a homeowners' or business owners' association, or one for non-profit uses, such as a school, library, fire and rescue station, post office, museum, art gallery, nature center, or community building. Parking lots are permitted only as an accessory use to an approved use on the same lot. Open land within designated residential land use areas shall be considered Open Space if it is held for the common use of persons residing in the vicinity of such land.

- Other Permitted Uses:**
- Public or private child care center.
  - Community Center for customary community activities including but not limited to:
    - The presentation and performance of outdoor community activities, picnics or private, such as musical and theatrical performances, outdoor picnics, art shows, and carnivals.
    - Rummage sales, white elephant sales, cake sales, dances, and similar activities.
    - Operation of a community hall including leasing of same for public or private use.
    - Operation of incidental commercial activities such as a snack bar or refreshment stand (300 square feet per gross area). No individual retail establishment within the MXD-3 District shall have a gross floor area greater than 65,000 square feet.
  - Public or private tennis courts, together with such incidental commercial activities as are consistent with primary use of the lot as a tennis facility.
  - Buildings and parking lots which are owned and used by any governmental entity or homeowners' association or are used for non-profit purposes including but not limited to:
    - Community library facility.
    - Teen center building including incidental sales on the premises of food and beverages.
    - Buildings used primarily for religious activities.
    - Mail room, post office, pool house, meeting hall, exercise facility, leasing offices, administrative offices, including incidental sales on the premises of food and beverages.
  - Park structures including but not limited to gazebos, pavilions, amphitheater seating, decks, fountains, walks, horseshoe plazas, trails, patios, etc.
  - Utility facilities.
  - Environmental facilities such as drainage, stormwater management facilities, wetland mitigation, afforestation or reforestation.
  - Activity areas such as tee lots, volleyball and multi-purpose courts, picnic areas, etc.
  - Sign and entry features may be located at any location in a setback, if approved by the Planning Board and does not interfere with sight distance along public roads.

**Lot Area:**  
 No minimum/maximum lot sizes apply within Open Space land use areas except that 5% of the gross acreage of all recorded land must be open space and 10% of the Open Space must be available for active recreation.

**Setbacks:**  
 Buildings or structures within Open Space land use areas shall be a minimum of 10' from any right-of-way or property line except that park like structures such as gazebos, pavilions, benches, fountains and similar structures may be located anywhere within an open space lot, except however, that buildings and structures may be permitted anywhere within Open Space land use areas in accordance with a Site Development Plan approved by the Howard County Planning Board.

**Height:**  
 There shall be no height limitations for buildings or structures in Open Space land use areas, provided improvements are constructed in accordance with a Site Development Plan approved by the Howard County Planning Board.

**Coverage:**  
 No coverage requirement is imposed upon lots within Open Space land use areas.

**Parking:**

Health Club	1.0 spaces per 1,000 square feet of net leasable area
Swimming Pool, Community	1.0 space per seven persons permitted in the pool at one time by the Health Dept.
Tennis Court	2.0 spaces per court

Such parking areas may be in parking lots, parallel spaces located on paved areas in and/or adjacent to publicly maintained roadways, adjacent to public or private service drives or oriented diagonally or at right angles to such roadways or service drives.

Reductions in parking requirements are permitted pursuant to the Howard County Zoning Regulations Sections 133.D.8 (Parking Studies), and 133.E.1 (Shared Parking).

**Accessory Uses:**  
 Any use normally and customarily incidental to any use permitted in any Land Use Area shall be permitted.

**Employment:**  
**Parcel Size:**  
 No minimum or maximum parcel sizes apply in the Employment land use areas.

**Height:**  
 Maximum building height shall be limited to 120' unless approved to be greater on a Site Development Plan by the Howard County Planning Board. Additionally, the following shall apply:

- Commercial buildings at the corner of Johns Hopkins Road and Maple Lawn Boulevard shall not exceed three stories.
- Commercial buildings east of Maple Lawn Boulevard at the Focal Point shall not exceed four stories.
- Commercial buildings in the Business District within 300 feet of MD Route 216 shall not exceed one story.
- Commercial buildings in the Business District located between 300 feet and 500 feet from MD Route 216 shall not exceed four stories.
- Commercial buildings in the Business District beyond 500 feet from MD Route 216 shall not exceed eight stories above the highest adjoining grade.
- Commercial buildings in the Westside District within 300 feet of MD Route 216 shall not exceed two stories.
- Commercial buildings in the Westside District beyond 300 feet from MD Route 216 shall not exceed four stories above the highest adjoining grade.

**Permitted Uses:**  
 The following uses are permitted in Employment land use areas:

Employment uses permitted only within M-1 Zoning District shall not be permitted. All uses permitted as a matter of right in the FOR, B-1 and M-1 Districts, as per Patitioner's POP Exhibit 18, without regard to any limitations or restrictions on retail or personal service uses otherwise permitted in such districts, fast food, convenience stores, country clubs and golf courses, movie theaters, legitimate theaters and dinner theaters, public utility uses (excluding stand-alone communication towers), group care facilities, housing for the elderly and/or handicapped persons, nursing homes and sheltered housing. Parcel A-2 may contain live-work units as defined in the Other Residential (OR) section. Accessory Structures and Accessory Uses are also permitted.

**SUMMARY OF DEVELOPMENT CRITERIA (continued)**

The following additional uses not referred to or included in the above uses, which are allowed by Special Exception in the FOR, B-1 and M-1 districts, will be permitted as a matter of right in the Employment Land Use Areas, and are specifically approved by the Planning Board on this Amended Comprehensive Sketch Plan, provided, however, that appropriate temporary vehicle storage and yard waste shall not be allowed:

- Public school buildings-temporary conversion to other uses
- Theaters, legitimate and dinner
- Theaters, movie
- Public utility uses, limited to the following: utility substations, above ground pipelines, pumping stations, telephone stations, and telephone exchanges, but no stand-alone commercial communications towers.

The following use restrictions also apply:

- No more than 15% of the total Employment land use area may be devoted to warehouse and light manufacturing uses.
- Generators, maximum 4 (crematoriums are not permitted)
- A maximum of one gasoline service station is permitted. The gasoline service station may include a car wash, car repair facilities, and/or convenience store food.
- No single Retail Center shall contain more than 150,000 square feet of gross floor area designated for use by retail and personal service businesses. Designated Retail Centers may include retail stores, personal service establishments, and similar uses, as well as fast food restaurants and a gasoline service station; however for all Retail Centers the total square foot area which may be used for retail and personal service business shall not exceed 181,500 (300 square feet per gross acre). No individual retail establishment within the MXD-3 District shall have a gross floor area greater than 65,000 square feet. Retail and personal services and other allowed uses, such as restaurants and a gasoline service station may also be located within other designated Employment Areas outside of a Retail Center.

Section 128.F shall apply to Employment land use areas.

**Coverage:**  
 No coverage requirement is imposed in Employment land use areas.

**Floor Area Ratio (FAR):**  
 Overall limit is 0.39 calculated on the total acreage for all Employment land use areas.

**Setbacks:** (Also see "Project Boundary Setbacks")  
 The minimum setback for employment/commercial structures shall be as follows:

- 50' from the boundary line along Johns Hopkins Road or Route 216
- 10' from the right-of-way of Maple Lawn Boulevard
- No setback is required from the right-of-way of any internal public or private roads other than for Maple Lawn Boulevard as noted above.
- 10' from any other property line

**Parking Setbacks:**

- 15' to public right-of-way of Maple Lawn Boulevard (except for parallel parking adjacent to roadway)
- 10' to any other property or boundary line (except for parallel parking adjacent to roadway, or where a parcel line lies within a use-in-common parking area serving multiple parcels)
- 20' to project boundary line along Johns Hopkins or Route 216

**Exceptions to Setback Requirements:**  
 Structures may be located anywhere within setback areas in accordance with a Site Development Plan approved by the Howard County Planning Board.

- Except for the following Section 128.A.1 applies:
- Bay windows, eaves, French balconies, porches, cornices, awnings, signs, and similar architectural elements may encroach fully into any setback.
  - Arcades may encroach into any setback to within 1' of the property line. Where such arcades are proposed, the front facade may align vertically with the front of the arcade, thereby reducing the required front setback accordingly. An arcade is an arched building or portion of a building or gallery often covered with a roof structure or building supported by a series of arches and/or columns on piers.

- Parking:**
- A minimum of five parking spaces shall be provided for each 1,000 square feet of net leasable area devoted to commercial retail sales uses.
  - A minimum of 3.3 parking spaces shall be provided for each 1,000 square feet of net leasable area that is devoted to office or research and development uses.
  - No parking requirement is imposed upon any restaurant, coffee shop or public facility constructed within buildings which primarily serves tenants and employees of such buildings, or neighboring buildings accessible by pedestrians.
  - One parking space shall be provided for each bedroom contained within any hotel, inn or similar facility and one parking space shall be provided for each five employees of such facility.
  - One parking space shall be provided for each three seats within any restaurant, coffee shop or similar facility constructed within a hotel, inn or similar facility or as a freestanding structure and one parking space shall be provided for each five employees of any such facility.
  - One parking space shall be provided for each two beds in any hospital or clinic; one parking space shall be provided for each employee on a major shift; and eight parking spaces shall be provided for each doctor treating outpatients on a major shift.
  - Industrial Uses:
    - Warehouse: 0.5 spaces per 1,000 sq. feet of net leasable area
    - Flex Space (Industrial/Office): 2.5 spaces per 1,000 square feet of net leasable area
    - Other Industrial: 2.0 spaces per 1,000 square feet of net leasable area.

**Recreational Uses:**

Health Club	1.0 spaces per 1,000 sq. ft. of net leasable area
Swimming Pool, Community	1.0 space per seven persons permitted in the pool at one time by the Dept. of Health
Tennis Court	2.0 spaces per court

"Net leasable area" is defined as 90% of the gross floor area (after deducting any floors devoted to storage and common uses), unless a more precise value is determined by reducing the gross floor area by areas devoted to parking, vehicular circulation, office building storage areas, equipment and mechanical rooms/areas, locker and shower facilities, entrance foyers/atria, and similar areas.

Required minimum parking for all such commercial and employment uses shall be met off-street. Additional parking may be accommodated on-street, in parallel parking within public road rights-of-way, parallel spaces located on paved areas adjacent to publicly maintained roadways or oriented diagonally or at right angles to such roadways, in and/or out of the public R/W.

Reductions in parking requirements are permitted pursuant to the Howard County Zoning Regulations Sections 133.D.8 (Parking Studies), 133.E.1 (Shared Parking) and 133.E.2 (Trip Reduction Plans).

**OVERALL TRACKING CHART**

PHASE NO.	FILE REF. NO.	GROSS ACREAGE	NON-BUILDABLE					S.F.D. AC. (%)	O.R. AC. (%)	EMP. AC. (%)	O.S. AC. (%)	PUB. RD.			PRIV. RD. ACREAGE	SFD UNITS	O.R. UNITS (AFT./S.F.A.)	S.F.D. DENSITY	O.R. DENSITY	EMP. BLDG. AREA	EMP. F.A.R.	
			SF	OR	EMP	OS	%					SF	OR	EMP								
1	F-03-07	51.98	0.00	0.00	0.00	0.00	(0.0)	-----	-----	30.25 (58.3)	21.15 (40.7)	0.00	0.00	4.35	-----	-----	-----	-----	-----	-----	-----	
2	F-03-40	31.43	0.52	0.43	0.24	0.00	(3.2)	10.24 (24.0)	8.04 (21.6)	1.56 (4.2)	15.75 (42.1)	3.72	3.74	1.56	1.00	41	65	5.0/AC.	8.0/AC.	-----	-----	
3	F-04-42	58.80	-0.52	-0.43	2.71	0.00	(3.0)	7.11 (12.1)	12.28 (20.9)	14.80 (25.2)	22.25 (38.4)	2.52	0.46	0.00	1.00	41	78	5.0/AC.	8.0/AC.	-----	-----	
4a	F-03-81/F-03-82	15.47	0.00	1.48	-1.64	0.00	(-1.4)	0.00 (0.0)	7.24 (41.1)	1.84 (10.9)	8.10 (43.3)	0.00	3.40	1.64	0.46	-----	54	-----	8.1/AC.	-----	-----	
4b	F-03-134/F-03-136	31.2	0.00	0.00	-1.26	0.00	(0.0)	0.00 (0.0)	0.00 (0.0)	3.15 (10.1)	1.25 (3.4)	0.00	0.00	2.04	-----	-----	-----	-----	-----	-----	-----	
4c	F-03-112/F-03-113	3.00	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.45 (15.1)	2.05 (68.3)	0.00 (0.0)	0.00 (0.0)	0.00	0.95	2.05	-----	-----	-----	-----	-----	-----	-----	
5a	F-06-43	0.00	0.00	-1.25	0.00	(0.0)	0.00 (0.0)	1.25 (0.0)	0.00 (0.0)	0.00 (0.0)	0.00 (0.0)	0.00	0.00	0.00	-----	-----	-----	-----	-----	-----	-----	
5b	F-06-161	33.26	0.00	-0.23	0.00	(0.0)	1.75 (23.2)	1.26 (21.8)	0.00 (0.0)	18.50 (55.6)	2.22	3.16	0.00	0.00	41	63	5.0/AC.	8.1/AC.	-----	-----		
6	F-08-12	15.05	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.00 (0.0)	9.55 (63.5)	0.00 (0.0)	5.50 (36.5)	0.00	0.80	0.00	2.18	-----	100	-----	11.5/AC.	-----	-----	
n/a	F-07-31	0.00	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.63 (100.0)	-0.63 (0.0)	0.00 (N/A)	0.00 (0.0)	0.00	0.00	0.00	-----	-----	-----	-----	-----	-----	-----	
n/a	F-07-183	3.05	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.00 (0.0)	3.05 (100.0)	0.00 (N/A)	0.00 (0.0)	0.00	0.00	0.00	-----	-----	-----	-----	-----	-----	-----	
6b	F-03-54 / F-03-55	40.60	0.00	18.31	13.04	(0.0)	(84.6)	0.00 (0.0)	0.00 (0.0)	32.60 (80.0)	26.65 (24.4)	0.00	0.00	1.81	-----	-----	-----	-----	-----	-----	-----	
TOTALS		311.76	31.35				(10.1)	29.68 (8.2)	47.30 (15.2)	84.10 (28.6)	118.33 (38.0)	0.00	0.00	34.57	6.20	197	382	5.0/AC.	8.2/AC.	0.00	0.00	
OVERALL DENSITY TABULATION			PROPOSED		ALLOWED		LAND USE ACREAGES*		PROPOSED		ALLOWED		MAX. RES. UNITS ALLOWED								5-06-16	
OVERALL S.F.D./GROSS ACRE			5.5 UNITS/AC.		2.8 UNITS/AC.		SINGLE FAMILY DETACHED (S.F.D.)		25.68		102.6		SINGLE FAMILY DETACHED								507 (37.8%)	
OVERALL O.R./GROSS ACRE			8.2 UNITS/AC.		14.0 UNITS/AC.		OTHER RESIDENTIAL (O.R.)		45.61		75.6		APARTMENTS (O.R.)								210 (65.7%)	
OVERALL EMPLOYMENT F.A.R.			0.39		0.39		EMPLOYMENT		122.14		122.0		SINGLE FAMILY ATTACHED								625 (46.5%)	
OVERALL S.F.D./O.R. DENSITY			1.7 UNITS/AC.		2.2 UNITS/AC.		OPEN SPACE		118.33		217.1		TOTAL								1340	
TOTALS			311.76		629.3		TOTALS		311.76		629.3											

\*LAND ACREAGES INCLUDE NON-BUILDABLE AREAS

**OVERALL OPEN SPACE TRACKING CHART**

PHASE NO.	FILE REF. NO.	GROSS ACREAGE	O.S. AC. (%)	ACTIVE O.S. AC. (%) *
1	F-03-07	51.98	21.15 (40.7)	-----
2	F-03-40	31.43	15.75 (42.1)	7.52 (41.1) ①
3	F-04-42	58.80	22.85 (38.4)	-----
4a	F-03-81 / 82	15.47	6.70 (43.3)	0.24 (4.3) ②
4b	F-03-134 / F-03-136	31.2	1.25 (3.4)	-----
4c	F-03-112/113	3.00	0.00 (0.0)	-----
5a	F-06-43	0.00	0.00 (0.0)	-----
5b	F-06-161	33.26	18.50 (55.6)	1.61 (8.7)
6	F-08-12	15.05	5.05 (36.5)	-----
n/a	F-07-183	3.05	0.00 (0.0)	-----
6b	THIS PLAN	40.60	26.65 (24.4)	4.76 (11.4) ③
TOTAL		311.76	118.33 (38.0)	14.18 (12.0)

\* The percent of active open space is based upon the total open space provided. 10% RECREATIONAL OPEN SPACE IS REQUIRED.  
 ① 7.52 ACRES = Community Center (05 125 - 5.01 Ac.), OS 126 (0.55 Ac.), and OS 230 (1.46 Ac.)  
 ② 0.24 ACRES = Pathways  
 ③ 4.76 ACRES = OS Lot 4 (4.76 Ac.)

**NON-BUILDABLE TRACKING CHART**

PARCEL	TOTAL NON-BUILDABLE PARCEL AREA	FILE UNDER WHICH PARCEL HAS CREATED	FILE UNDER WHICH PARCEL HAS CONVERTED	AREA CONVERTED	CONVERTED TO	AREA REMAINING
A	0.52	F-03-40	F-04-42	0.52	O.R. LOTS	---
B	0.43	F-03-40	F-04-42	0.43	S.F.D. LOTS	---
C	0.24	F-03-40	F-03-134	0.24	R/W (EMP)	---
D	1.22	F-04-42	F-03-134	1.22	R/W (EMP)	---
E	1.64	F-04-42	F-03-81	1.64	R/W (EMP)	---
F	1.38	F-03-81	F-06-43	1.38	O.R. LOTS/NON-BLD. PAR. H	---
G	0.10	F-03-81	F-06-43	0.10	O.R. LOTS	---
H	0.23	F-06-43	F-06-161	0.23	O.R. LOTS	---
I	18.31	THIS PLAN	---	---	---	18.31
J	12.72	THIS PLAN	---	---	---	12.72
K	0.32	THIS PLAN	---	---	---	0.32
TOTAL	36.46					31.35

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*William R. McCall*  
 Chief, Bureau of Highways Date 1-27-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Christy Khantz*  
 Chief, Division of Land Development Date 2/1/08

*David J. McCall*  
 Chief, Development Engineering Division Date 2/6/08

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK  
 BURTOWNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-980-1820 DC/WA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
**G & R WOODS, LLC**  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 13975  
 EXPIRATION DATE: MAY 26, 2008



**OVERALL PROJECT CRITERIA AND INFORMATION**  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
**WESTSIDE DISTRICT - AREA 1**  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	2 OF 19

STREET LIGHT SCHEDULE			
LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
Q STA. 10413 WESTSIDE BLVD. 38.2' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 10417 WESTSIDE BLVD. 35.5' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 24101 WESTSIDE BLVD. 35.4' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 24131 WESTSIDE BLVD. 36.2' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 34482 WESTSIDE BLVD. 32.2' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 34482 WESTSIDE BLVD. 32.2' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 4458.28 WESTSIDE BLVD. 35.8' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 4458.28 WESTSIDE BLVD. 31.7' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS

STREET LIGHT SCHEDULE			
LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
Q STA. 5446.00 WESTSIDE BLVD. 31.7' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 5446.00 WESTSIDE BLVD. 31.7' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 54424 WESTSIDE BLVD. 34.4' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 6485.51 WESTSIDE BLVD. 63.2' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 6480.28 WESTSIDE BLVD. 54.2' RT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS
Q STA. 7401.75 WESTSIDE BLVD. 28.4' LT.	250-WATT HPS VAPOR	TEAR DROP	23' BLACK FIBERGLASS

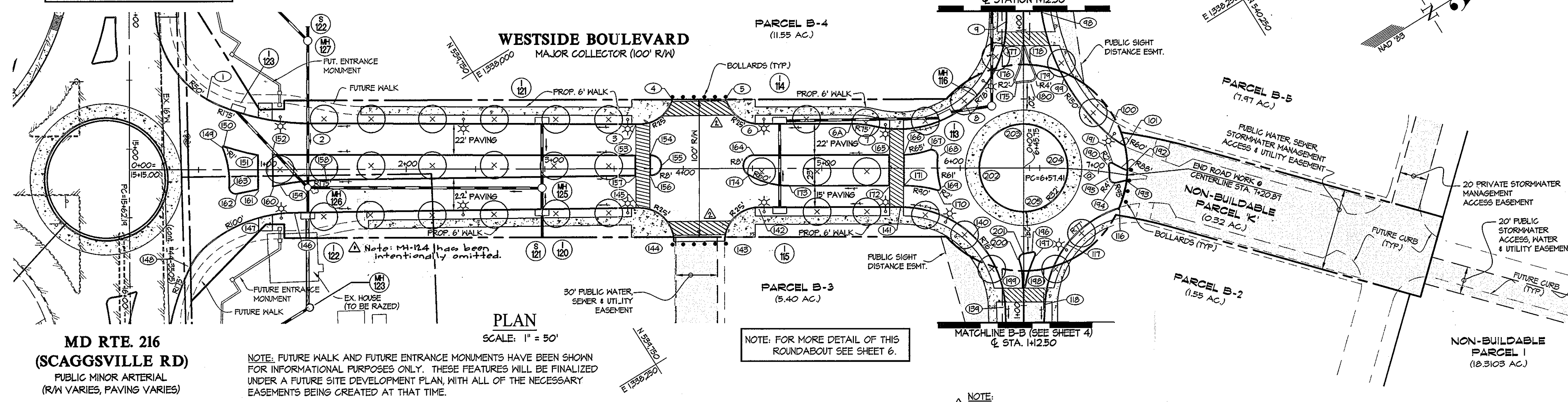
CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
103.52'	375.00'	52.04'	103.20'	S. 39°45'05" W	15°44'02"

TOP OF CURB ELEVATION TABLE FOR WESTSIDE BLVD.				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
1	0+55.47	50.24 Lt.	444.24	
2	1+31.03	33.03 Lt.	450.03	
3	3+65.80	32.00 Lt.	452.94	
4	3+42.56	50.00 Lt.	452.91	
5	4+30.56	50.01 Lt.	453.38	
6	4+54.56	32.00 Lt.	454.03	
6A	5+21.24	32.00 Lt.	454.77	
7	5+38.18	30.06 Lt.	455.02	
8	6+04.32	44.46 Lt.	455.93	
9	6+33.21	106.00 Lt.	457.32	
10	6+58.27	112.72 Lt.	457.16	
11	6+12.26	64.68 Lt.	455.63	
12	7+03.19	27.20 Lt.	454.23	
13	7+23.20	18.43 Lt.	453.37	
14	3+65.80	10.00 Lt.	453.40	
15	3+75.80	9.46 Lt.	453.52	
16	3+84.45	2.42 Lt.	453.78	
17	3+75.74	5.18 Rt.	453.62	
18	3+65.74	5.30 Rt.	453.44	
19	1+42.20	7.44 Rt.	450.64	
20	1+04.06	11.30 Rt.	450.22	
21	1+03.32	12.68 Rt.	450.15	

TOP OF CURB ELEVATION TABLE FOR WESTSIDE BLVD.				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
22	6+32.72	101.13 Rt.	451.43	
23	6+04.44	44.25 Rt.	453.98	
24	5+56.77	28.00 Rt.	455.16	
25	4+54.55	28.00 Rt.	454.11	
26	4+24.55	53.00 Rt.	453.30	
27	3+43.58	53.27 Rt.	452.85	
28	3+68.26	28.27 Rt.	453.04	
29	1+14.37	31.21 Rt.	444.93	
30	0+25.73	37.46 Rt.	444.34	
31	0+43.45	70.97 Rt.	448.94	
32	0+61.03	16.00 Rt.	444.75	
33	0+68.27	17.32 Rt.	444.70	
34	0+43.32	10.74 Rt.	450.03	
35	1+03.32	11.08 Lt.	450.15	
36	3+65.80	10.00 Lt.	453.40	
37	3+75.80	9.46 Lt.	453.52	
38	3+84.45	2.42 Lt.	453.78	
39	3+75.74	5.18 Rt.	453.62	
40	3+65.74	5.30 Rt.	453.44	
41	1+42.20	7.44 Rt.	450.64	
42	1+04.06	11.30 Rt.	450.22	
43	1+03.32	12.68 Rt.	450.15	

TOP OF CURB ELEVATION TABLE FOR WESTSIDE BLVD.				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
44	0+43.32	14.72 Rt.	444.97	
45	0+71.81	17.92 Rt.	444.70	
46	0+71.80	13.07 Rt.	444.73	
47	4+51	10.00 Lt.	454.47	
48	5+49	10.00 Lt.	455.34	
49	5+59	10.00 Lt.	455.56	
50	5+77.46	13.40 Lt.	455.72	
51	5+84.06	8.33 Lt.	455.91	
52	5+86.12	13.98 Rt.	455.25	
53	5+83.64	16.44 Rt.	455.77	
54	5+59	13.00 Rt.	455.44	
55	5+49	13.00 Rt.	455.46	
56	4+77.06	13.00 Rt.	454.65	
57	4+47.13	5.00 Rt.	454.50	
58	6+41.03	61.46 Lt.	456.91	
59	6+38.91	64.36 Lt.	456.93	
60	6+44.80	88.65 Lt.	457.51	
61	6+44.74	87.94 Rt.	452.24	
62	6+42.32	67.47 Rt.	453.21	
63	6+45.30	62.31 Rt.	453.30	
64	6+13.50	0.00'	456.92	
65	6+45.77	32.25 Lt.	457.04	
66	6+78.01	0.00'	454.33	
67	6+45.75	32.25 Rt.	453.44	

NOTE: SEE SHEET 5 FOR IMPROVEMENTS TO MD ROUTE 216.



NOTE: TOP OF CURB NUMBERS (10) - (15) HAVE BEEN INTENTIONALLY OMITTED

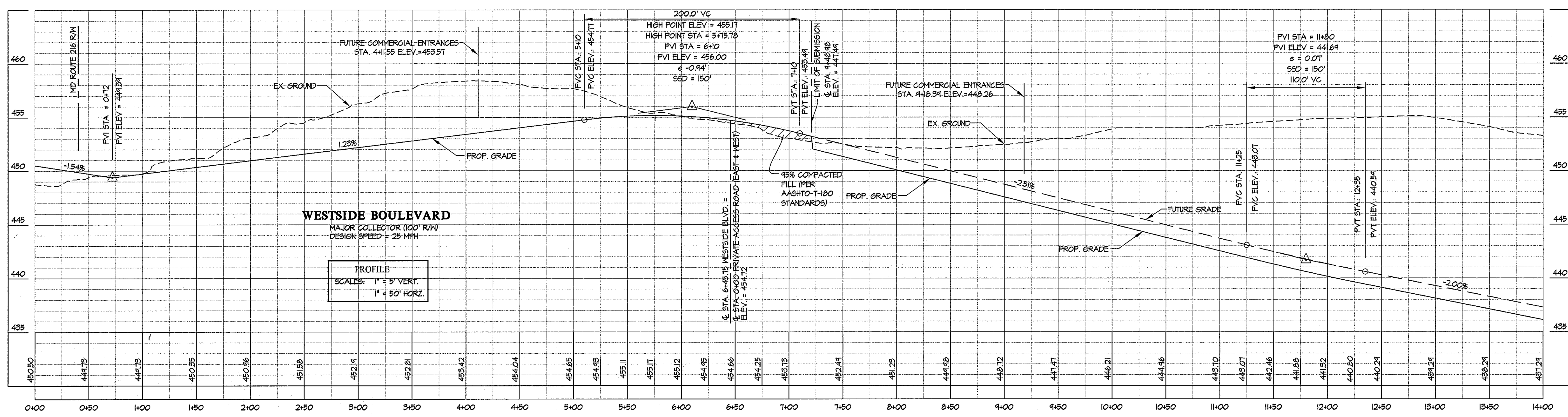
STREET TREE REQUIREMENTS			
ROAD	LENGTH OF CURB	# OF TREES REQUIRED	# OF TREES PROVIDED
WESTSIDE BOULEVARD	1,766 FT*	45**	45

\*TOTAL LENGTH (1,766 FT) = [TOTAL LENGTH OR ROAD (1,444 FT) - ENTRANCES (66') x 2]  
 \*\*1 TREE PER 40 LINEAR FEET, BOTH SIDES.

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
(+)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	B & B Full Heads

NOTES:  
 1. SEE SHEET 10 FOR TREE PLANTING DETAIL.  
 2. SEE SHEET 1 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

MINIMUM TREE QUANTITIES AND PREFERRED SPACING ARE AS FOLLOWS:  
 WESTSIDE BLVD. - 1 TREE PER 40 LINEAR FEET, BOTH SIDES.  
 ALL OTHER STREETS - 1 TREE PER 30 LINEAR FEET, BOTH SIDES.  
 PRIVATE ALLEYS - NO TREES REQUIRED



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Wista R. Melville  
 Chief, Bureau of Highways  
 Date: 1-28-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Cindy Krametz  
 Chief, Division of Land Development  
 Date: 2/1/08

APPROVED: Development Engineering Division  
 Date: 2/6/08

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
 BURTENVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2/21/08	rev. sidewalk note to remove reference to street trees & bonding	KLP	
2/10/08	added crosswalks on Westside Blvd.	KLP	
2/6/08	removed 14-15th revised storm drain on 1-12 to 14-12, add note	KLP	

PREPARED FOR:  
**G & R/Wessell, LLC**  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 28, 2008



**ROAD CONSTRUCTION PLAN - WESTSIDE BOULEVARD**  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'P' AND 'K'

SCALE: AS SHOWN  
 ZONING: MXD-3  
 G. L. W. FILE NO.: 06081

DATE: JAN., 2008  
 TAX MAP - GRID: 41-21&22  
 SHEET: 3 OF 19

HOWARD COUNTY, MARYLAND

I:\CAD\DRAWINGS\03067\06081\PARLS\06081S03-05.dwg DES. DEV DRN. AML CHK. DEV DATE REVISION BY APPR.

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-5

TOP OF CURB ELEVATION TABLE WEST MARKET PLACE				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
10	1+24.37	12.00 Lt.	457.56	
11	1+54.37	37.02 Lt.	457.85	
12	1+78.37	36.21 Lt.	457.66	
13	2+03.37	12.00 Lt.	457.02	
14	2+06.33	12.00 Lt.	456.97	
15	2+14.32	20.00 Lt.	456.59	
16	3+24.12	20.00 Lt.	455.53	
17	3+32.13	12.00 Lt.	455.77	
18	3+46.34	12.00 Lt.	455.83	
19	3+54.33	20.00 Lt.	455.64	
20	4+67.41	20.00 Lt.	457.43	
21	4+75.41	12.00 Lt.	457.82	
22	4+95.55	12.00 Lt.	458.22	
23	5+20.55	37.01 Lt.	460.09	
24	5+56.55	36.99 Lt.	460.81	
25	5+21.55	12.00 Lt.	459.94	
26	5+23.08	13.57 Lt.	459.96	
27	5+24.55	20.00 Lt.	459.87	
28	8+31.58	20.00 Lt.	459.45	
29	8+31.58	16.13 Lt.	459.45	
30	8+55.31	12.00 Lt.	459.20	
31	8+70.85	24.05 Lt.	458.66	
32	8+78.78	43.63 Lt.	459.13	
33	9+06.25	32.27 Lt.	459.24	
37	8+70.19	20.00 Rt.	459.67	
38	7+82.55	20.00 Rt.	460.43	

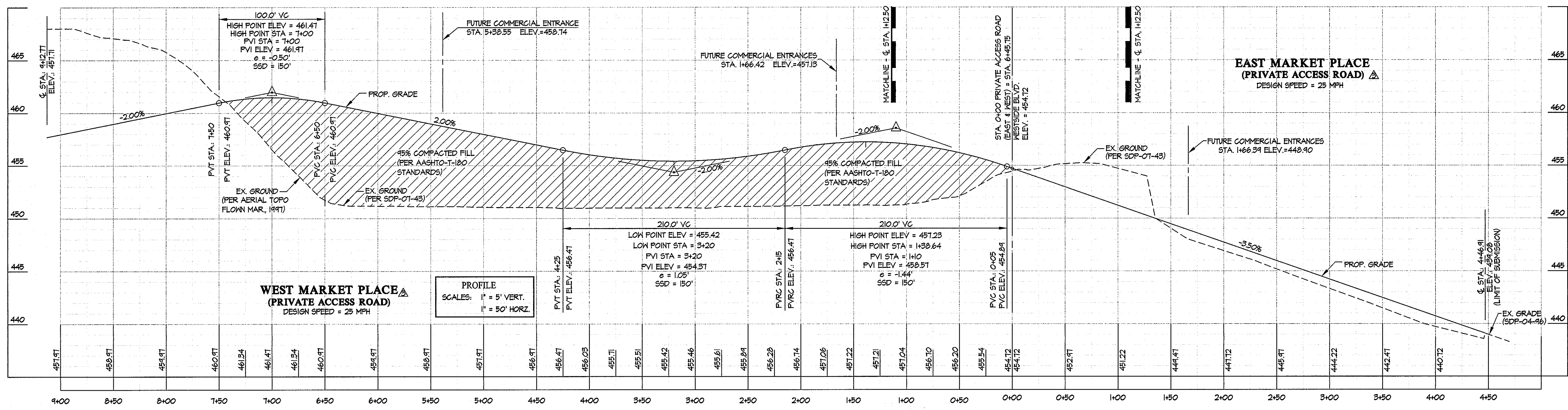
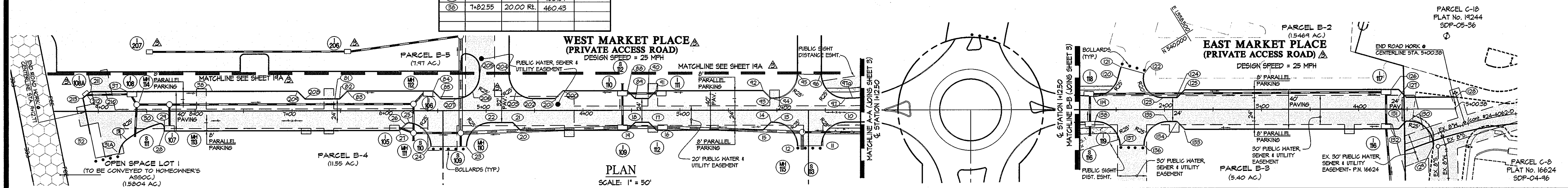
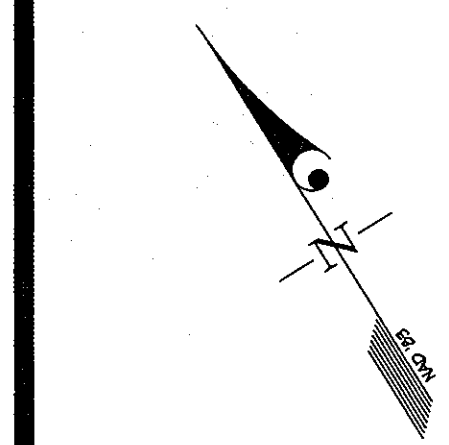
TOP OF CURB ELEVATION TABLE FOR WEST MARKET PLACE				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
61	6+55.72	12.00 Rt.	461.42	
62	6+50.75	12.00 Rt.	461.32	
63	6+42.80	20.00 Rt.	460.94	
64	5+54.80	20.00 Rt.	459.18	
65	5+46.80	12.00 Rt.	458.25	
66	3+54.30	20.00 Rt.	455.64	
67	3+46.24	12.00 Rt.	455.83	
68	3+32.26	12.00 Rt.	455.77	
69	3+24.27	20.00 Rt.	455.55	
70	2+14.27	20.00 Rt.	456.59	
71	2+06.27	12.00 Rt.	456.97	
72	2+03.42	12.00 Rt.	457.02	
73	1+78.42	37.02 Rt.	456.50	
74	1+54.42	36.98 Rt.	456.68	
75	1+24.42	12.00 Rt.	457.56	
76	1+21.94	12.00 Rt.	457.53	

TOP OF CURB ELEVATION TABLE FOR WEST MARKET PLACE				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
200	4+20.40	20.00 Rt.	456.48	
201	4+28.40	12.00 Rt.	456.88	
202	4+51.48	12.00 Rt.	457.34	
203	4+64.16	19.32 Rt.	456.94	
204	4+76.48	37.00 Rt.	456.54	
205	5+06.48	37.00 Rt.	457.20	
206	5+13.21	19.32 Rt.	458.07	
207	5+31.48	12.00 Rt.	458.94	
208	6+06.60	12.00 Rt.	461.77	
209	6+44.55	20.00 Rt.	461.56	
210	8+41.70	20.00 Rt.	458.25	
211	9+07.70	20.00 Rt.	458.00	
212	9+11.61	16.78 Rt.	457.95	
213	9+15.51	13.56 Rt.	458.06	

TOP OF CURB ELEVATION TABLE FOR EAST MARKET PLACE				
PT. NO.	STATION	OFFSET	ELEV.	ASBUILT
114	1+26.21	13.67 Lt.	450.59	
120	1+52.05	31.82 Lt.	449.04	
121	1+55.41	43.96 Lt.	448.55	
122	1+78.58	37.42 Lt.	447.94	
123	1+97.84	12.00 Lt.	448.16	
124	2+12.98	12.00 Lt.	447.63	
125	2+20.98	20.00 Lt.	447.11	
126	4+33.30	20.00 Lt.	439.67	
127	4+41.30	12.00 Lt.	439.63	
128	5+00.38	12.00 Lt.	*	
129	4+77.21	38.88 Rt.	*	
130	4+52.24	12.00 Rt.	439.25	
131	4+41.16	12.00 Rt.	439.51	
132	4+33.30	20.00 Rt.	439.67	
133	2+20.98	20.00 Rt.	446.98	
134	2+12.98	12.00 Rt.	447.50	
135	2+03.34	12.00 Rt.	447.96	
136	1+78.34	36.96 Rt.	447.96	
137	1+54.34	36.99 Rt.	448.80	
138	1+28.45	12.00 Rt.	450.58	

\*MEET EXISTING CURB

NOTES:  
1. SEE SHEETS 1 & 19A FOR STORM DRAIN SIZE, TYPE AND LENGTHS.  
2. ALL LANDSCAPING AND STREET LIGHTS ALONG PRIVATE ROADS WILL BE PROVIDED AT SDP FEE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Robert C. ...*  
 Chief, Bureau of Highways  
 Date: 6/19/09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*... ..*  
 Chief, Division of Land Development  
 Date: 6/25/09

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
 BURTONTVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
06/13/09	STREET NAMES, SD, & CURB REVISED IN WEST MARKET PLACE. MATCH LINE ADDED (REPLACEMENT SHEET)	dds	
04/01/08	REV. TOP OF CURB ELEVATION CHARTS	KLP	

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 13975  
 EXPIRATION DATE: MAY 26, 2010

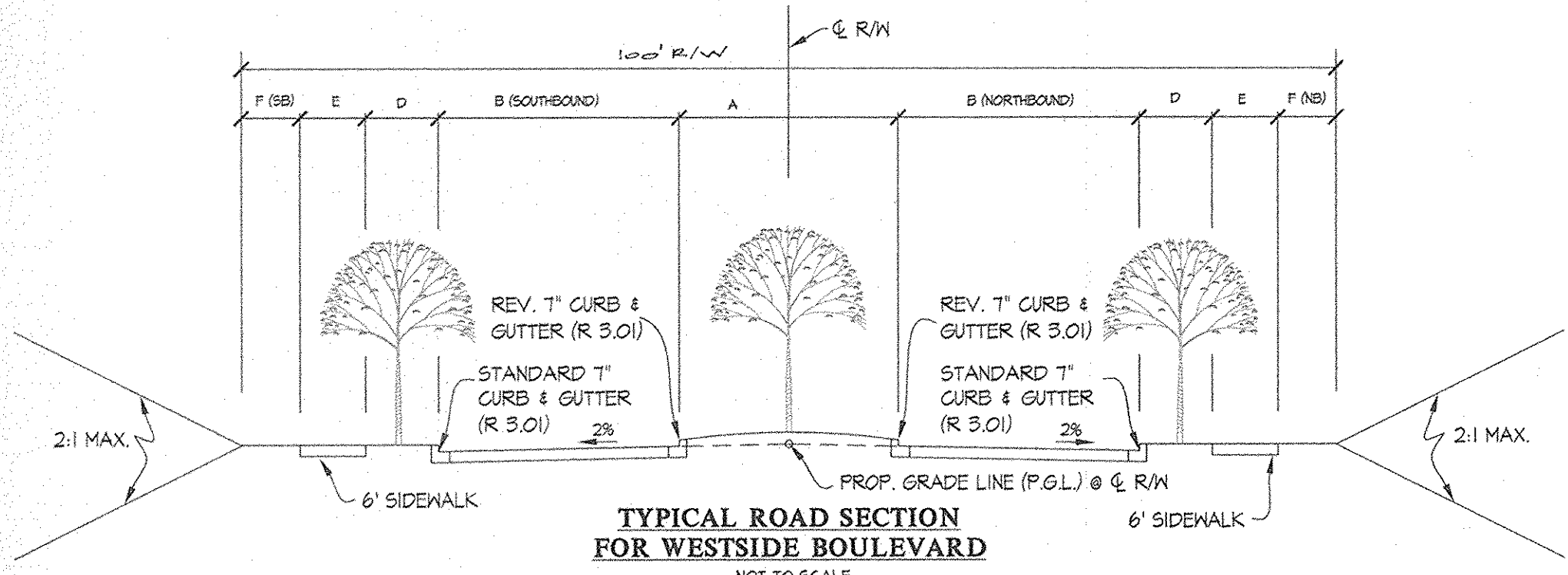


REVISED ROAD CONSTRUCTION PLAN - PRIVATE ROADS  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JUNE, 2009	41-21&22 46-3	4 OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH P-08-54

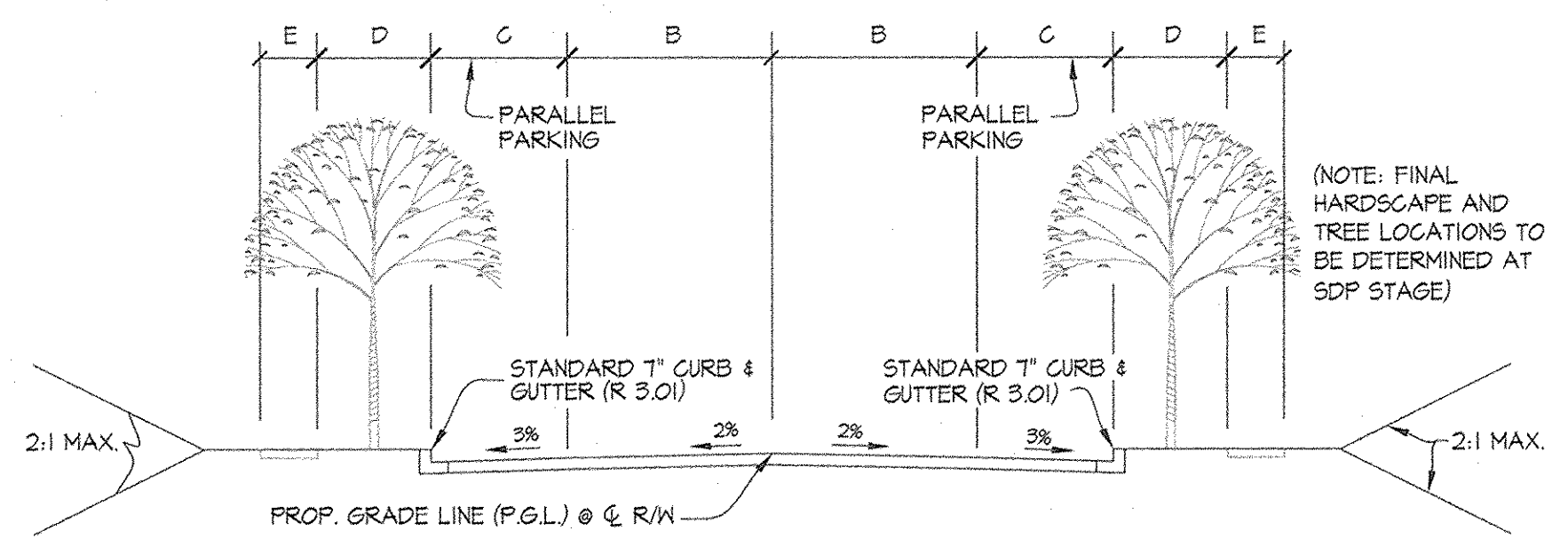




TYPICAL ROAD SECTION FOR WESTSIDE BOULEVARD  
NOT TO SCALE

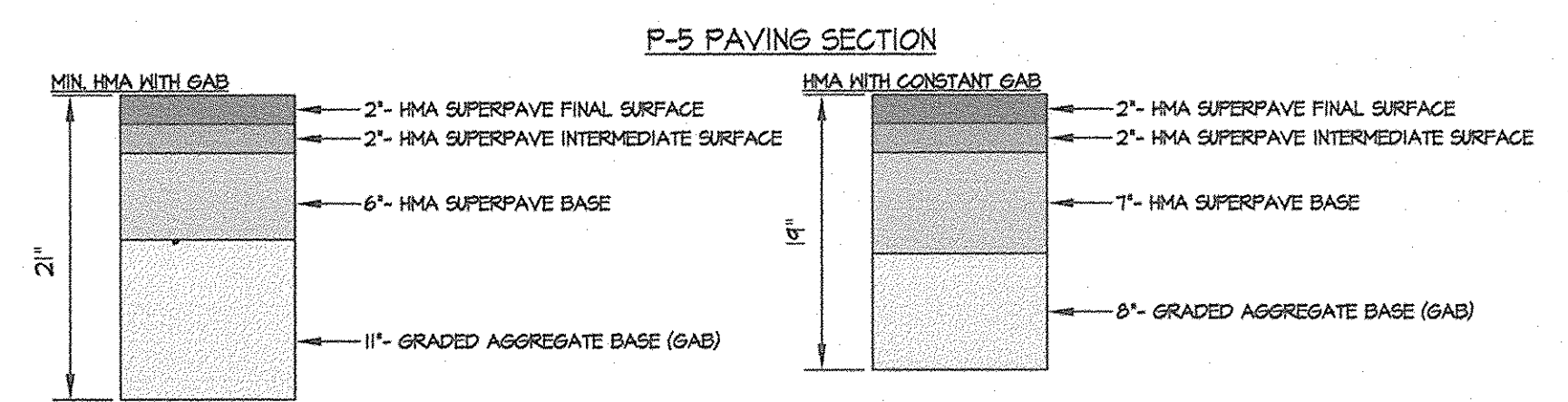
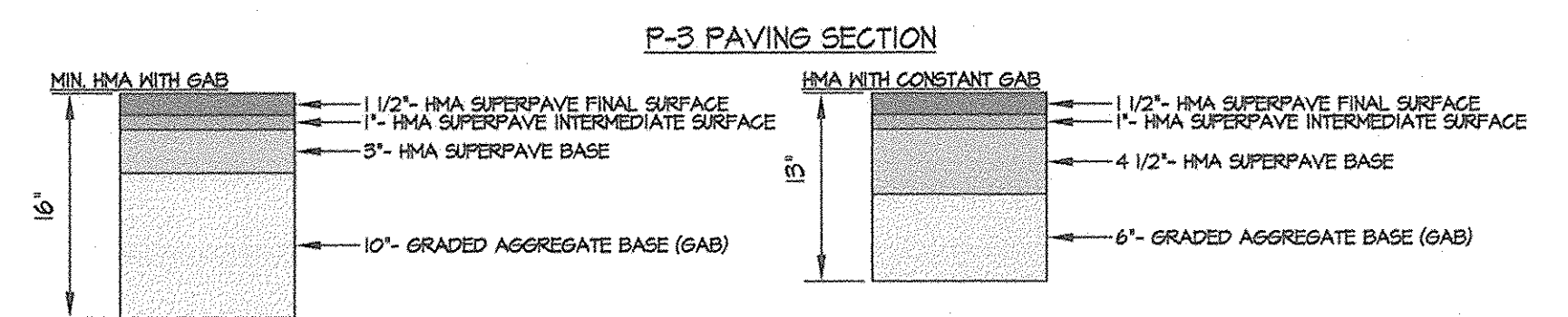
ROAD INFORMATION											
ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B(NB)	D(SB)	C	D	E	F(NB)	F(SB)
WESTSIDE BLVD.	0+00 TO 4+00	MAJOR COLLECTOR	25 MPH	VARIES	22'	22'	---	6'-8"	6'	VARIES	5'-4"
WESTSIDE BLVD.	4+00 TO 5+50	MAJOR COLLECTOR	25 MPH	23'	15'	22'	---	6'-8"	6'	5'-4"	9'-4"

NOTE: STATION 5+50 THROUGH 7+25 FALLS WITHIN THE PROPOSED ROUNDABOUT.



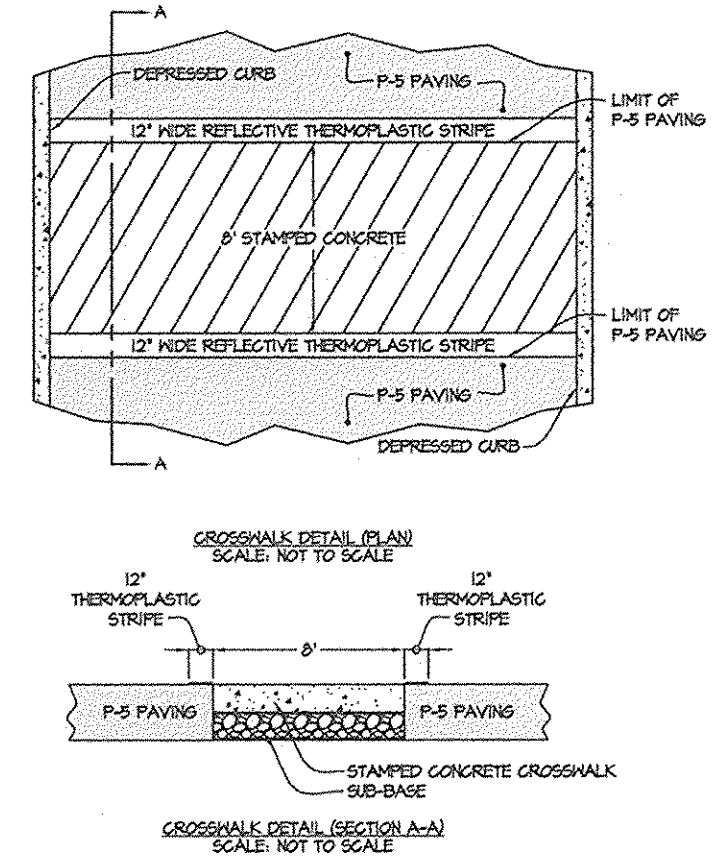
TYPICAL ROAD SECTION FOR PRIVATE ACCESS ROAD (EAST)  
NOT TO SCALE

ROAD INFORMATION										
ROAD NAME	STATION	CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	R/W	SECTION
PRIV. ROAD (EAST)	0+00 TO 4+46.91	(PRIVATE)	25 MPH	12'	8'	6'-8"	4'	60'		P-5

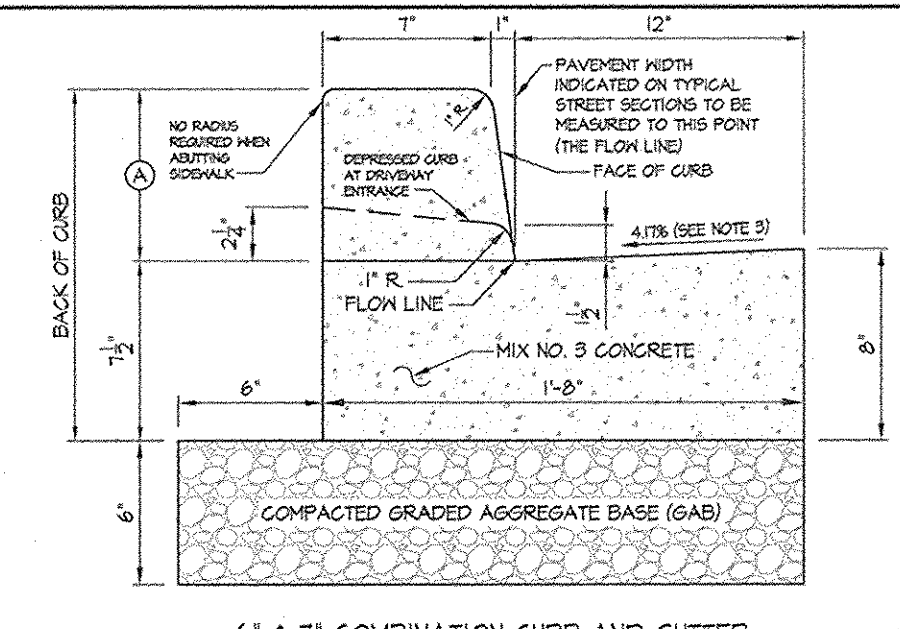
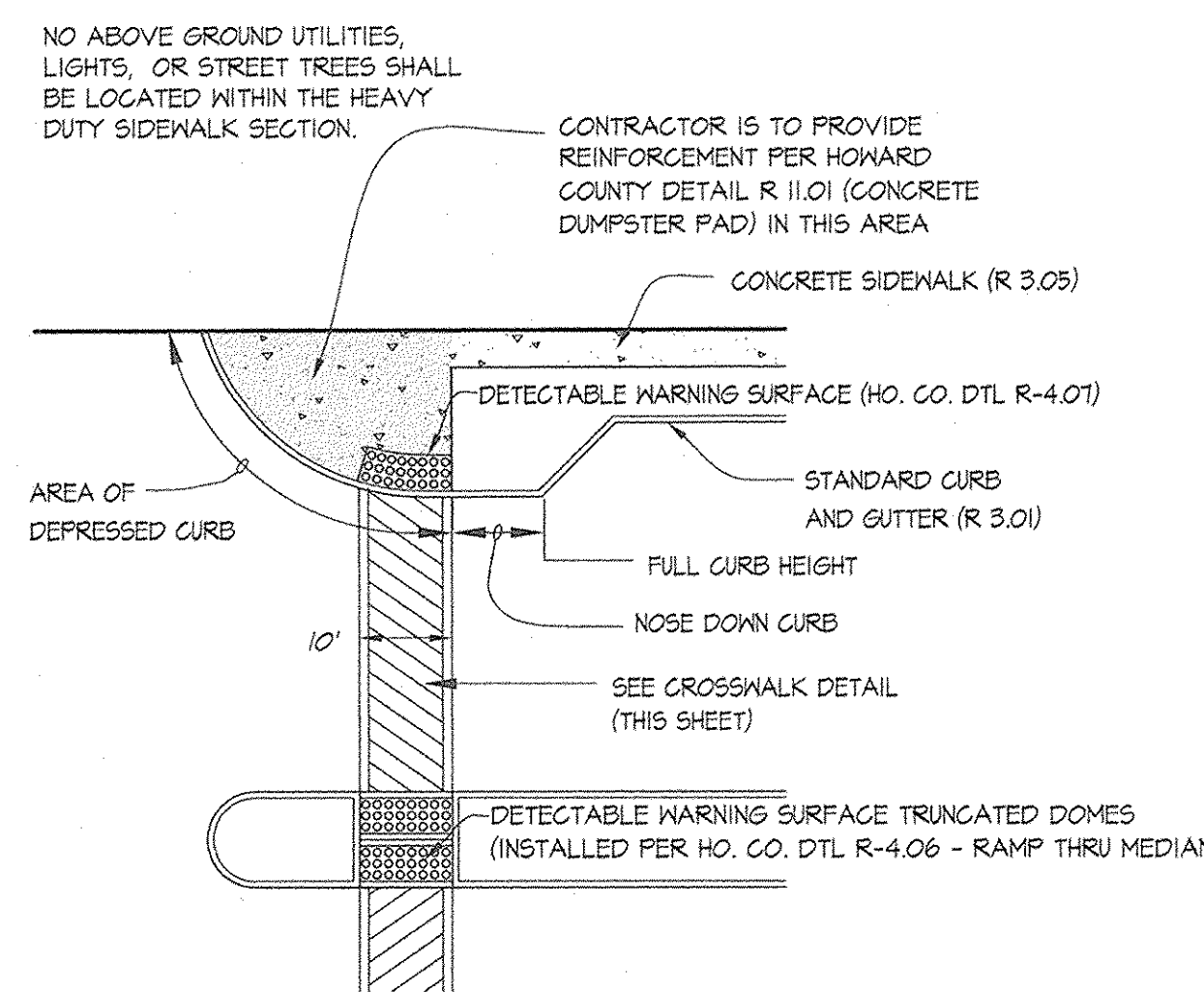


Paving Sections  
N.T.S.

Note: Depending on the CER values obtained in the field, the paving sections may be revised, if approved by a professional soils engineer. These substitutions must also be approved by the Howard County Dept. of Public Works.



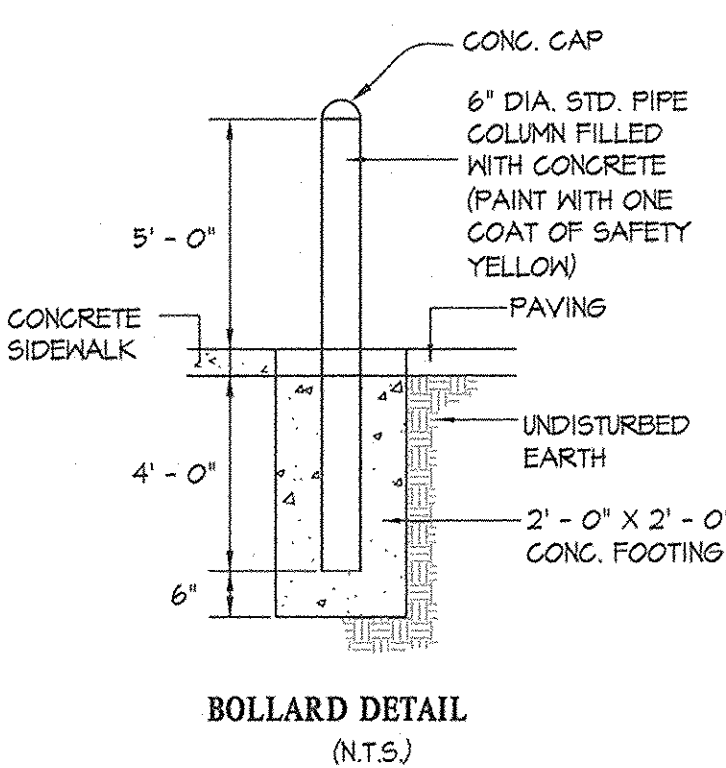
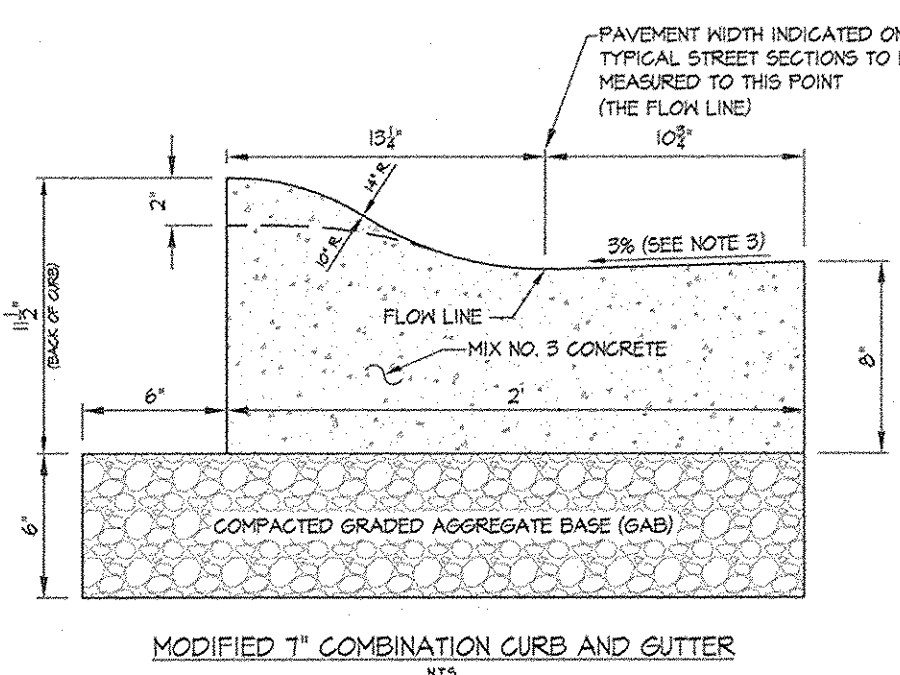
TYPICAL RAMPING DETAIL  
N.T.S.



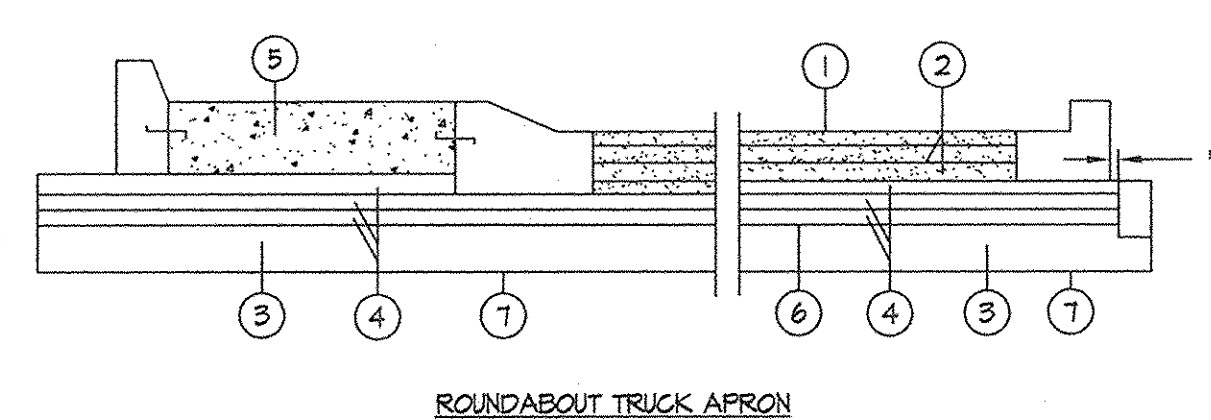
CURB HEIGHT	(A)
6"	6"
7"	7 5/16"

NOTES:

- STANDARD T' COMBINATION CURB AND GUTTER TO BE USED IN ALL PUBLIC RIGHTS OF WAY.
- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
- GUTTER PAN AT MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.
- A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
- POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.



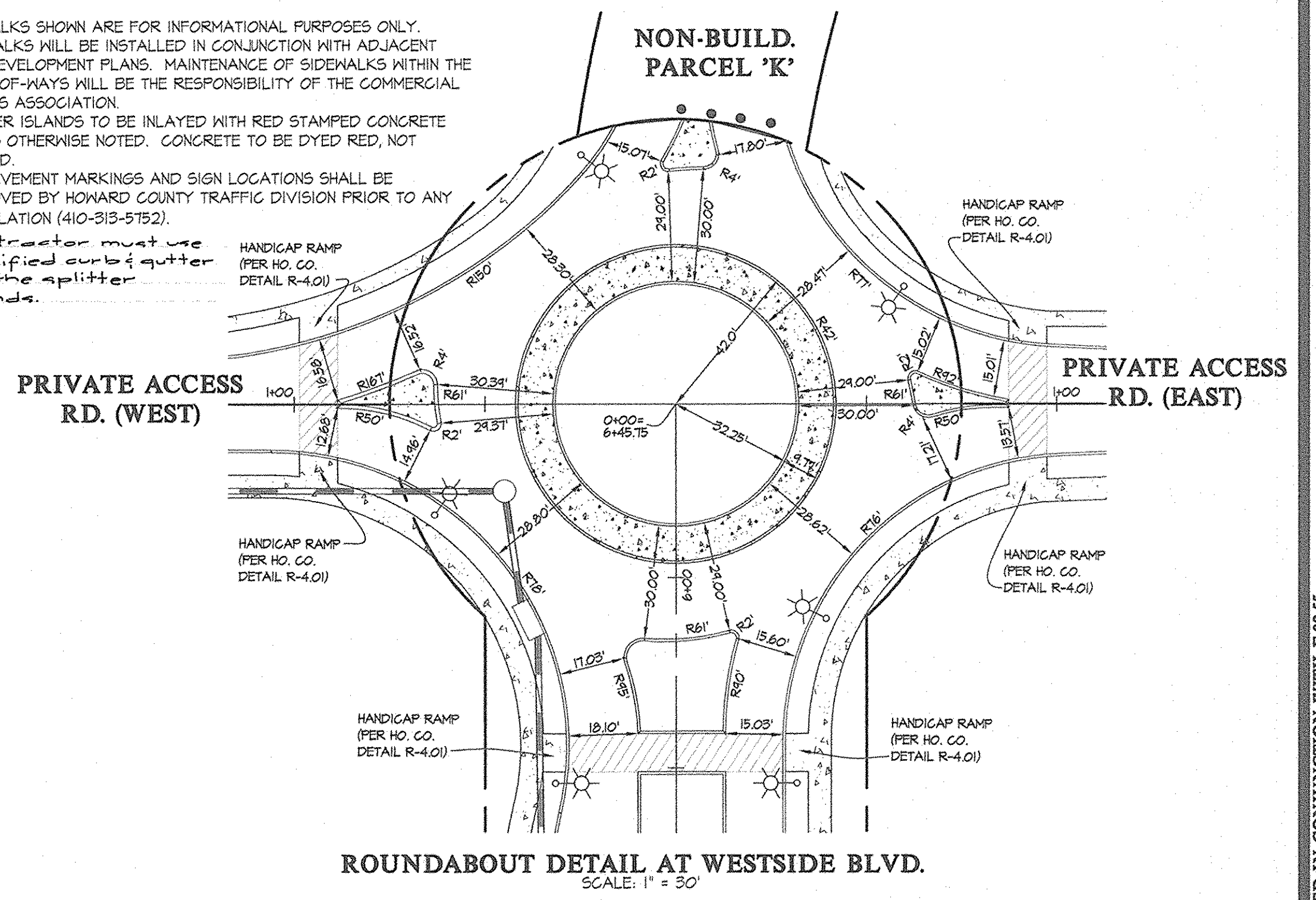
BOLLARD DETAIL  
(N.T.S.)



- 2.0" HOT MIX ASPHALT SUPERPAVE 12.5 MM FOR SURFACE COURSE PG 10-22, LEVEL 3
  - 3.0" HOT MIX ASPHALT SUPERPAVE 25.0 MM FOR BASE COURSE PG 10-22
  - 12.0" GEOSYNTHETIC STABILIZED SUBGRADE USING AGGREGATE BASE
  - 4.0" BASE COURSE USING GRADED AGGREGATE BASE
  - 8.0" JOINTED REINFORCED CONCRETE PAVEMENT MIX NO. 7 MODIFIED WITH 10x10 - W4xW4 GRADE 60 STEEL MESH REINFORCEMENT (COLORED AND STAMPED)
  - TOP OF SUBGRADE
  - LIMIT OF CLASS 1 EXCAVATION
- \* 2' GAP W/O TRAFFIC BARRIER, 12' GAP W/ TRAFFIC BARRIER.  
\*\* PLACE 1" DIAMETER DONEL BARS BETWEEN EACH SLAB AT 12" INTERVAL. PLACE 24" LONG BARS AT 36" INTERVAL BETWEEN THE TYPE B CURB & GUTTER AND THE CONCRETE TRUCK APRON.

NOTE:

- SIDEWALKS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. SIDEWALKS WILL BE INSTALLED IN CONJUNCTION WITH ADJACENT SITE DEVELOPMENT PLANS. MAINTENANCE OF SIDEWALKS WITHIN THE RIGHT-OF-WAYS WILL BE THE RESPONSIBILITY OF THE COMMERCIAL OWNERS ASSOCIATION.
- SPLITTER ISLANDS TO BE INLAYED WITH RED STAMPED CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE DYED RED, NOT PAINTED.
- ALL PAVEMENT MARKINGS AND SIGN LOCATIONS SHALL BE APPROVED BY HOWARD COUNTY TRAFFIC DIVISION PRIOR TO ANY INSTALLATION (410-313-5152).
- Contractor must use modified curb & gutter for the splitter islands.



ROUNDABOUT DETAIL AT WESTSIDE BLVD.  
SCALE: 1" = 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*William R. McNeil*  
 Chief, Bureau of Highways  
 Date: 1-28-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Cindy K. White*  
 Chief, Division of Land Development  
 Date: 2/7/08

*Mike Deamus*  
 Chief, Development Engineering Division  
 Date: 2/6/08

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

NO.	REVISION	DATE	BY	APP'R.

PREPARED FOR:  
**G & R Wessel, LLC**  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

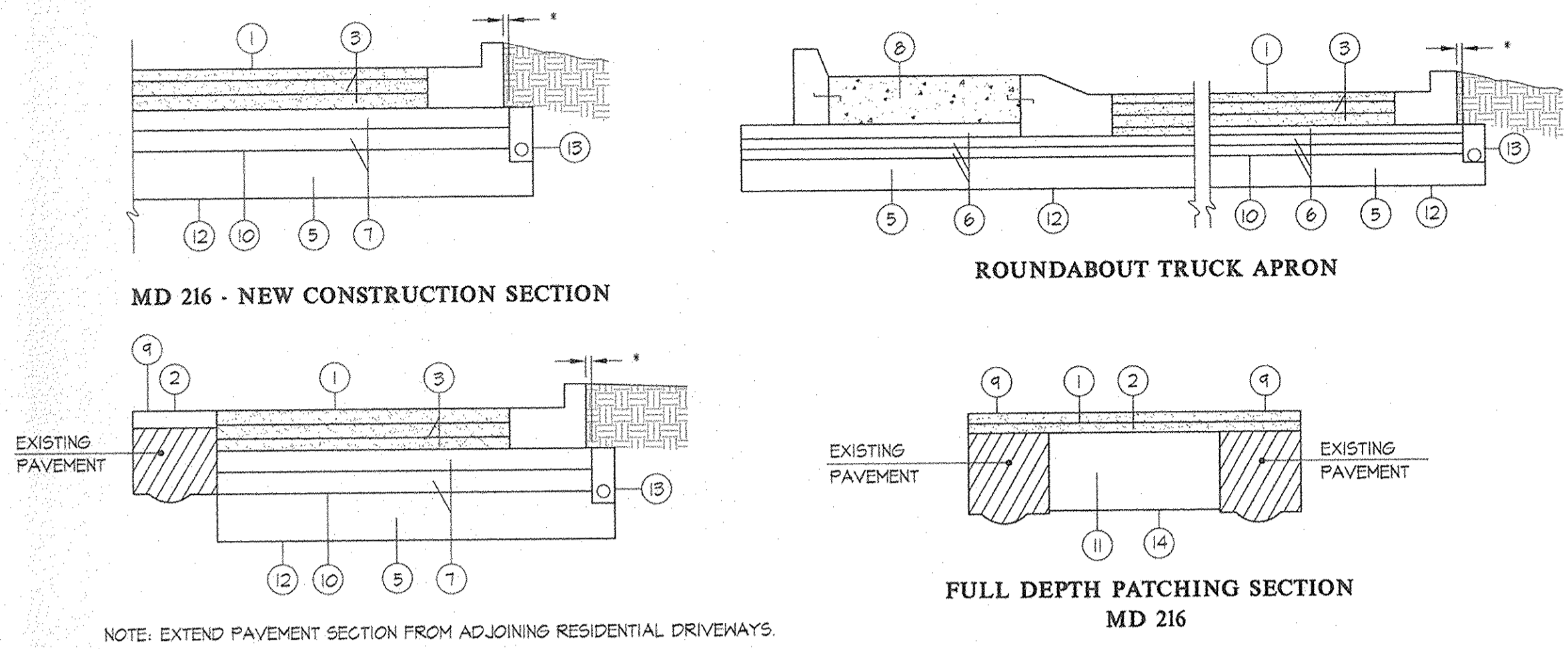
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2008



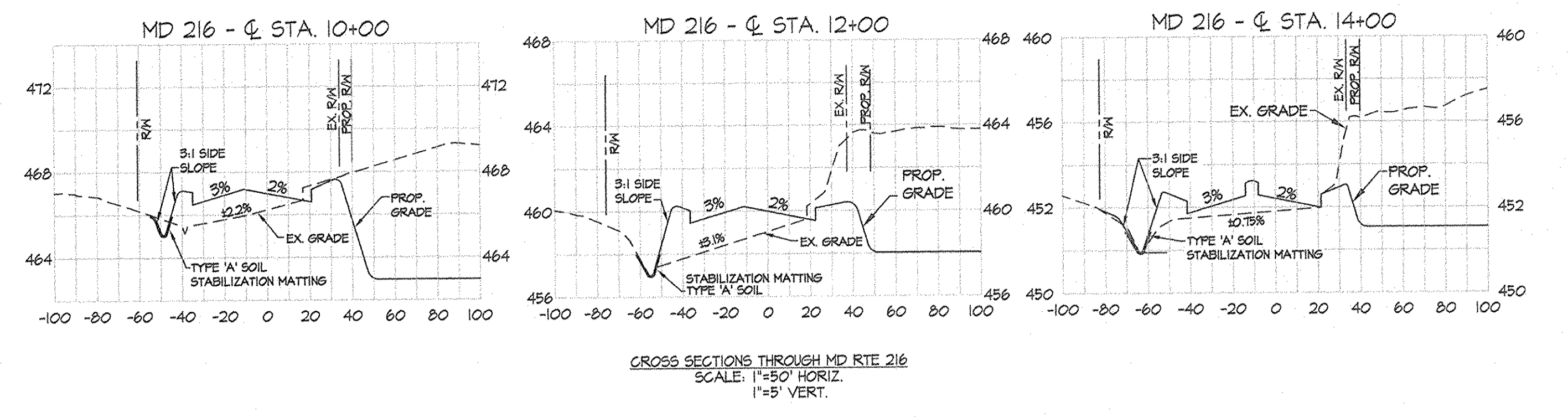
ROAD DETAILS - COUNTY  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

SCALE	ZONING	C. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	6 OF 19

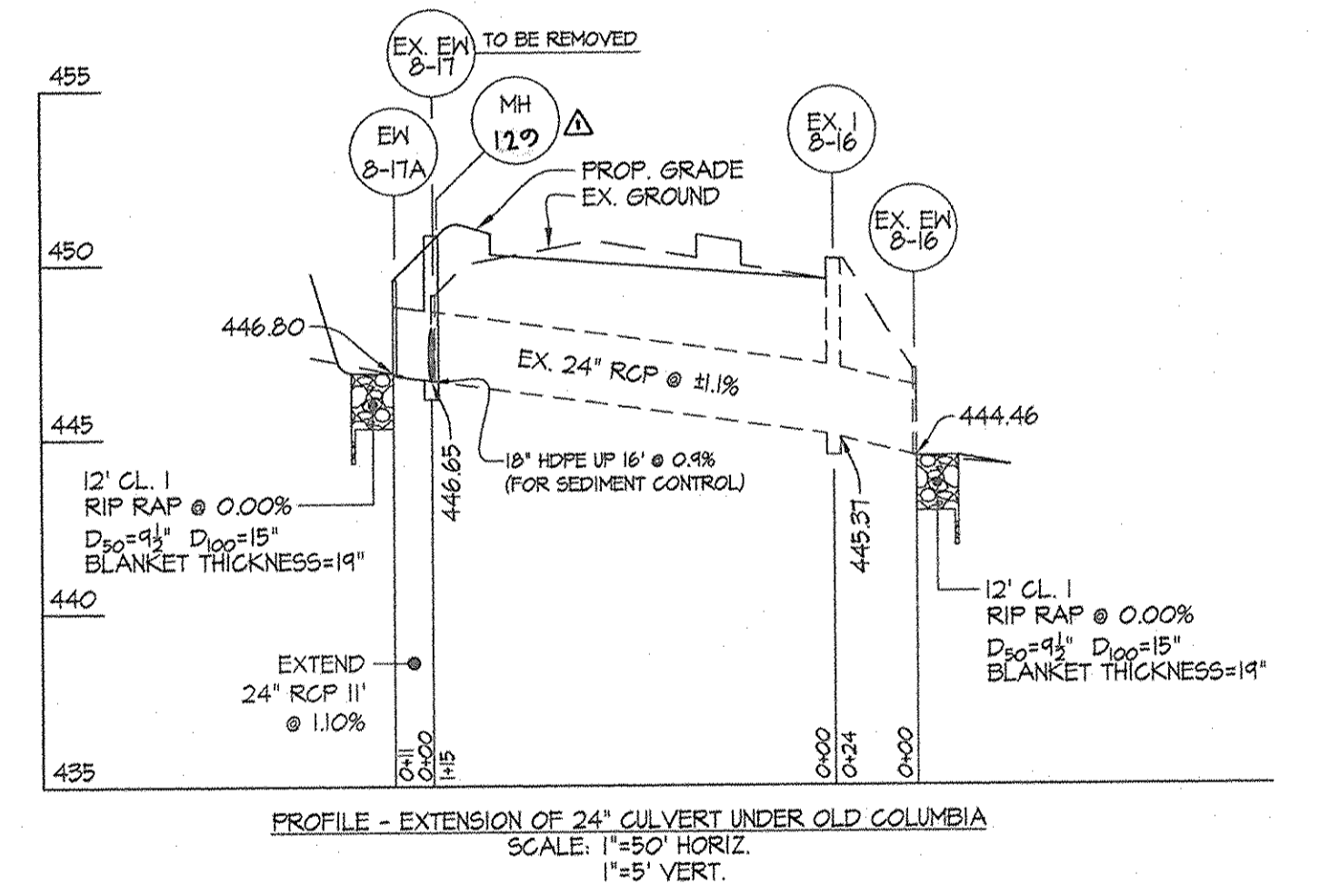
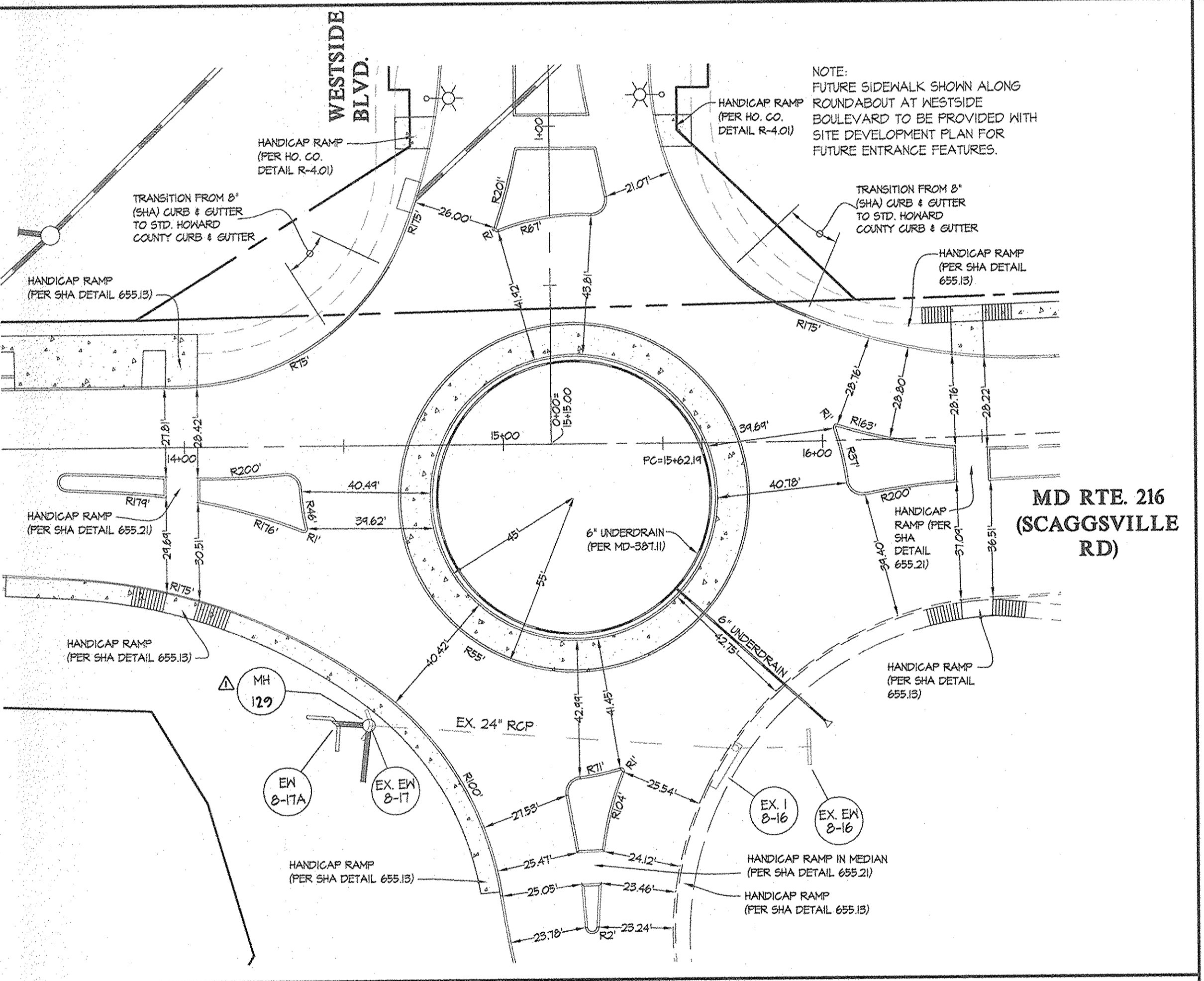
THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55



- ① 2.0" HOT MIX ASPHALT SUPERPAVE 12.5 MM FOR SURFACE COURSE PG 10-22, LEVEL 3
- ② VARIABLE DEPTH HOT MIX ASPHALT SUPERPAVE 9.5 MM FOR BASE COURSE PG 10-22
- ③ 3.0" HOT MIX ASPHALT SUPERPAVE 25.0 MM FOR BASE COURSE PG 10-22
- ④ 3.0" HOT MIX ASPHALT SUPERPAVE 19.0 MM FOR BASE COURSE, LEVEL 3 PG 10-22
- ⑤ 12.0" GEOSYNTHETIC STABILIZED SUBGRADE USING AGGREGATE BASE
- ⑥ 4.0" BASE COURSE USING GRADED AGGREGATE BASE
- ⑦ 6.0" BASE COURSE USING GRADE AGGREGATE BASE
- ⑧ 8.0" JOINTED REINFORCED CONCRETE PAVEMENT MIX NO. 1 MODIFIED WITH 10X10 - 14X14 GRADE 60 STEEL MESH REINFORCEMENT (COLORED AND STAMPED)
- ⑨ TOP OF EXISTING PAVEMENT AFTER CARBIDE GRINDING
- ⑩ TOP OF SUBGRADE
- ⑪ VARIABLE DEPTH HOT MIX ASPHALT SUPERPAVE 19.0 MM FOR PATCHING, PG 10-22
- ⑫ LIMIT OF CLASS I EXCAVATION
- ⑬ LONGITUDINAL UNDERDRAINS (PER MD-381.1J)
- ⑭ TOP OF EXISTING AGGREGATE BASE COURSE
- 2' GAB W/O TRAFFIC BARRIER, 12' GAB W/ TRAFFIC BARRIER
- PLACE 1" DIAMETER DOGEL BARS BETWEEN EACH SLAB AT 12" INTERVAL. PLACE 24" LONG BARS AT 36" INTERVAL BETWEEN THE TYPE B CURB & GUTTER AND THE CONCRETE TRUCK APRON.
- LONGITUDINAL UNDERDRAINS SHALL BE WRAPPED WITH CLASS 50 TYPE II GEOTEXTILE.



ROAD SECTIONS NO SCALE



ROUNDABOUT DETAIL AT MD RTE. 216 (SCAGGSVILLE RD) & WESTSIDE BLVD. SCALE: 1" = 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*With 2.0.08.1*  
 Chief, Bureau of Highways  
 Date: 1-28-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Cindy Hunt*  
 Chief, Division of Land Development  
 Date: 2/1/08

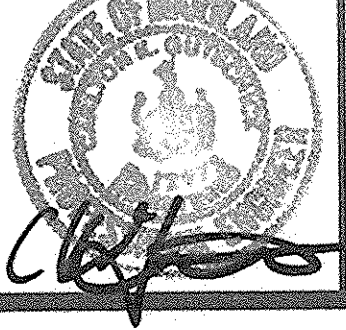
*Johnston*  
 Chief, Development Engineering Division  
 Date: 2/6/08

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 200 - BIRTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
01/10/08	corrected M-1102 to be M-1100	WLF	

PREPARED FOR:  
**G & R/Wassell, LLC**  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 28, 2008

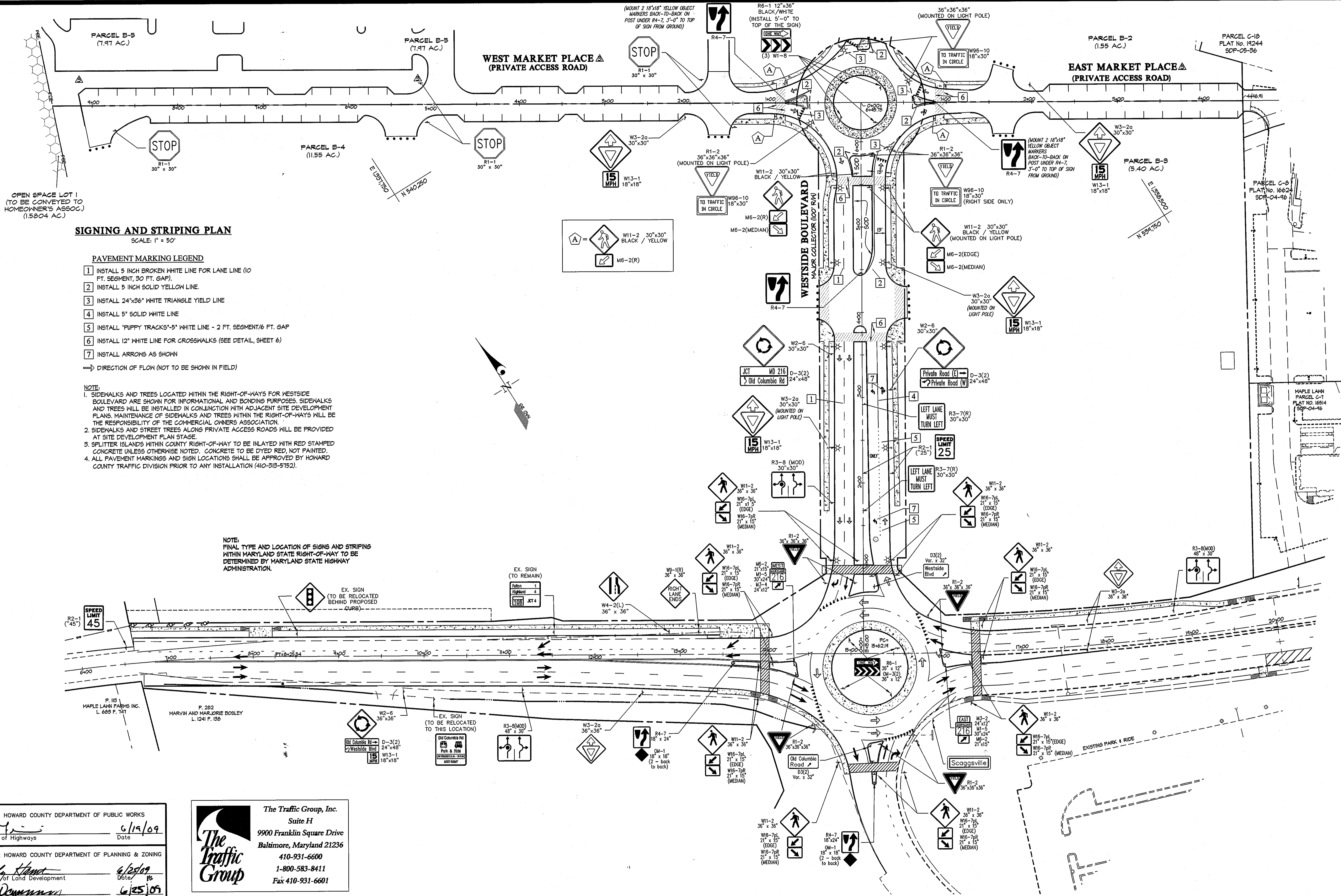


ROAD DETAILS - MARYLAND ROUTE 216  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	7 OF 19

L:\CADD\DRAWINGS\03067\06081\FINALS\06081SD06-08.dwg DES. DEV DRN. A.W. CHK. DEV DATE REVISION BY APP'R.

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55



**SIGNING AND STRIPING PLAN**  
SCALE: 1" = 50'

**PAVEMENT MARKING LEGEND**

- 1 INSTALL 5 INCH BROKEN WHITE LINE FOR LANE LINE (10 FT. SEGMENT, 30 FT. GAP).
  - 2 INSTALL 5 INCH SOLID YELLOW LINE.
  - 3 INSTALL 24"x36" WHITE TRIANGLE YIELD LINE.
  - 4 INSTALL 5" SOLID WHITE LINE.
  - 5 INSTALL "PUPPY TRACKS"-5" WHITE LINE - 2 FT. SEGMENT/6 FT. GAP.
  - 6 INSTALL 12" WHITE LINE FOR CROSSWALKS (SEE DETAIL, SHEET 6).
  - 7 INSTALL ARROWS AS SHOWN.
- DIRECTION OF FLOW (NOT TO BE SHOWN IN FIELD)

**NOTE:**

1. SIDEWALKS AND TREES LOCATED WITHIN THE RIGHT-OF-WAYS FOR WESTSIDE BOULEVARD ARE SHOWN FOR INFORMATIONAL AND BONDING PURPOSES. SIDEWALKS AND TREES WILL BE INSTALLED IN CONJUNCTION WITH ADJACENT SITE DEVELOPMENT PLANS. MAINTENANCE OF SIDEWALKS AND TREES WITHIN THE RIGHT-OF-WAYS WILL BE THE RESPONSIBILITY OF THE COMMERCIAL OWNERS ASSOCIATION.
2. SIDEWALKS AND STREET TREES ALONG PRIVATE ACCESS ROADS WILL BE PROVIDED AT SITE DEVELOPMENT PLAN STAGE.
3. SPLITTER ISLANDS WITHIN COUNTY RIGHT-OF-WAY TO BE INLAYED WITH RED STAMPED CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE DYED RED, NOT PAINTED.
4. ALL PAVEMENT MARKINGS AND SIGN LOCATIONS SHALL BE APPROVED BY HOWARD COUNTY TRAFFIC DIVISION PRIOR TO ANY INSTALLATION (410-313-5152).

NOTE:  
FINAL TYPE AND LOCATION OF SIGNS AND STRIPING WITHIN MARYLAND STATE RIGHT-OF-WAY TO BE DETERMINED BY MARYLAND STATE HIGHWAY ADMINISTRATION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Paul B. Jones* 6/19/09  
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Andy Hama* 6/25/09  
Chief, Division of Land Development Date

*Paul D. ...* 6/25/09  
Chief, Development Engineering Division Date

**The Traffic Group, Inc.**  
Suite H  
9900 Franklin Square Drive  
Baltimore, Maryland 21236  
410-931-6600  
1-800-583-8411  
Fax 410-931-6601

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-989-2524

DATE	REVISION	BY	APP'R.
6/13/09	CURB REV. ON NORTH SIDE OF W. MARKET PLACE, STOP SIGN ADDED AT NEW ENTRANCE, REV. STREET NAMES (REPLACEMENT SIGN)	dds	

PREPARED FOR:  
G&R / WESSEL, LLC  
SUITE 300 WOODHOLME CENTER  
1829 REISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 10761  
EXPIRATION DATE: 03/31/11



REVISED SIGNING AND STRIPING PLAN - MARYLAND ROUTE 216  
(ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
WESTSIDE DISTRICT - AREA 1  
PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'J' AND 'K'

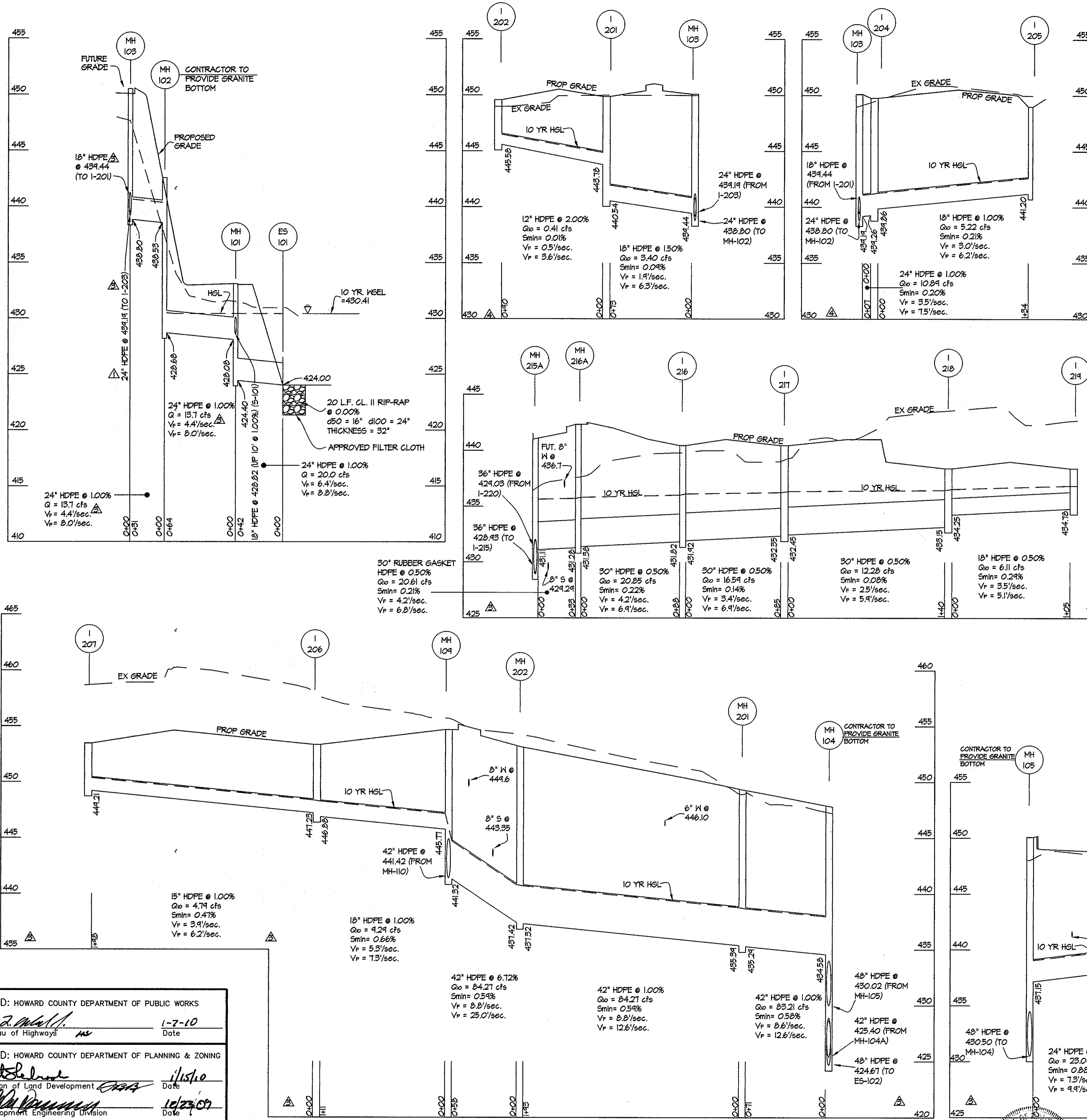
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JUNE, 2009	41-21&22 46-3	8 OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-5







### PIPE SCHEDULE

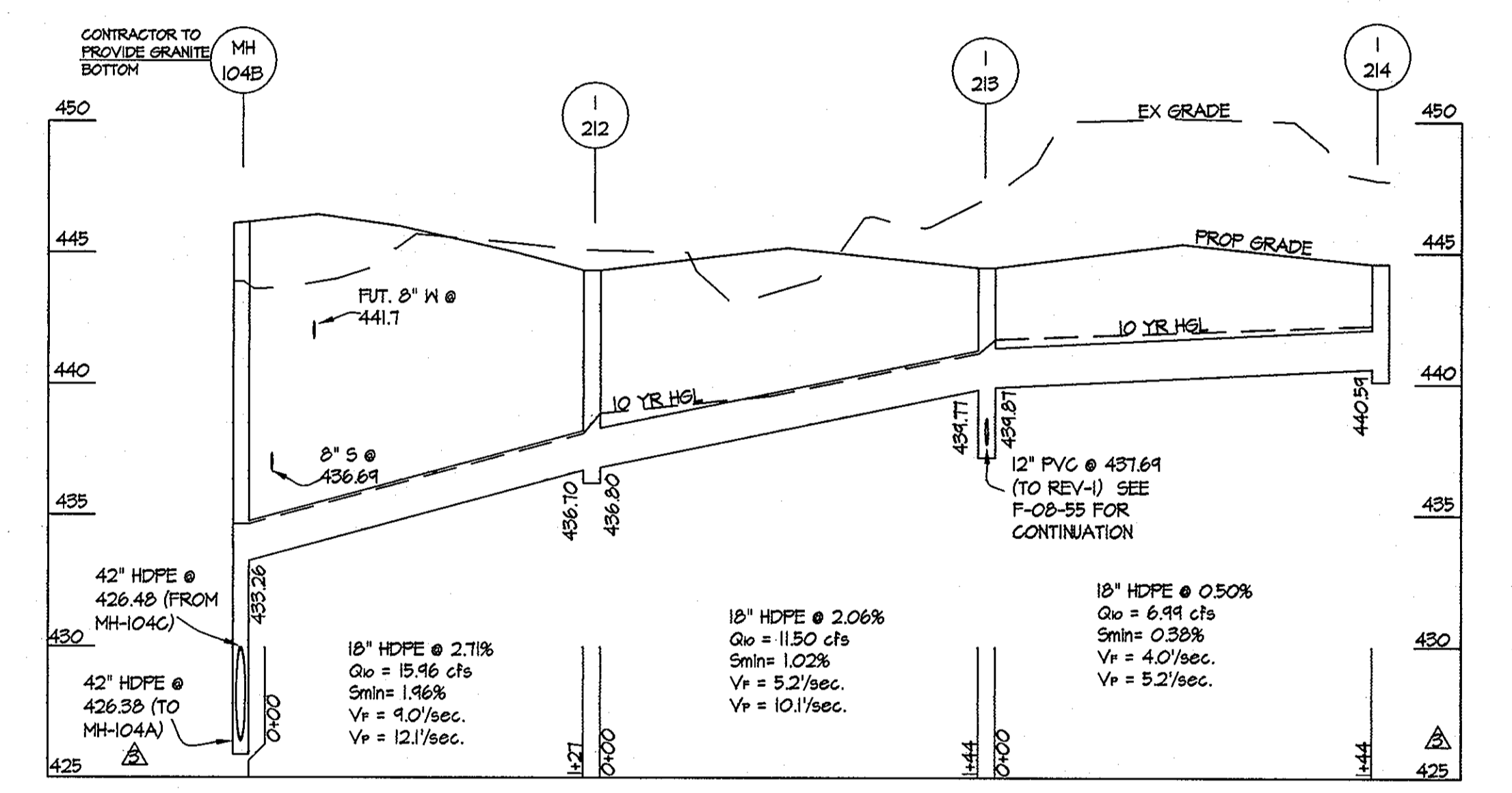
SIZE & TYPE	QUANTITY (LF)	REMARKS
12" HDPE	90	
15" HDPE	306	
18" HDPE	194	
24" HDPE	313	
30" HDPE	313	
30" RUBBER GASKET HDPE	33	
42" HDPE	322	

\* ALL PIPES TO BE PRIVATE.  
 HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hanco or an approved equal.  
 Trench bedding to be provided per Howard County Detail 2.01, "Trench for P.V.C. pipe and HDPE."

### STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
I-201	DOUBLE WR	5'-6"	450.38	-----	443.78	440.54	HO. CO. STD. D-4.35	N 540,514 E 1338,131
I-202	DOUBLE WR	5'-6"	450.08	-----	445.58	TERMINAL	HO. CO. STD. D-4.35	N 540,565 E 1338,048
I-204	DOUBLE WR	5'-6"	450.27	-----	434.86	434.26	HO. CO. STD. D-4.35	N 540,465 E 1338,204
I-205	YARD INLET	2'-0"	444.00	-----	441.20	TERMINAL	HO. CO. STD. D-4.35	N 540,348 E 1338,326
I-206	DOUBLE S'	5'-6.5"	453.35	-----	441.23	446.88	HO. CO. STD. D-4.23	N 540,442 E 1337,756
I-207	DOUBLE S'	5'-6.5"	453.46	-----	444.21	TERMINAL	HO. CO. STD. D-4.23	N 540,550 E 1337,583
I-208	DOUBLE S'	5'-6.5"	441.80	-----	438.26	438.16	HO. CO. STD. D-4.23	N 540,720 E 1337,916
I-209	DOUBLE S'	5'-6.5"	441.80	-----	440.60	440.00	HO. CO. STD. D-4.23	N 540,760 E 1337,864
I-210	DOUBLE S'	5'-6.5"	441.80	-----	442.30	441.95	HO. CO. STD. D-4.23	N 540,799 E 1337,763
I-210A	DOUBLE S'	5'-6.5"	441.80	-----	443.65	TERMINAL	HO. CO. STD. D-4.23	N 540,834 E 1337,656
I-212	DOUBLE S'	5'-6.5"	444.32	-----	436.80	436.70	HO. CO. STD. D-4.23	N 540,923 E 1338,032
I-213	DOUBLE S'	5'-6.5"	444.43	-----	434.87	431.64	HO. CO. STD. D-4.23	N 540,923 E 1338,032
I-214	DOUBLE S'	5'-6.5"	444.54	-----	440.54	TERMINAL	HO. CO. STD. D-4.23	N 541,026 E 1337,150
I-216	DOUBLE S'	5'-6.5"	440.45	-----	431.92	431.82	HO. CO. STD. D-4.23	N 541,141 E 1338,128
I-217	DOUBLE S'	5'-6.5"	440.45	-----	432.45	432.35	HO. CO. STD. D-4.23	N 541,174 E 1338,042
I-218	DOUBLE S'	5'-6.5"	438.40	-----	434.25	433.15	HO. CO. STD. D-4.23	N 541,212 E 1337,424
I-219	DOUBLE S'	5'-6.5"	438.40	-----	434.78	TERMINAL	HO. CO. STD. D-4.23	N 541,311 E 1337,825
MH-201	MANHOLE	6'	444.33	-----	435.34	435.24	HO. CO. STD. G-5.13	N 540,580 E 1338,028
MH-202	MANHOLE	6'	453.18	-----	451.42	451.32	HO. CO. STD. G-5.13	N 540,410 E 1337,925
MH-216A	MANHOLE	5'	442.32	-----	431.38	431.28	HO. CO. STD. G-5.13	N 541,114 E 1338,214
MH-103	MANHOLE	5'	450.10	-----	434.44	438.80	HO. CO. STD. G-5.13	N 540,464 E 1338,196
MH-102	MANHOLE	5'	442.53	-----	438.53	428.68	HO. CO. STD. G-5.13	N 540,445 E 1338,212
MH-101	MANHOLE	5'	433.08	-----	428.82	424.40	HO. CO. STD. G-5.13	N 540,544 E 1338,246
ES-101	END SECTION	2'	426.00	-----	-----	424.00	-----	N 540,568 E 1338,214

NOTE: ALL STRUCTURES TO BE PRECAST.  
 ALL STRUCTURES TO BE PRIVATE.  
 COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 NYLOPLAST - ADS END SECTION OR APPROVED EQUAL.  
 \* ALL DOUBLE S' INLETS SHALL UTILIZE BICYCLE SAFE GRATES (EAST JORDAN IRON WORKS, OR APPROVED EQUAL)  
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4448 D & 24-4624-D



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 1-7-10  
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 [Signature] 1/15/10  
 Chief, Division of Land Development

[Signature] 1/23/10  
 Chief, Development Engineering Division

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

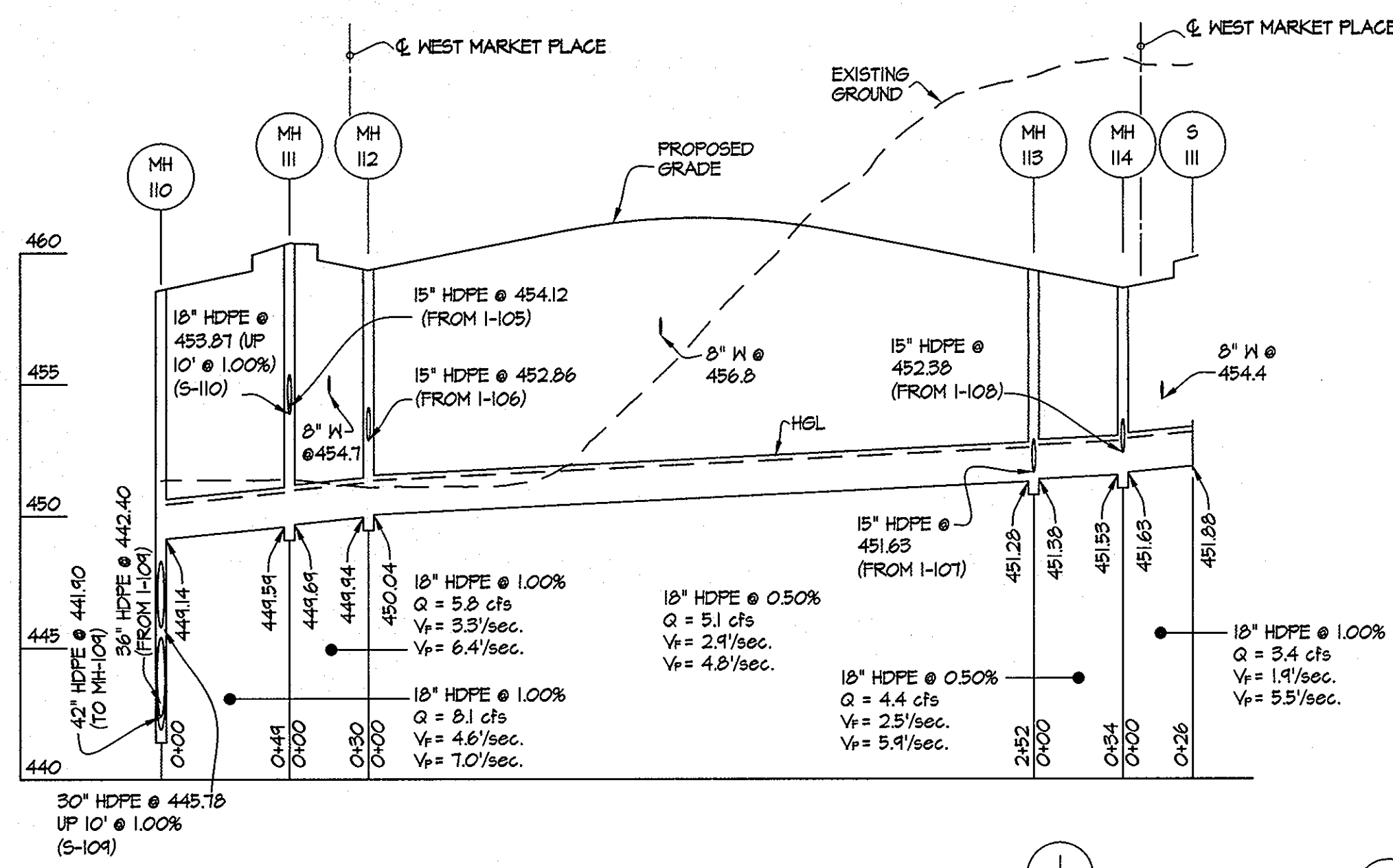
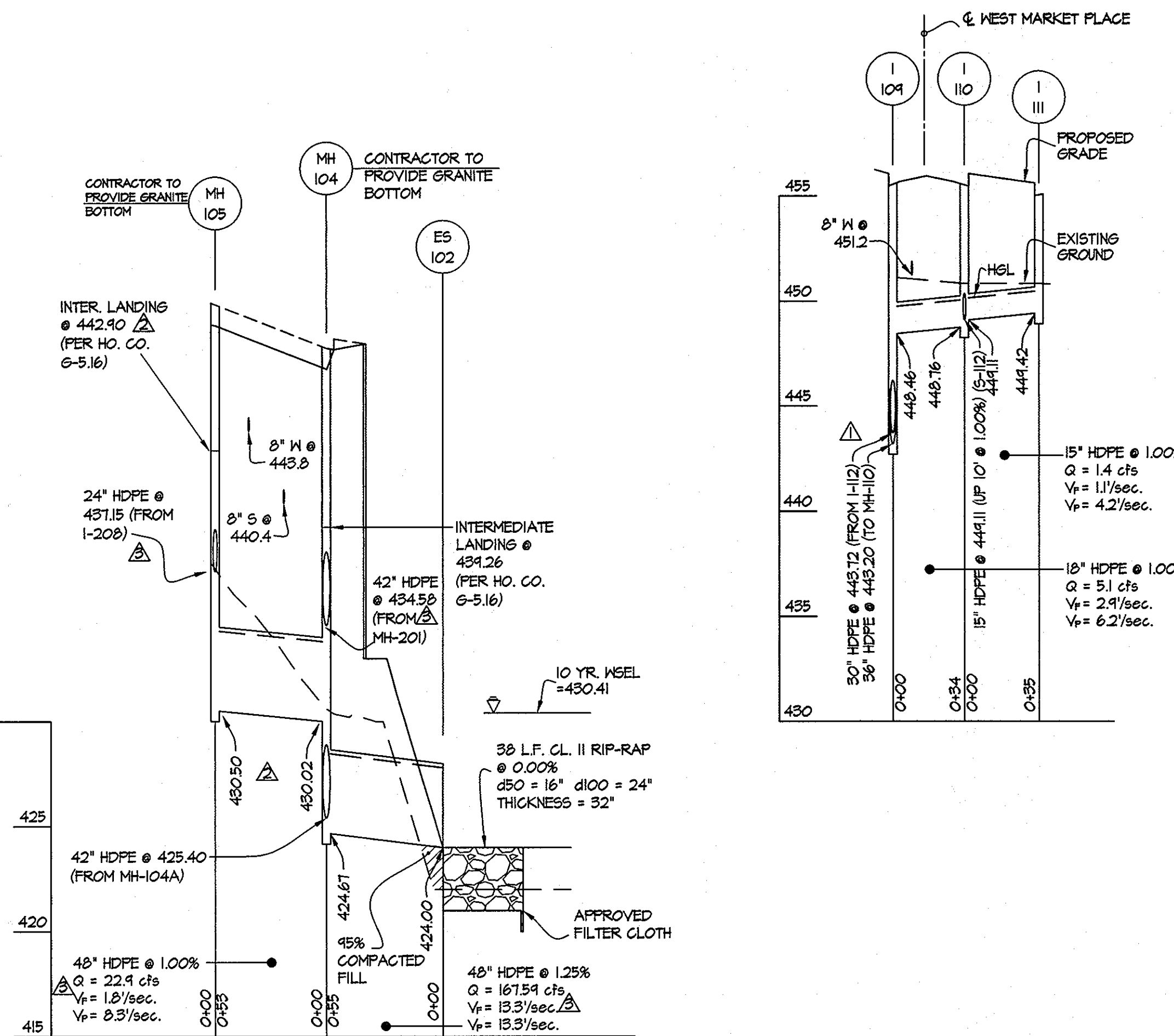
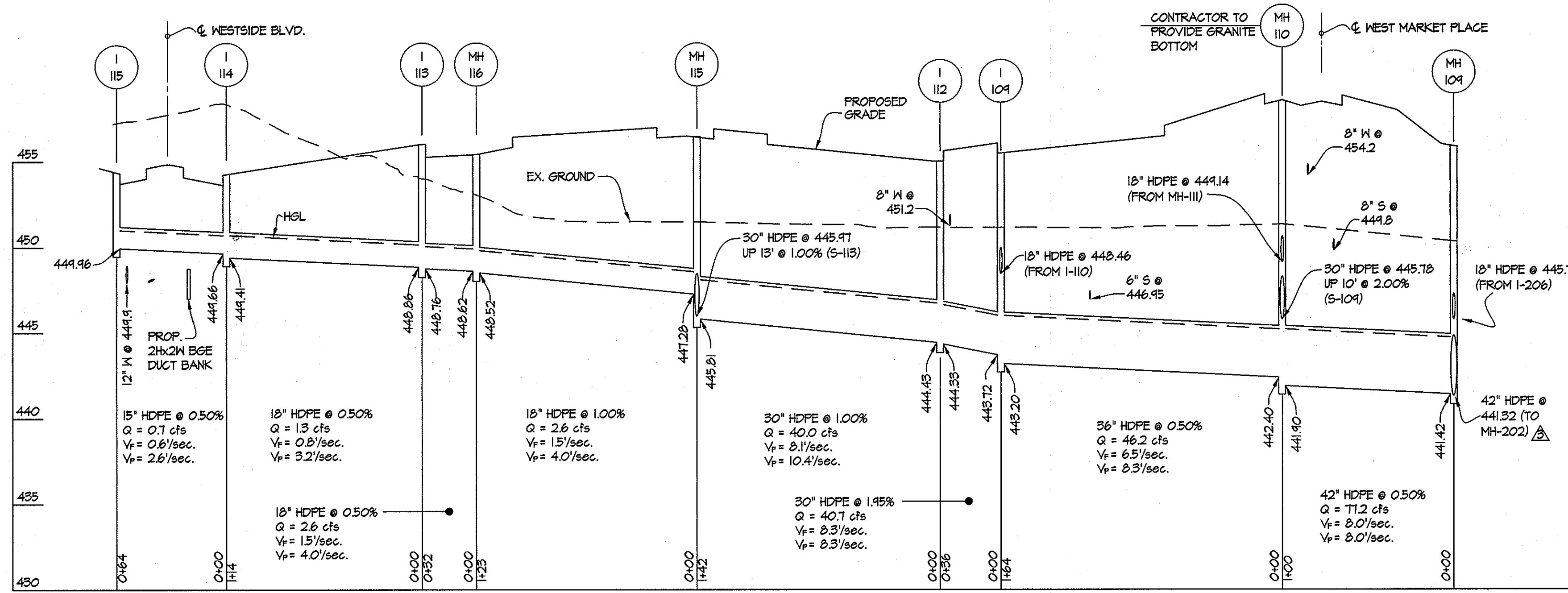
PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 28, 2010  
 12-16-09 [Signature]

REVISED STORM DRAIN PROFILES  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

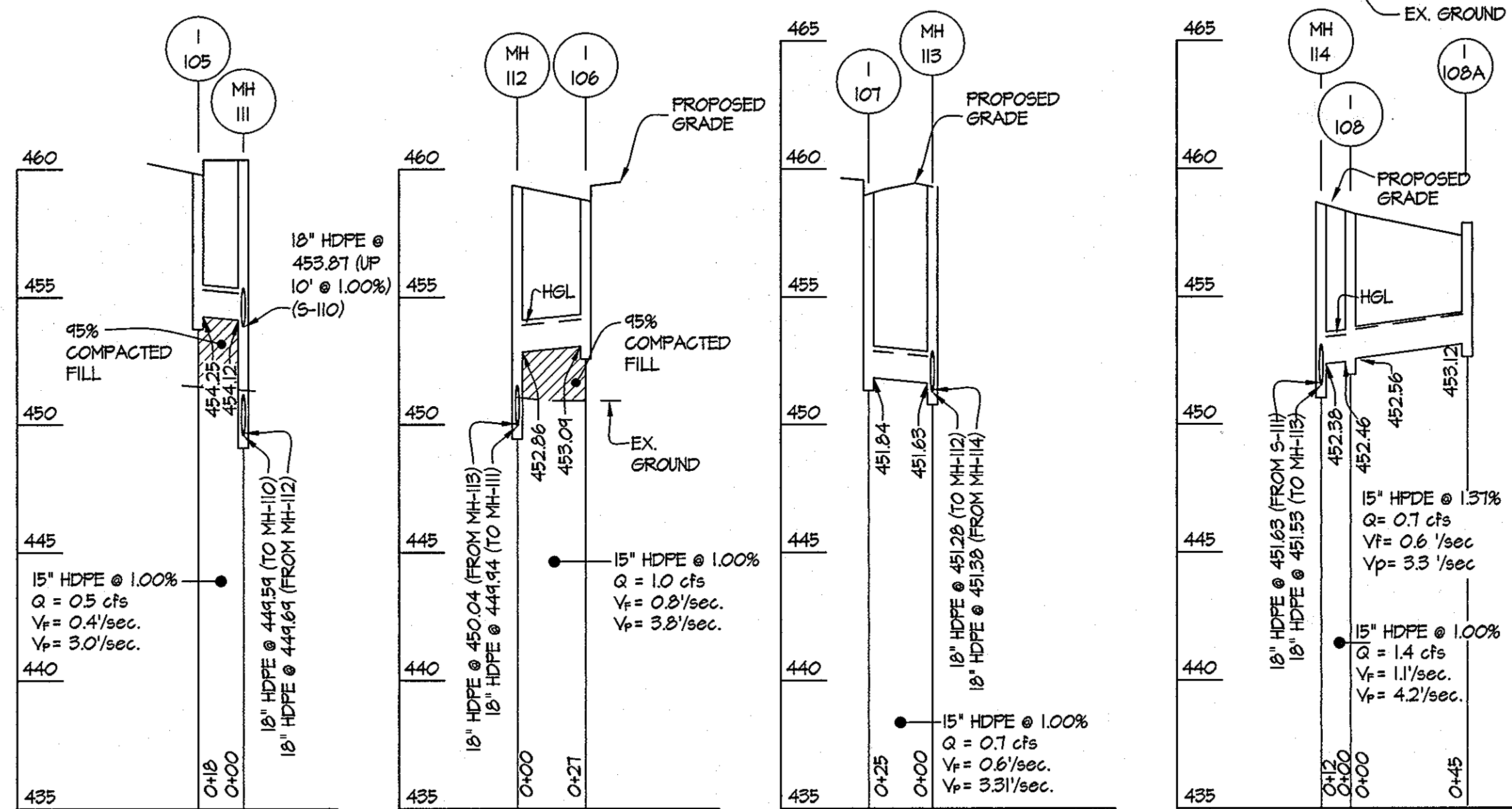
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2009	41-21&22 46-3	10 OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-54



SIZE	TYPE	QUANTITY (LF)	REMARKS
15"	HDPE	233	
30"	HDPE	205	
36"	HDPE	164	
42"	HDPE	120	
48"	HDPE	108	

HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancor or an approved equal.  
Trench bedding to be provided per Howard County Detail G 2.01,  
\*Trench for P.V.C. pipe and HDPE.\*



NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION						STD. DETAIL	LOCATIONS	REMARKS	
			PROPOSED		AS-BUILT		INVERT					
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER				
ES-102	END SECTION	4'-0"	428.00	---	---	---	---	424.00	---	---	N 540630 E 1338,112	
I-105	DOUBLE 'S' COMB.*	3'-5"	460.07	459.87	---	---	---	454.25	---	---	N 540348 E 1337,754	
I-106	DOUBLE 'S' COMB.*	3'-5"	459.44	459.28	---	---	---	453.09	---	---	N 540368 E 1337,805	
I-107	DOUBLE 'S' COMB.*	3'-5"	459.65	459.45	---	---	---	451.84	---	---	N 540470 E 1337,557	
I-108	DOUBLE 'S' COMB.*	2'-6"	458.93	458.73	---	---	---	452.46	---	---	N 540525 E 1337,545	
I-109	DOUBLE 'S' COMB.*	3'-5"	456.07	---	---	---	---	448.20	---	---	N 540224 E 1337,454	
I-110	DOUBLE 'S' COMB.*	3'-5"	456.07	---	---	---	---	448.76	---	---	N 540258 E 1337,475	
I-111	DOUBLE 'S' COMB.*	3'-5"	455.62	---	---	---	---	449.42	---	---	N 540236 E 1338,009	
I-112	DOUBLE 'S' COMB.*	3'-5"	455.62	---	---	---	---	444.33	---	---	N 540202 E 1337,989	
I-113	A-10 INLET	2'-6"	456.03	455.93	---	---	---	448.78	---	---	N 540023 E 1338,209	
I-114	A-10 INLET	2'-6"	454.29	454.17	---	---	---	449.41	---	---	N 539418 E 1338,149	
I-115	A-10 INLET	2'-6"	454.37	454.25	---	---	---	---	---	---	N 539486 E 1338,200	
I-110BA	A-5 INLET	2'-6"	457.95	---	---	---	---	453.12	---	---	N 540456 E 1337,504	
MH-104	STANDARD MANHOLE	6'-0"	447.78	---	---	---	---	424.67	---	---	N 540652 E 1338,056	
MH-105	STANDARD MANHOLE	6'-0"	449.80	---	---	---	---	430.50	---	---	N 540643 E 1338,013	
MH-109	STANDARD MANHOLE	6'-0"	455.89	---	---	---	---	441.32	---	---	N 540394 E 1337,863	
MH-110	STANDARD MANHOLE	6'-0"	458.58	---	---	---	---	441.90	---	---	N 540309 E 1337,810	
MH-111	STANDARD MANHOLE	4'-0"	460.34	---	---	---	---	449.59	---	---	N 540335 E 1337,769	
MH-112	STANDARD MANHOLE	4'-0"	459.35	---	---	---	---	449.94	---	---	N 540360 E 1337,785	
MH-113	STANDARD MANHOLE	4'-0"	459.31	---	---	---	---	451.28	---	---	N 540443 E 1337,571	
MH-114	STANDARD MANHOLE	4'-0"	458.63	---	---	---	---	451.53	---	---	N 540511 E 1337,543	
MH-115	STANDARD MANHOLE	5'-0"	456.50	---	---	---	---	448.81	---	---	N 540120 E 1338,115	
MH-116	STANDARD MANHOLE	4'-0"	455.42	---	---	---	---	448.52	---	---	N 540055 E 1338,219	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

HYDROLAST - ADS END SECTION OR APPROVED EQUAL.

ALL DOUBLE 'S' INLETS SHALL UTILIZE BICYCLE SAFE GRATES (EAST JORDAN IRON WORKS, OR APPROVED EQUAL)

NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4448 D

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways  
 Date: 6/19/09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Chief, Division of Land Development  
 Date: 6/24/09

Chief, Development Engineering Division  
 Date: 6/25/09

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3309 NATIONAL DRIVE - SUITE 200 - BIRTSVILLE OFFICE PARK  
 BIRTSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
6/13/09	SD FROM MH109 TO MH105 REMOVED, I-108A ADDED, SCHEDULES REVISED (REPLACEMENT SHEET)	dfs	
04/24/08	LOWERED SD FROM MH105 TO MH104 & ADDED INTERMEDIATE LANDING	DEV	
04/01/08	REV. PIPE SIZES (MH106 TO MH105), ADDED S105, LOW FLOW DIVERSION DET., REV SCHD	KLK	

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY  
 ME, AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND,  
 LICENSE NO. 10275  
 EXPIRATION DATE: MAY 26, 2010



**REVISED STORM DRAIN PROFILES**

(ROAD AND STORM DRAIN CONSTRUCTION ONLY)

**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B4 THROUGH B5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JUNE, 2009	41-21&22 46-3	11 OF 19

ELECTION DISTRICT No. 5

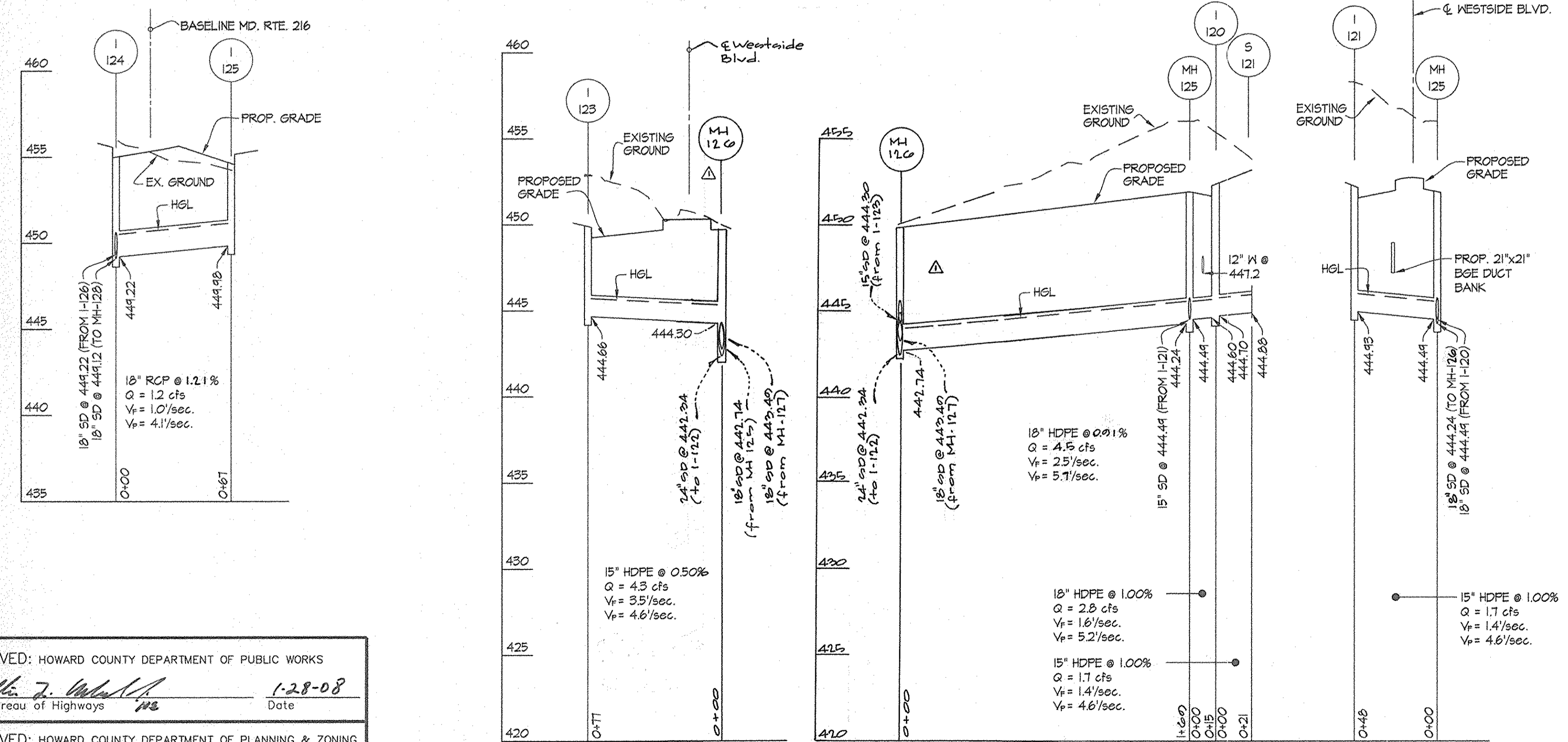
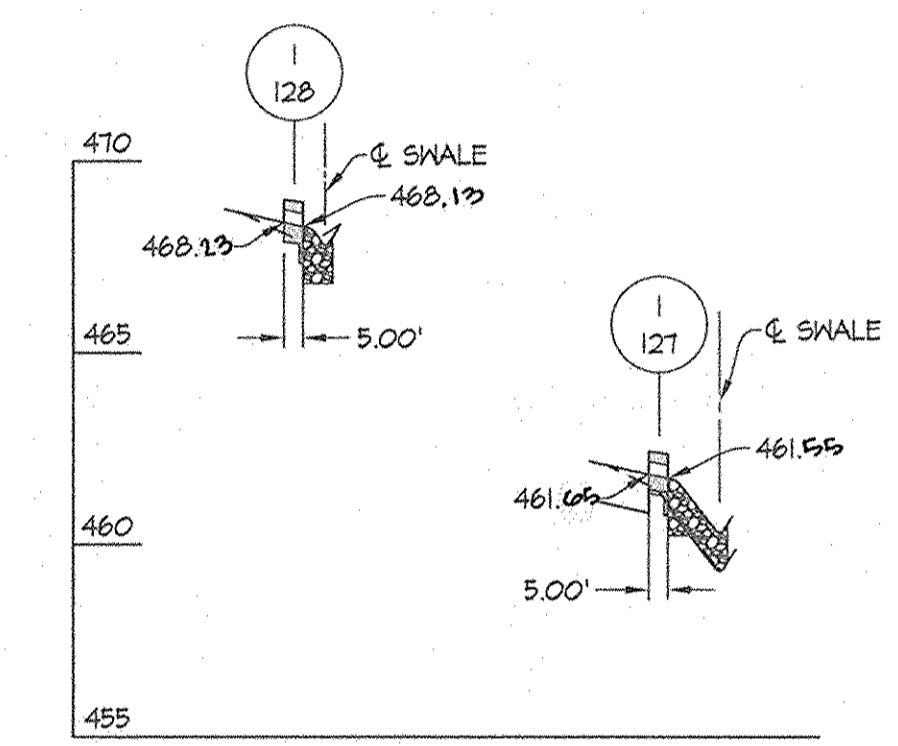
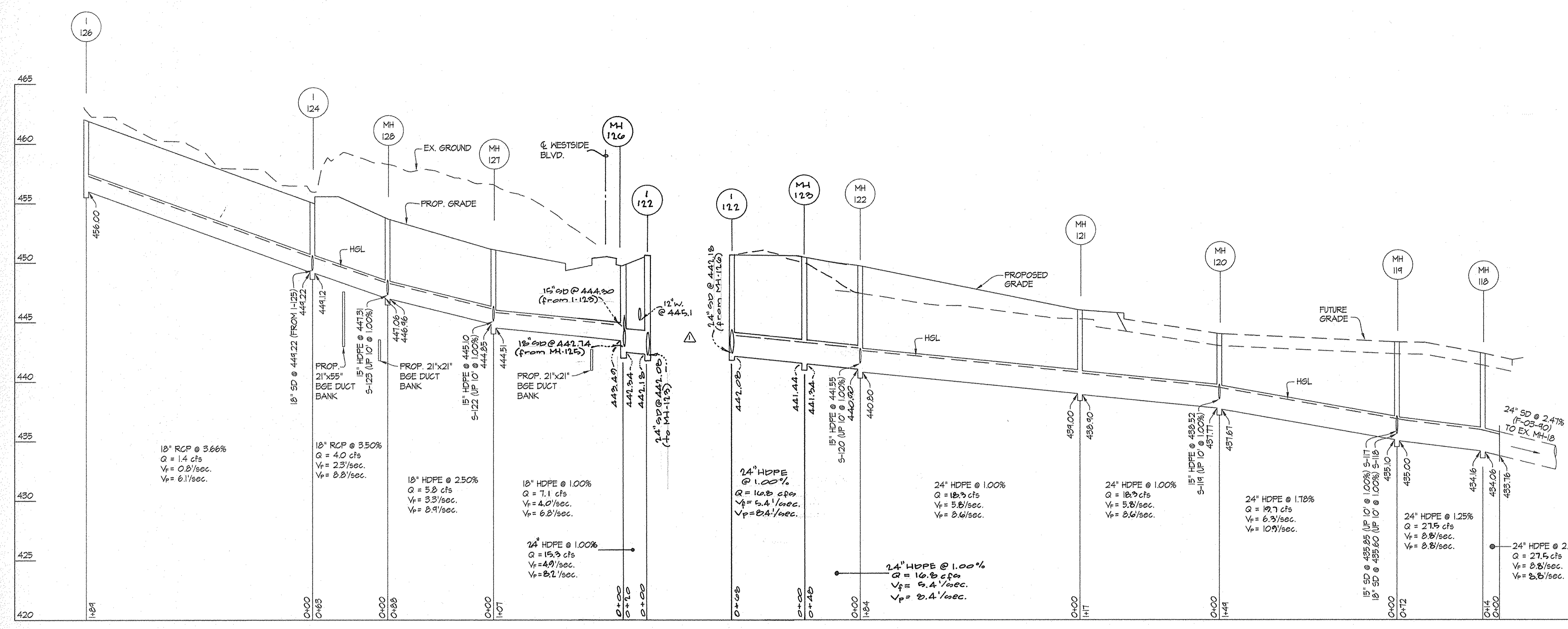
HOWARD COUNTY, MARYLAND

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-53

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	216	
18"	HDPE	287	
18"	R.C.P. (Cl. IV)	319	
24"	HDPE	200	
24"	HDPE	671	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancor or an approved equal.

Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and HD.P.E."



NO	TYPE	WIDTH (INSIDE)	STRUCTURE SCHEDULE						STD. DETAIL	LOCATIONS	REMARKS
			TOP ELEVATION		INVERT		AS-BUILT				
			PROPOSED UPPER	PROPOSED LOWER	PROPOSED UPPER	PROPOSED LOWER	AS-BUILT UPPER	AS-BUILT LOWER			
I-120	A-I/O INLET	2'-6"	452.18	452.05	444.70	444.60			HO. CO. D-4.03	N 539,740 E 1,338,111	
I-121	A-I/O INLET	2'-6"	452.23	452.11		444.93			HO. CO. D-4.03	N 539,772 E 1,338,059	
I-122	A-I/O INLET	2'-6"	449.52	449.40	442.18	442.08			HO. CO. D-4.03	N 539,595 E 1,338,023	
I-123	A-I/O INLET	2'-6"	449.85			444.60			HO. CO. D-4.03	N 539,584 E 1,337,927	
I-124	A-I/O INLET	2'-6"	455.12	454.98	449.22	449.12			MD-371.74	N 539,628.7 E 1,337,771.7	
I-125	A-I/O INLET	2'-6"	454.74	454.41		449.98			MD-371.74	N 539,571.6 E 1,337,731.1	
I-126	DOUBLE 'S' COMB.	3'-5"	462.05	460.90		456.00			MD-371.74	N 539,727.9 E 1,337,606.3	
I-127	10' COG (OPENING ONLY)	5'-0"	462.67	462.30	461.66	461.54			MD-374.68	N 539,678.5 E 1,337,577.5	
I-128	10' COG (OPENING ONLY)	5'-0"	460.10	460.97	460.19	460.19			MD-374.68	N 539,745.4 E 1,337,391.2	
MH-118	STANDARD MANHOLE	4'-0"	442.37		434.16	434.06			HO. CO. G-5.12	N 539,567 E 1,338,471	
MH-119	STANDARD MANHOLE	4'-0"	443.31		435.25	435.00			HO. CO. G-5.12	N 539,505 E 1,338,434	
MH-120	STANDARD MANHOLE	4'-0"	444.01		438.52	437.67			HO. CO. G-5.12	N 539,382 E 1,338,351	
MH-121	STANDARD MANHOLE	4'-0"	446.00		439.00	438.90			HO. CO. G-5.12	N 539,414 E 1,338,238	
MH-122	STANDARD MANHOLE	4'-0"	449.73		441.35	440.20			HO. CO. G-5.12	N 539,511 E 1,338,083	
MH-123	STANDARD MANHOLE	4'-0"	450.40		441.44	441.34			HO. CO. G-5.12	N 539,559 E 1,338,023	
MH-124	STANDARD MANHOLE	4'-0"	450.33		443.01	442.23			HO. CO. G-5.12	N 539,610 E 1,338,030	
MH-125	STANDARD MANHOLE	4'-0"	451.81		444.49	444.24			HO. CO. G-5.12	N 539,748 E 1,338,048	
MH-126	STANDARD MANHOLE	6'-0"	449.73		444.30	441.34			MD-384.05	N 539,605 E 1,338,008	
MH-127	STANDARD MANHOLE	4'-0"	451.10		445.10	444.51			HO. CO. G-5.12	N 539,661 E 1,337,918	
MH-128	STANDARD MANHOLE	4'-0"	453.61		447.31	446.96			HO. CO. G-5.12	N 539,642 E 1,337,831	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

ALL DOUBLE 'S' INLETS SHALL UTILIZE BICYCLE SAFE GRATES (EAST JORDAN IRON WORKS, OR APPROVED EQUAL)

NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4448 D

Note: MH-124 has been intentionally omitted.

Upper Inverts for I-127 and I-128 are at midpoint of face of structure. Lower Inverts at midpoint of rear of structure.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 With: J. [Signature] 1-28-08  
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Cindy [Signature] 2/7/08  
 Chief, Division of Land Development Date

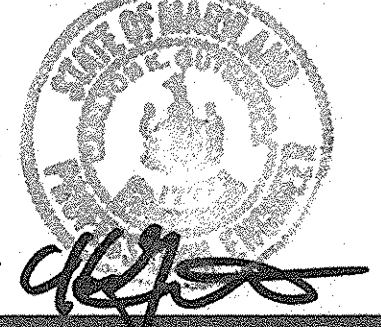
[Signature] 2/6/08  
 Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
02/01/08	rev. prop. plan, rev. 21" HDPE to 24" rev. schedule, rev. I-127 & I-128, add notes	MLP	

PREPARED FOR:  
 G & R/Wood, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12873  
 EXPIRATION DATE: MAY 26, 2008

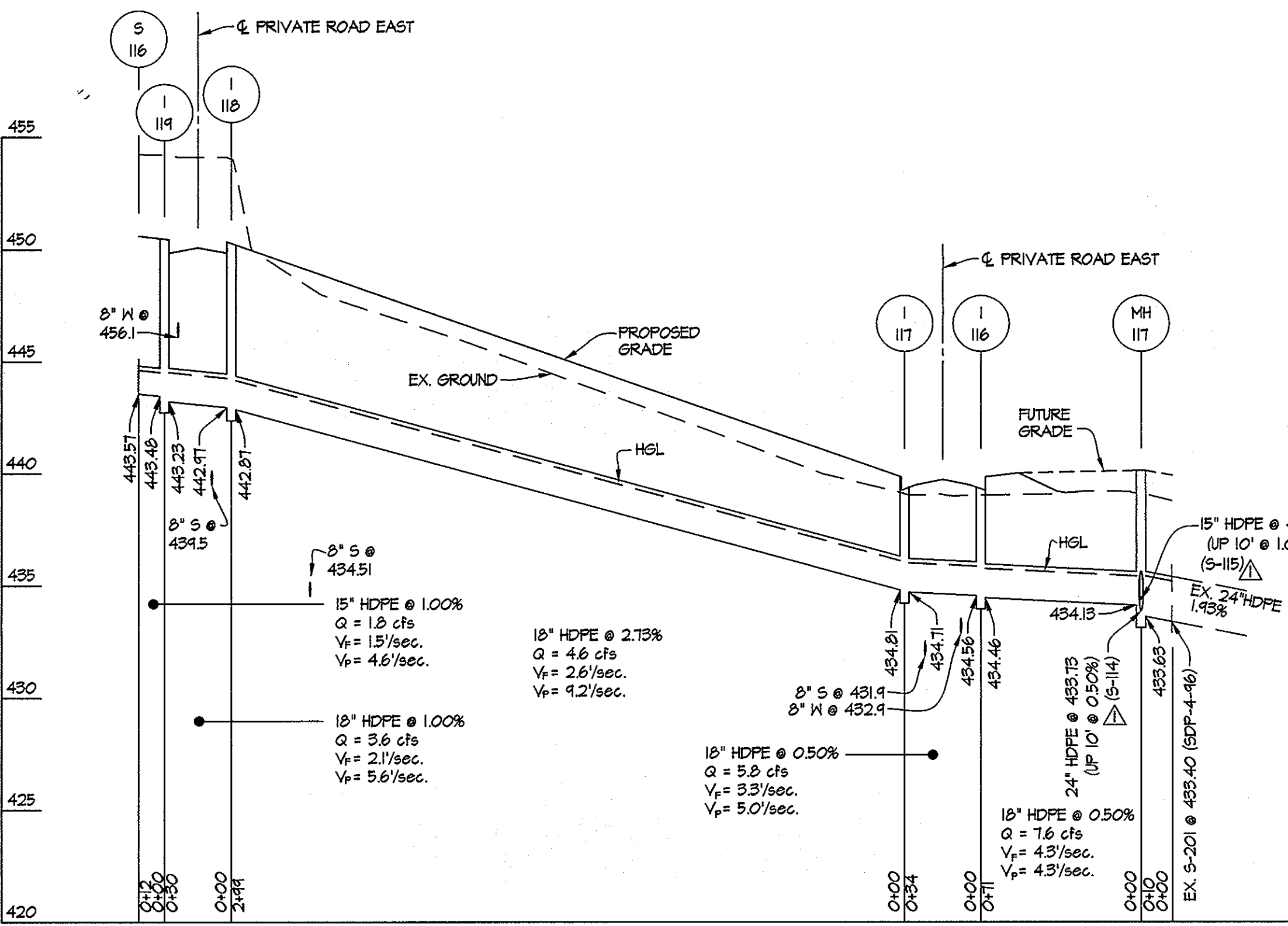


**STORM DRAIN PROFILES**  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	12 OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-3



PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (I.F.)	REMARKS
15"	HDPE	11	
10"	HDPE	667	
10" RUBBER GASKET	HDPE	144	ASTM C-361
24"	HDPE	127	
24" RUBBER GASKET	HDPE	116	ASTM C-361
30"	HDPE	106	
30" RUBBER GASKET	HDPE	247	ASTM C-361
36" RUBBER GASKET	HDPE	248	ASTM C-361
42"	HDPE	312	
42" RUBBER GASKET	HDPE	152	ASTM C-361

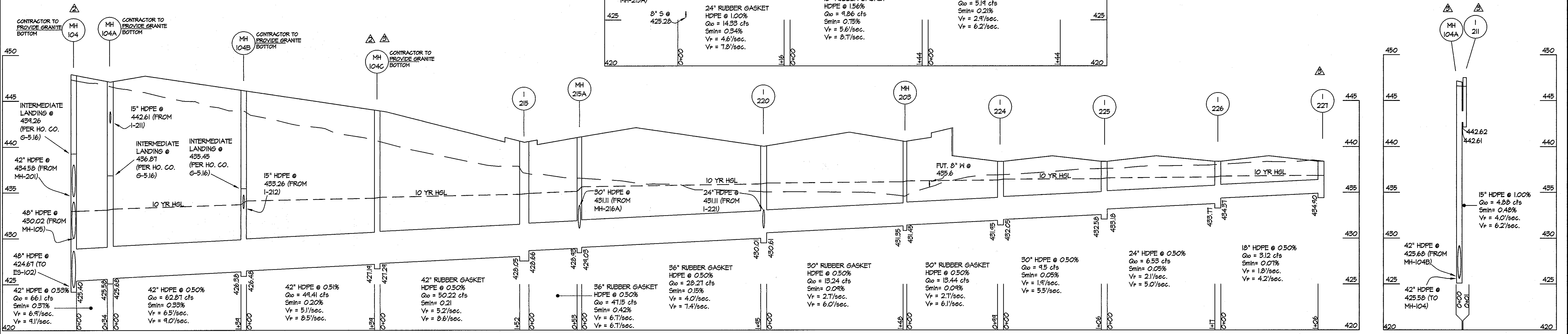
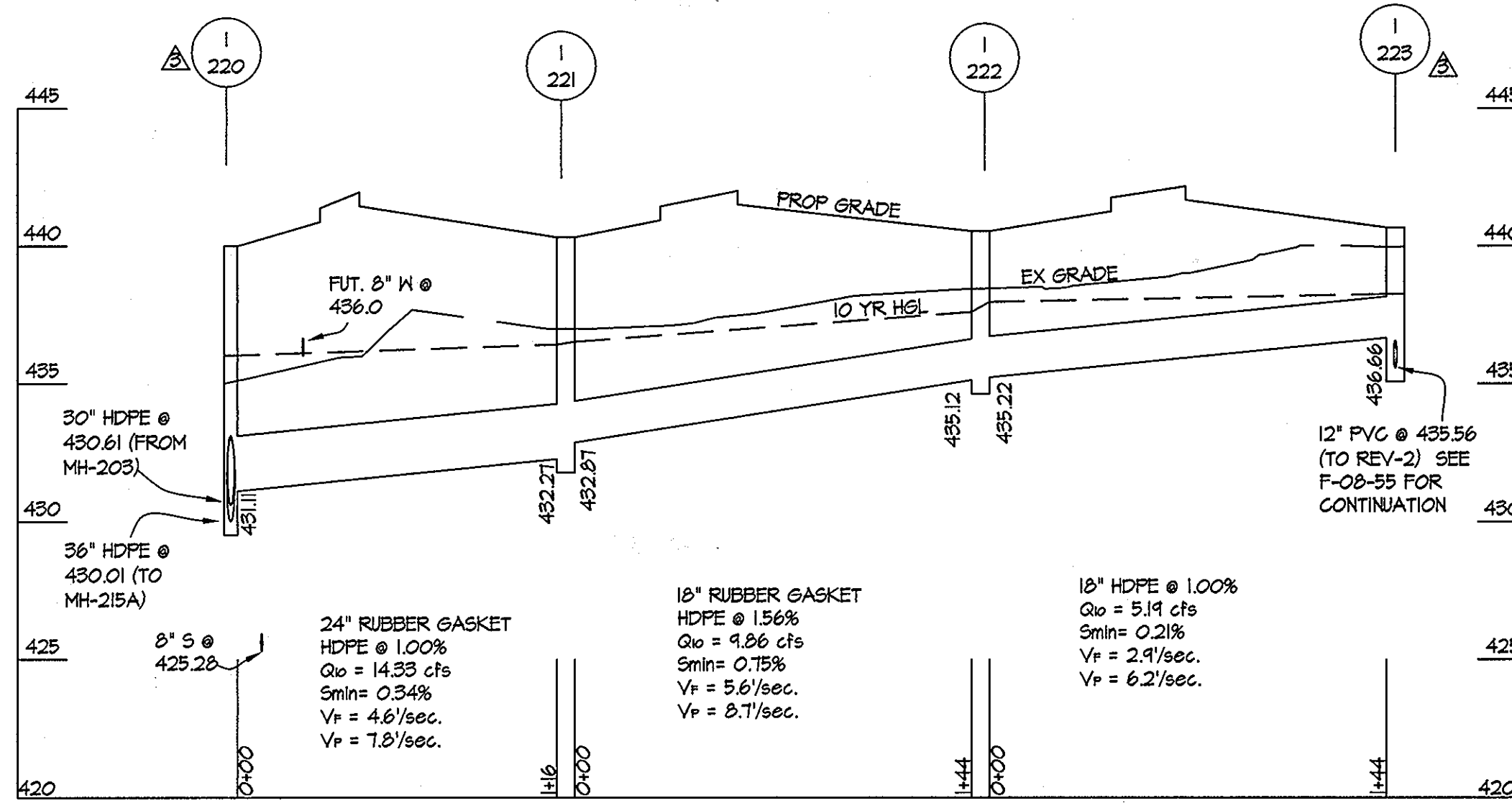
HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancox or an approved equal.

Trench bedding to be provided per Howard County Detail G 2.01, Trench for P.V.C. pipe and HDPE.

STRUCTURE SCHEDULE									
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS	
			UPPER	LOWER	UPPER	LOWER			
I-215	A-10	4'-6"	440.50	----	428.66	428.05	HO. CO. STD. D-4.03	N 541,04 E 1330,231	
I-220	DOUBLE 'S'	5'-6"	440.50	----	431.11	430.01	HO. CO. STD. D-4.35	N 541,552 E 1330,322	
I-224	DOUBLE 'S'	5'-6"	438.40	----	432.05	431.95	HO. CO. STD. D-4.23	N 541,555 E 1330,287	
I-225	DOUBLE 'S'	5'-6"	438.40	----	433.18	432.58	HO. CO. STD. D-4.23	N 541,544 E 1330,182	
I-226	DOUBLE 'S'	5'-6"	438.40	----	434.37	433.77	HO. CO. STD. D-4.23	N 541,637 E 1330,066	
I-227	DOUBLE 'S'	5'-6"	438.40	----	434.40	433.40	HO. CO. STD. D-4.23	N 541,676 E 1331,161	
I-211	A-10	2'-6"	447.50	----	442.62	442.62	TERMINAL	HO. CO. STD. D-4.03	N 540,687 E 1330,074
MH-215A	MANHOLE	5'	441.05	----	431.11	428.93	HO. CO. STD. G-5.13	N 541,166 E 1330,250	
MH-203	MANHOLE	5'	440.60	----	431.45	431.35	HO. CO. STD. G-5.13	N 541,447 E 1330,374	
I-221	DOUBLE 'S'	5'-6"	440.31	----	432.87	432.27	HO. CO. STD. D-4.23	N 541,378 E 1330,201	
I-222	DOUBLE 'S'	5'-6"	440.53	----	435.22	435.12	HO. CO. STD. D-4.23	N 541,430 E 1330,061	
I-223	DOUBLE 'S'	5'-6"	440.66	----	436.66	435.56	HO. CO. STD. D-4.23	N 541,483 E 1331,120	
MH-104A	MANHOLE	6'	441.08	----	442.61	425.58	HO. CO. STD. G-5.13	N 540,684 E 1330,070	
MH-104B	MANHOLE	6'	446.13	----	433.26	426.38	HO. CO. STD. G-5.13	N 540,825 E 1330,121	
MH-104C	MANHOLE	6'	443.96	----	427.24	427.14	HO. CO. STD. G-5.13	N 540,960 E 1330,172	
I-116	DOUBLE 'S' COMB.	3'-5"	439.94	434.71	434.56	434.46	HO. CO. D-4.23	N 539,808 E 1330,623	
I-117	DOUBLE 'S' COMB.	3'-5"	439.94	434.71	434.81	434.71	HO. CO. D-4.23	N 539,842 E 1330,644	
I-118	A-10 INLET	2'-6"	442.97	450.21	442.97	442.87	HO. CO. SD-4.41	N 539,948 E 1330,380	
I-119	A-10 INLET	2'-6"	450.51	443.48	443.48	443.23	HO. CO. SD-4.41	N 539,976 E 1330,368	
MH-117	MANHOLE	4'-0"	440.13	----	434.33	433.63	HO. CO. G-5.12	N 541,746 E 1330,541	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

ALL DOUBLE 'S' INLETS SHALL UTILIZE BICYCLE SAFE GRATES (EAST JORDAN IRON WORKS, OR APPROVED EQUAL). NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-448 D & 24-4624-D



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Paul R. ...* 6/19/09  
 Chief, Bureau of Highways Date

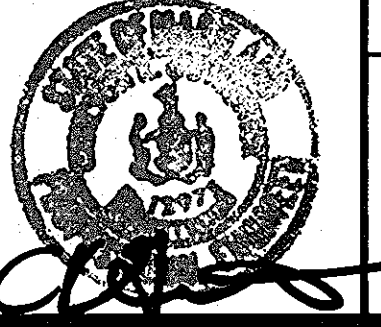
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*...* 6/25/09  
 Chief, Division of Land Development Date  
*...* 6/25/09  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BERTHLEMSVILLE OFFICE PARK  
 BERTHLEMSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
06/13/09	ADD PROFILES FROM MH104C TO I-227, I-228 TO I-223, & MH104A TO I-211 ADDED. (REPLACEMENT SHEET)	dds	
04/24/08	ADDED PROFILE FOR S104C TO MH104 & REVISED SCHEDULES	DEV	
04/01/08	REV S117 & S118 TO BE S114 & S115	KLP	

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10975  
 EXPIRATION DATE: MAY 28, 2010



REVISED STORM DRAIN PROFILES  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JUNE, 2009	41-21&22 46-3	13 OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH P-08-54

SECTION	EX. VEEL.	Q100 (OVERLAND PATH)	100 YR. VEEL.
160	414.61	145 cfs	414.55
150	413.47	145 cfs	413.40
140	404.32	145 cfs	404.17
130	407.46	145 cfs	407.31
120	407.04	145 cfs	406.98
110	404.40	145 cfs	404.75
100	344.42	312 cfs	400.47
90	346.24	312 cfs	346.12
85	345.84	312 cfs	345.99
80	342.84	312 cfs	343.24
70	341.44	312 cfs	342.38
60	341.16	401 cfs	341.47
50	334.58	401 cfs	334.84
40	338.45	401 cfs	338.86
35	335.74	401 cfs	335.99
30	332.58	401 cfs	333.00

NOTE: FLOODPLAIN LIMITS SHOWN ARE BASED UPON DISCHARGES GENERATED BY RUNOFF TO THE EXISTING STREAM BY OVERLAND PATHS.

STRUCTURE	AREA	'C' FACTOR	% IMP.
I-105	0.08 Ac.	0.81	90%
I-106	0.10 Ac.	0.81	90%
I-107	0.10 Ac.	0.81	90%
I-108	0.10 Ac.	0.81	90%
I-104	0.18 Ac.	0.81	90%
I-110	0.24 Ac.	0.81	90%
I-111	0.28 Ac.	0.81	90%
I-112	0.14 Ac.	0.81	90%
I-113	0.21 Ac.	0.81	90%
I-114	0.10 Ac.	0.81	90%
I-115	0.10 Ac.	0.81	90%
I-116	0.28 Ac.	0.81	90%
I-117	0.20 Ac.	0.81	90%
I-118	0.14 Ac.	0.81	90%
I-119	0.21 Ac.	0.81	90%
I-120	0.16 Ac.	0.81	90%
I-121	0.25 Ac.	0.81	90%
I-122	0.23 Ac.	0.81	90%
I-123	0.62 Ac.	0.81	90%
I-124	0.22 Ac.	0.81	90%
I-125	0.18 Ac.	0.81	90%
I-126	0.21 Ac.	0.81	90%
I-127	0.17 Ac.	0.81	90%
I-128	0.24 Ac.	0.81	90%
S-101	0.66 Ac.	0.71	75%
S-104	4.56 Ac.	0.81	90%
S-110	0.21 Ac.	0.81	90%
S-111	0.51 Ac.	0.81	90%
S-113	5.94 Ac.	0.81	90%
S-114	1.60 Ac.	0.81	90%
S-115	0.68 Ac.	0.81	90%
S-116	0.28 Ac.	0.81	90%
S-117	0.22 Ac.	0.81	90%
S-118	1.08 Ac.	0.81	90%
S-119	0.51 Ac.	0.81	90%
S-120	0.24 Ac.	0.81	90%
S-121	0.25 Ac.	0.81	90%
S-122	0.14 Ac.	0.81	90%
S-123	0.28 Ac.	0.81	90%
I-201	0.46 Ac.	0.80	90%
I-202	0.06 Ac.	0.80	90%
I-204	0.68 Ac.	0.80	90%
I-205	0.71 Ac.	0.80	90%
I-206	0.71 Ac.	0.80	90%
I-207	0.71 Ac.	0.80	90%
I-208	0.43 Ac.	0.80	90%
I-209	0.81 Ac.	0.80	90%
I-210	0.80 Ac.	0.80	90%
I-210A	0.45 Ac.	0.80	90%

STRUCTURE	AREA	'C' FACTOR	% IMP.
I-211	0.85 Ac.	0.80	90%
I-212	0.72 Ac.	0.80	90%
I-213	0.72 Ac.	0.80	90%
I-214	1.03 Ac.	0.80	90%
I-215	0.58 Ac.	0.80	90%
I-216	0.64 Ac.	0.80	90%
I-217	0.71 Ac.	0.80	90%
I-218	0.94 Ac.	0.80	90%
I-219	0.40 Ac.	0.80	90%
I-220	0.25 Ac.	0.80	90%
I-221	0.71 Ac.	0.80	90%
I-222	0.72 Ac.	0.80	90%
I-223	0.76 Ac.	0.80	90%
I-224	0.65 Ac.	0.80	90%
I-225	0.48 Ac.	0.80	90%
I-226	0.53 Ac.	0.80	90%
I-227	0.46 Ac.	0.80	90%

MD ROUTE 216 (SCAGGSVILLE RD)  
PUBLIC MINOR ARTERIAL - R/W VARIES, PAVING VARIES

WESTSIDE BOULEVARD  
MAJOR COLLECTOR  
100' R/W PAVING VARIES

P. 115  
PROPERTY OF  
THE BOARD OF EDUCATION  
OF HOWARD COUNTY  
L. 3218 F. 618  
(ZONED: MXD-3)

P. 476  
PROPERTY OF  
LOIS PETERS, LENNY PETERS  
& LAKESHA PETERS  
L. 1243 F. 183  
(ZONED: RR-DEO)

P. 282  
MARVIN AND  
MARJORIE BOSLEY  
L. 1241 F. 138

PARCEL C-18  
PLAT No. 19244  
SDP-05-36

PARCEL C-19  
PLAT No. 19244  
SDP-06-61

PARCEL C-20  
PLAT No. 19244

PARCEL C-16  
PLAT No. 19244

PARCEL C-7  
PLAT No. 16624  
SDP-04-46

PARCEL C-8  
PLAT No. 16624  
RETAIL #1  
SDP-04-46

- 600 EXISTING CONTOUR
- 600 PROPOSED CONTOUR
- STORM DRAIN DRAINAGE AREA DIVIDE
- TIME OF CONCENTRATION
- SOILS DELINEATION
- FLOODPLAIN X-SECTION

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*W. R. ...* 1/7-10  
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*W. J. ...* 1/15/10  
 Chief, Division of Land Development  
*M. ...* 12/23/09  
 Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
12/18/2009	FINAL CONTOURS, CURB AND STORM DRAIN REVISED IN PARCEL B-5 (REPLACEMENT SHEET)	dds	
06/17/09	CONTOURS, CURB, & SD REVISED IN PARCELS 'B-5' & 'J' (REPLACEMENT SHEET)	DEV	
04/24/08	ADDED S104S TO MH104, REV TABLES, CORRECTED MH LABELS	KLP	
04/01/08	ADDED PURPOSE NOTE		

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2010



REVISED STORM DRAIN - DRAINAGE AREA MAP  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2009	41-21&22 46-3	14 OF 19

THIS PLAN IS FOR DRAINAGE AREA INFORMATION ONLY. SEE SHEETS 9 & 19A FOR STORM DRAIN SIZE, TYPE, AND LENGTH.

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55

PLANT LIST					
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
<b>SHADE TREES</b>					
AR	11	Acer rubrum 'Autumn Flame'	2 1/2-3' Cal.	B4B	
		Autumn Flame Maple			
QP	14	Quercus palustris	2 1/2-3' Cal.	B4B	
		Pin Oak			
<b>EVERGREEN TREES</b>					
PS	50	Pinus strobus	6'-8' Ht.	B4B	
		White Pine			
PO	50	Picea omorika	6'-8' Ht.	B4B	
		Serbian Spruce			
<b>ORNAMENTAL TREES</b>					
CC	16	Cercis canadensis	2-2 1/2' Cal.	B4B	
		Redbud Tree	8'-10' Ht.		
CK	17	Cornus Kousa 'National'	2-2 1/2' Cal.	B4B	
		National Kousa Dogwood	8'-10' Ht.		

STREET TREE REQUIREMENTS			
ROAD	LENGTH OF CURB	# OF TREES REQUIRED	# OF TREES PROVIDED
MARYLAND ROUTE 216	985 FT*	25**	25

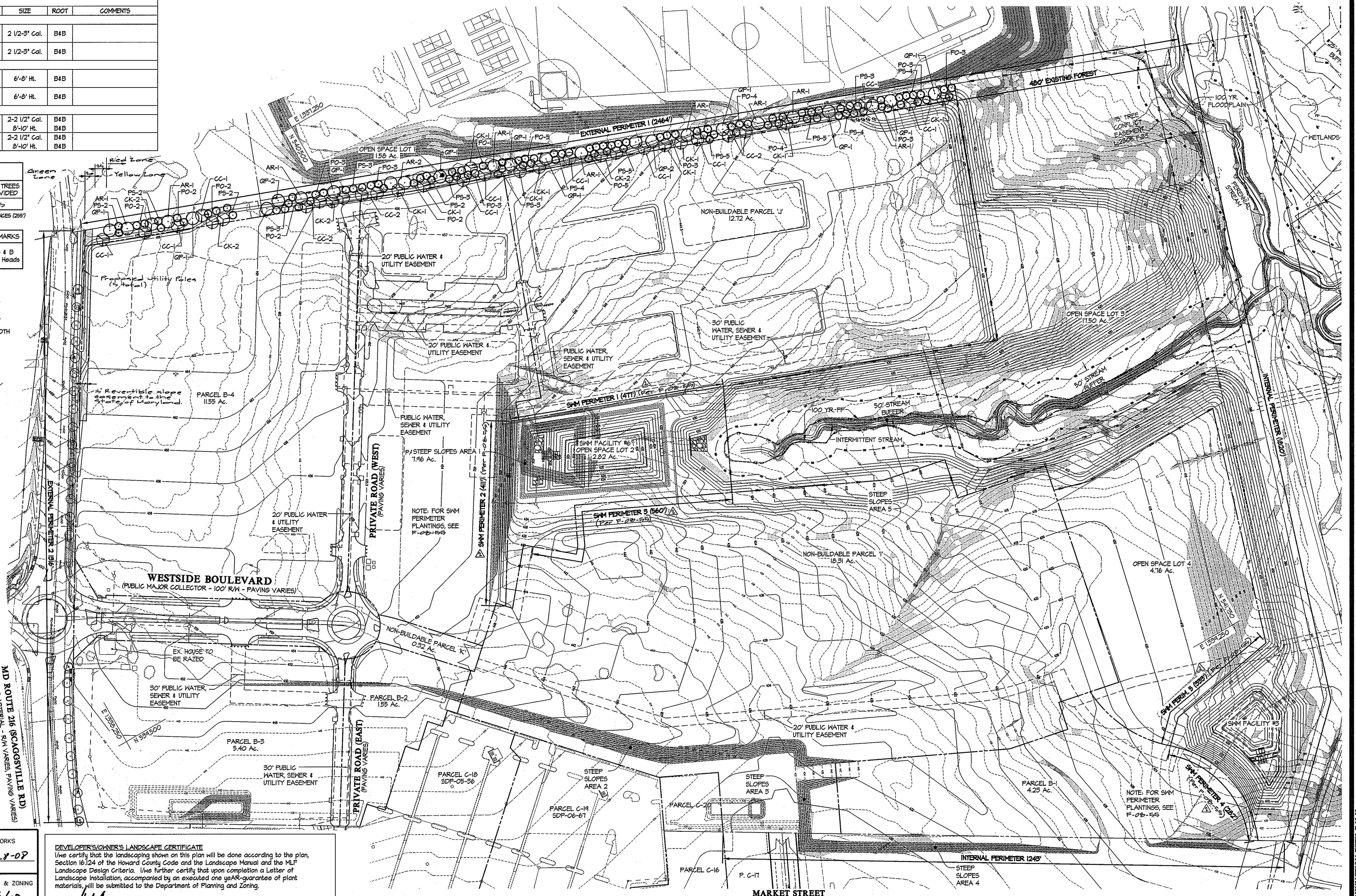
\*TOTAL LENGTH (985 FT) = TOTAL LENGTH OF ROAD (1240 FT) - ENTRANCES (255)  
 \*\*1 TREE PER 40 LINEAR FEET, NORTH SIDE ONLY.

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
+	Acer Saccharum / Green Mountain Sugar Maple	2 1/2' cal.	B & B Full Heads

NOTES:  
 1. SEE SHEET 18 FOR TREE PLANTING DETAIL.  
 MINIMUM TREE QUANTITIES AND PREFERRED SPACING ARE AS FOLLOWS:  
 WESTSIDE BLVD./MD 216 - 1 TREE PER 40 LINEAR FEET, BOTH SIDES.  
 ALL OTHER STREETS - 1 TREE PER 30 LINEAR FEET, BOTH SIDES.  
 PRIVATE ALLEYS - NO TREES REQUIRED

STEEP SLOPES DATA	
AREA No.	AREA IN SF
1	30280 sf±
2	21828 sf±
3	4,475 sf±
4	13,177 sf±
5	23,646 sf±

① GRADING PER SDP-07-43  
 ② GRADING PER AIR-FLOWN TOPO  
 ALL OTHER STEEP SLOPE AREAS SHOWN ARE LESS THAN 10,000sf IN CONTIGUOUS AREA.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 1-28-07  
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 [Signature] 2/1/07  
 Chief, Division of Land Development

[Signature] 2/6/08  
 Chief, Development Engineering Division

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE  
 I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual and the MLE Landscape Design Criteria. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature] 1-14-08  
 Developer's/Owner's Name

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20868  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2/21/07	rev SWM buffers to reference F-02-55	klp	
2/10/08	added purpose note	klp	

PREPARED FOR:  
 G&R/Wessell, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-424-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2008

[Signature]

FINAL LANDSCAPING PLAN AND ROUTE 216 STREET TREE PLAN  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'J' AND 'K'

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	15 OF 19

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THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55

PERIMETER PLANTING SCHEDULE - SCHEDULE A													
PERIMETER	LAND USE	ADJACENT LAND USE	TYPE OF BUFFER	LINEAR-FEET OF ROADWAY FRONTAGE/ PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR-FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR-FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED			NUMBER OF PLANTS PROVIDED			HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	ORNAMENTAL TREES	EVERGREEN TREES	SHADE TREES	ORNAMENTAL TREES	EVERGREEN TREES	
EXTERNAL PERIMETER 1	COMMERCIAL	INSTITUTIONAL	'A' Buffer *	2464'	YES - 480' EXISTING FOREST	NO	25	33	100	25	33	100	SEE PLAN (SHEET 15)
EXTERNAL PERIMETER 2	COMMERCIAL	ROADWAY	'B' Buffer *	1316'	NO	NO	17	22	66	---	---	---	DEFERRED TO FUTURE SDF

\* FOLLOWS COMPREHENSIVE SKETCH PLAN GUIDELINE REQUIREMENTS

STORMWATER MANAGEMENT AREA LANDSCAPING - SCHEDULE D													
PERIMETER	PROPOSED LAND USE	TYPE OF BUFFER	ADJACENT LAND USE	LINEAR-FEET OF PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR-FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR-FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED			NUMBER OF PLANTS PROVIDED			HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	EVERGREEN TREES	SHADE TREES	EVERGREEN TREES	SHADE TREES	EVERGREEN TREES	
SWM-1	SWM	'B' BUFFER *	COMMERCIAL	471 L.F.	NO	YES - 471' (SWM RETAINING WALL)	0	0	---	---	---	---	---
SWM-2	SWM	'B' BUFFER *	COMMERCIAL	411 L.F.	NO	NO	0	10	0	0	0	14	SEE PLAN (THIS SHEET)
SWM-3	SWM	'C' BUFFER *	RESIDENTIAL (FUTURE)	560 L.F.	NO	NO	14	20	14	20	---	---	SEE PLAN (THIS SHEET)
SWM-4	SWM	'B' BUFFER *	COMMERCIAL	282 L.F.	NO	NO	6	7	6	7	---	---	SEE PLAN (THIS SHEET)
SWM-5	SWM	'C' BUFFER *	OPEN SPACE (RESIDENTIAL)	333 L.F.	NO	NO	0	17	0	17	---	---	SEE PLAN (THIS SHEET)
TOTAL NUMBER OF TREES							36	62	36	66			

\* FOLLOWS COMPREHENSIVE SKETCH PLAN GUIDELINE REQUIREMENTS

NOTES

- STREET TREES WILL BE PROVIDED AT FINAL PLAN STAGE.
- INTERNAL PLANTING AND PARKING LOT LANDSCAPING WILL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS. STORMWATER MANAGEMENT BUFFERING WILL BE PROVIDED WITH THE FINAL PLAN SUBMISSION.
- THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL. ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED:

ALONG A PERIMETER EDGE:  
 SHADE TREE: 1:80 LINEAR-FEET OF MEASURED PERIMETER EDGE, AND  
 SMALL ORNAMENTAL DECIDUOUS TREE: 1:60 LINEAR-FEET OF MEASURED PERIMETER EDGE AND  
 EVERGREEN TREE: 1:20 LINEAR-FEET OF MEASURED PERIMETER EDGE.

4. THE BUFFERS SHOWN FOR SCHEDULE 'D' ARE IN ACCORDANCE WITH THE LANDSCAPING MANUAL ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED ALONG BUFFER TYPE 'B':  
 SHADE TREE: 1:50 LINEAR-FEET OF MEASURED PERIMETER EDGE, AND  
 EVERGREEN TREE: 1:40 LINEAR-FEET OF MEASURED PERIMETER EDGE.

BUFFER STORMWATER MANAGEMENT FROM A ROADWAY OR PERIMETER RESIDENTIAL PROPERTIES:  
 SHADE TREE: 1:40 LINEAR-FEET OF MEASURED PERIMETER EDGE, AND  
 EVERGREEN TREE: 1:20 LINEAR-FEET OF MEASURED PERIMETER EDGE.

5. AFFORESTATION PLANTING SIZE SHALL BE LARGE ENOUGH TO MEET THE LANDSCAPE BUFFERING REQUIREMENT ALONG EXTERNAL PERIMETERS WHERE APPLICABLE.

6. SEE SHEET 18 FOR TREE PLANTING DETAILS.

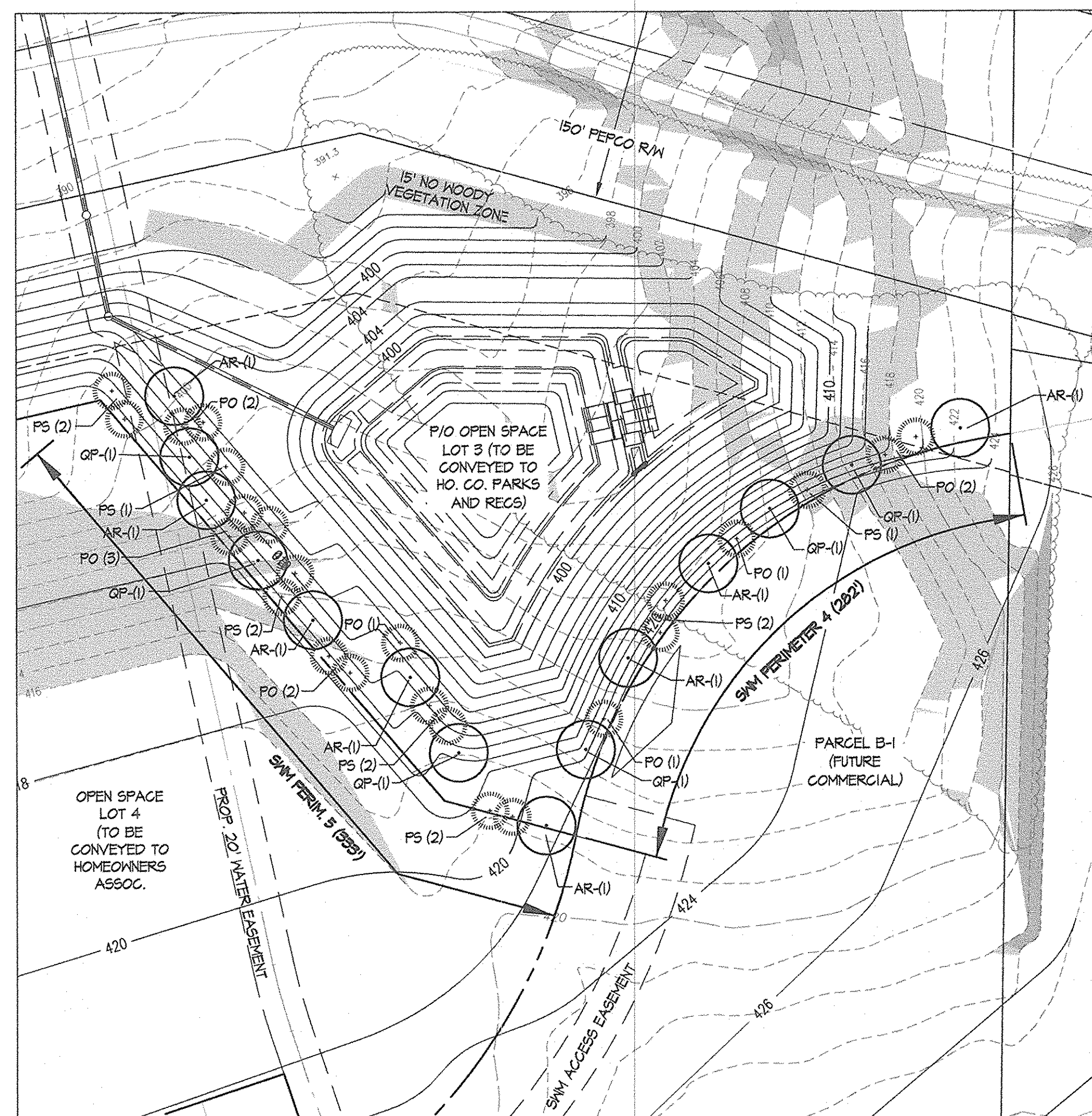
Projected Bond Requirement - Surety for Schedule A:	
Schedule 'A' Number of Shade Trees for bonding:	25 x \$300 = \$ 7,500.00
Schedule 'A' Number of Evergreen and Ornamental Trees for bonding:	33 x \$150 = \$ 4,950.00
Schedule 'A' Number of Shrubs for bonding:	100 x \$150 = \$ 15,000.00

Projected Bond Requirement - Surety for Schedule D:	
Schedule 'D' Number of required Shade Trees for bonding:	36 x \$300 = \$ 10,800.00
Schedule 'D' Number of required Evergreen Trees for bonding:	62 x \$150 = \$ 9,300.00
TOTAL:	\$ 47,550.00

COMMENTS:

NOTES

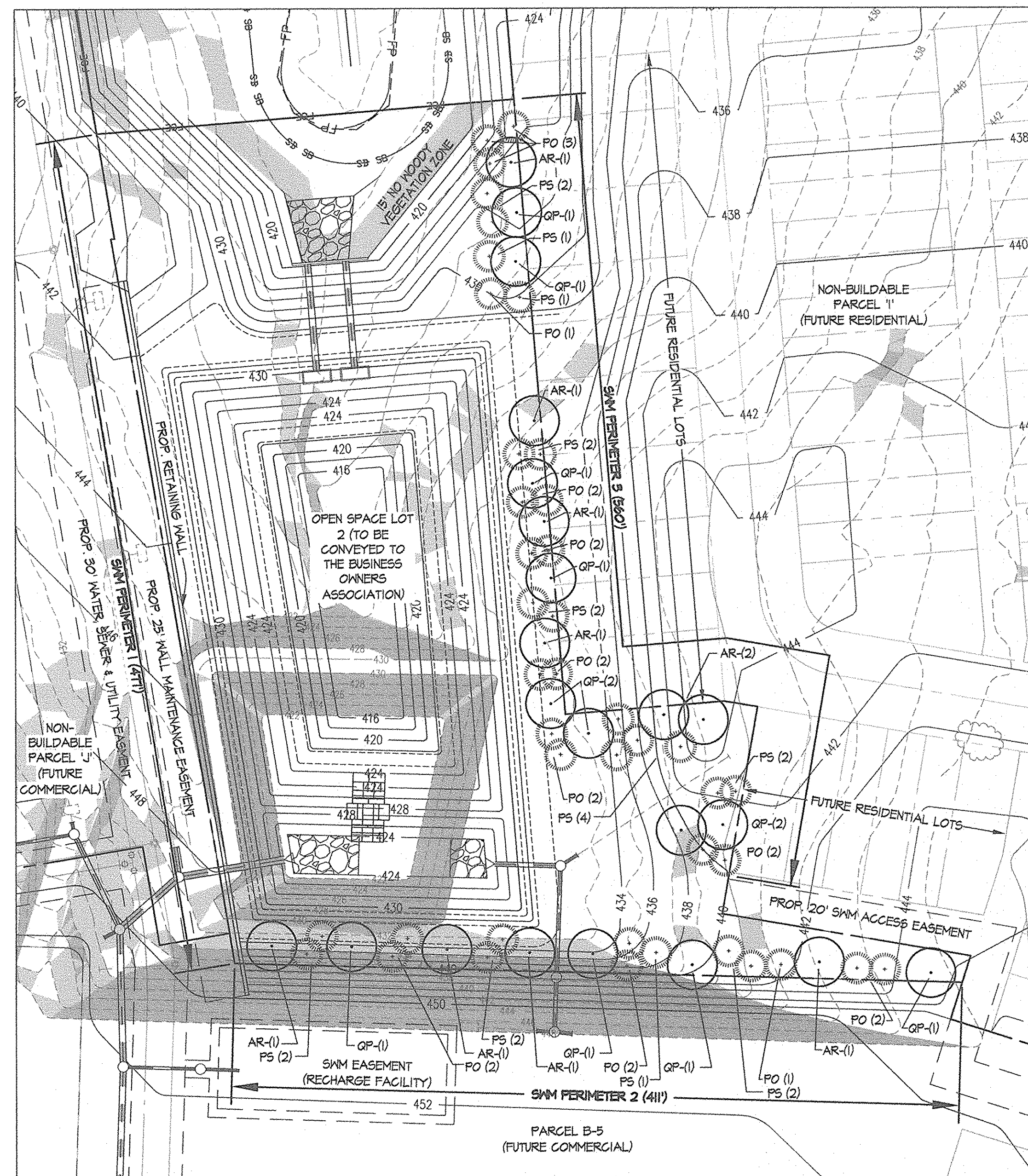
- At the time of plant installation, all shrubs and trees listed and approved on the Landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual and the MLF Landscape Design Criteria. In addition, no substitutions or reallocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from the approved Landscape Plan may result in the denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the applicable plans.
- The owner, tenants and/or their agents shall be responsible for maintenance of the required landscaping including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with Section 16.124 of the Howard County Code, the Landscape Manual, and the MLF Landscape Design Criteria with 61 shade trees, 33 ornamentals, and 162 evergreen trees required. A landscape surety in the amount of \$47,550.00 will be posted to DPM with the Developer's Agreement.
- See sheet 18 for plant details.



SWM PERIMETER PLANTINGS - SWM POND #3 (F-08-55)

SCALE: 1"=50'

PLANT LIST (SWM POND #3 FROM F-08-55)					
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
SHADE TREES					
AR	8	Acer rubrum 'Autumn Flame' Autumn Flame Maple	2 1/2-3' Cal.	B&B	
GP	6	Quercus palustris Pin Oak	2 1/2-3' Cal.	B&B	
EVERGREEN TREES					
PS	12	Pinus strobus White Pine	6'-8' Ht.	B&B	
PO	12	Picea omorika Serbian Spruce	6'-8' Ht.	B&B	



SWM PERIMETER PLANTINGS - SWM POND #6 (SEE F-08-55)

SCALE: 1"=50'

PLANT LIST (SWM POND #6 FROM F-08-55)					
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
SHADE TREES					
AR	10	Acer rubrum 'Autumn Flame' Autumn Flame Maple	2 1/2-3' Cal.	B&B	
GP	12	Quercus palustris Pin Oak	2 1/2-3' Cal.	B&B	
EVERGREEN TREES					
PS	21	Pinus strobus White Pine	6'-8' Ht.	B&B	
PO	21	Picea omorika Serbian Spruce	6'-8' Ht.	B&B	

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 With: R. M. Hall, Chief, Bureau of Highways, Date: 1-28-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Cindy K. Hoad, Chief, Division of Land Development, Date: 2/10/08  
 M. J. ... Chief, Development Engineering Division, Date: 2/10/08

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE  
 I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual and the MLF Landscape Design Criteria. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.  
 Date: 1-11-08  
 Developer's/Owner's Name: [Signature]

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK  
 BURTOWNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 G & R/Woodhouse, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 13275  
 EXPIRATION DATE: MAY 28, 2008



FINAL LANDSCAPING NOTES  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN., 2008	41-21&22 46-3	16 OF 19

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 5





FOREST CONSERVATION PLANTING NOTES

RETENTION / AFFORESTATION / REFORESTATION SUMMARY TABLE FOR MAPLE LAWN FARM PROJECT											
PHASE NO.	GROSS AC.	FLOODPLAIN AC.	NET TRACT AREA	EXG. FOREST IN AC.	FOREST CLEARED	FOREST RETAINED	EXCESS RETENTION	REF/AFF REQUIRED	CREDITED PLANTING PROVIDED	EXCESS FOREST CON (PLANTING+RETENTION)	COMMENTS
1	51.98	3.40	48.58	9.45	0.51	8.94	0.63	0.00	4.56	5.19	Per F-03-07
2	75.20	2.38	72.82	0.00	0.00	0.00	0.00	10.92	6.67	-4.25	Per F-03-40
2	5.70	0.00	5.70	0.00	0.00	0.00	0.00	0.86	0.00	-0.86	Per SDP-03-140
3	19.09	14.85	4.24	0.21	0.00	0.21	0.00	0.43	10.44	10.06	Per F-04-42
3	-	-	-	-	-	-	-	-	-1.16	-1.16	④ Per F-05-82
4a	15.48	3.00	12.48	1.92	1.65	0.27	0.00	3.21	0.88	-2.33	Per F-05-81
4b	3.12	0.35	2.77	0.00	0.00	0.00	0.00	0.42	-0.12	-0.54	Per F-05-139
4c	3.00	0.00	3.00	0.00	0.00	0.00	0.00	0.45	0.00	-0.45	Per F-05-112
5a	0.00	-	-	-	-	-	-	-	-	-	Per F-06-43
5b	54.61	7.27	47.34	3.76	0.51	3.25	0.00	4.36	5.74	1.38	Per F-06-161
6	10.31	3.84	6.47	0.00	0.00	0.00	0.00	0.97	1.70	0.73	Per F-08-12
SDP-MG	25.06	0.00	25.06	0.00	0.00	0.00	0.00	3.76	0.00	-3.76	SDP-07-43
6b	69.86	1.22	68.64	4.59	2.10	2.49	0.00	9.91	11.22	1.31	Per this Plan
TOTAL	333.41	36.31	297.10	19.93	4.77	15.16	0.63	33.29	37.95	4.66	

- ① INCLUDES FUTURE PHASE AREAS OF MAPLE LAWN FARMS. WHEN THOSE AREAS ARE RECORDED IN FUTURE PHASES, THE FOREST CONSERVATION REQUIREMENTS WILL ALREADY HAVE BEEN MET.  
 ② 19.09 ACRES = 59.20 ACRES (PHASE 3 SITE TOTAL) - 40.11 ACRES (AREA OF FOREST CON. IN PHASE 3 ALREADY PROVIDED BY F-03-40 (35.01 AC) AND SDP-03-140 (5.10 AC)).  
 ③ REDUCED FROM 6.97 AC. AS SHOWN ON F-03-40 TO 6.67 AC. BECAUSE OF THE 0.16 AC. REDUCTION OF CONSERVATION EASEMENT #4 ON F-04-19 AND THE 0.14 AC. REDUCTION OF CONSERVATION EASEMENT #5 ON F-04-86.  
 ④ F-05-82 IS A REVISION OF OPEN SPACE LOTS 221 & 222, AND A CONVERSION OF PARCEL 'E' TO R/M. FOREST CONSERVATION EASEMENT (FCE) #1 WILL ABANDON 0.25 AC. AND FCE #8 WILL ABANDON 0.91 AC.  
 ⑤ 3.12 ACRES = 4.38 ACRES (PHASE 4 SITE TOTAL) - 1.26 ACRES (AREA OF FOREST CON. IN PHASE 4 ALREADY PROVIDED BY F-03-40 AND F-04-42).  
 ⑥ 0.12 ACRES = AREA SUBTRACTED FROM FOREST CONSERVATION AREA #11 TO CREATE PUBLIC DRAINAGE AND UTILITY EASEMENT  
 ⑦ PHASE 5A IS A RESUBDIVISION OF NON-BUILDABLE PARCELS F & G. THIS AREA WAS COVERED UNDER F-05-81.  
 ⑧ TOTAL AREA FOR PHASE 5B (54.61 AC.) = AREA PLATTED (33.06 AC.) + AREA BEING MASS GRADED OUTSIDE PLATTED AREA (21.55 AC.)  
 ⑨ 0.01 ACRES OF PROVIDED PLANTING IN FCE #16 TO BE REMOVED UNDER F-06-162, LEAVING -2.33 AC. EXCESS UNDER F-05-81  
 ⑩ TOTAL AREA FOR PHASE 6 (10.31 AC.) = AREA PLATTED (15.05 AC.) - AREA ALREADY COVERED UNDER F-06-161 (4.74 AC.)  
 ⑪ TOTAL AREA FOR PHASE 6B (69.86 AC.) = AREA OF P. 116 PRIOR TO PLATTING (94.21 AC.) - AREA OF SDP-07-43 WITHIN LIMITS OF THIS SUBMISSION (23.94 AC.) - AREA COVERED BY F-08-12 (0.56 AC.)

FOREST CONSERVATION PLANTING QUANTITY SCHEDULE						
FOREST PLANTING LOCATION NO.	A (esmt.24)	B (esmt.24)	C (esmt. 24)	D (esmt. 25)	E (esmt. 26)	TOTAL
AREA TO BE PLANTED (IN AC.)	131	0.05	613	283	0.90	1122
BASE QUANTITY OF 2" CAL. TREES REQUIRED (AT 100 TREES/AC.)	131	5	613	283	90	1122
CREDIT FOR LANDSCAPE TREES	131	N/A	N/A	N/A	N/A	131
REQUIRED QUANTITY OF 2" CAL. TREES TO BE PLANTED	0	5	613	283	90	991

PLANT NAME (BOTANICAL/COMMON)	FOREST PLANTING AREA					
	A	B	C	D	E	TOTAL
AMELANCHIER CANADENSIS/SERVICEBERRY		1	87	41	13	142
ACER RUBRUM/RED MAPLE						
CERCIS CANADENSIS/EASTERN REDBUD		1	87	41	13	142
LIRIODENDRON TULIPERA/TULIP TREE		1	87	41	13	142
PLATANUS OCCIDENTALIS/AMERICAN SYCAMORE						
QUERCUS PALUSTRIS/PIN OAK		1	88	40	13	142
LIQUIDAMBAR STYRACIFLUA/SWEET GUM		1	88	40	13	142
QUERCUS RUBRUM/RED OAK			88	40	13	141
QUERCUS BICOLOR/SWAMP WHITE OAK						
PINUS STROBUS/WHITE PINE			88	40	12	140
TOTAL	0	5	613	283	90	991

- NOTES:  
 1. THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2 1/2" CAL. TREES AT 20' X 20' SPACING. EVERGREEN TREES SHALL BE 6'-8' HT.

STATE OF MARYLAND  
 Michael B. Tran  
 Chief, Bureau of Highways  
 1-28-07  
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways  
 1-28-07  
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Chief, Division of Land Development  
 Chief, Development Engineering Division  
 2/1/08  
 2/6/08  
 Date

TABULATION OF PROPOSED FOREST CONSERVATION AREAS				
	24	25	26	TOTAL
FOREST CONSERVATION ESMT	24	25	26	TOTAL
CREDITED FOREST PLANTING PROVIDED IN THE 100-YR FLOOD PLAIN	0.44 Ac.	0.31 Ac.	0.00 Ac.	0.81 Ac.
CREDITED FOREST PLANTING PROVIDED OUTSIDE THE 100 YR FLOOD PLAIN	7.05 Ac.	2.46 Ac.	0.90 Ac.	10.41 Ac.
NON-CREDITED FOREST RETENTION INSIDE THE 100-YR FLOOD PLAIN	0.02 Ac.	0.00 Ac.	0.00 Ac.	0.02 Ac.
CREDITED FOREST RETENTION OUTSIDE THE 100-YR FLOOD PLAIN	2.44 Ac.	0.00 Ac.	0.00 Ac.	2.44 Ac.
TOTAL AREA OF EACH FOREST CONSERVATION AREA	10.00 Ac.	2.83 Ac.	0.90 Ac.	13.73 Ac.

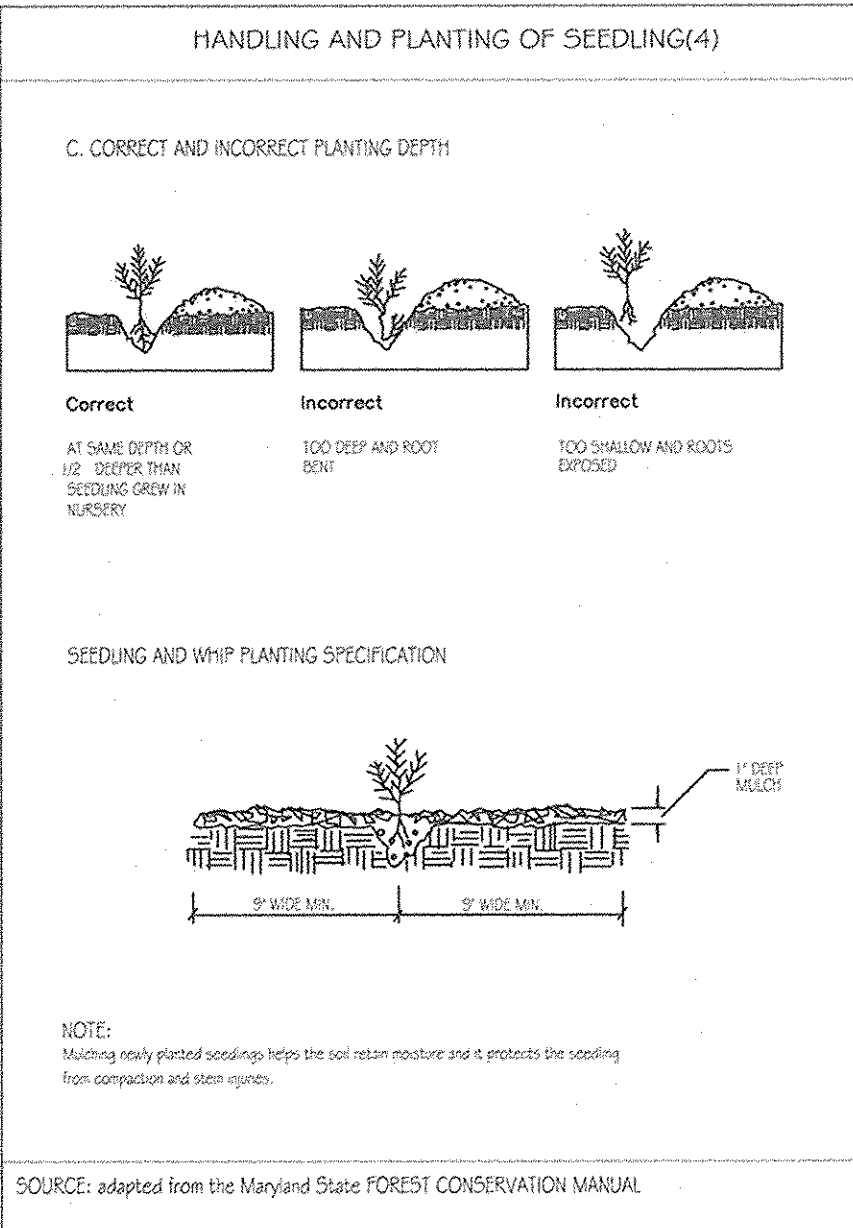
GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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 BURTNSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 G & R Wessell, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2008

FINAL FOREST CONSERVATION NOTES AND DETAILS  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B1 THROUGH B5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'I', 'J' AND 'K'

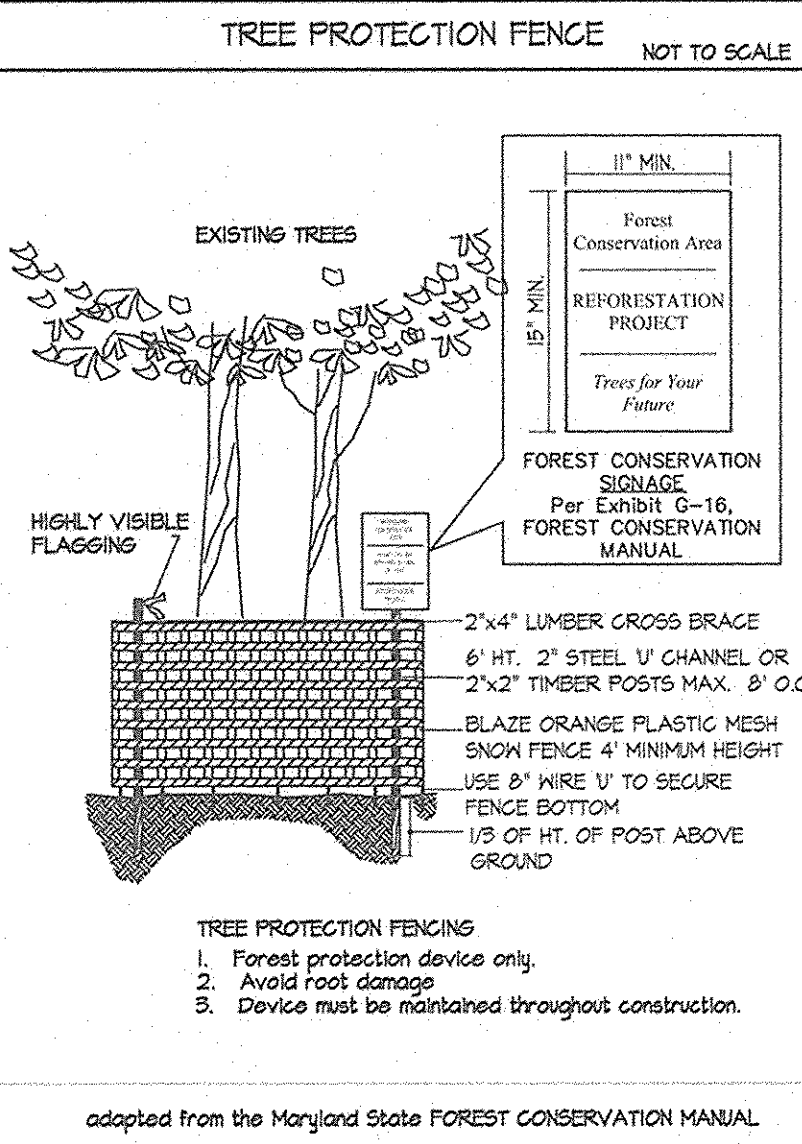
SCALE: AS SHOWN  
 ZONING: MXD-3  
 G. L. W. FILE NO.: 06081  
 DATE: JAN., 2008  
 TAX MAP - GRID: 41-21&22  
 SHEET: 18 OF 19



TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDLINGS, WHIPS												
MINIMUM MONITORING	*											
FERTILIZER + (IF NEEDED)												
WATER ++												
PRUNING												

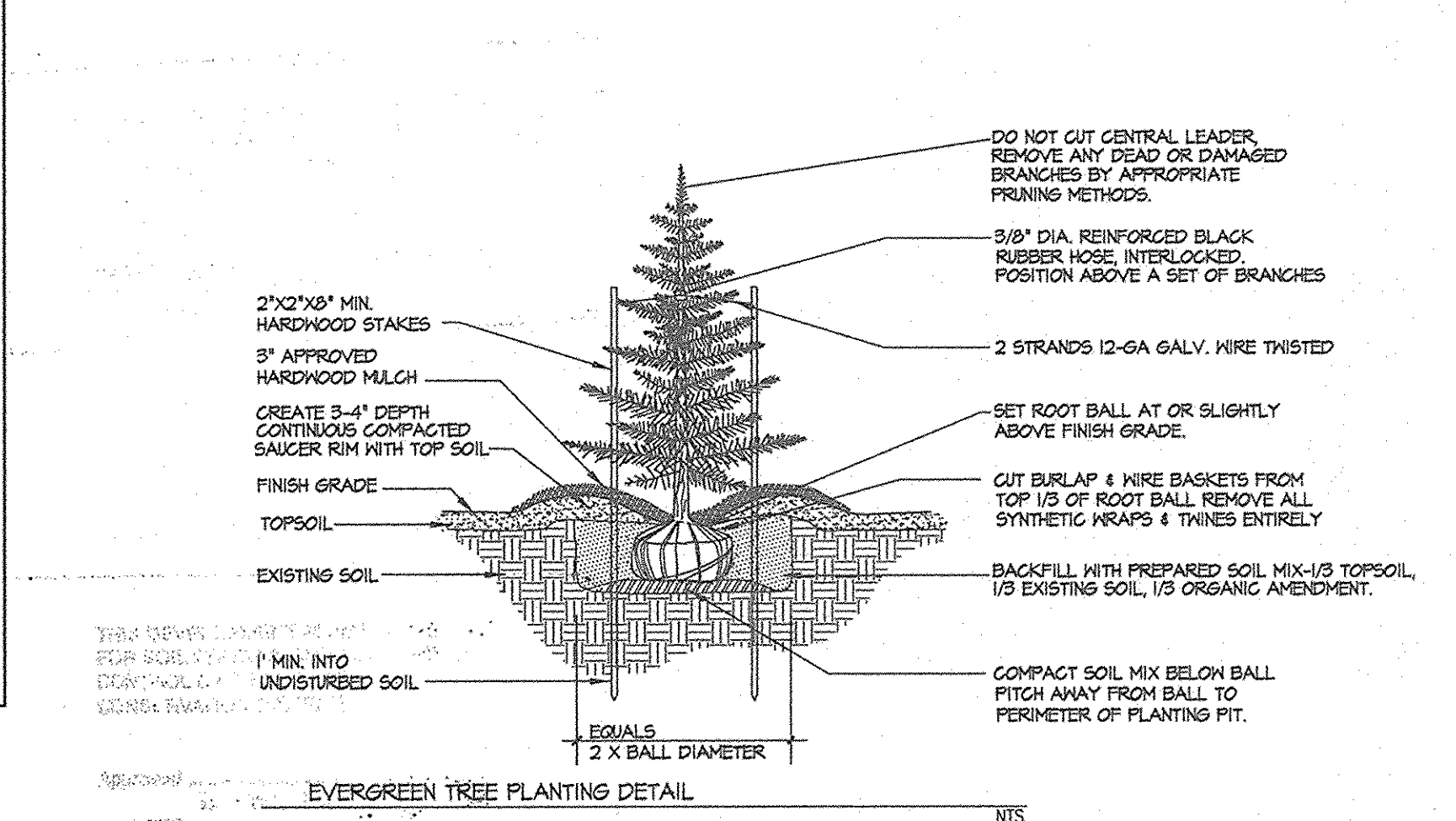
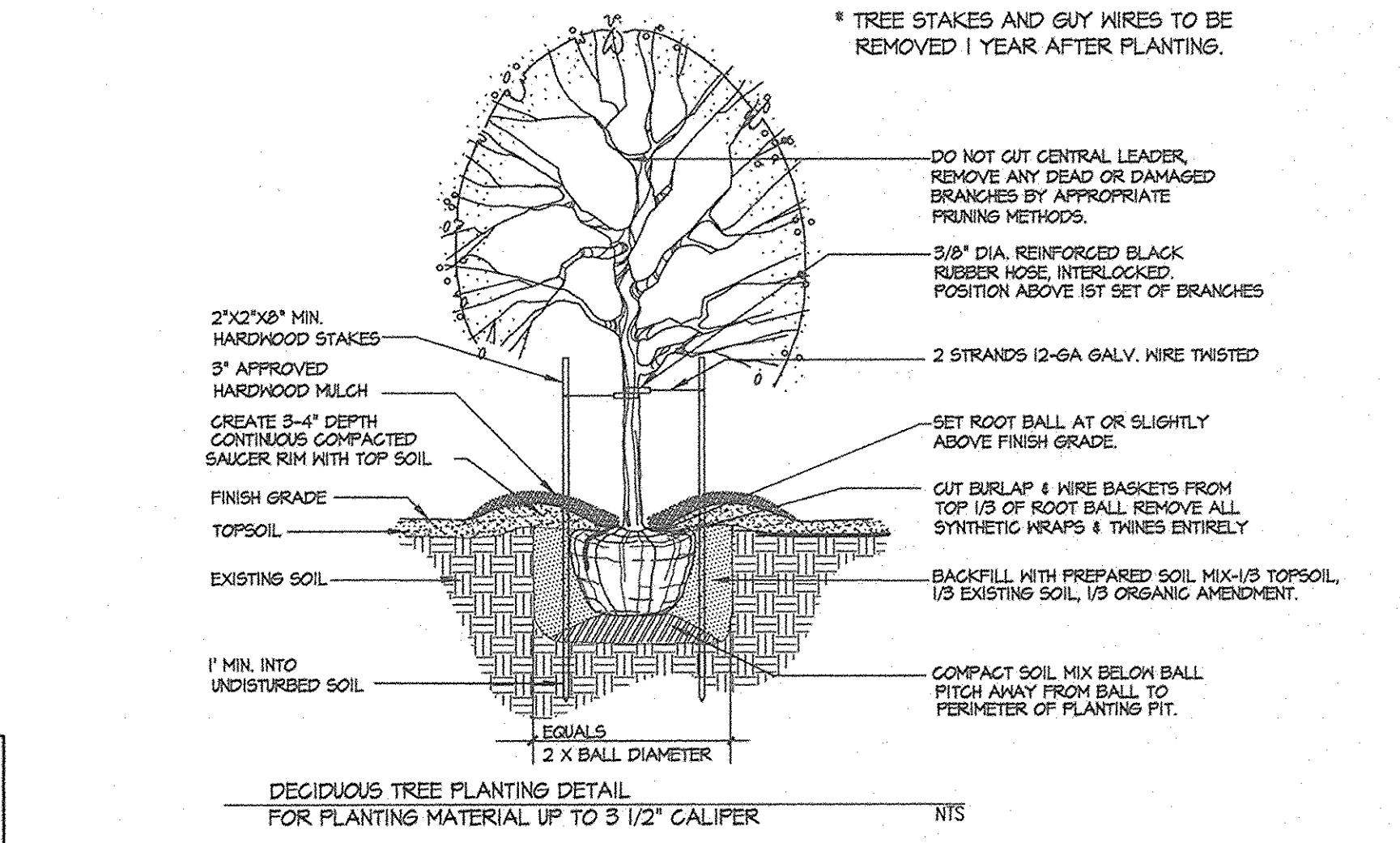
KEY:  
 \* ACTIVITIES DURING THESE MONTHS ARE DEPENDANT UPON GROUND CONDITIONS  
 GREATLY RECOMMENDED  
 RECOMMENDED WITH ADDITIONAL CARE  
 RECOMMENDED  
 + DEPENDANT UPON SITE CONDITIONS  
 ++ DEPENDANT UPON SITE CONDITIONS, WETTER WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WETTER RAINFALL EQUALS ++

NOTE:  
 The planting and care of trees is most successful when coordinated with the local climatic conditions. This calendar summarizes some of the recommended time frames for basic reforestation and silviculture activities.



- GENERAL NOTES  
 1. THIS AFFORESTATION PLAN IS PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBTITLE 12 "FOREST CONSERVATION" OF THE HOWARD COUNTY CODE.  
 2. IMPLEMENTATION OF THIS PLAN MUST BE PERFORMED BY A CONTRACTOR THAT IS KNOWLEDGEABLE AND EXPERIENCED IN AFFORESTATION/REFORESTATION TECHNIQUES AND PRACTICES.  
 3. THE OWNER IS RESPONSIBLE FOR A 2-YEAR (MIN) POST-CONSTRUCTION MAINTENANCE PERIOD WHICH INVOLVES ACTIVITIES NECESSARY TO ENSURE SURVIVAL AND GROWTH OF THE CONSERVATION AREA. TWO INSPECTIONS PER YEAR BY A QUALIFIED PROFESSIONAL AT BEGINNING AND END OF THE GROWING SEASON, ARE RECOMMENDED IN ORDER TO TAKE REMEDIAL STEPS AS NECESSARY. IF, AFTER ONE YEAR, THE POSSIBILITY EXISTS THAT THE ORIGINAL PLANTING (IF APPLICABLE) WILL NOT MEET SURVIVAL RATE STANDARDS, THE APPLICANT MAY CHOOSE TO ESTABLISH REINFORCEMENT PLANTINGS.  
 4. AT THE END OF THE POST-CONSTRUCTION MANAGEMENT AND PROTECTION PERIOD, CERTIFICATION BY A QUALIFIED CONSULTANT WILL BE REQUIRED BEFORE TO THE OWNER CAN BE RELEASED FROM HIS/HER FOREST CONSERVATION OBLIGATION TO THE ADMINISTRATOR OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM.  
 5. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITIES. THE REPAIR OF ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.  
 6. STREET TREES PROVIDED AT FINAL PLAN STAGE, LANDSCAPE AND BUFFERING REQUIREMENTS TO BE PROVIDED AT FINAL PLAN STAGE OR SITE PLAN STAGE.  
 7. THE FOREST CONSERVATION EASEMENTS SHOWN ON THIS PLAN WILL BE ESTABLISHED TO FULFILL THE REQUIREMENTS OF THE FOREST CONSERVATION PROGRAM. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.  
 8. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR PHASE 6B OF THIS PROJECT WITH 2.44 ACRES OF RETENTION, 4.20 ACRES OF REFORESTATION, AND 5.71 ACRES OF AFFORESTATION PLANTING FOR A TOTAL OBLIGATION OF 9.91 ACRES WILL BE FULFILLED WITH 11.22 ACRES OF AFFORESTATION AND REFORESTATION PLANTING, WHICH LEAVES 1.31 ACRES OF EXCESS AFFORESTATION PLANTING AND RETENTION BEING DONE IN ADVANCE AS FOREST CONSERVATION CREDIT FOR FUTURE PHASES OF THIS PROJECT. FOREST CONSERVATION SURETY IN THE AMOUNT OF \$248,921.00 WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

FOREST CONSERVATION WORKSHEET	
SITE DATA	
A. GROSS SITE AREA	69.86
B. AREA WITHIN 100-YEAR FLOOD PLAIN	1.22
C. NET TRACT AREA	68.64
D. LAND USE CATEGORY	MXD-3
EXISTING FOREST COVER	
G. EXISTING FOREST ON NET TRACT AREA	4.54
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD (On Net Tract Area)	0.00
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD (On Net Tract Area)	0.00
PROPOSED FOREST CLEARING	
J. FOREST AREAS TO BE CLEARED (On Net Tract Area)	2.10
K. FOREST AREAS TO BE RETAINED (On Net Tract Area)	2.44
PLANTING REQUIREMENTS	
TOTAL REFORESTATION ABOVE THRESHOLD REQUIRED (1 x 0.25)	0.00
TOTAL REFORESTATION REQUIRED ((1-1/2) x 2.00)	4.20
TOTAL AFFORESTATION REQUIRED (E - G)	5.71
TOTAL AFFORESTATION AND REFORESTATION REQUIRED	9.91
PLANTING TO BE PROVIDED	11.22
MIN. FOREST CONSERVATION AREA REQUIRED (9.91 AC+2.44 AC)	12.40
FOREST CONSERVATION AREA PROVIDED	13.11

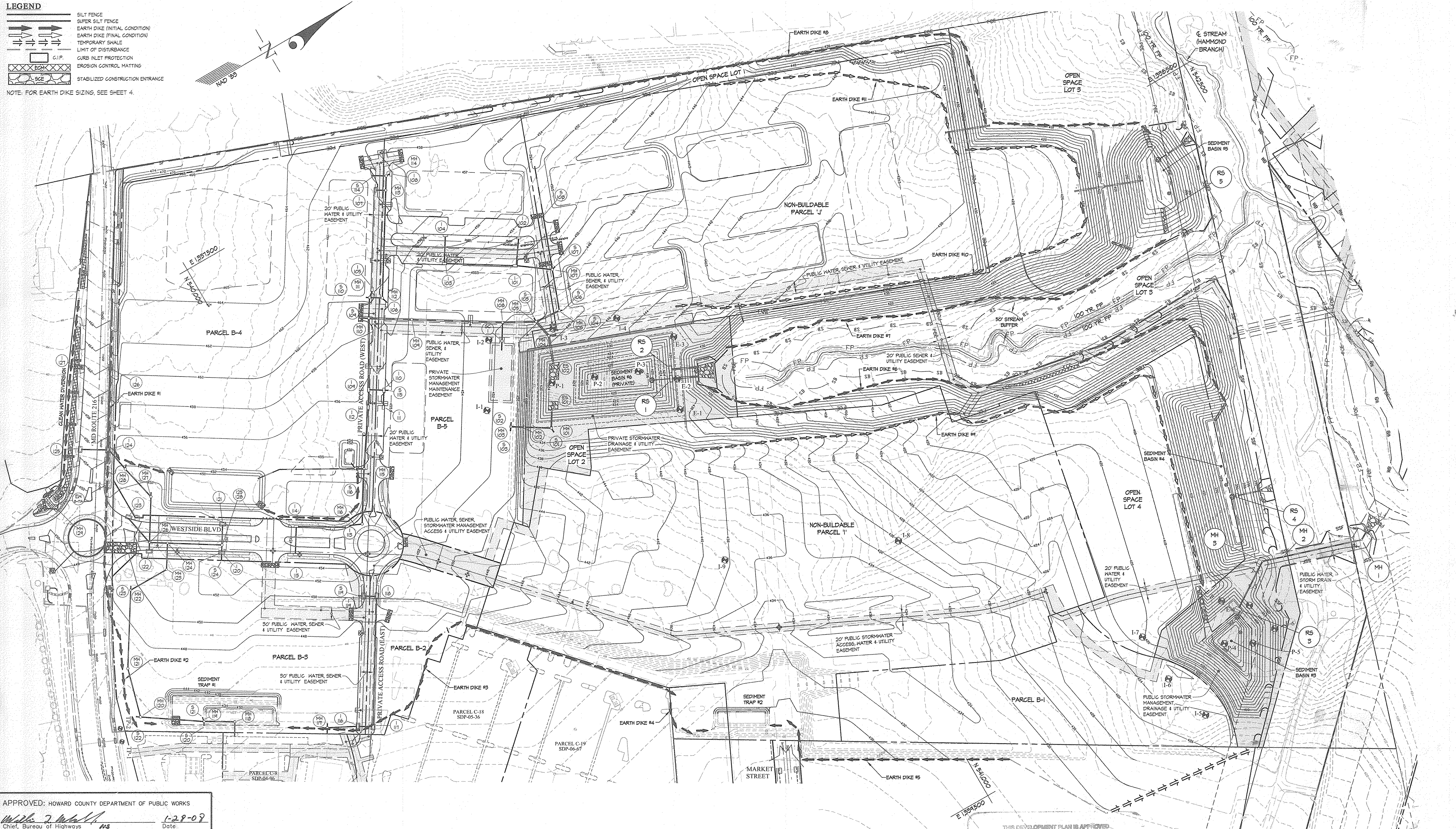


THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55

**LEGEND**

- SILT FENCE
- SUPER SILT FENCE
- EARTH DIKE (INITIAL CONDITION)
- EARTH DIKE (FINAL CONDITION)
- TEMPORARY SWALE
- LIMIT OF DISTURBANCE
- C.I.P.
- CURB INLET PROTECTION
- EROSION CONTROL MATTING
- STABILIZED CONSTRUCTION ENTRANCE

NOTE: FOR EARTH DIKE SIZING, SEE SHEET 4.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*W.D. 2. M. H.* 1-29-09  
 Chief, Bureau of Highways MS Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Cindy Hunter* 2/7/08  
 Chief, Division of Land Development Date  
*Whitcomb* 2/6/08  
 Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
01/01/08	Revised purpose note	KLP	

PREPARED FOR:  
**G & R Weesell, LLC**  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY  
 ME, AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND,  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 28, 2008



**OVERALL SEDIMENT CONTROL PLAN**  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
**WESTSIDE DISTRICT - AREA 1**  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4  
 AND NON-BUILDABLE PARCELS T, J AND K

SCALE	ZONING	C. L. W. FILE No.
1"=100'	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
JAN, 2008	41-21&22 46-3	19 OF 19

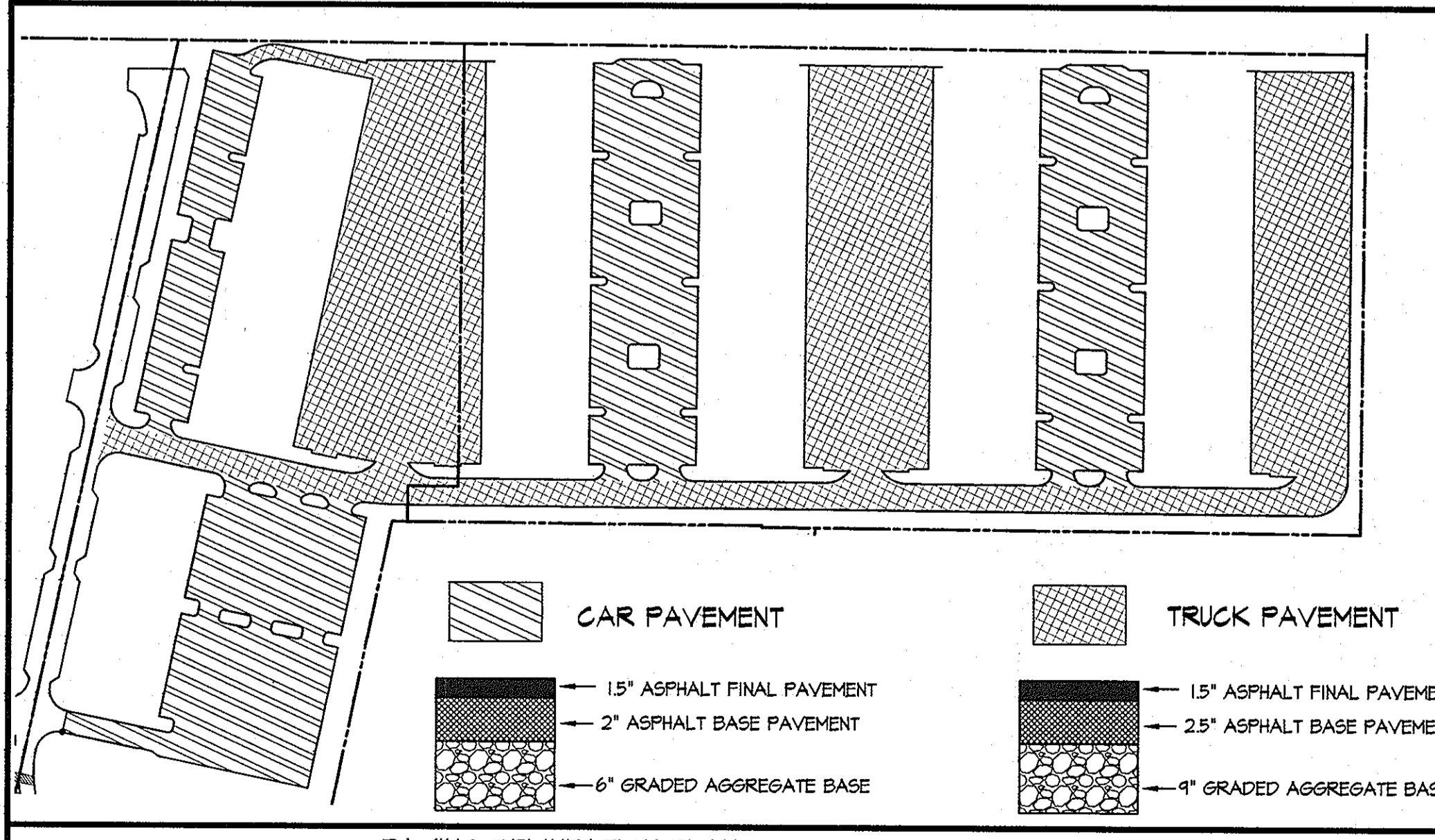
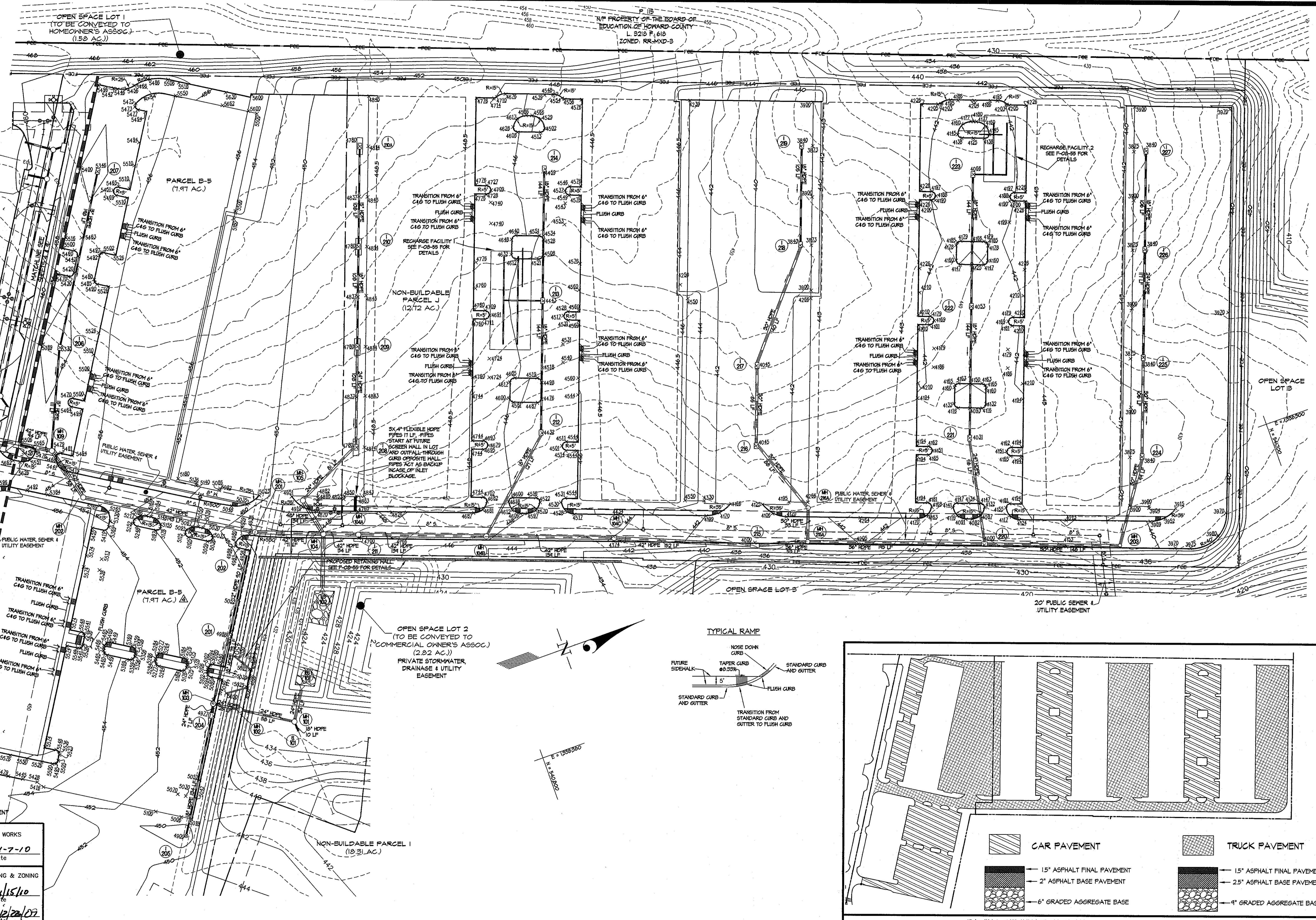
THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT.  
 Approved: *[Signature]* 1/27/08 Date

THIS PLAN IS FOR INFORMATION PURPOSES ONLY!!  
 SEE F-08-55 FOR STORMWATER MANAGEMENT, SEDIMENT CONTROL, AND MASS  
 GRADING PLANS. IF THERE IS A DISCREPANCY BETWEEN THIS PLAN AND THE  
 INFORMATION SHOWN IN THE F-08-55 PLAN SET, THE LATTER WILL DICTATE.  
 GRADING PERMIT BONDING WILL BE DONE UNDER F-08-55. See sheet 9  
 For Storm Drain Size, Type and Length.

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THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55

- NOTES:**
1. ALL SPOT SHOTS ARE FLOW LINE UNLESS NOTED.
  2. ALL RADI ARE 4.5' UNLESS NOTED
  3. ALL CURB IS 6" STANDARD CURB AND GUTTER PER DETAIL SHEET 6 UNLESS NOTED OTHERWISE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Walter Z. ...* 1-7-10  
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Keth ...* 1/15/10  
 Chief, Division of Land Development

*...* 12/22/09  
 Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
12/18/2009	FINAL CONTOURS, CURB, AND STORM DRAIN REVISED IN PARCEL B-5 (REPLACEMENT SHEET)	...	...
06/13/09	SHEET 19A ADDED	...	...

PREPARED FOR:  
 G&R / WESSEL, LLC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2016



REVISED CURB, STORM DRAIN, AND PAVING PLAN  
 (ROAD AND STORM DRAIN CONSTRUCTION ONLY)  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 1  
 PARCELS B-1 THROUGH B-5, OPEN SPACE LOTS 1 THROUGH 4 AND NON-BUILDABLE PARCELS 'T', 'U' AND 'X'

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	06081
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2009	41-21&22 46-3	19A OF 19

THIS SET TO BE APPROVED IN CONJUNCTION WITH F-08-55