

CURB ELEVATION TABLE

PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.
1	0+34.00	12.00L	413.79	11	2+63.00	12.00L	424.66
2	0+34.00	12.00R	413.79	12	0+34.00	12.00L	414.30
3	2+25.14	14.00L	414.65	13	0+33.83	12.00R	414.29
4	1+61.03	14.00L	412.73	14	2+63.00	12.00R	424.66
5	0+63.50	14.00L	409.88	15	3+33.69	12.00R	426.88
6	0+69.02	14.85L	409.51	16	3+84.88	12.00R	428.15
7	0+14.03	50.76L	*	17	4+03.32	12.00R	428.47
8	0+13.49	60.92L	*	18	10+95.97	12.07R	421.34
9	0+08.33	53.80R	*	19	11+25.65	14.00R	420.85
10	0+08.58	50.76R	*	20	11+73.38	14.00R	420.17
11	0+43.57	14.88R	409.51	21	11+88.27	29.00L	420.42
12	0+58.05	14.00R	409.98	22	12+12.27	29.00L	420.08
13	1+61.14	14.00R	412.73	23	12+27.27	14.00R	419.40
14	2+25.14	14.00R	414.65				
15	2+30.00	12.00R	424.56				
16	0+32.00	12.00R	418.00				
17	12+94.33	14.00L	418.45				
18	12+30.33	14.00L	419.36				
19	11+19.26	13.93L	420.95				
20	10+89.78	12.00L	421.43				
21	4+03.32	12.00L	428.47				
22	3+84.88	12.00L	428.15				
23	3+33.69	12.00L	426.88				

* NOSE DOWN CURB TO MEET EX. GRADE

CURVE DATA

STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA
LIBERTY ST.	2+63.00	none	3+33.69	45.00'	70.69'	45.00'	63.64'	S 77°05'48" W	90°00'00"
LIBERTY ST.	3+84.88	none	4+03.32	45.00'	18.44'	9.35'	18.31'	N 20°21'34" E	23°28'28"
LIBERTY ST.	10+93.81	none	11+22.27	45.00'	28.45'	14.72'	27.98'	S 09°23'28" E	38°13'38"

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter J. Smith
 Chief, Bureau of Highways
 8-7-07
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cindy Harsh
 Chief, Division of Land Development
 8/15/07
 Date

John Williams
 Chief, Development Engineering Division
 8/10/07
 Date

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

Minimum tree quantities and preferred spacings are as follows:
 Maple Lawn Blvd. & 1 tree per 40 linear feet, both sides:
 10' x 10' trees
 All other streets: 1 tree per 30 linear feet, both sides:
 Private Alleys: No trees required

These are only minimum standards. Trees should be placed to align where possible with lot lines and demising walls of units so as to avoid blocking the fronts and/or doors and windows of units.

** SEE SHEET 11 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
 SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
 SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

STREET TREE INFORMATION

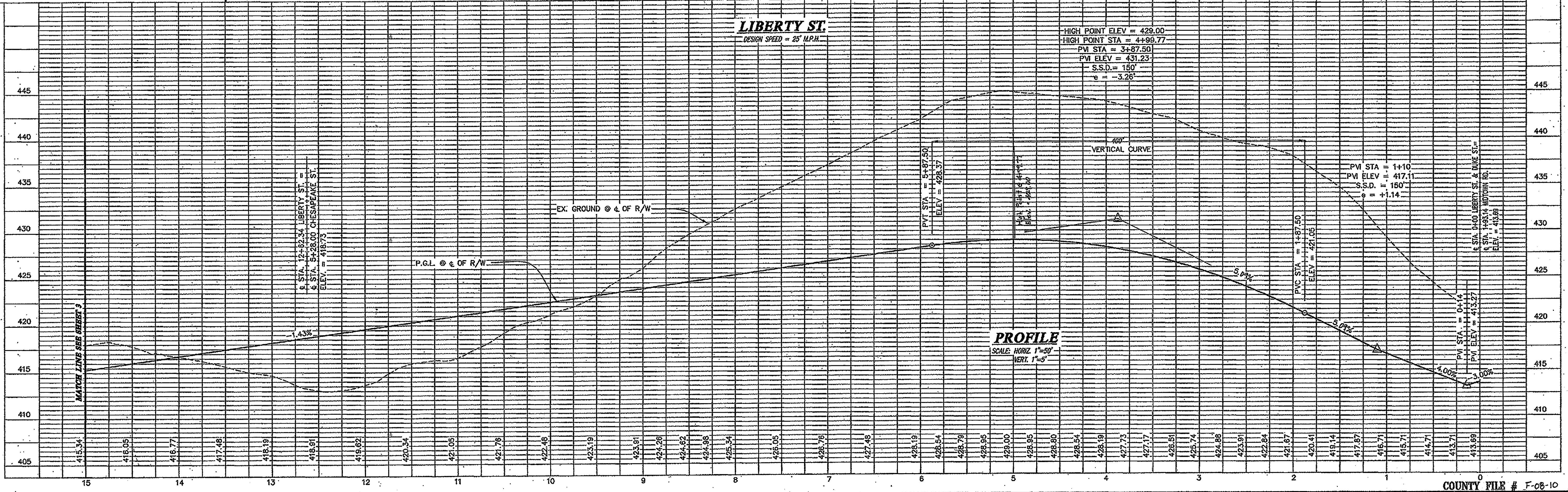
SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
(S)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DESIGNED DEV: ROAD CONSTRUCTION AND STREET TREE PLAN
DRAWN: JJJ/AL
CHECKED DEV: ELECTION DISTRICT NO. 5
DATE: JULY, 2007

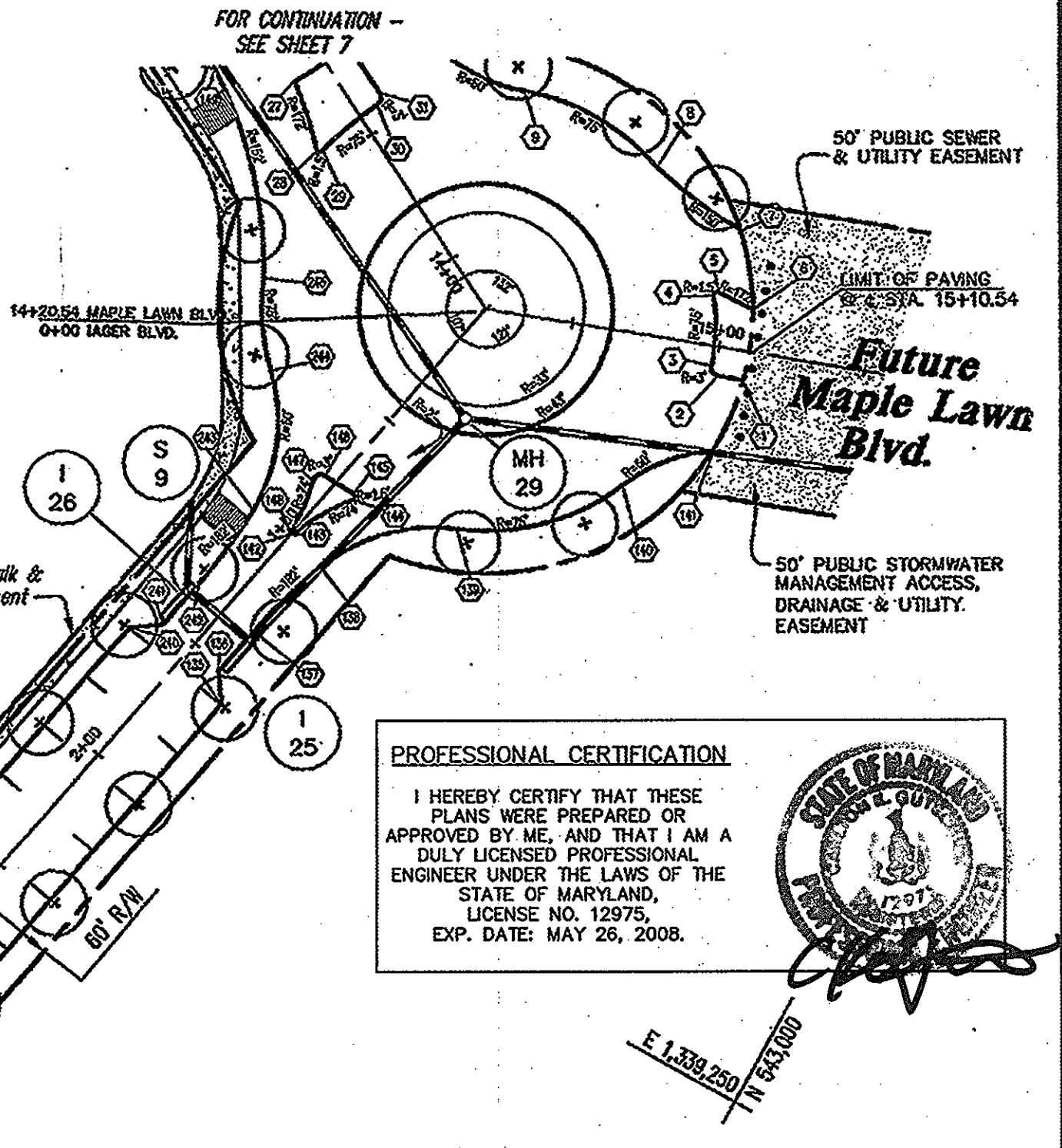
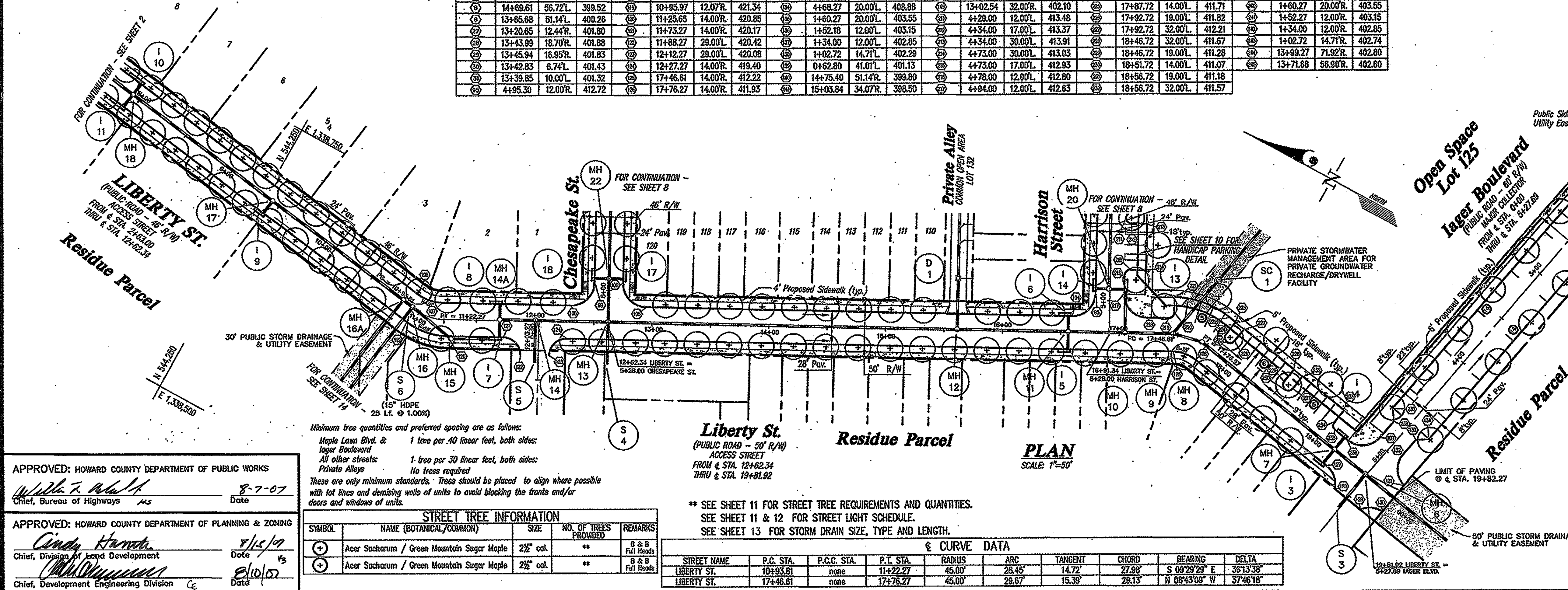
SCALE AS SHOWN: DRAWING 2 OF 28
ZONING: MD-3
JOB NO.: 02001

OWNER: HOWARD COUNTY, MD.
 G & H Maple Lawn Inc., et. al
 410 Woodbine Center
 1823 Rockstarwood Road
 Baltimore, MD 21208
 Attn: Charles Obermann
 410-494-9600

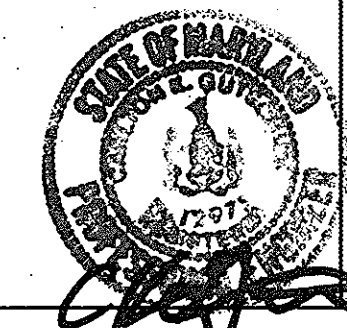


L:\CADD\DRAWINGS\2007\YOND BREAKOUT\REMOVE RD and SD\02001-ROADS-5502.dwg 7/3/2007 9:25:49 AM EDT

PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.
1	15+09.99	8.98R	399.26	10	21+30.00	12.00R	417.43	19	19+20.92	14.00R	410.47	28	14+00.75	0.00	402.60	37	17+22.35	12.15L	412.27
2	15+01.24	8.97R	399.49	11	0+32.00	12.00L	418.54	20	19+38.78	25.00R	410.71	29	0+99.93	0.98L	402.58	38	19+01.80	19.00L	410.83
3	14+98.25	6.71R	399.65	12	16+59.33	14.00L	413.24	21	19+66.07	25.00R	410.34	30	0+78.31	8.47L	402.06	39	19+08.90	14.00L	410.62
4	14+95.13	16.98L	399.52	13	12+94.33	14.00L	418.45	22	19+82.07	14.11R	409.65	31	0+76.18	7.00L	402.07	40	19+20.84	14.00L	410.47
5	14+97.09	18.73L	399.43	14	12+30.33	14.00L	419.36	23	19+82.47	14.12L	409.64	32	0+77.84	4.32R	402.28	41	19+02.82	12.00R	409.24
6	14+09.34	14.67L	399.18	15	11+19.26	13.93L	420.95	24	19+82.82	12.00L	408.24	33	0+82.06	6.61R	402.45	42	19+76.27	12.00R	408.81
7	15+00.94	40.46L	399.04	16	10+89.78	12.00L	421.43	25	19+76.27	12.00L	408.61	34	0+99.93	0.98R	402.61	43	19+82.72	19.00L	411.92
8	14+69.61	55.72L	399.52	17	10+85.97	12.07R	421.34	26	19+69.27	20.00L	408.88	35	13+02.54	32.00R	402.10	44	17+87.72	14.00L	411.71
9	13+85.68	51.41L	400.26	18	11+25.65	14.00R	420.85	27	1+60.27	20.00L	403.55	36	14+28.00	12.00L	413.48	45	17+92.72	19.00L	411.82
10	13+20.65	12.44R	401.80	19	11+73.27	14.00R	420.17	28	1+62.18	12.00L	403.15	37	14+34.00	17.00L	413.37	46	17+92.72	32.00L	412.21
11	13+43.99	18.70R	401.88	20	11+88.27	29.00L	420.42	29	1+34.00	12.00L	402.85	38	14+34.00	30.00L	413.91	47	18+46.72	32.00L	411.67
12	13+45.94	16.95R	401.83	21	12+12.27	29.00L	420.08	30	1+02.72	14.71L	402.29	39	14+73.00	30.00L	413.03	48	18+46.72	19.00L	411.28
13	13+42.83	6.74L	401.43	22	12+27.27	14.00R	419.40	31	0+82.80	41.01L	401.13	40	14+73.00	17.00L	412.93	49	18+61.72	14.00L	411.07
14	13+39.85	10.00L	401.32	23	17+46.61	14.00R	412.22	32	14+75.40	51.14R	399.80	41	14+78.00	12.00L	412.80	50	18+56.72	19.00L	411.18
15	4+95.30	12.00R	412.72	24	17+76.27	14.00R	411.93	33	15+03.84	34.07R	398.90	42	14+94.00	12.00L	412.63	51	18+56.72	32.00L	411.57



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-7-07

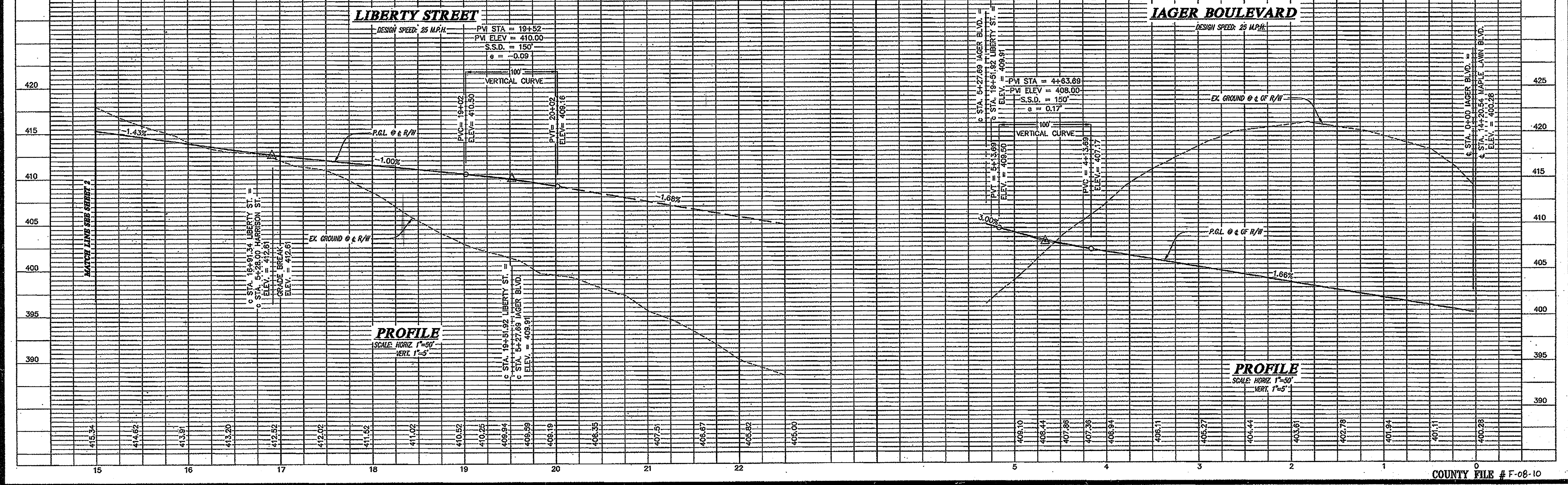
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Date: 8/15/07

Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & Iager Boulevard: 1 tree per 40 linear feet, both sides
 All other streets: 1 tree per 30 linear feet, both sides
 Private Alleys: No trees required
 These are only minimum standards. Trees should be placed to align where possible with lot lines and existing utility easements to avoid blocking the fronts and/or doors and windows of units.

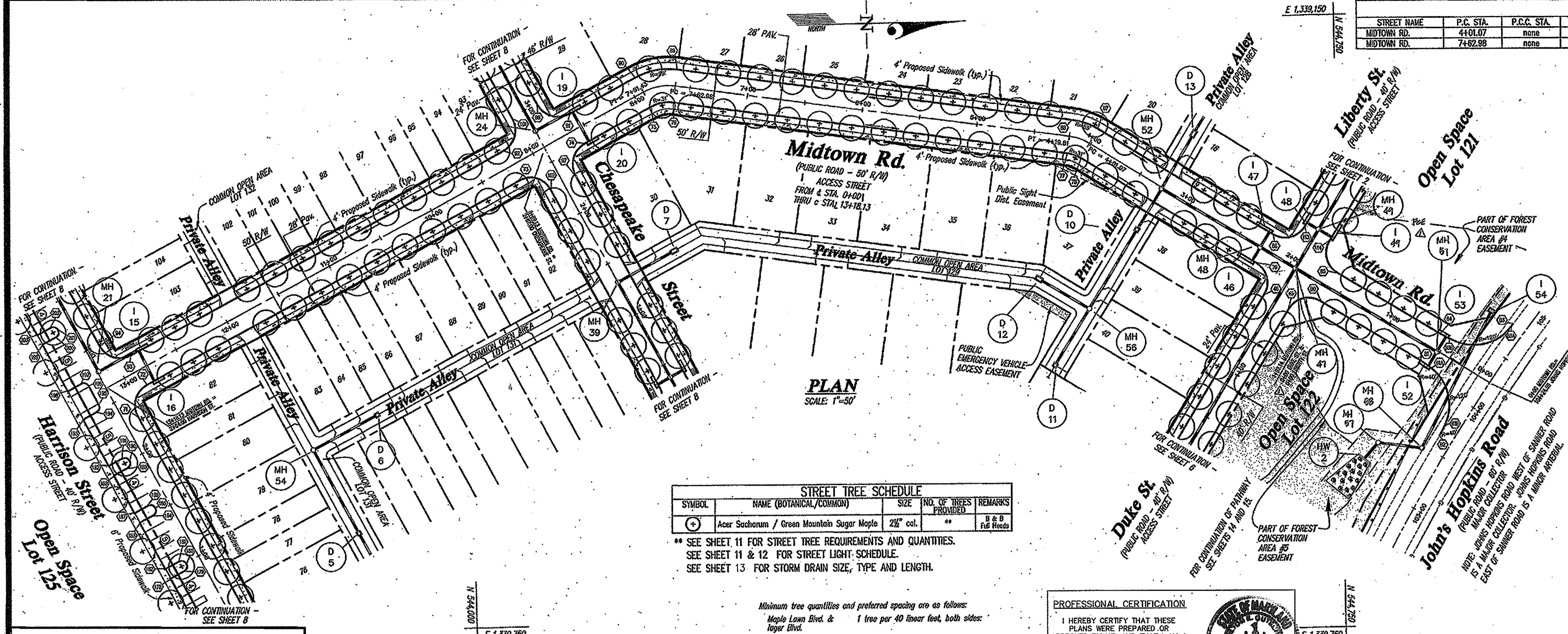
SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
+	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads
+	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads

STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA
LIBERTY ST.	10+93.81	none	11+22.27	45.00'	28.46'	14.72'	27.98'	S 09°29'29" E	35°13'38"
LIBERTY ST.	17+46.61	none	17+76.27	45.00'	28.67'	15.39'	28.15'	N 08°43'08" W	37°46'18"

** SEE SHEET 11 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
 SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
 SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.



L:\CADD\DRAWINGS\2007\POWD BREAKOUT REMOVE RD and SD\2007-ROADS-5003.dwg 7/3/2007 9:26:26 AM EDT



E 1,339,150

CURVE DATA										
STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA	
MIDTOWN RD.	4+01.07	none	4+19.51	45.00	18.44	9.35	19.31	N 50°21'34" E	23°28'29"	
MIDTOWN RD.	7+82.98	none	7+91.43	45.00	28.45	14.72	27.58	N 09°29'29" W	36°13'38"	

CURB ELEVATION TABLE										
PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.			
1	0+34.00	12.00R	413.79	1	2+98.00	12.00R	424.72			
2	0+34.00	12.00R	413.79	2	2+98.00	12.00R	424.72			
3	2+30.00	12.00R	418.68	3	2+30.00	12.00R	424.56			
4	12+88.13	14.00L	419.46	4	0+33.82	12.00L	414.29			
5	9+21.13	14.00L	424.43	5	0+33.83	12.00R	414.22			
6	8+57.13	14.00L	425.31	6	0+94.00	30.00L	413.88			
7	7+91.43	14.00L	426.20	7	0+94.00	17.00L	413.49			
8	7+62.98	14.00L	426.59	8	0+98.00	12.00L	413.46			
9	4+19.51	14.00L	420.66	9	1+04.00	17.00L	413.76			
10	4+01.07	14.00L	420.10	10	1+04.00	30.00L	414.15			
11	2+25.14	14.00L	414.82	11	1+49.00	30.00L	415.83			
12	1+61.03	14.00L	412.90	12	1+49.00	17.00L	415.44			
13	0+63.50	14.00L	409.98	13	1+54.00	12.00L	415.52			
14	0+49.02	14.88L	409.51	14	1+59.00	17.00L	415.99			
15	0+44.03	50.76L	*	15	1+59.00	30.00L	416.32			
16	0+41.49	60.92L	*	16	1+95.00	30.00L	418.09			
17	0+38.33	53.80R	*	17	1+95.00	17.00L	417.70			
18	0+38.58	50.76R	*	18	2+00.00	12.00L	417.73			
19	0+43.57	14.88R	409.51	19	2+05.00	17.00L	418.07			
20	0+58.05	14.00R	409.98	20	2+05.00	30.00L	418.46			
21	1+61.14	14.00R	412.90	21	2+50.00	30.00L	419.41			
22	2+25.14	14.00R	414.82	22	2+50.00	17.00L	419.12			
23	4+01.07	14.00R	420.10	23	2+55.00	12.00L	418.99			
24	4+19.51	14.00R	420.66	24	2+73.00	12.00L	418.99			
25	7+62.98	14.00R	426.59	25	2+78.00	17.00L	419.12			
26	7+91.43	14.00R	426.20	26	2+78.00	30.00L	419.41			
27	8+56.43	14.00R	425.32	27	3+23.00	30.00L	418.46			
28	9+21.13	14.00R	424.43	28	3+23.00	17.00L	418.07			
29	12+88.13	14.00R	418.46	29	3+28.00	12.00L	417.73			
30	2+98.00	12.00R	418.68	30	3+33.00	17.00L	417.70			
31	4+94.00	12.00R	419.13	31	3+33.00	30.00L	418.09			

* NOSE DOWN CURB TO MEET EX. GRADE

STREET TREE SCHEDULE				
SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
(+)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Woods

** SEE SHEET 11 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

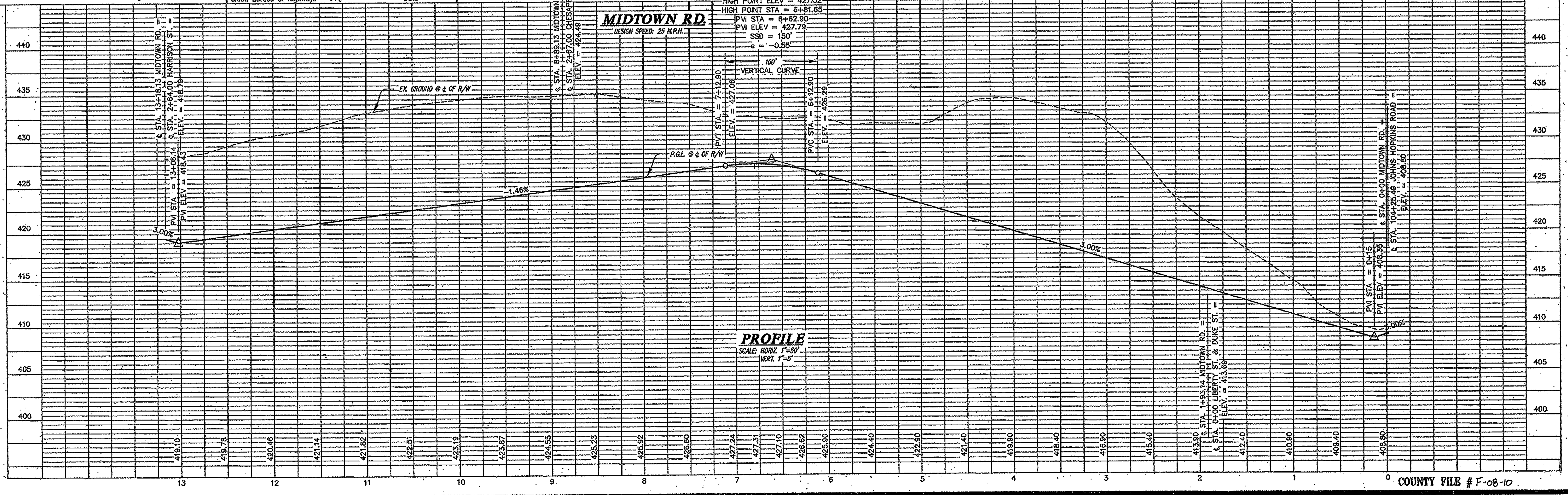
Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & Loyer Blvd. 1 tree per 40 linear feet, both sides.
 All other streets: 1 tree per 30 linear feet, both sides.
 Private Alleys: No trees required.
 These are only minimum standards. Trees should be placed to align where possible with lot lines and demising walls of units so as to avoid blocking the fronts and/or doors and windows of units.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/15/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 5-7-07



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20885
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-869-2524 FAX: 301-421-4168

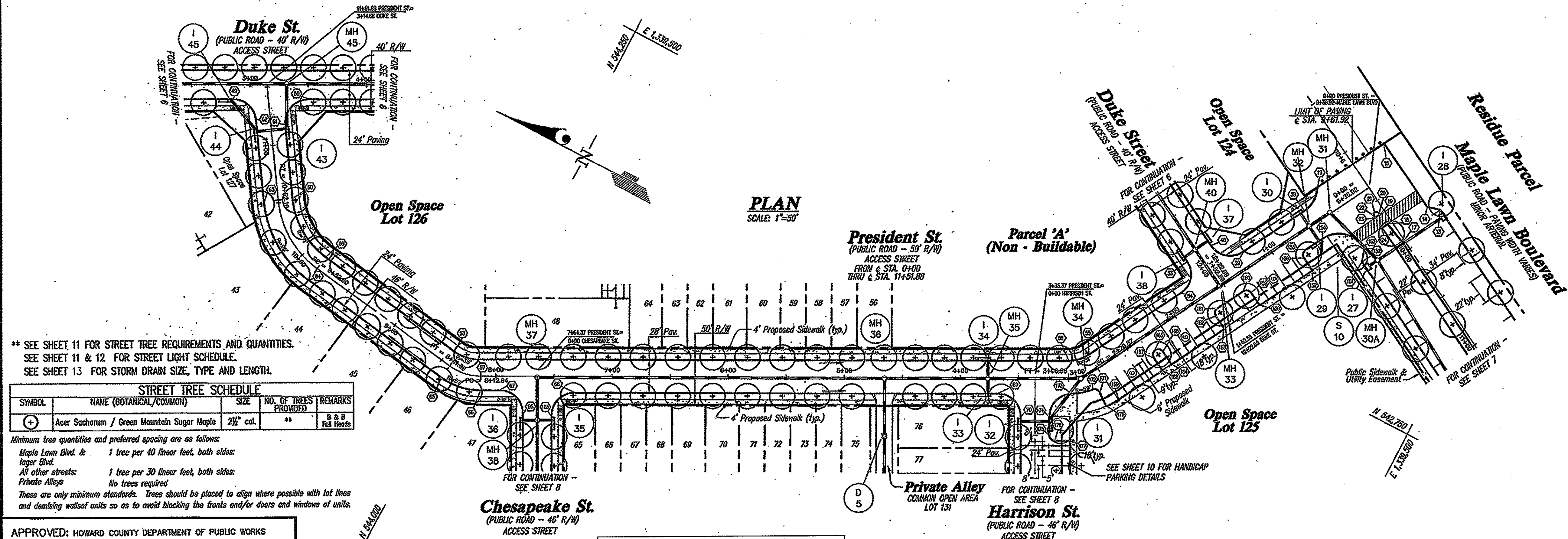
Road Construction and Street Tree Plan
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'

DESIGNED DEV: JUL/AJ
 DRAWN DEV: JUL/AJ
 CHECKED DEV: JUL/AJ
 DATE: JULY, 2007

OWNER:
 C & R Maple Lawn Inc., et al.
 Suite 415 Woodstone Center
 1829 Robinson Road
 Baltimore, MD 21209
 Attn: Charles Oberon
 410-684-8400

SCALE: AS SHOWN
 DRAWING: 4 OF 28
 ZONING: MDX-3
 JOB NO.: 02001

CURB ELEVATION TABLE							
PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.
1	8485.54	40.00L	396.88	1	7432.37	14.00L	417.42
2	8477.54	32.00L	396.90	2	3467.37	14.00L	413.68
3	8471.92	32.00L	395.64	3	0434.00	12.00L	412.58
4	8471.92	37.00R	395.65	4	4494.00	12.00L	419.13
5	8471.92	2.00R	397.94	5	0434.00	12.00L	418.07
6	8471.54	3.75R	397.51	6	8485.54	40.00R	396.88
7	8471.54	4.60R	397.31	7	8478.54	32.00R	396.93
8	8471.54	4.60R	397.28	8	8475.92	32.00R	396.87
9	8458.92	8.00R	397.28	9	0457.00	14.00L	396.55
10	8458.92	10.00R	397.36	10	0475.09	14.00L	397.19
11	8461.54	9.99R	397.42	11	0480.09	18.00L	397.53
12	8471.54	9.99R	397.63	12	0480.09	32.00L	397.82
13	0457.00	14.00R	396.55	13	1434.09	32.00L	400.32
14	1420.59	14.00R	398.15	14	1434.09	19.00L	399.93
15	11488.69	12.00L	400.87	15	1439.09	14.00L	400.05
16	2486.71	12.00R	413.58	16	1468.09	14.00L	401.71
17	3450.03	12.00R	412.67	17	1471.09	18.00L	402.20
18	11488.69	12.00R	400.87	18	1471.09	32.00L	402.59
19	11488.69	14.00R	403.07	19	2425.09	32.00L	406.32
20	2479.87	14.00R	409.65	20	2425.09	18.00L	405.93
21	3406.56	14.00R	411.35	21	2430.09	14.00L	406.11
22	8415.95	13.93R	418.26	22	2436.09	18.00L	406.62
23	8445.43	12.00R	418.61	23	2436.09	32.00L	407.01
24	8482.60	12.00R	416.97	24	2479.87	32.00L	410.10
25	10452.19	12.00R	415.13	25	2486.90	32.00L	410.58
26	11416.50	12.00R	413.43	26	2486.90	18.00L	410.29
27	11422.93	12.00L	413.26	27	2490.42	14.00L	410.37
28	10452.19	12.00L	415.13	28	3404.74	14.00L	411.41
29	8482.60	12.00L	416.97	29	0433.94	12.00L	412.58
30	8441.39	12.00L	418.57	30	0450.00	12.00L	412.75
31	8412.94	12.00L	418.29	31	0455.00	17.00L	412.89
32	7496.37	12.00L	418.12	32	0455.00	30.00L	412.99



STREET TREE SCHEDULE

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
+	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads

Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & 1 tree per 40 linear feet, both sides
 Inger Blvd.
 All other streets: 1 tree per 30 linear feet, both sides
 Private Alleys: No trees required
 These are only minimum standards. Trees should be placed to align where possible with lot lines and demising wallset units so as to avoid blocking the fronts and/or doors and windows of units.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 8-7-07
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 8/16/07
 Date

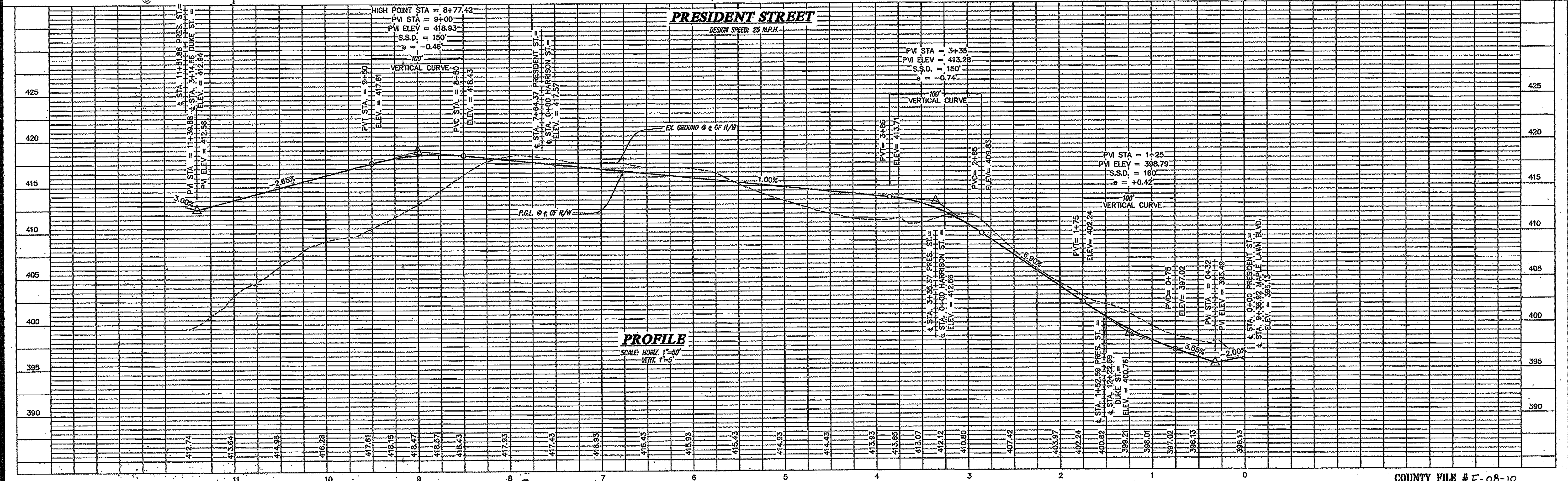
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 8/16/07
 Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 26, 2008.

CURVE DATA

STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA
PRESIDENT ST.	2479.87	none	3405.56	45.00'	26.65'	13.75'	26.29'	S 44°35'29" E	335°02'3"
PRESIDENT ST.	8472.94	none	8441.39	45.00'	28.45'	14.72'	27.98'	S 03°29'28" E	361°13'08"
PRESIDENT ST.	8482.60	none	10452.19	83.00'	36.98'	67.57'	S 32°38'24" W	480°20'9"	



COUNTY FILE # F-08-10

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

Road Construction and Street Tree Plan
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'

ELECTION DISTRICT NO. 5 HOWARD COUNTY, MD.

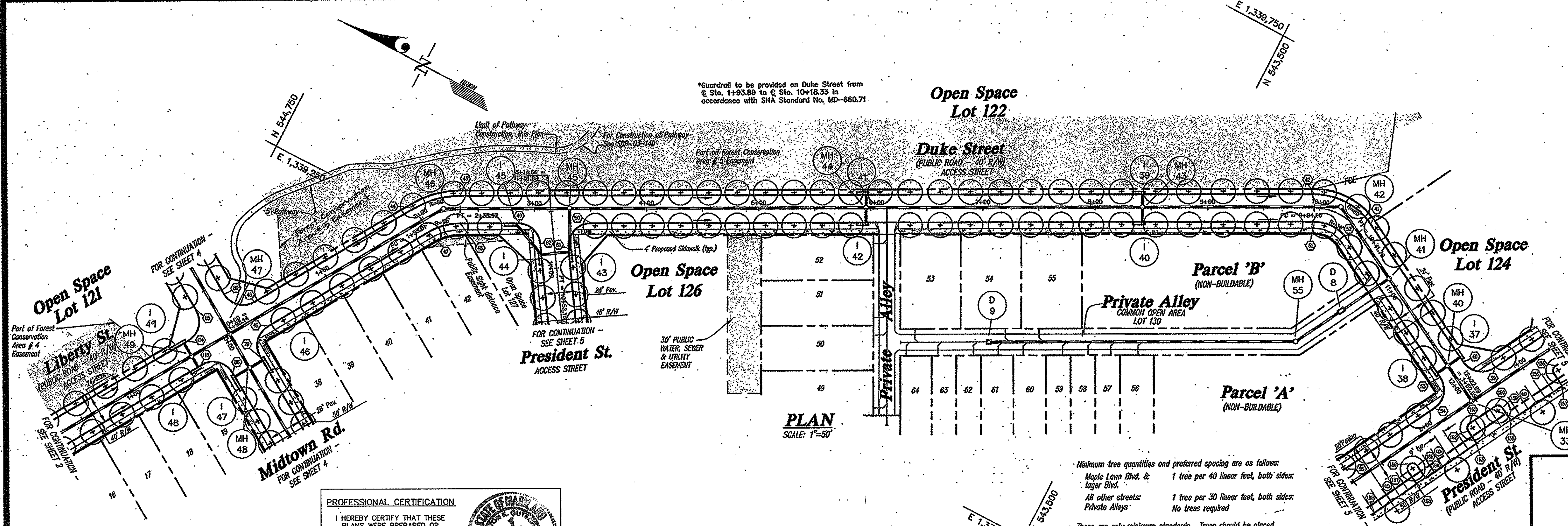
OWNER
 G & R Maple Lawn Inc. et al
 Suite 418 Woodstone Center
 1829 Rockport Road
 Baltimore, MD 21208
 Attn: Charles Obregon
 410-481-8100

DESIGNED DEV SCALE AS SHOWN
 DRAWN JU/AL DRAWING 5 OF 28
 CHECKED DEV ZONING MID-3
 DATE JOB No. 02001
 JULY, 2007

L:\CADD\DRAWINGS\2007\POUND BREACH\1\RENOVE RD and S3\027001-ROADS-55005.dwg 7/3/2007 9:38:56 AM EDT

App'v.	Date	Revision	BY
	12/1/09	Δ Revis forest conservation area #42#s easement.	JAM

*Gravel to be provided on Duke Street from C Sta. 1+93.89 to C Sta. 10+18.33 in accordance with SHA Standard No. MD-680.71



CURB ELEVATION TABLE			CURB ELEVATION TABLE		
PT. NO.	STATION	OFFSET ELEV.	PT. NO.	STATION	OFFSET ELEV.
1	1+20.59	14.00L	39	1+61.14	14.00R
2	1+388.69	12.00L	40	2+25.14	14.00R
3	10+41.79	12.00L	41	0+34.00	12.00L
4	9+94.86	12.00L	42	0+33.83	12.00R
5	2+33.97	12.00L	43	0+75.09	14.00L
6	1+68.01	12.00L	44	0+80.09	18.00L
7	0+34.00	12.00L	45	0+80.09	32.00L
8	0+34.00	12.00R	46	1+34.09	32.00L
9	1+98.01	12.00R	47	1+34.09	18.00L
10	2+33.97	12.00R	48	1+39.09	14.00L
11	2+85.71	12.00R	49	1+66.09	14.00L
12	3+50.03	12.00R	50	1+71.09	18.00L
13	9+94.86	12.00R	51	1+71.09	32.00L
14	10+41.79	12.00R	52	2+25.09	32.00L
15	11+88.69	12.00R	53	2+25.09	19.00L
16	1+94.59	14.00R	54	2+30.09	14.00L
17	11+16.50	12.00R	55	2+35.09	19.00L
18	11+22.83	12.00L	56	2+35.09	32.00L
19	2+25.14	14.00L	57	2+79.87	32.00L
20	1+61.03	14.00L	58		410.10

PLAN SCALE: 1"=50'

Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & Mayor Blvd. 1 tree per 40 linear feet, both sides.
 All other streets: 1 tree per 30 linear feet, both sides.
 Private Alleys: No trees required.

These are only minimum standards. Trees should be placed to align where possible with lot lines and demising walls of units so as to avoid blocking the fronts and/or doors and windows of units.

STREET TREE SCHEDULE				
SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
⊕	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads

** SEE SHEET 11 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
 SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
 SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275, EXP. DATE: MAY 26, 2008.

CURVE DATA						
STREET NAME	P.C. STA.	P.C.C. STA.	P.T. STA.	RADIUS	ARC	TANGENT
DUKE ST.	1+98.01	none	2+33.97	68.00'	36.96°	18.41'
DUKE ST.	9+94.86	none	10+41.79	48.00'	46.94°	25.54'

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-7-09

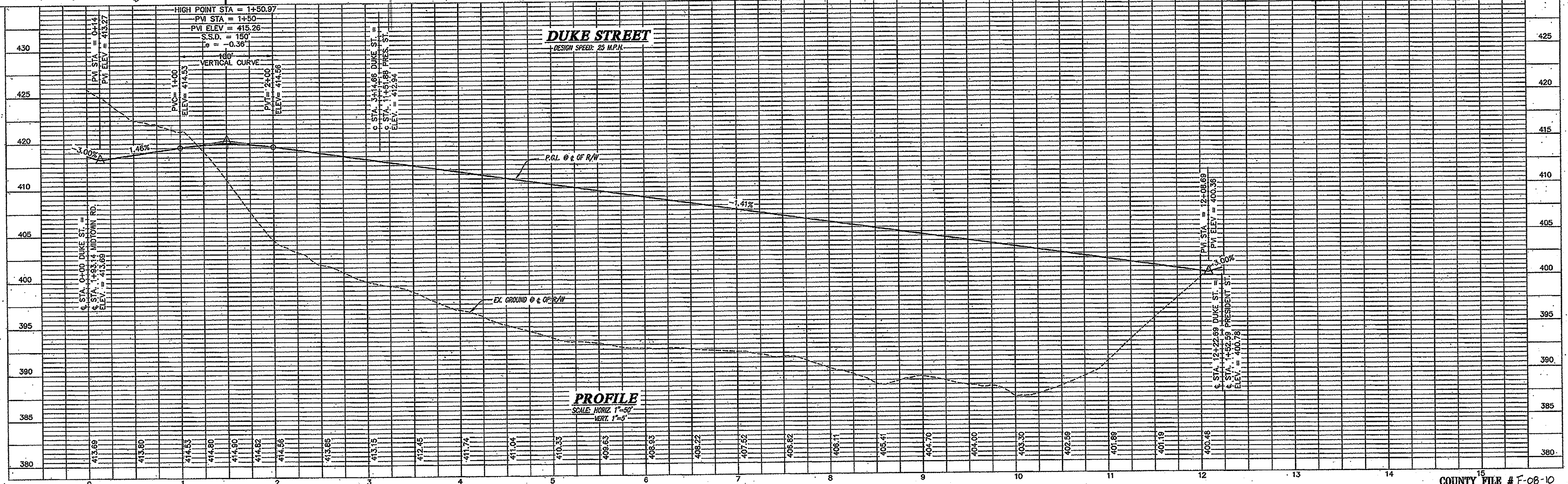
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Date: 5/15/09

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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OWNER:
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 1829 Rusterstown Road
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 Attn: Charlie O'Donovan
 410-484-9400

SCALE AS SHOWN
 DRAWING 6 OF 28
 ZONING MND-3
 JOB No. 02001
 DATE JULY, 2007



PROFILE
 SCALE: HORIZ 1"=50'
 VERT. 1"=5'

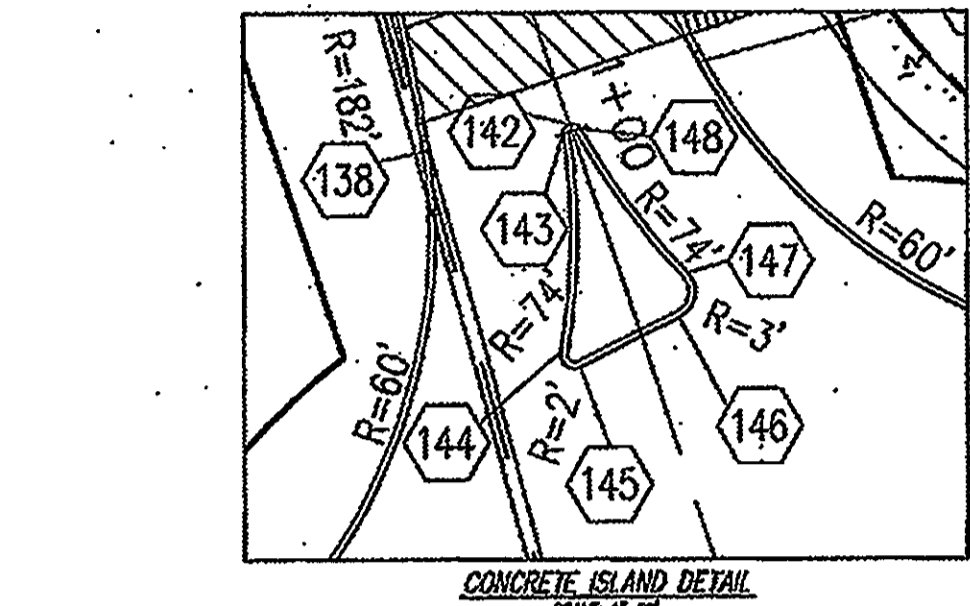
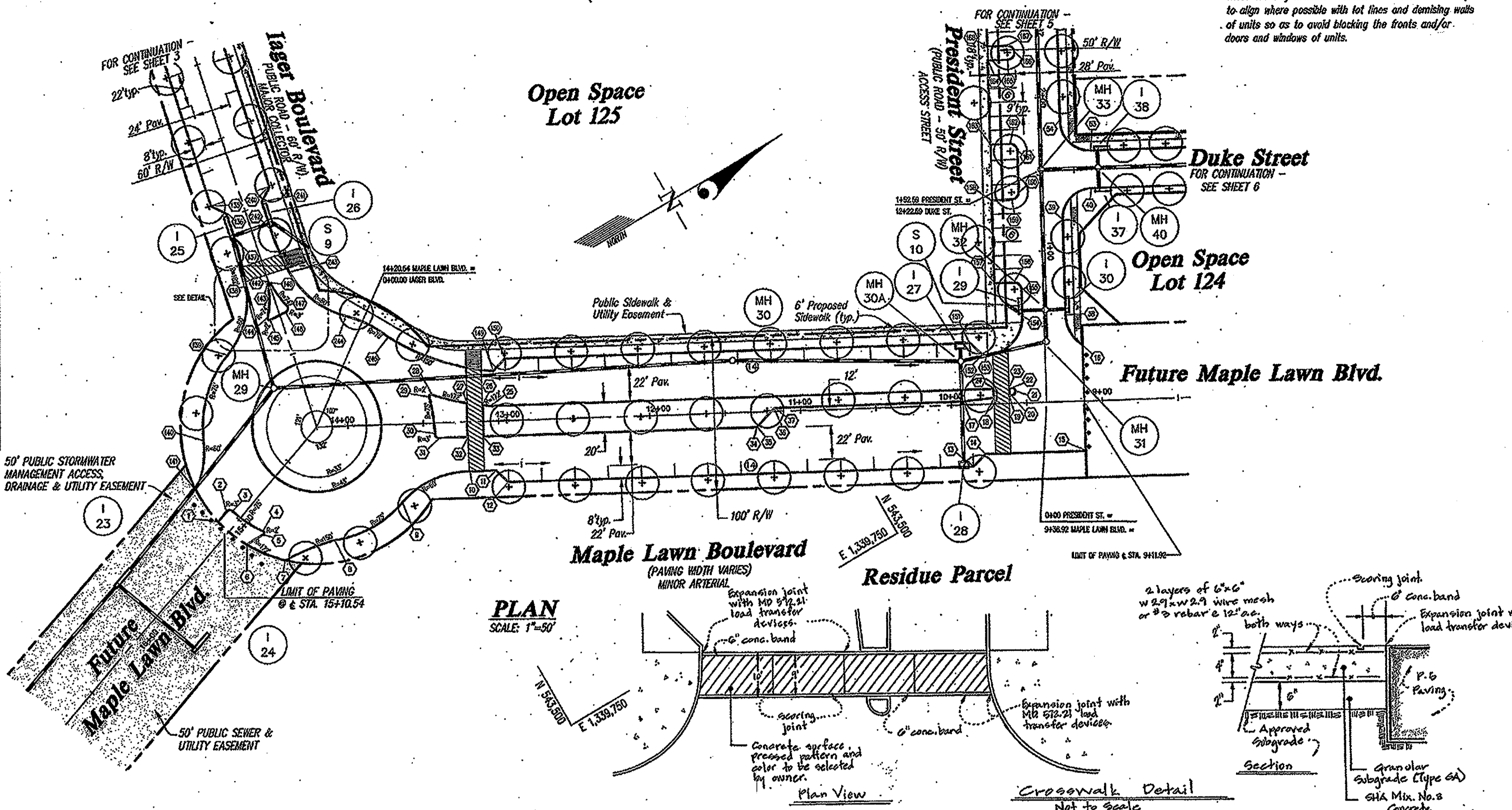
Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & Iager Boulevard 1 tree per 40 linear feet, both sides
 All other streets 1 tree per 30 linear feet, both sides
 Private Alleys No trees required

These are only minimum standards. Trees should be placed to align where possible with lot lines and demising walls of units so as to avoid blocking the fronts and/or doors and windows of units.

STREET TREE INFORMATION				
SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
(+)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Roots

** SEE SHEET 11 FOR STREET TREE REQUIREMENTS AND QUANTITIES.
 SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
 SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

CURB ELEVATION TABLE											
PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.
1	15+09.99	9.98R	399.26	13	13+45.94	16.95R	401.83	21	13+02.54	32.00R	402.10
2	15+01.24	9.97R	399.49	14	13+42.83	6.74L	401.43	22	12+94.54	40.00R	402.26
3	14+98.25	6.71R	399.65	15	13+39.86	10.00L	401.32	23	9+86.54	40.00R	396.88
4	14+85.13	16.98L	399.52	16	13+20.65	10.00L	401.82	24	9+78.54	32.00R	396.93
5	14+97.09	18.73L	399.43	17	13+10.65	10.00L	401.91	25	9+75.92	32.00R	396.87
6	15+09.34	14.67L	399.18	18	11+29.34	10.00L	400.40	26	0+57.00	14.00L	396.55
7	15+00.94	40.46L	399.04	19	11+28.63	9.71L	400.40	27	0+75.09	14.00L	397.19
8	14+68.61	56.72L	399.52	20	11+17.21	1.71R	400.46	28	0+80.09	19.00L	397.53
9	13+65.68	51.14L	400.26	21	11+16.51	2.00R	400.46	29	0+80.09	32.00L	397.82
10	13+20.14	32.07L	400.96	22	0+57.00	14.00R	396.55	30	1+34.09	32.00L	400.32
11	13+02.59	32.00L	401.00	23	1+20.59	14.00R	399.15	31	1+34.09	19.00L	399.93
12	12+94.54	40.00L	400.75	24	1+08.69	12.00L	400.87	32	1+39.09	14.00L	400.05
13	9+86.54	40.00L	396.88	25	1+08.69	12.00R	400.87	33	1+66.09	14.00L	401.71
14	9+77.54	32.00L	396.90	26	1+84.59	14.00R	403.07	34	1+71.09	19.00L	402.20
15	9+11.92	32.00L	395.64	27	1+60.27	20.00L	403.55	35	1+71.09	32.00L	402.59
16	9+12.92	37.00R	395.56	28	1+52.18	12.00L	403.15	36	2+25.09	32.00L	406.32
17	9+19.92	2.00R	397.94	29	1+34.00	12.00L	402.85	37	2+25.09	19.00L	405.93
18	9+17.54	3.75R	397.51	30	1+02.72	14.71L	402.29	38	2+30.09	14.00L	406.11
19	9+61.54	4.80R	397.31	31	0+82.80	41.01L	401.13	39	2+35.09	19.00L	406.82
20	9+58.92	4.76R	397.28	32	14+75.40	51.14R	399.80	40	2+35.09	32.00L	407.01
21	9+58.92	8.00R	397.28	33	15+03.84	34.07R	396.50	41	1+60.27	20.00R	403.55
22	9+58.92	10.00R	397.36	34	1+00.75	0.00	402.60	42	1+62.27	12.00R	403.15
23	9+61.54	9.99R	397.42	35	0+99.93	0.88L	402.56	43	1+34.00	12.00R	402.85
24	9+71.54	9.99R	397.63	36	0+78.31	8.47L	402.06	44	1+02.72	14.71R	402.74
25	13+04.70	10.11R	401.78	37	0+76.18	7.00L	402.07	45	13+99.27	71.92R	402.80
26	13+10.65	10.80R	401.79	38	0+77.84	4.32R	402.28	46	13+71.68	56.90R	402.60
27	13+20.65	12.44R	401.80	39	0+82.06	6.61R	402.45				
28	13+43.99	18.70R	401.88	40	0+99.93	0.98R	402.61				



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXP. DATE: MAY 28, 2008.

Howard County Seal

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Walter Z. ... 9-7-07
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

... 8/15/07
 Chief, Division of Land Development Date

... 8/15/07
 Chief, Development Engineering Division Date

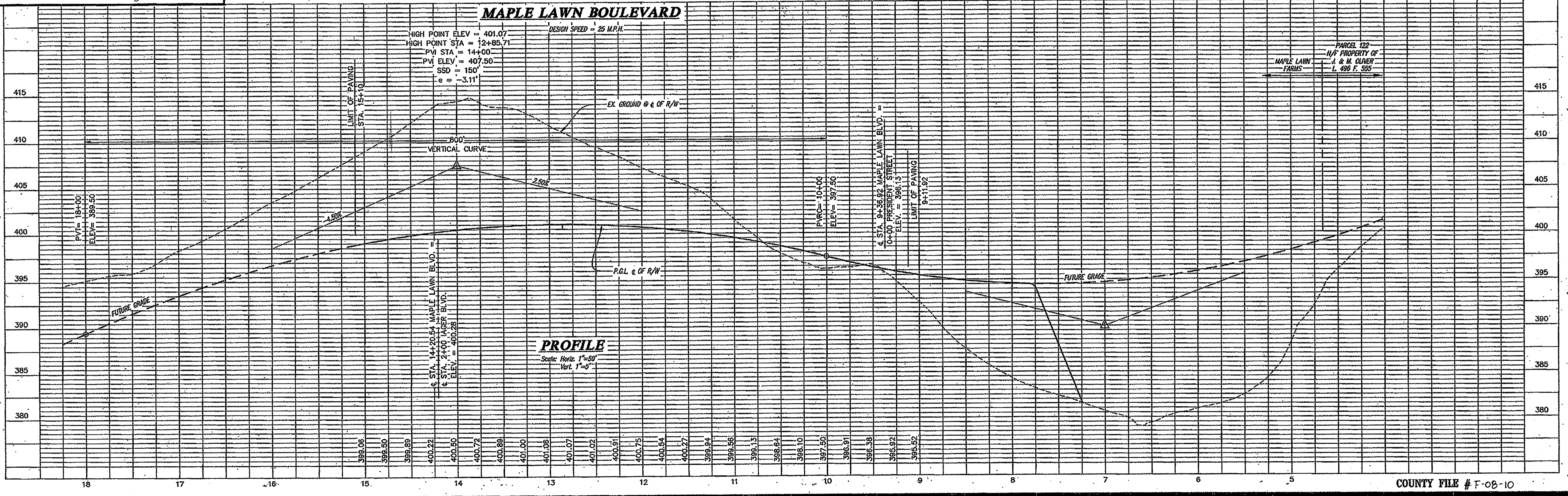
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 Baltimore, MD 21208
 Attn: Charlie O'Donovan
 410-484-8400

SCALE AS SHOWN
 DRAWING 7 OF 28
 ZONING MKD-3
 JOB No. 02001
 DATE JULY, 2007



PROFESSIONAL CERTIFICATION
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Midtown Rd
 (PUBLIC ROAD - 50' R/W)
 ACCESS STREET

President St
 (PUBLIC ROAD - 50' R/W)
 ACCESS STREET

Harrison St
 (PUBLIC ROAD - 46' R/W)
 ACCESS STREET

Chesapeake Street
 (PUBLIC ROAD - 46' R/W)
 ACCESS STREET

Midtown Rd
 (PUBLIC ROAD - 50' R/W)
 ACCESS STREET

President St
 (PUBLIC ROAD - 50' R/W)
 ACCESS STREET

STREET TREE SCHEDULE

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	NO. OF TREES PROVIDED	REMARKS
⊕	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads
⊕	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	**	B & B Full Heads

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 SEE SHEET 11 & 12 FOR STREET LIGHT SCHEDULE.
 SEE SHEET 13 FOR STORM DRAIN SIZE, TYPE AND LENGTH.

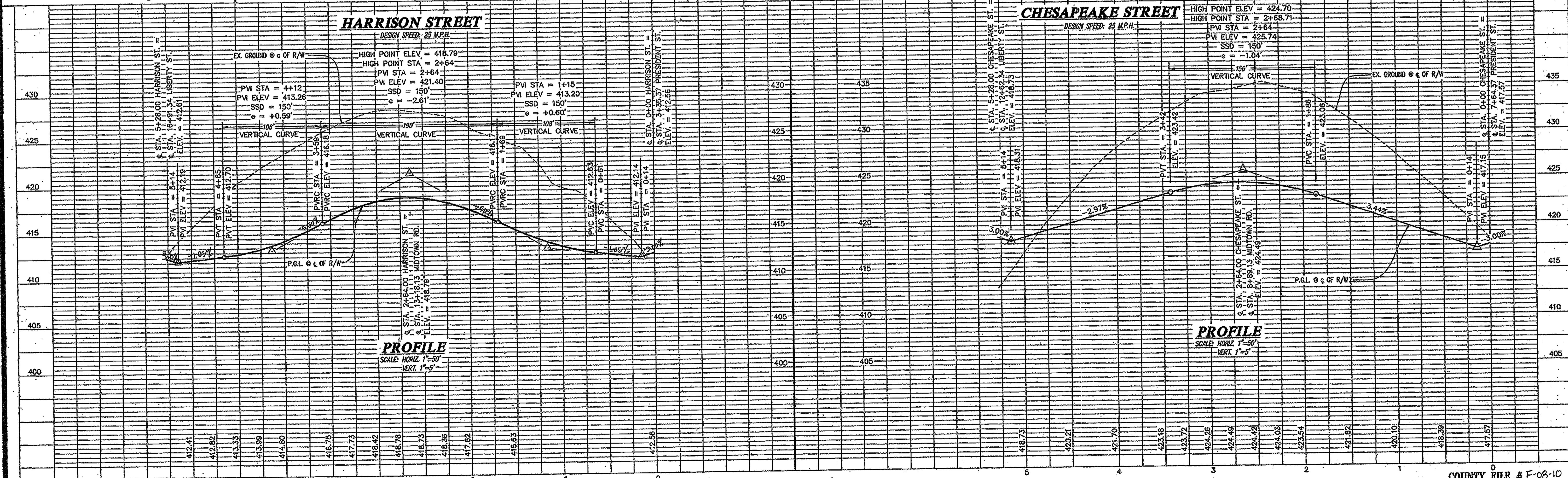
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways *[Signature]* 8-7-07 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development *[Signature]* 5/18/07 Date
 Chief, Development Engineering Division *[Signature]* 6/10/07 Date

Minimum tree quantities and preferred spacing are as follows:
 Maple Lawn Blvd. & Roger Blvd. 1 tree per 40 linear feet, both sides.
 All other streets: 1 tree per 30 linear feet, both sides.
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 These are only minimum standards. Trees should be placed to align where possible with lot lines and damming walls of units so as to avoid blocking the fronts and/or doors and windows of units.

CURB ELEVATION TABLE

PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.	PT. NO.	STATION	OFFSET	ELEV.				
⊕	2+78.87	14.00R	408.65	⊕	8+58.43	14.00R	425.32	⊕	11+88.27	28.00R	420.42	⊕	0+94.00	30.00L	413.88	⊕	2+55.00	12.00L	418.99	⊕	4+34.00	17.00L	413.37
⊕	3+08.56	14.00R	411.35	⊕	9+21.13	14.00R	424.43	⊕	12+12.27	28.00R	420.08	⊕	0+94.00	17.00L	413.49	⊕	2+73.00	12.00L	418.99	⊕	4+34.00	30.00L	413.91
⊕	8+45.95	13.95R	418.26	⊕	12+86.13	14.00R	418.46	⊕	12+27.27	14.00R	419.23	⊕	0+99.00	12.00L	413.46	⊕	2+78.00	17.00L	419.12	⊕	4+73.00	30.00L	413.93
⊕	8+45.43	12.00R	418.61	⊕	2+98.00	12.00R	418.68	⊕	17+46.61	14.00R	412.22	⊕	1+04.00	17.00L	413.76	⊕	2+78.00	30.00L	419.41	⊕	4+73.00	17.00L	412.93
⊕	8+41.39	12.00R	418.57	⊕	4+94.00	12.00R	412.63	⊕	17+76.27	14.00R	411.93	⊕	1+04.00	30.00L	414.15	⊕	3+23.00	30.00L	418.46	⊕	4+78.00	12.00L	412.80
⊕	8+12.94	12.00R	418.29	⊕	4+94.00	12.00R	418.13	⊕	2+30.09	14.00L	406.11	⊕	1+48.00	30.00L	415.83	⊕	3+23.00	17.00L	418.07	⊕	4+84.00	12.00L	412.63
⊕	7+96.37	12.00L	418.12	⊕	2+98.00	12.00R	418.13	⊕	2+30.09	18.00L	406.62	⊕	1+48.00	17.00L	415.44	⊕	3+28.00	12.00L	417.75	⊕	17+22.35	12.15L	412.27
⊕	7+32.37	14.00L	417.42	⊕	2+98.00	12.00R	418.13	⊕	2+35.08	32.00L	407.01	⊕	1+54.00	12.00L	415.52	⊕	3+33.00	17.00L	417.70	⊕	17+41.97	14.00L	412.32
⊕	3+67.37	14.00L	413.68	⊕	2+30.00	12.00R	424.56	⊕	2+78.87	32.00L	410.10	⊕	1+58.00	17.00L	415.99	⊕	3+33.00	30.00L	418.09	⊕	17+46.86	19.00L	412.58
⊕	0+34.00	12.00R	412.58	⊕	0+32.00	12.00R	418.00	⊕	2+86.90	32.00L	410.58	⊕	1+58.00	30.00L	416.32	⊕	3+69.00	30.00L	416.33	⊕	17+46.82	32.00L	412.38
⊕	2+30.00	12.00R	418.68	⊕	2+98.00	12.00L	424.72	⊕	2+89.80	18.00L	410.29	⊕	1+95.00	30.00L	416.09	⊕	3+69.00	17.00L	415.94	⊕	17+82.72	32.00L	411.82
⊕	12+88.13	14.00L	418.46	⊕	2+98.00	12.00L	424.56	⊕	2+90.42	14.00L	410.37	⊕	3+78.00	17.00L	417.70	⊕	3+78.00	12.00L	415.53	⊕	17+82.72	19.00L	411.71
⊕	9+21.13	14.00L	424.43	⊕	0+34.00	12.00L	418.07	⊕	3+94.74	14.00L	411.41	⊕	2+06.00	12.00L	417.73	⊕	3+79.00	30.00L	415.84	⊕	17+87.72	14.00L	411.82
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⊕	7+91.43	14.00L	426.20	⊕	12+94.33	14.00L	418.45	⊕	0+50.00	12.00L	412.75	⊕	2+06.00	30.00L	418.46	⊕	4+24.00	30.00L	414.17	⊕			
⊕	7+62.98	14.00L	426.59	⊕	12+30.33	14.00L	419.36	⊕	0+55.00	17.00L	412.89	⊕	2+50.00	30.00L	419.41	⊕	4+24.00	17.00L	413.78	⊕			
⊕	7+91.43	14.00R	426.20	⊕	11+73.27	14.00R	420.17	⊕	0+55.00	30.00L	412.99	⊕	2+50.00	17.00L	419.12	⊕	4+29.00	12.00L	413.48	⊕			



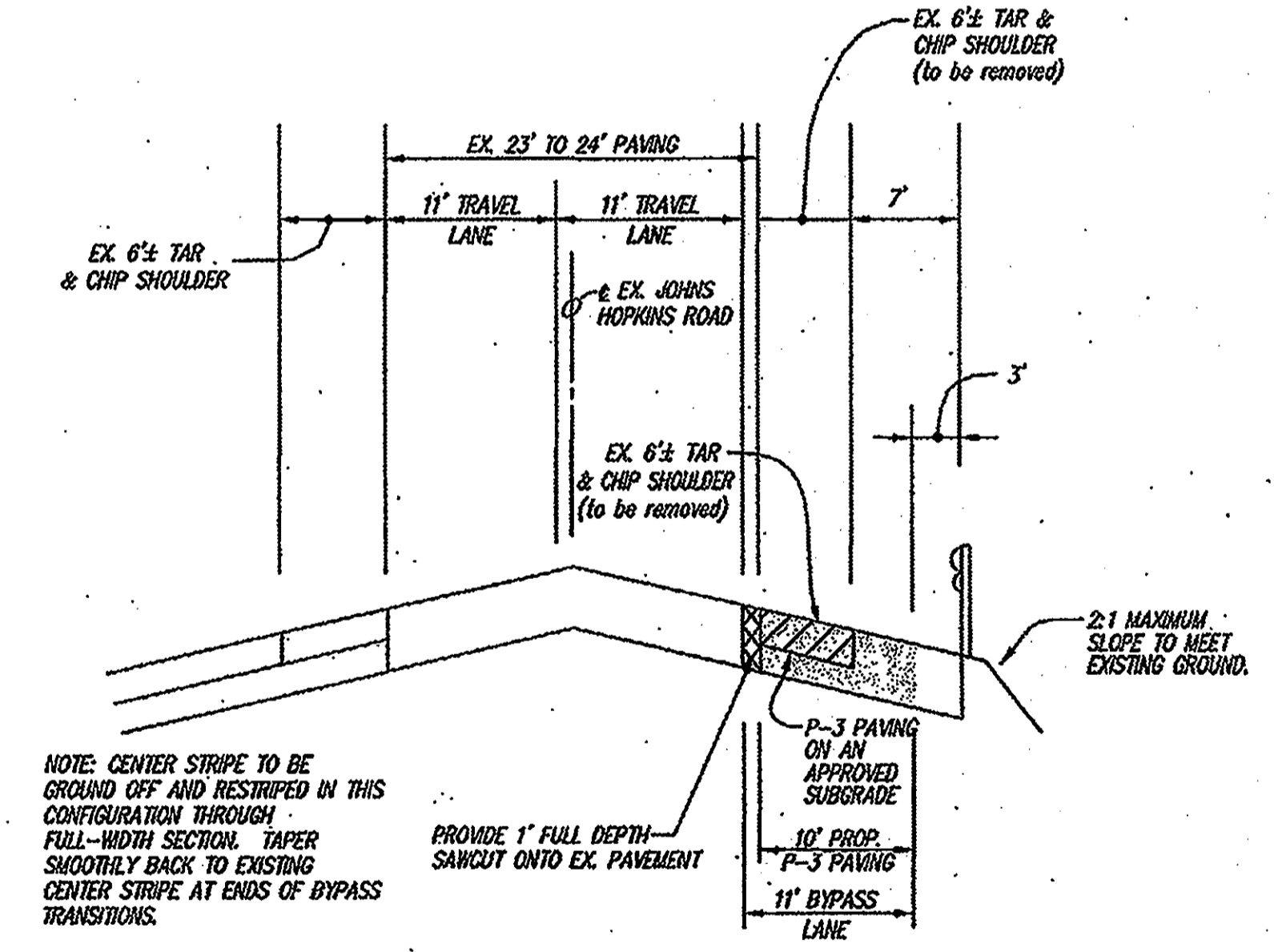
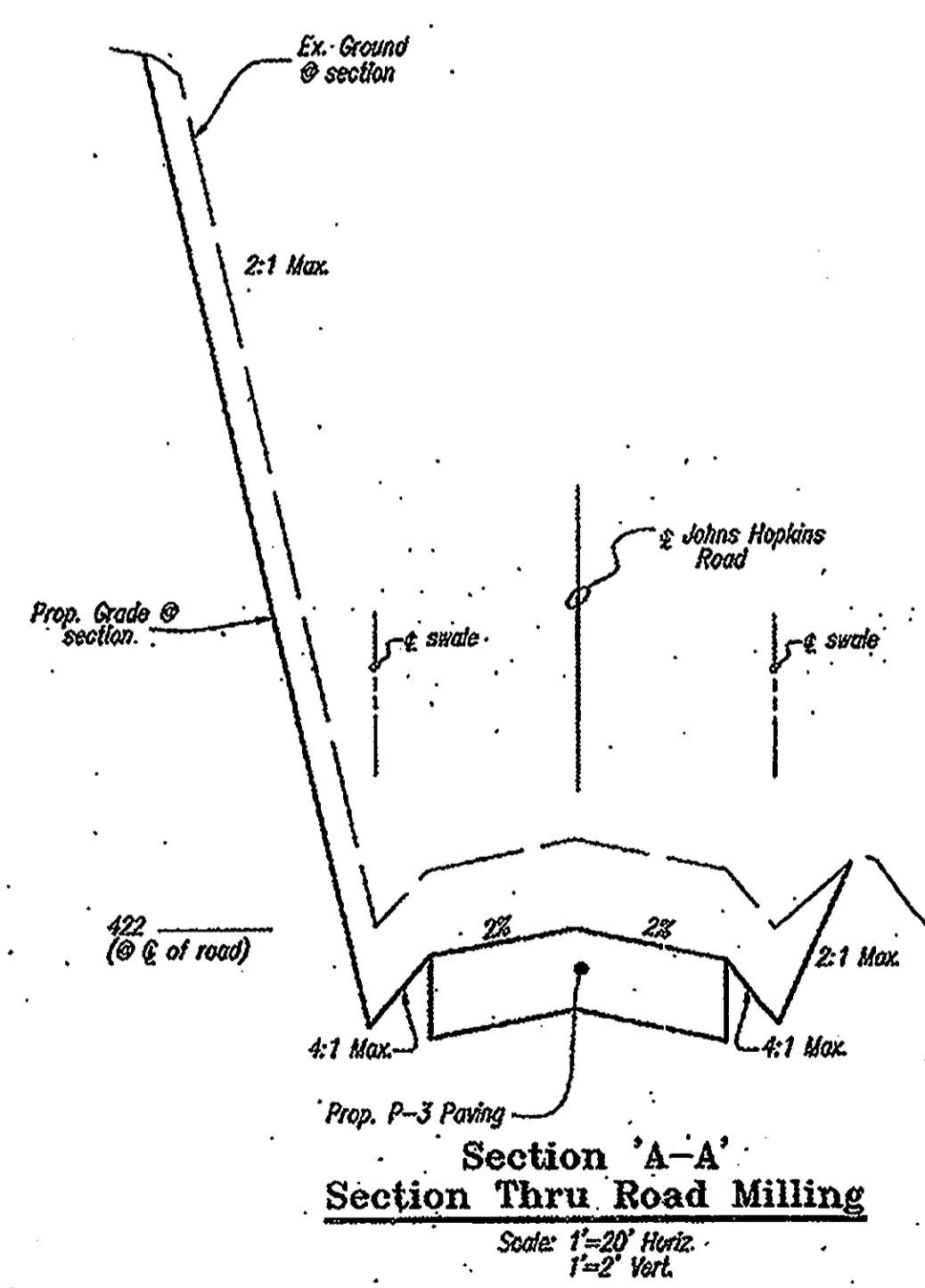
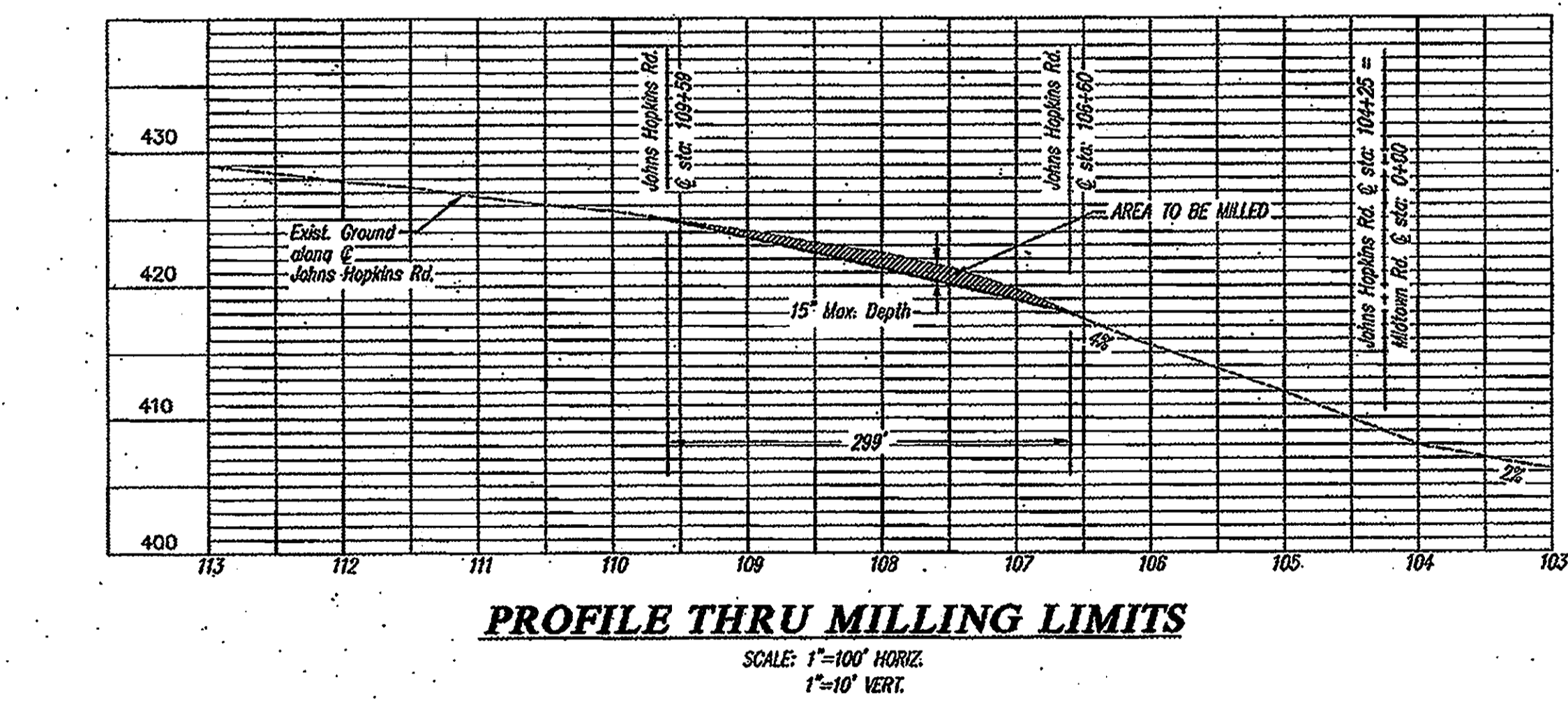
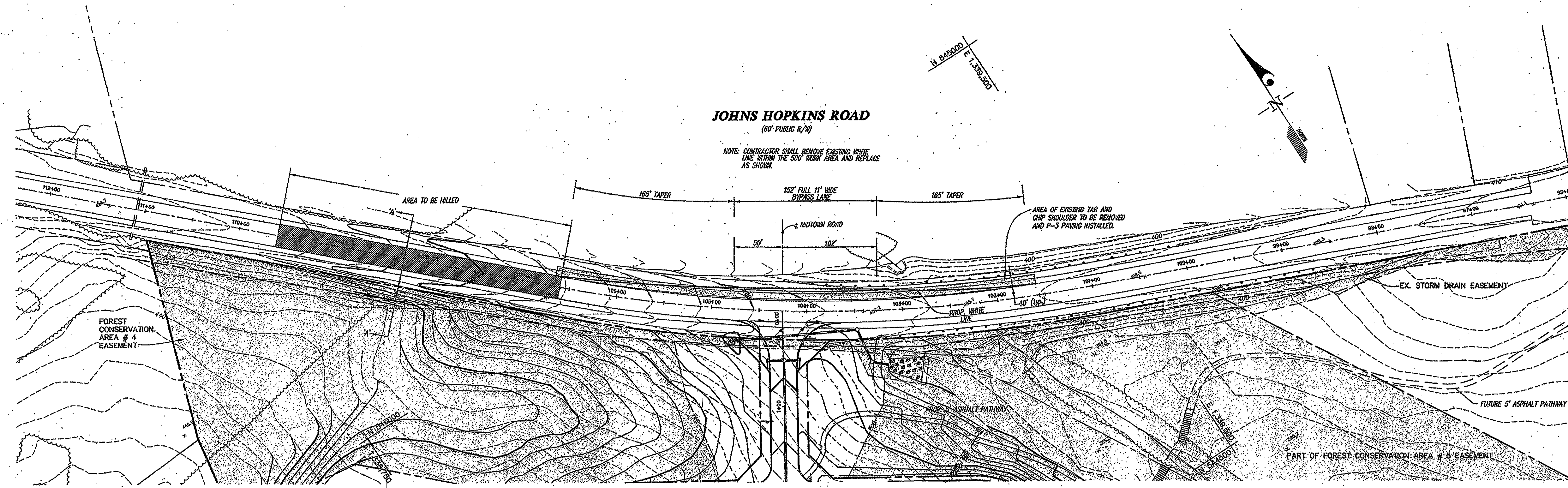
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DESIGNED: [Signature] 8-7-07
 DRAWN: [Signature] 8-7-07
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SCALE AS SHOWN
 DRAWING 8 OF 28
 ZONING MD-3
 JOB NO. 02001



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William A. ... 8-7-07
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Candy ... 8/5/07
 Chief, Division of Land Development Date

... 8/10/07
 Chief, Development Engineering Division Date

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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-889-1020 EQ/VA: 301-999-2524 FAX: 301-421-4165

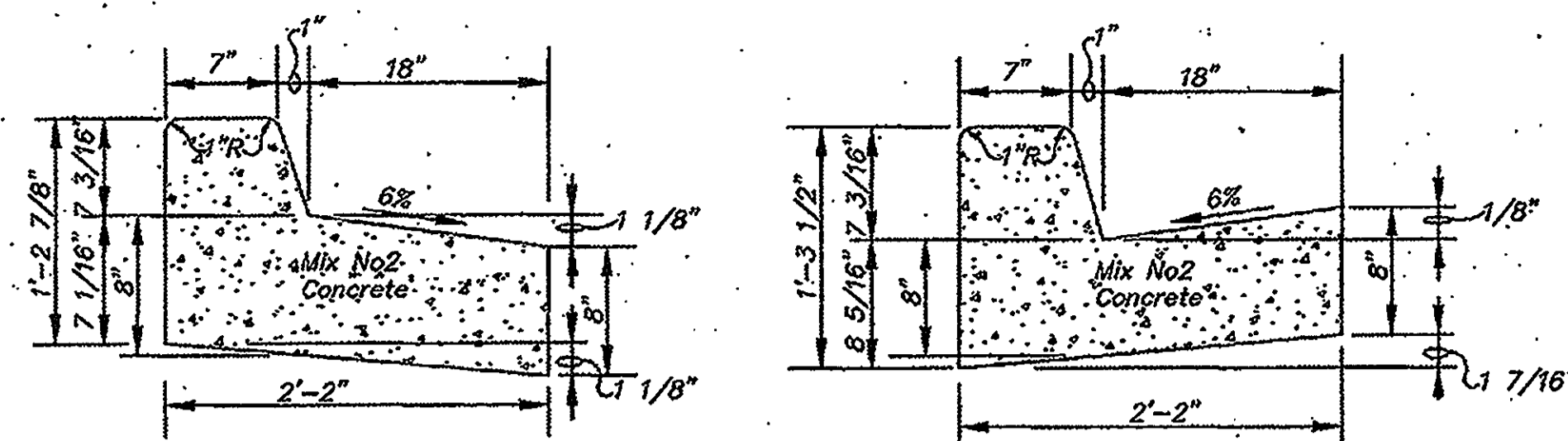
DATE	REVISION	BY	APPR.
		JAL	

PREPARED FOR:
 G & R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, Md. 21208
 Attn: Charlie O'Donovan
 410-484-8400

JOHNS HOPKINS ROAD IMPROVEMENT PLAN
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 P. 121 (L. 4213 R. 95), P. 450 (L. 1908 R. 623), P. 205 (L. 894 R. 590)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

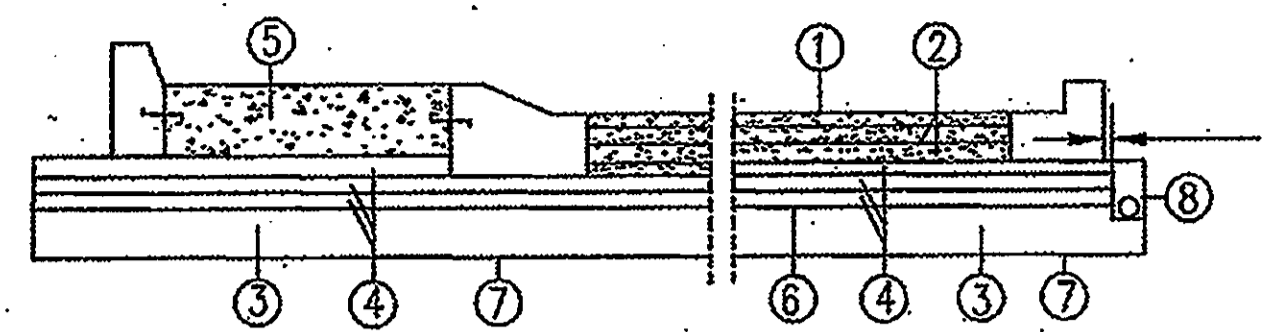
SCALE	ZONING	E.L. FILE NO.
1"=50'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	15,16, 21 & 22	9 OF 28

L:\CAD\DRAWINGS\2007\ROAD\ROADS-5609.dwg 7/5/2007 3:07:11 PM EDT



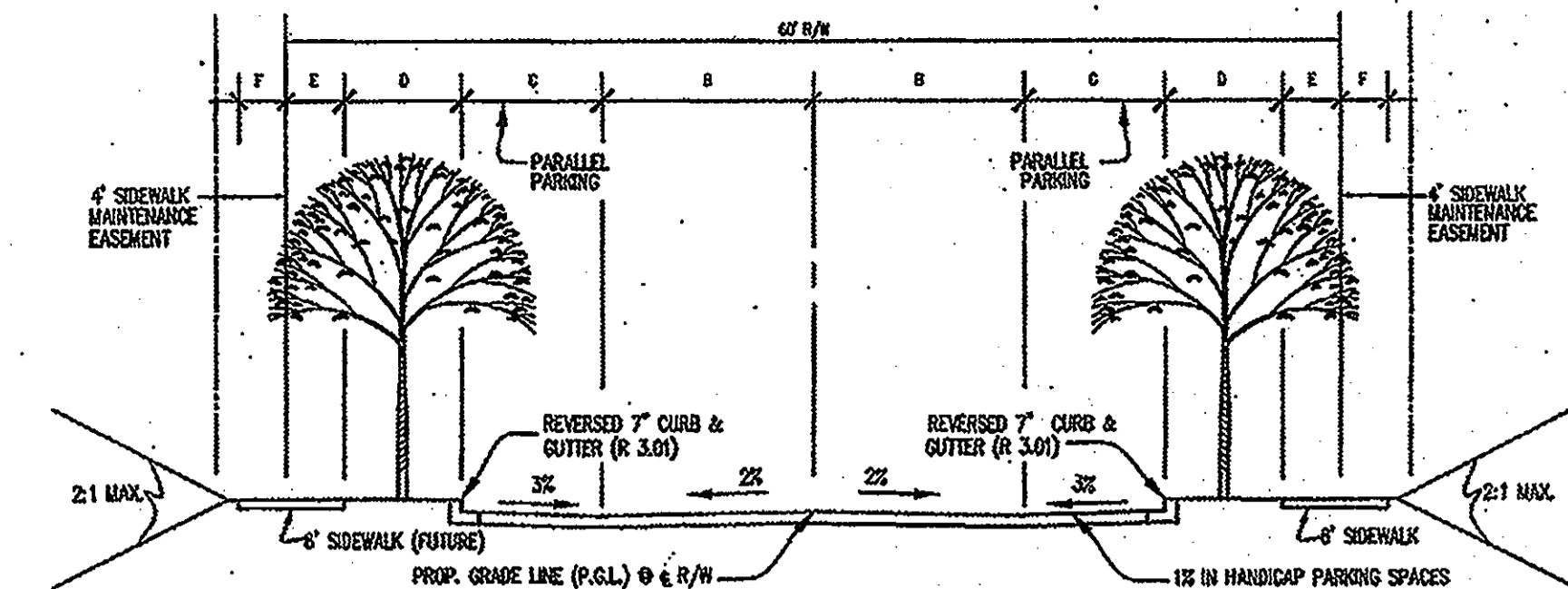
Reverse 7" Combination Curb & Gutter N.T.S.

Standard 7" Combination Curb & Gutter N.T.S.



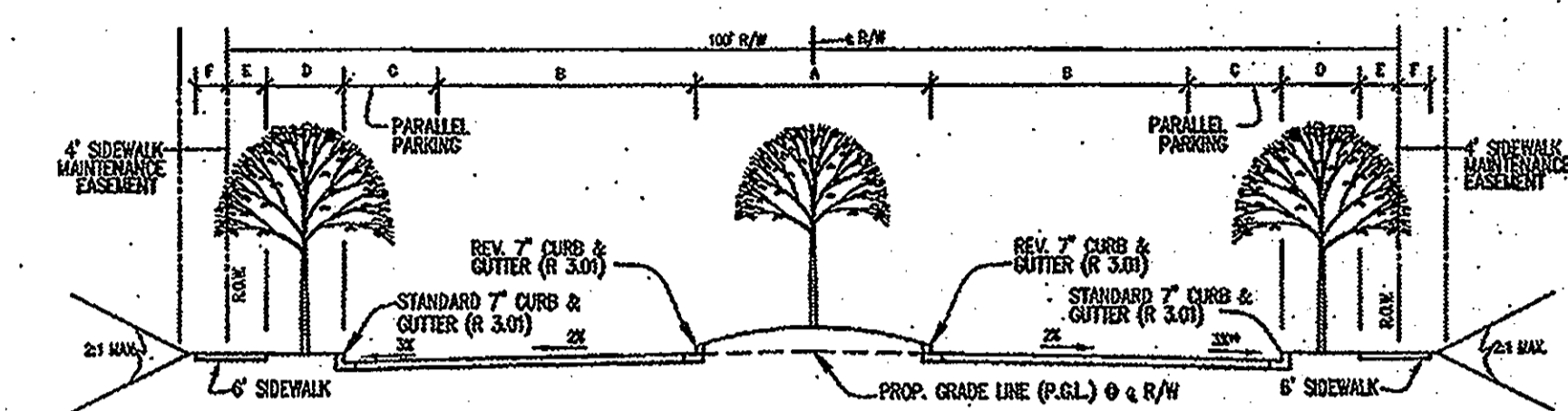
ROUNDABOUT TRUCK APRON

- 2 1/2" HOT MIX ASPHALT SUPERPAVE 12.5 MM FOR SURFACE COURSE PG 70-22 LEVEL 3
- 3" HOT MIX ASPHALT SUPERPAVE 25.0 MM FOR BASE COURSE PG 70-22
- 12" GEOTEXTILE STABILIZED SUBGRADE USING AGGREGATE BASE
- 4" BASE COURSE USING GRADED AGGREGATE BASE
- 8" 20' SPACED REINFORCED CONCRETE PAVEMENT MIX NO. 7 REINFORCED WITH 10'0" - HEAVY GRADE 60 STEEL MESH REINFORCEMENT (COLORED AND STAMPED)
- TOP OF SUBGRADE
- LIMIT OF CLASS 1 EXCAVATION
- LONGITUDINAL UNDERDRAINS
- 2" HDW HDY TRAFFIC BARRIER 12" HDW HDY TRAFFIC BARRIER
- PLACE 1" DIAMETER DOWEL BARS BETWEEN EACH SLAB AT 12" INTERVAL. PLACE 1" LONG BARS AT 36" INTERVAL BETWEEN THE TYPE 0 CURB & GUTTER AND THE CONCRETE TRUCK APRON.
- LONGITUDINAL UNDERDRAINS SHALL BE WRAPPED WITH CLASS 50 TYPE # GEOTEXTILE.



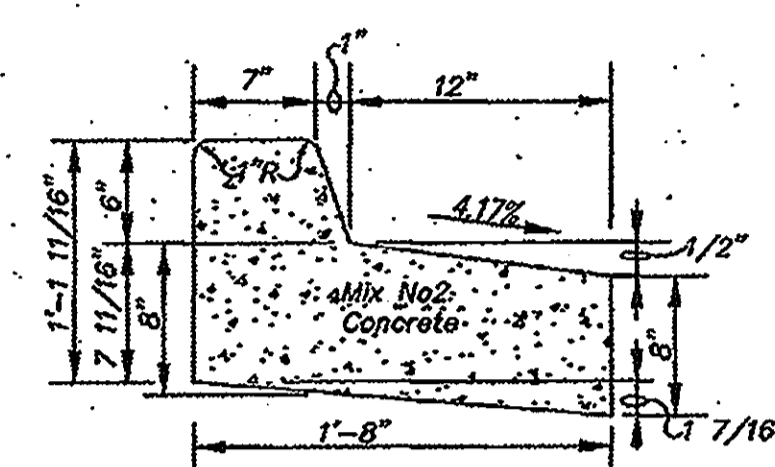
ROAD INFORMATION

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
IAGER BOULEVARD	0+00 TO 5+27.89	MAJOR COLLECTOR	25 MPH	12'	8'	6'	5'	4'	4'	60'	P-5

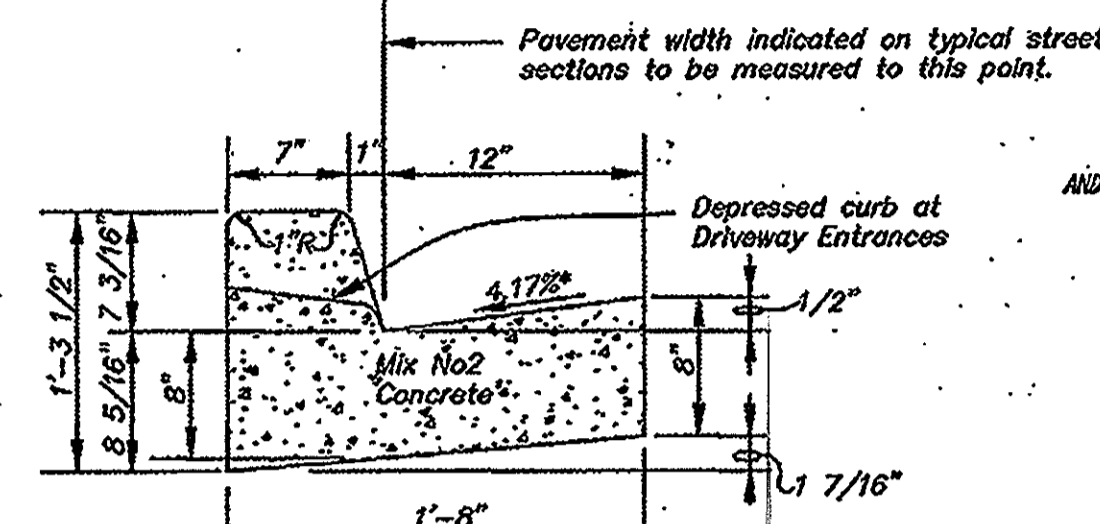


TYPICAL ROAD SECTION & ROAD INFORMATION

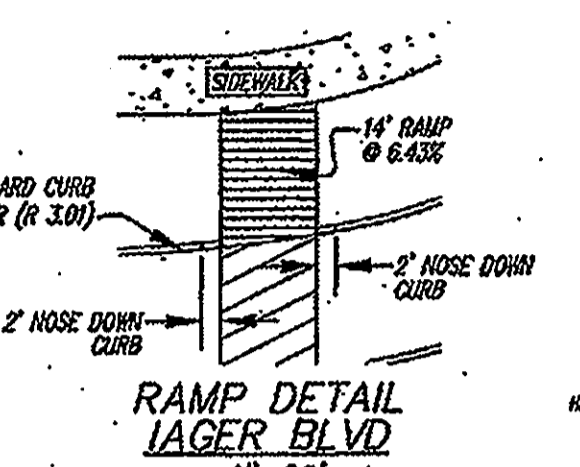
ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
MAPLE LAWN BLVD	5+11.52 TO 15+10.54	MAJOR ARTERIAL	25 MPH	20'	22'	8'	6'	5'	4'	100'	P-5



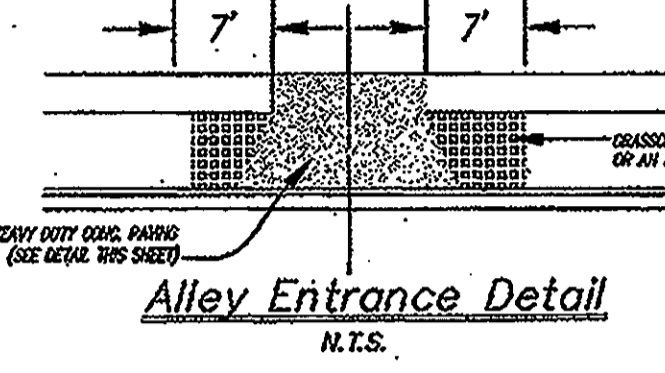
Reverse 6" Combination Curb & Gutter N.T.S.



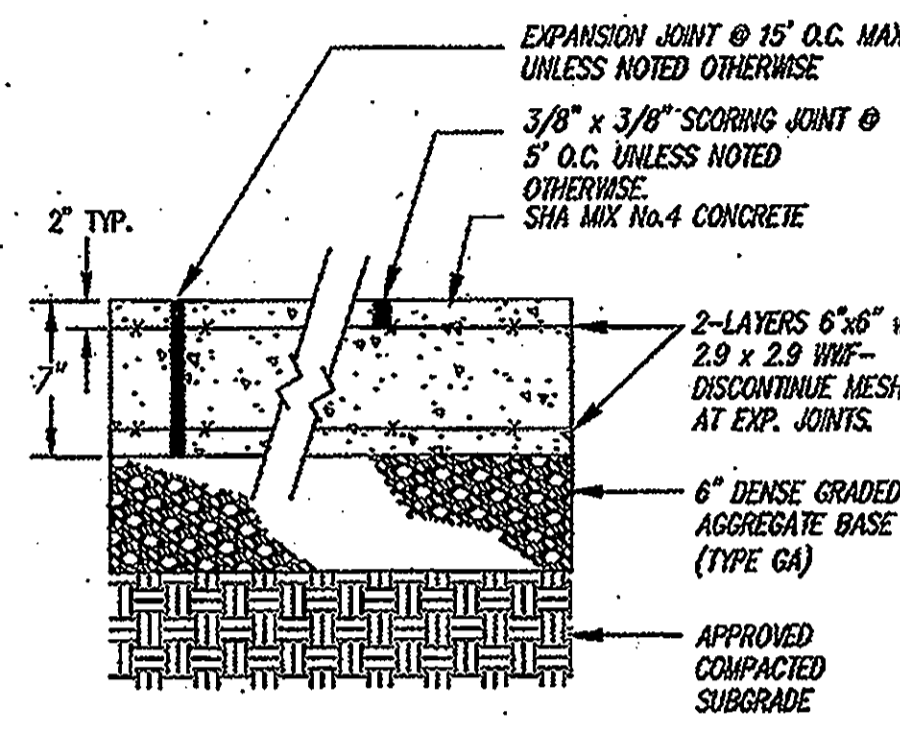
Standard 6" Combination Curb & Gutter N.T.S.



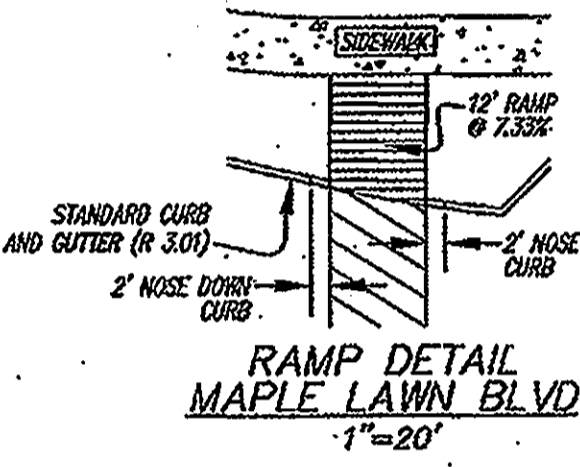
RAMP DETAIL IAGER BLVD 1"=20'



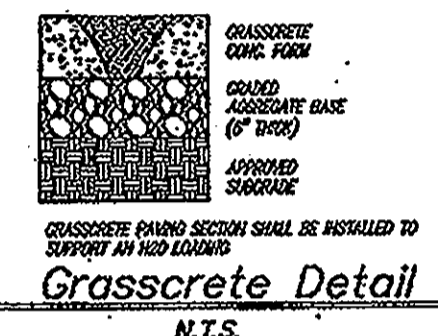
Alley Entrance Detail N.T.S.



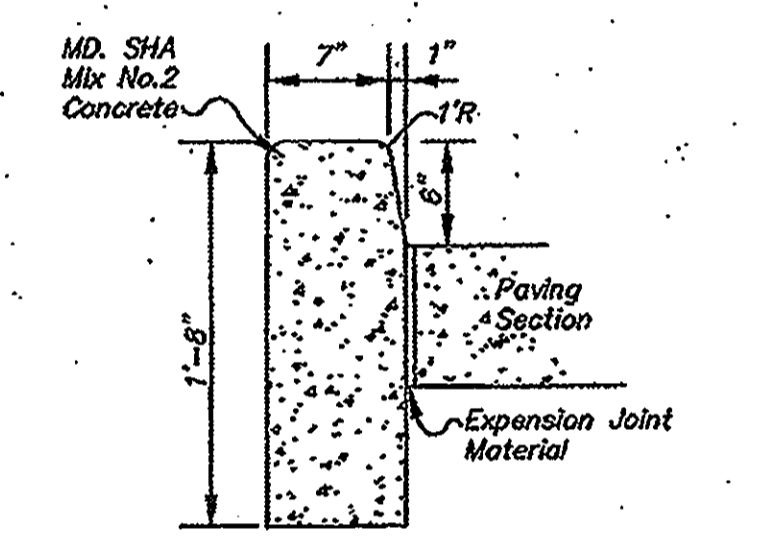
Heavy Duty Concrete Paving N.T.S.



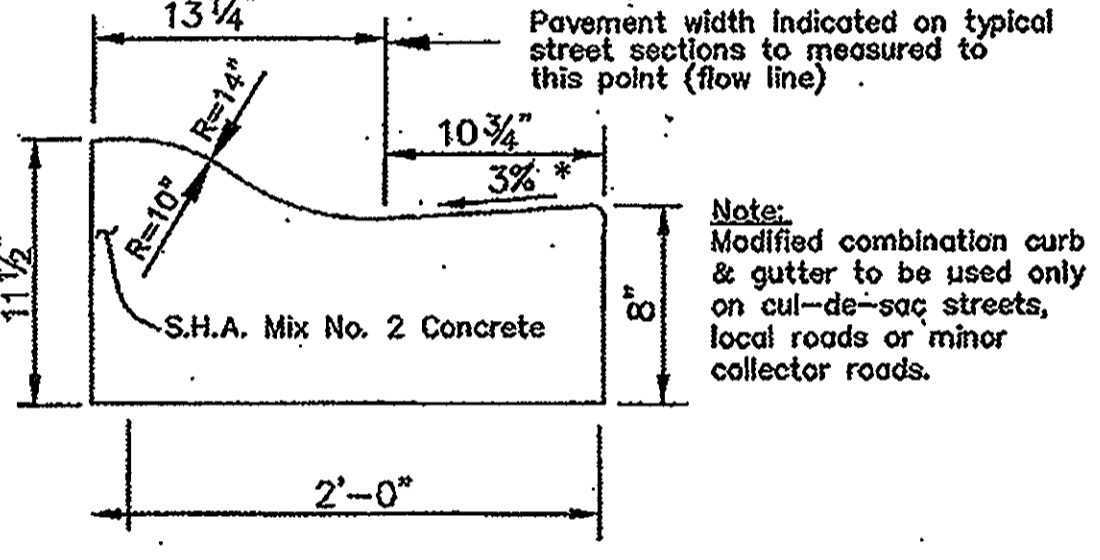
RAMP DETAIL MAPLE LAWN BLVD 1"=20'



Grasscrete Detail N.T.S.

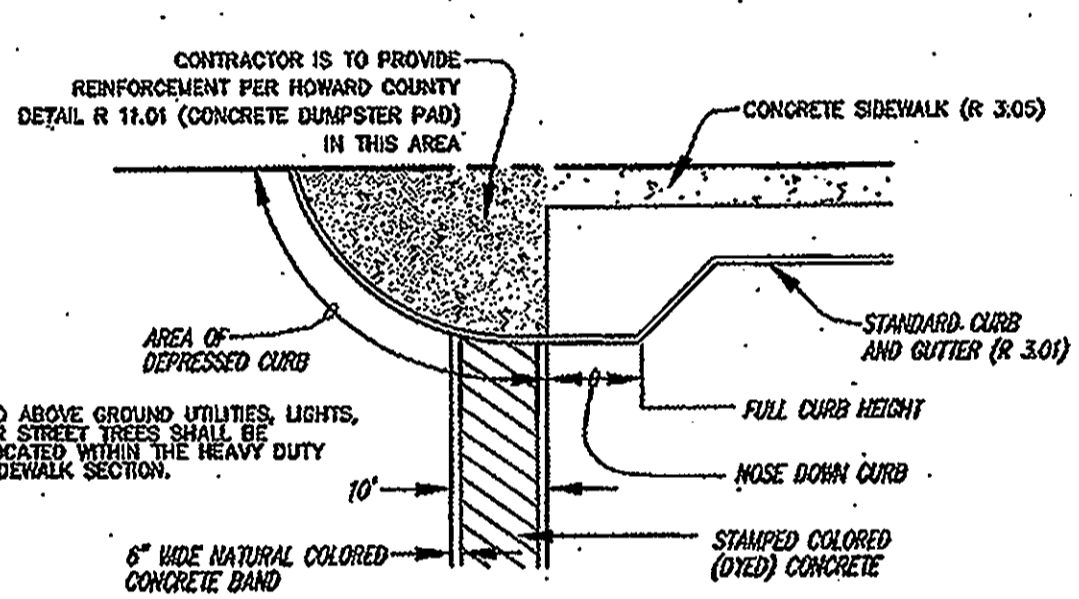


Barrier Curb (on-site) N.T.S.



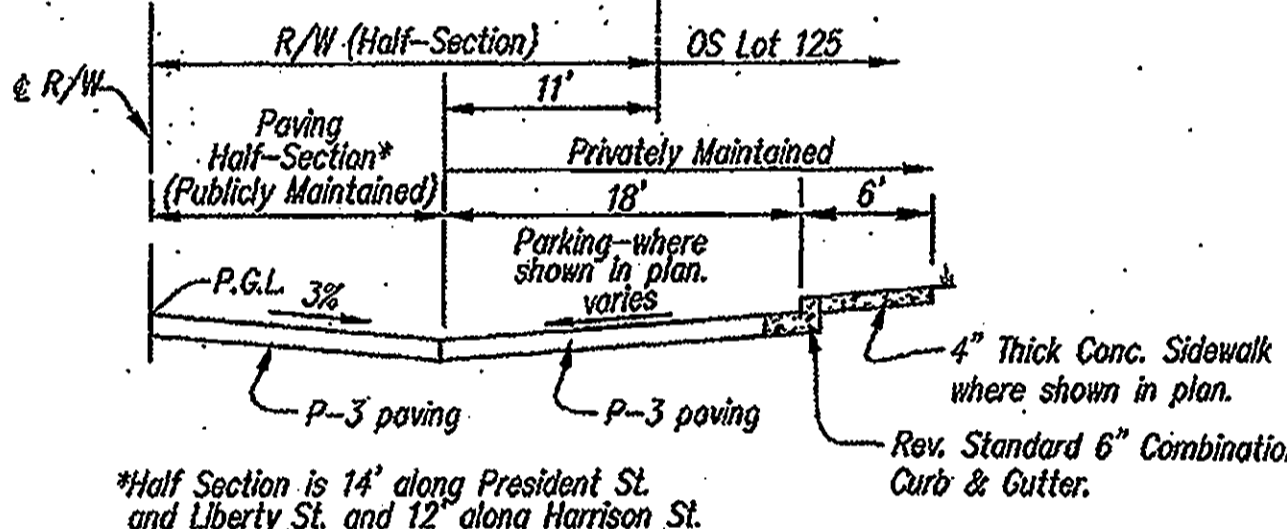
Modified Combination Curb & Gutter

Note: Modified combination curb & gutter to be used only on cul-de-sac streets, local roads or minor collector roads.

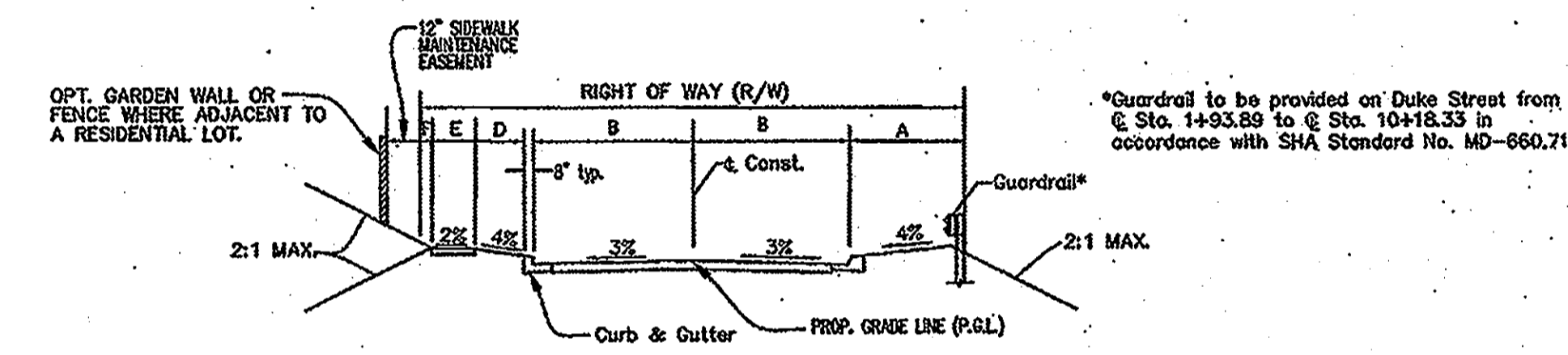


TYPICAL RAMPING/ CROSSWALK DETAIL N.T.S.

Note: See sheet 7 for enlargement of crosswalk detail.



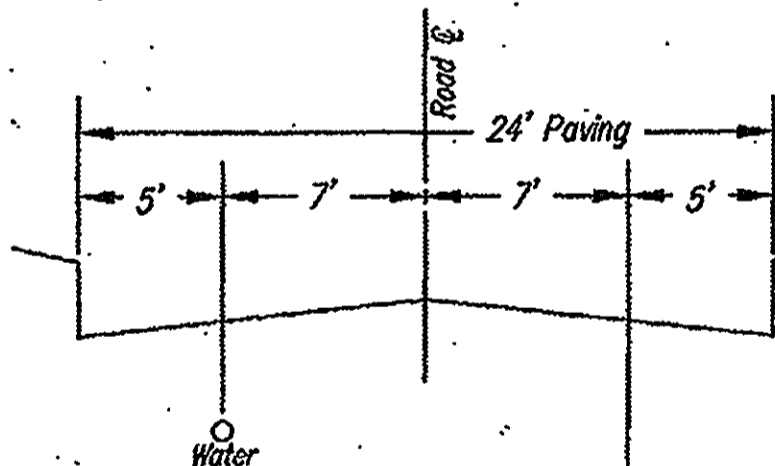
Typical Half Section Parking Adjacent to Roadway No Scale



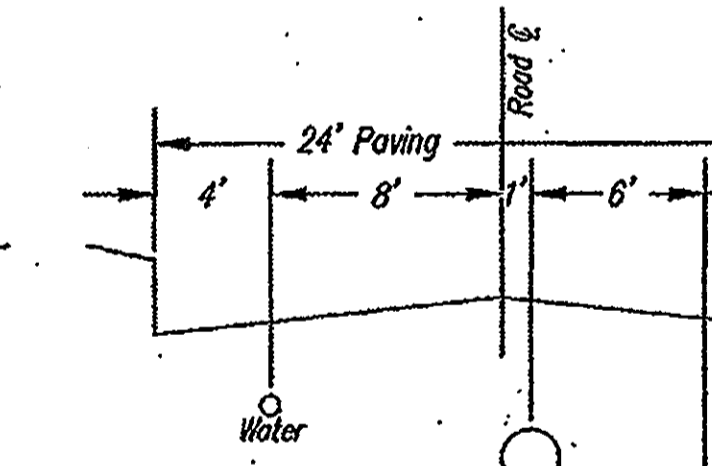
TYPICAL ROAD SECTION FOR DUKE & LIBERTY STREETS NOT TO SCALE

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
DUKE STREET	0+00 TO 12+22.69	ACCESS STREET	25 MPH	5'	12'	8'	4'	4'	4'	40'	P-3
LIBERTY STREET	0+00 TO 2+76	ACCESS STREET	25 MPH	5'	12'	8'	4'	4'	4'	40'	P-3

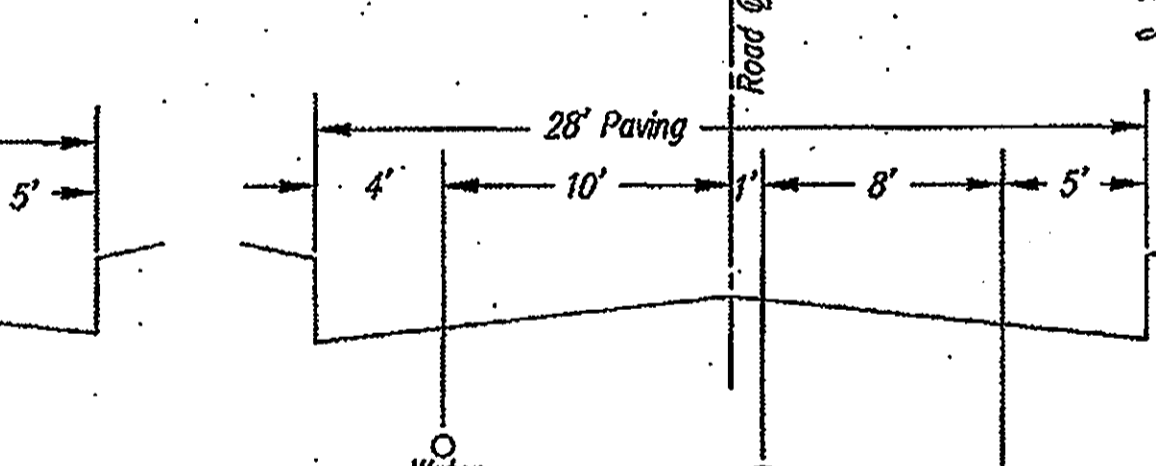
LIBERTY STREET TRANSITIONS FROM 40' R/W TO 46' R/W FROM 2+76 TO 3+33



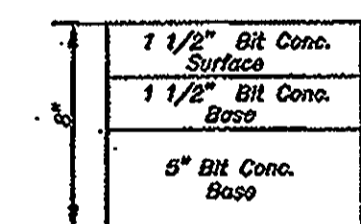
Typical Utility Locations 24' Paving Width (No Storm Drain) N.T.S.



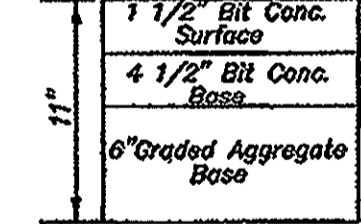
Typical Utility Locations 24' Paving Width (With Storm Drain) N.T.S.



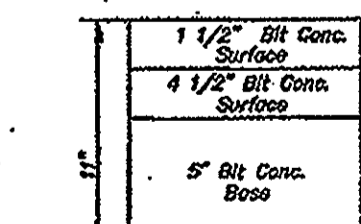
Typical Utility Locations 28' Paving Width N.T.S.



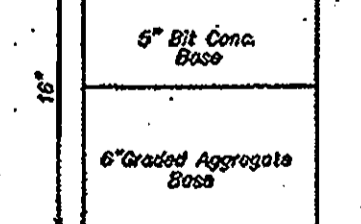
P-3 Full Depth Bituminous Concrete For all Alleys and Access Streets N.T.S.



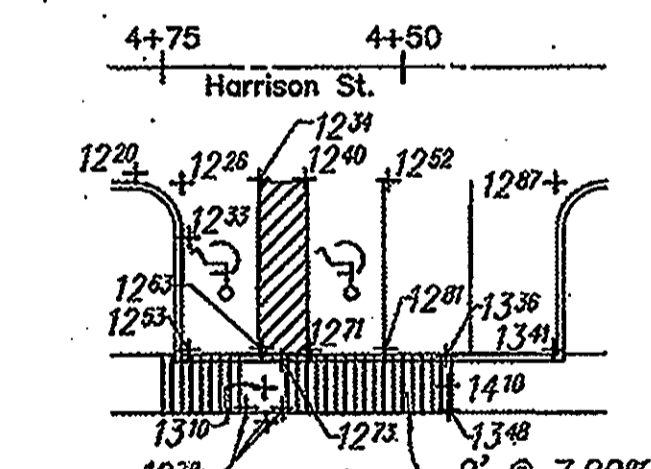
P-3 Granular Base (Alternate) For all Alleys and Access Streets N.T.S.



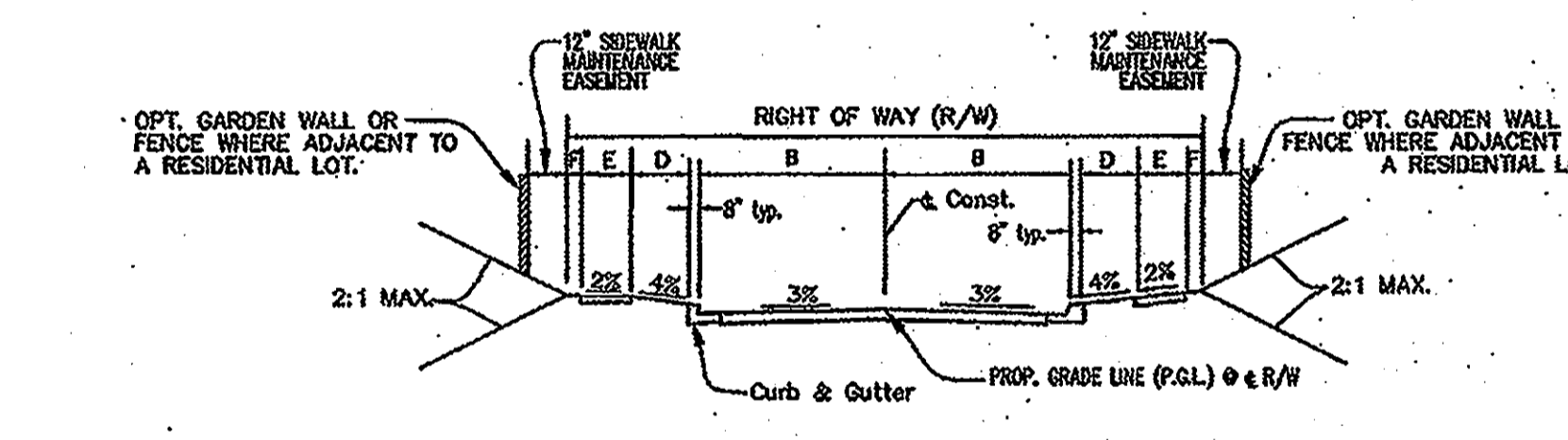
P-5 Full Depth Bituminous Concrete N.T.S.



P-5 Granular Base (Alternate) N.T.S.



Handicap Ramp Detail Scale: 1"=20'



TYPICAL ROAD SECTION FOR MIDTOWN ROAD, LIBERTY, PRESIDENT, HARRISON & CHESAPEAKE STREETS NOT TO SCALE

TYPICAL ROAD SECTION & ROAD INFORMATION

ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
MIDTOWN ROAD	0+00 TO 15+12.13	ACCESS STREET	25 MPH	14'	8'	4'	4'	4'	4'	50'	P-3
LIBERTY STREET	3+33 TO 10+83.81	ACCESS STREET	25 MPH	12'	8'	4'	4'	4'	4'	40'	P-3
LIBERTY STREET	11+22.27 TO 19+51.92	ACCESS STREET	25 MPH	14'	8'	4'	4'	4'	4'	50'	P-3
PRESIDENT STREET	0+00 TO 7+64.37	ACCESS STREET	25 MPH	14'	8'	4'	4'	4'	4'	50'	P-3
PRESIDENT STREET	7+64.37 TO 11+51.88	ACCESS STREET	25 MPH	12'	8'	4'	4'	4'	4'	40'	P-3
HARRISON STREET	0+00 TO 5+28.00	ACCESS STREET	25 MPH	12'	8'	4'	4'	4'	4'	40'	P-3
CHESAPEAKE STREET	0+00 TO 5+28.00	ACCESS STREET	25 MPH	12'	8'	4'	4'	4'	4'	40'	P-3

LIBERTY STREET TRANSITIONS FROM 24' PAVING SECTION TO 28' PAVING SECTION FROM 10+83.81 TO 11+22.27. PRESIDENT STREET TRANSITIONS FROM 28' PAVING SECTION TO 24' PAVING SECTION THROUGH INTERSECTION WITH CHESAPEAKE STREET.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-7-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/15/07

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APPR.

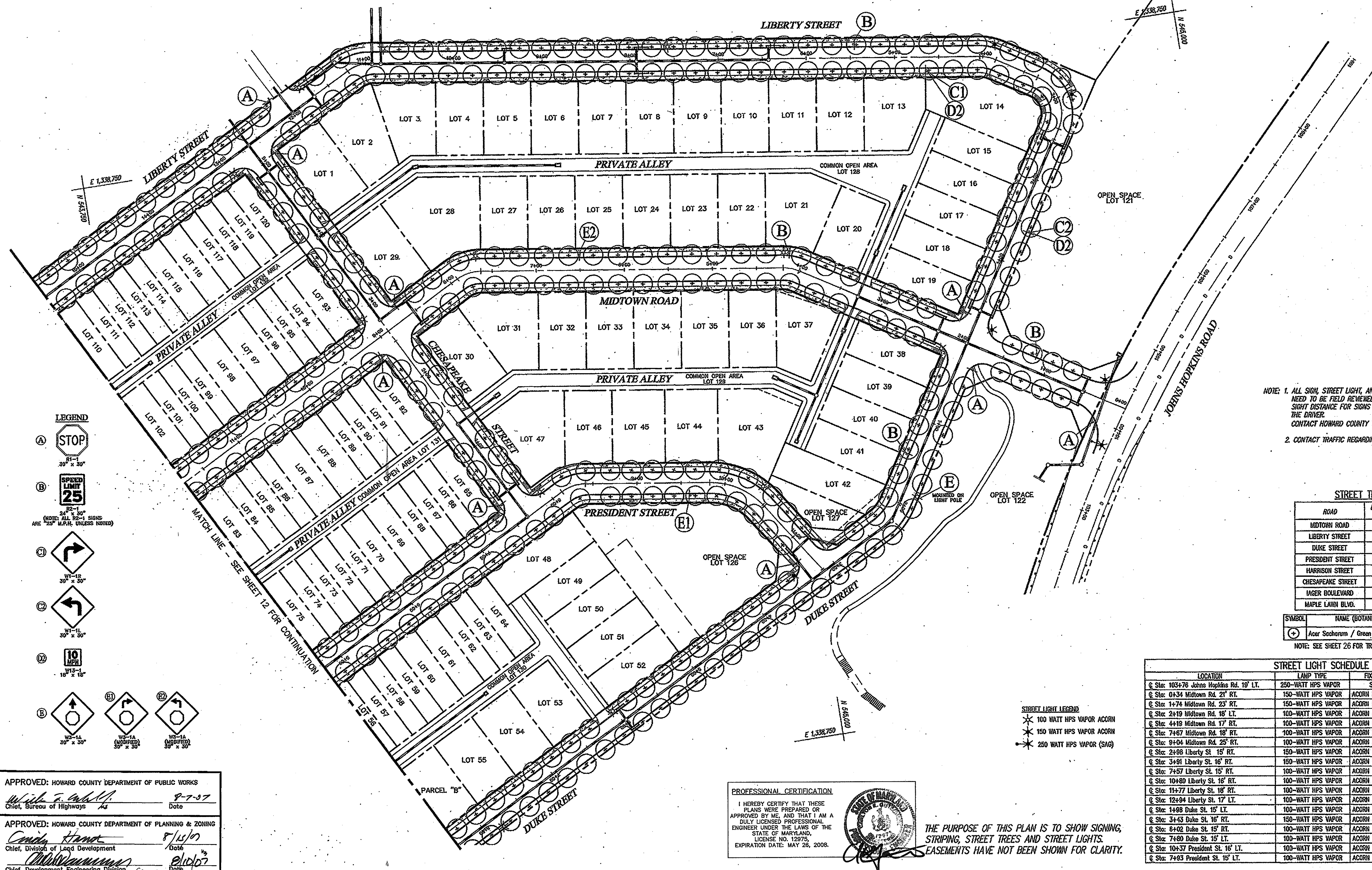
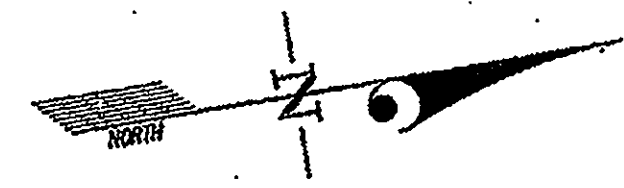
PREPARED FOR:
 G & R MAPLE LAWN INC., et al.
 SUITE 410 WOODHOLME CTR.
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD. 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

ROAD DETAILS - MAPLE LAWN BOULEVARD & IAGER BOULEVARD
 MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 P. 121 (L. 4213 P. 95), P. 450 (L. 1908 F. 623), P. 205 (L. 894 F. 596)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE: MAY 26, 2008.



SCALE	ZONING	G. V. W. FILE NO.
NO SCALE	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 21 & 22 46: 3 & 4	10 OF 28



NOTE: 1. ALL SIGN, STREET LIGHT, AND TREE LOCATIONS NEED TO BE FIELD REVIEWED PRIOR TO INSTALLING. SIGHT DISTANCE FOR SIGNS IS CRITICAL FOR SAFETY OF THE DRIVER. CONTACT HOWARD COUNTY TRAFFIC (410-313-5722)

2. CONTACT TRAFFIC REGARDING STREET NAME SIGNS (SNS).

STREET TREE REQUIREMENTS

ROAD	LENGTH OF CURB	# OF TREES REQUIRED	# OF TREES PROVIDED
MIDTOWN ROAD	2172'	72	76
LIBERTY STREET	3594'	120	124
DUKE STREET	2211'	74	79
PRESIDENT STREET	1930'	64	67
HARRISON STREET	852'	28	30
CHESAPEAKE STREET	644'	21	24
JAGER BOULEVARD	870'	22	22
MAPLE LAWN BLVD.	960'	24	27

SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	REMARKS
(+)	Acer Saccharum / Green Mountain Sugar Maple	2 1/2" cal.	B & B Full Height

NOTE: SEE SHEET 26 FOR TREE PLANTING DETAIL

STREET LIGHT SCHEDULE

LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
@ Sta: 1034+76 Johns Hopkins Rd. 19' LT.	250-WATT HPS VAPOR	SAG	30' BRONZE FIBERGLASS W/12' ARM
@ Sta: 0+34 Midtown Rd. 21' RT.	150-WATT HPS VAPOR	ACORN POST TOP	12" BLACK FIBERGLASS
@ Sta: 1+74 Midtown Rd. 23' RT.	150-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 2+19 Midtown Rd. 18' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 4+19 Midtown Rd. 17' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 7+67 Midtown Rd. 18' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 9+04 Midtown Rd. 25' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 2+98 Liberty St. 15' RT.	150-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 3+91 Liberty St. 16' RT.	150-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 7+57 Liberty St. 15' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 10+80 Liberty St. 18' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 11+77 Liberty St. 18' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 12+94 Liberty St. 17' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 1+88 Duke St. 15' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 3+43 Duke St. 16' RT.	150-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 6+02 Duke St. 15' RT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 7+80 Duke St. 15' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 10+37 President St. 16' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK
@ Sta: 7+83 President St. 15' LT.	100-WATT HPS VAPOR	ACORN POST TOP	12" BLACK

STREET LIGHT LEGEND

- * 100 WATT HPS VAPOR ACORN
- * 150 WATT HPS VAPOR ACORN
- * 250 WATT HPS VAPOR (SAG)

LEGEND

- (A) STOP 30" x 30"
- (B) SPEED LIMIT 25 36" x 30"
- (C) Right Turn 30" x 30"
- (D) Left Turn 30" x 30"
- (E) 10 MPH 18" x 18"
- (F) Up Arrow 30" x 30"
- (G) Right Turn 30" x 30"
- (H) Left Turn 30" x 30"

(NOTE: ALL R2-1 SIGNS ARE "25" M.P.H. UNLESS NOTED)

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
W. J. ... 8-7-07
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cathy ... 8/15/07
 Chief, Division of Land Development Date

... 8/15/07
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 122975, EXPIRATION DATE: MAY 26, 2008.

THE PURPOSE OF THIS PLAN IS TO SHOW SIGNING, STRIPING, STREET TREES AND STREET LIGHTS. EASEMENTS HAVE NOT BEEN SHOWN FOR CLARITY.

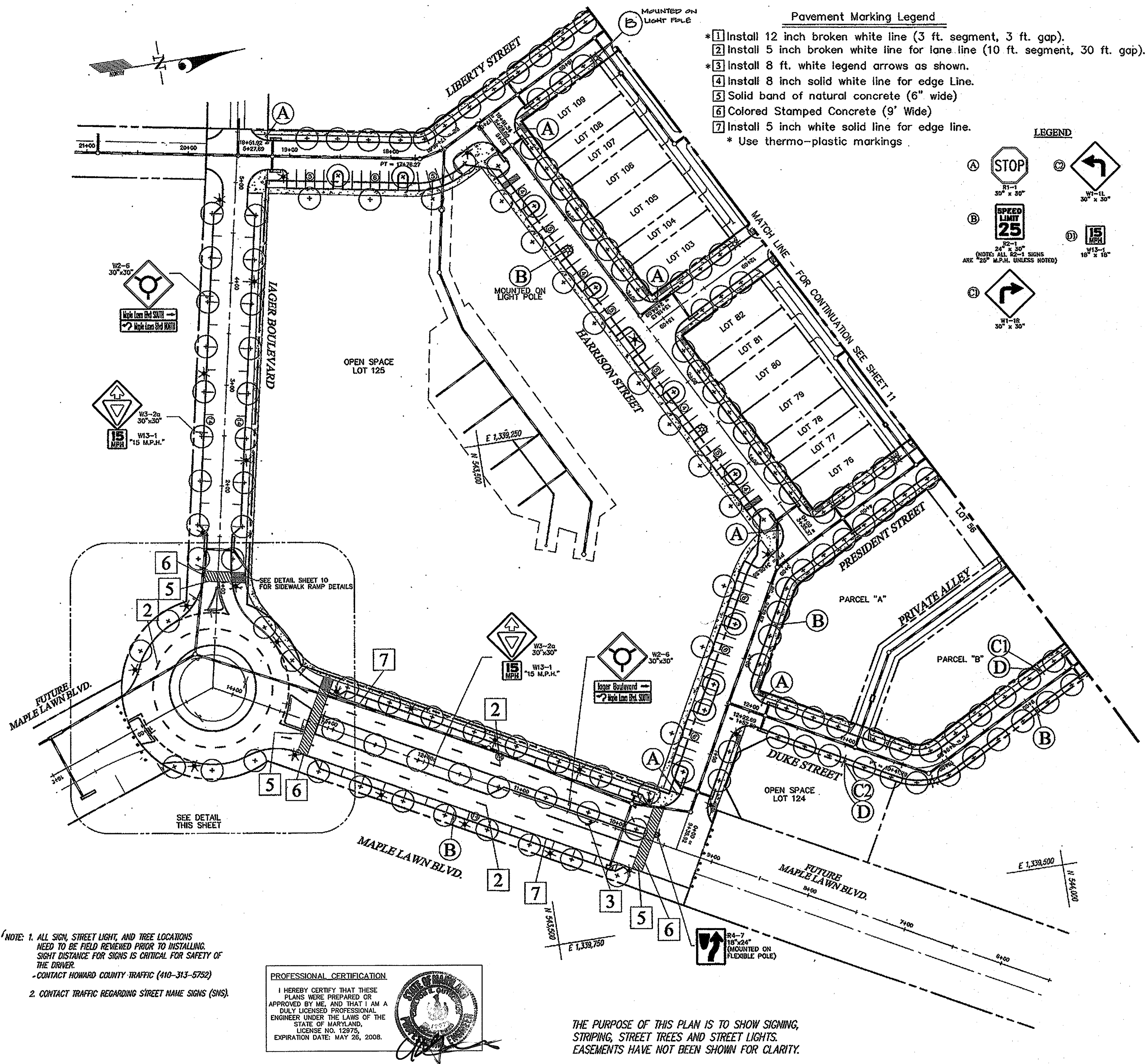
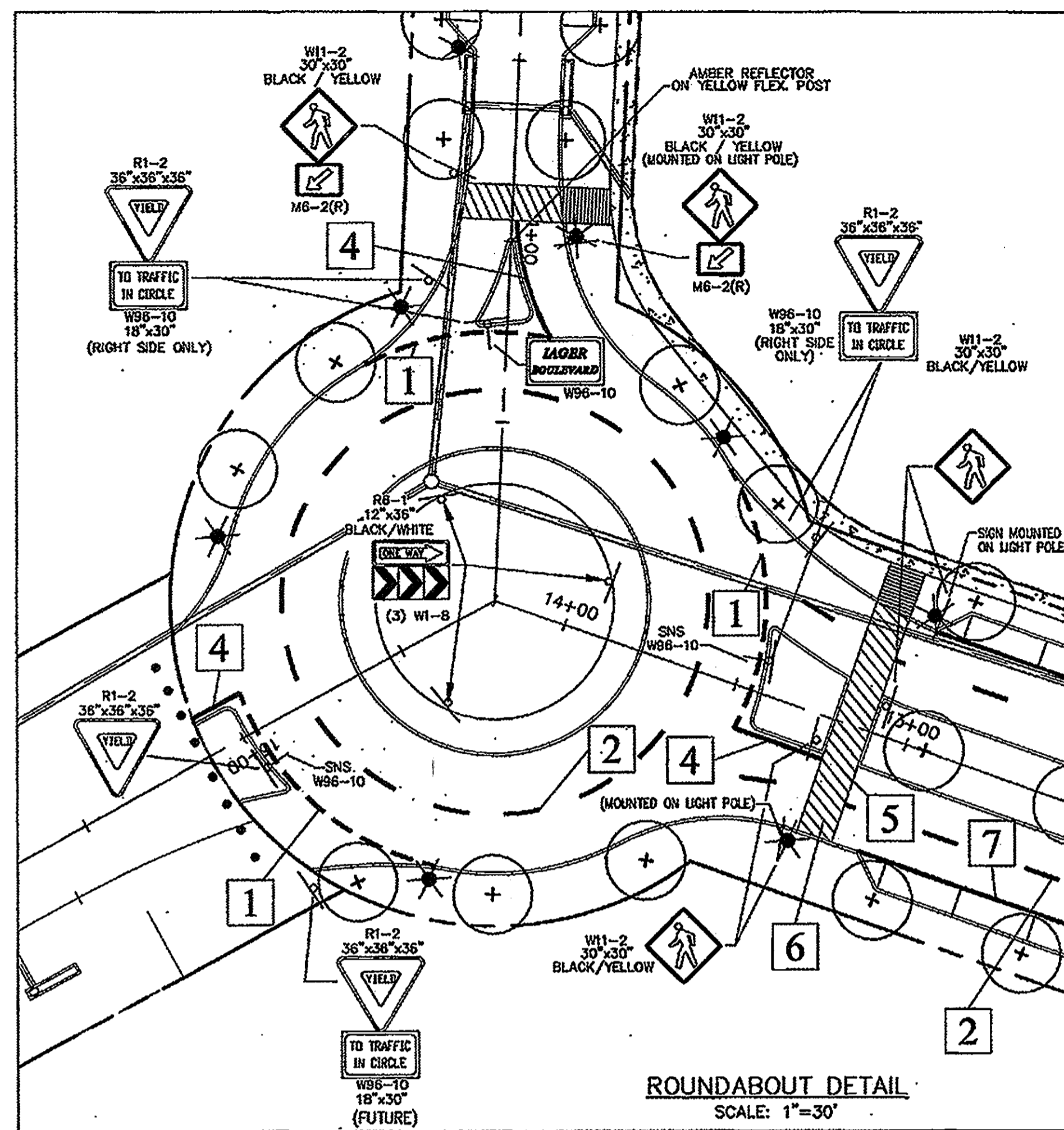
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20885
 TEL: 301-421-4024 FAX: 301-421-4168

PREPARED FOR:
 G & R Maple Lawn, Inc et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, Md. 21208
 Attn: Charlie O'Donovan
 410-484-8400

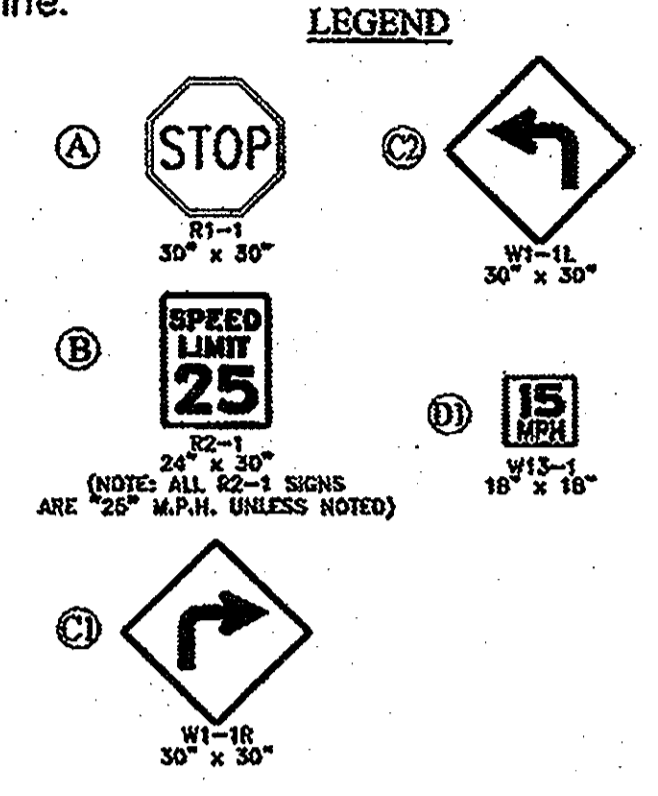
SIGNAGE, TRAFFIC CONTROL & STRIPING PLAN

MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	15, 16, 21 & 22	11 OF 28



- Pavement Marking Legend**
- * 1 Install 12 inch broken white line (3 ft. segment, 3 ft. gap).
 - * 2 Install 5 inch broken white line for lane line (10 ft. segment, 30 ft. gap).
 - * 3 Install 8 ft. white legend arrows as shown.
 - * 4 Install 8 inch solid white line for edge line.
 - * 5 Solid band of natural concrete (6" wide)
 - * 6 Colored Stamped Concrete (9' Wide)
 - * 7 Install 5 inch white solid line for edge line.
- * Use thermo-plastic markings.



LOCATION	LAMP TYPE	FIXTURE	POLE TYPE
Sta: 4+82 Lager Blvd. 15' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK FIBERGLASS
Sta: 4+03 Lager Blvd. 23' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 3+10 Lager Blvd. 23' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 2+27 Lager Blvd. 23' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 1+53 Lager Blvd. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 1+02 Lager Blvd. 18' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 0+81 Lager Blvd. 30' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 9+78 Maple Lawn Blvd. 35' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 9+73 Maple Lawn Blvd. 35' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 10+53 Maple Lawn Blvd. 45' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 10+53 Maple Lawn Blvd. 45' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 11+41 Maple Lawn Blvd. 45' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 11+41 Maple Lawn Blvd. 45' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 12+29 Maple Lawn Blvd. 45' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 12+29 Maple Lawn Blvd. 45' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 13+04 Maple Lawn Blvd. 35' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 13+22 Maple Lawn Blvd. 35' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 13+76 Maple Lawn Blvd. 64' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 14+73 Maple Lawn Blvd. 50' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 14+79 Maple Lawn Blvd. 53' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 3+74 Harrison St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 2+84 Harrison St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 1+84 Harrison St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 4+53 President St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 2+98 President St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 1+27 President St. 18' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 0+82 President St. 18' R.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 10+15 Duke St. 15' L.	100-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 15+72 Liberty St. 18' L.	100-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 17+30 Liberty St. 17' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK
Sta: 19+19 Liberty St. 21' L.	150-WATT HPS VAPOR	ACORN POST TOP	12' BLACK

- STREET LIGHT LEGEND**
- * 100 WATT HPS VAPOR (ACORN POST TOP)
 - * 150 WATT HPS VAPOR (ACORN POST TOP)
 - * 250 WATT HPS VAPOR (SAG)

NOTE: 1. ALL SIGN, STREET LIGHT, AND TREE LOCATIONS NEED TO BE FIELD REVIEWED PRIOR TO INSTALLING. SIGHT DISTANCE FOR SIGNS IS CRITICAL FOR SAFETY OF THE DRIVER.
 - CONTACT HOWARD COUNTY TRAFFIC (410-313-5752)
 2. CONTACT TRAFFIC REGARDING STREET NAME SIGNS (SNS).

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 25, 2008.

THE PURPOSE OF THIS PLAN IS TO SHOW SIGNING, STRIPING, STREET TREES AND STREET LIGHTS. EASEMENTS HAVE NOT BEEN SHOWN FOR CLARITY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 9-7-07
 Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/15/07
 Chief, Division of Land Development Date
 [Signature] 5/15/07
 Chief, Development Engineering Division Date

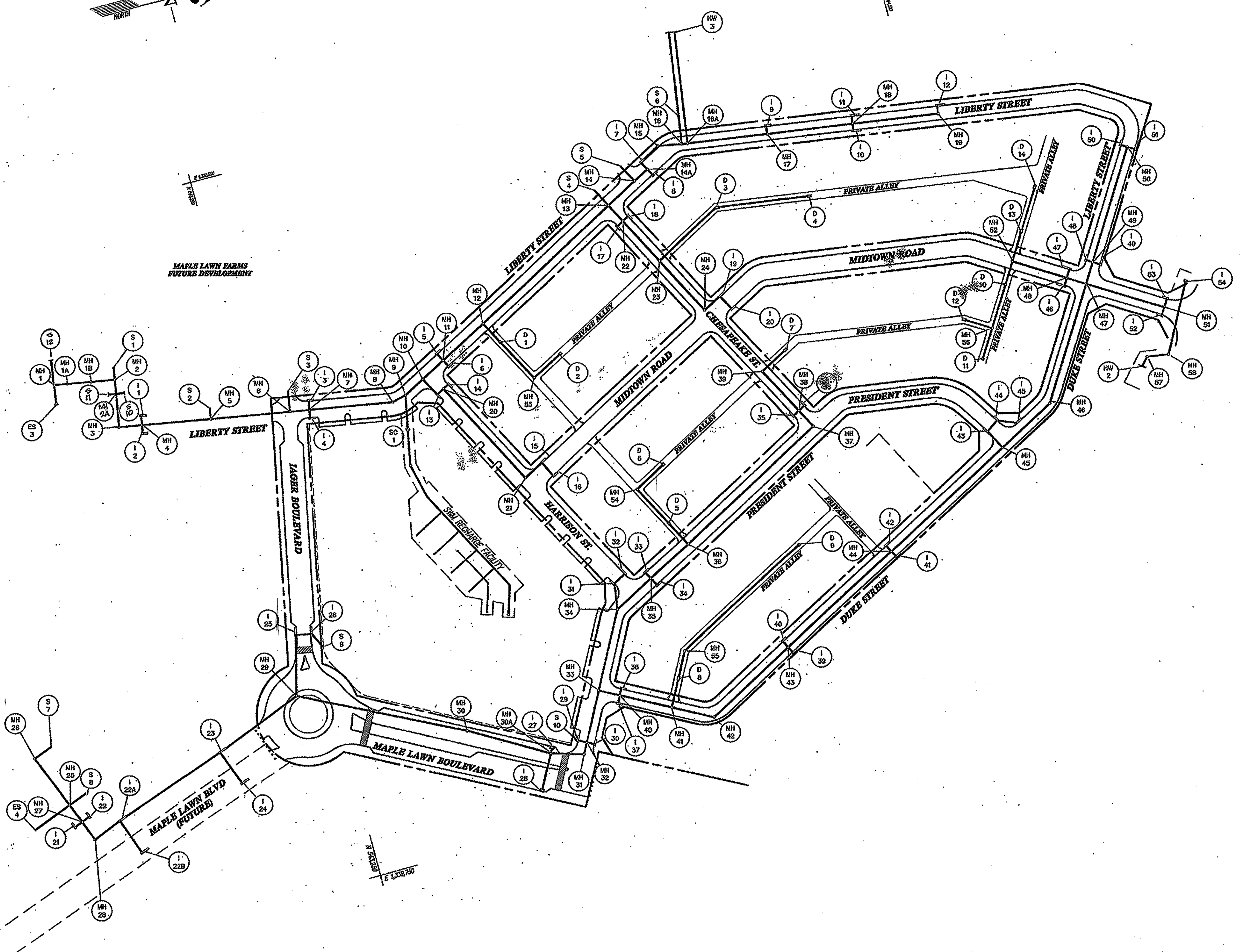
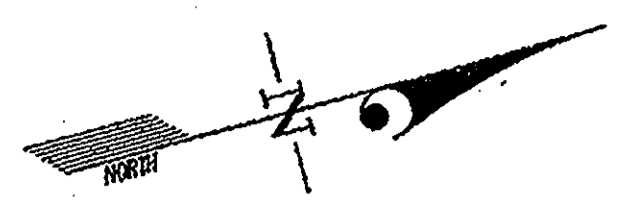
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4186

PREPARED FOR:
 C & R Maple Lawn, Inc et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, Md, 21208
 Attn: Charles O'Donovan
 410-484-8400

SIGNAGE, TRAFFIC CONTROL & STRIPING PLAN
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41; 15,16,21 & 22	12 OF 28

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STORM DRAIN	LENGTH	SIZE/TYPE	STORM DRAIN	LENGTH	SIZE/TYPE
MH-12 to MH-19	13 L.F.	18" HDPE	MH-52 to MH-48	100 L.F.	18" HDPE
MH-19 to MH-18	150 L.F.	18" HDPE	I-27 to MH-48	15 L.F.	18" HDPE
MH-11 to MH-19	13 L.F.	18" HDPE	MH-48 to MH-47	35 L.F.	18" HDPE
MH-10 to MH-18	11 L.F.	18" HDPE	I-53 to MH-51	15 L.F.	18" HDPE
MH-18 to MH-17	150 L.F.	18" HDPE	I-52 to MH-51	13 L.F.	18" HDPE
I-9 to MH-17	13 L.F.	18" HDPE	MH-51 to MH-47	150 L.F.	18" HDPE
MH-17 to MH-16A	140 L.F.	18" HDPE	MH-47 to MH-46	218 L.F.	24" HDPE
MH-3 to MH-16A	191 L.F.	24" HDPE	MH-46 to MH-45	118 L.F.	24" HDPE
MH-16A to MH-16	10 L.F.	30" HDPE	I-45 to I-44	36 L.F.	18" HDPE
MH-3 to MH-16	191 L.F.	24" HDPE	I-44 to I-43	24 L.F.	18" HDPE
S-6 to MH-16	25 L.F.	18" HDPE	I-43 to MH-45	39 L.F.	18" HDPE
MH-16 to MH-15	43 L.F.	36" HDPE	MH-45 to MH-44	11 L.F.	18" HDPE
MH-15 to I-7	42 L.F.	36" HDPE	I-42 to MH-44	13 L.F.	18" HDPE
I-7 to MH-14A	15 L.F.	36" HDPE	I-41 to MH-44	11 L.F.	18" HDPE
I-8 to MH-14A	13 L.F.	18" HDPE	MH-44 to MH-43	246 L.F.	30" HDPE
MH-14A to MH-14	30 L.F.	36" HDPE	I-40 to MH-43	13 L.F.	18" HDPE
S-5 to MH-14	15" HDPE		I-39 to MH-43	11 L.F.	18" HDPE
MH-14 to MH-13	62 L.F.	36" HDPE	MH-43 to MH-42	178 L.F.	30" HDPE
I-20 to I-19	28 L.F.	18" HDPE	MH-42 to MH-41	74 L.F.	30" HDPE
I-19 to MH-24	35 L.F.	18" HDPE	D-9 to MH-55	273 L.F.	18" HDPE
MH-24 to MH-23	116 L.F.	18" HDPE	MH-55 to D-8	49 L.F.	18" HDPE
D-4 to D-3	162 L.F.	18" HDPE	I-3 to MH-41	91 L.F.	18" HDPE
MH-23 to MH-22	136 L.F.	18" HDPE	MH-41 to MH-40	93 L.F.	30" HDPE
MH-22 to MH-21	88 L.F.	24" HDPE	I-38 to MH-40	11 L.F.	18" HDPE
I-18 to MH-22	12 L.F.	18" HDPE	I-37 to MH-40	13 L.F.	18" HDPE
I-17 to MH-22	12 L.F.	18" HDPE	MH-40 to MH-33	39 L.F.	30" HDPE
MH-22 to MH-13	36 L.F.	24" HDPE	D-7 to MH-33	143 L.F.	24" HDPE
S-4 to MH-13	42" HDPE		MH-33 to MH-38	95 L.F.	18" HDPE
MH-13 to MH-12	299 L.F.	42" HDPE	I-36 to MH-38	12 L.F.	18" HDPE
D-2 to MH-13	62 L.F.	18" HDPE	I-35 to MH-38	12 L.F.	18" HDPE
MH-13 to D-1	88 L.F.	18" HDPE	MH-38 to MH-37	36 L.F.	18" HDPE
D-1 to MH-12	43 L.F.	18" HDPE	MH-37 to MH-36	289 L.F.	18" HDPE
MH-12 to MH-11	95 L.F.	42" HDPE	D-6 to MH-54	62 L.F.	18" HDPE
I-5 to MH-11	13 L.F.	18" HDPE	MH-54 to D-5	81 L.F.	18" HDPE
I-5 to MH-11	15 L.F.	18" HDPE	D-5 to MH-36	50 L.F.	18" HDPE
MH-11 to MH-10	49 L.F.	42" HDPE	MH-36 to MH-35	89 L.F.	18" HDPE
I-16 to I-15	28 L.F.	18" HDPE	I-34 to MH-35	15 L.F.	18" HDPE
MH-10 to MH-9	48 L.F.	42" HDPE	I-33 to MH-35	13 L.F.	18" HDPE
MH-9 to MH-8	26 L.F.	42" HDPE	I-30 to MH-32	13 L.F.	18" HDPE
MH-8 to MH-7	145 L.F.	42" HDPE	S-10 to I-29	24" HDPE	
I-4 to MH-7	13 L.F.	18" HDPE	I-29 to MH-32	15 L.F.	24" HDPE
I-3 to MH-7	191 L.F.	18" HDPE	MH-32 to MH-31	21 L.F.	36" HDPE
MH-7 to MH-6	35 L.F.	42" HDPE	MH-31 to MH-30A	57 L.F.	36" HDPE
S-3 to MH-6	40" HDPE		I-27 to MH-30A	6 L.F.	18" HDPE
MH-6 to MH-5	137 L.F.	42" HDPE	I-28 to MH-30A	151 L.F.	42" HDPE
S-2 to MH-5	24" HDPE		MH-30A to MH-30	152 L.F.	42" HDPE
MH-5 to MH-4	120 L.F.	42" HDPE	MH-30 to MH-29	307 L.F.	42" HDPE
I-2 to MH-4	13 L.F.	18" HDPE	S-9 to I-26	24" HDPE	
I-1 to MH-4	15 L.F.	18" HDPE	I-26 to I-25	28 L.F.	24" HDPE
MH-4 to MH-3	40 L.F.	42" HDPE	I-25 to MH-29	89 L.F.	24" HDPE
MH-3 to MH-2A	96 L.F.	42" HDPE	MH-29 to I-23	167 L.F.	42" HDPE
S-1 to MH-2	30" HDPE		I-24 to I-23	84 L.F.	18" HDPE
MH-2 to MH-1B	41 L.F.	48" HDPE	I-23 to I-22A	212 L.F.	48" HDPE
MH-1B to MH-1A	41 L.F.	48" HDPE	I-22B to I-22A	64 L.F.	18" HDPE
MH-1A to MH-1	23 L.F.	48" HDPE	I-22A to MH-28	54 L.F.	48" HDPE
MH-1 to ES-3	28 L.F.	48" HDPE	MH-28 to MH-27	38 L.F.	48" HDPE
I-51 to MH-30	13 L.F.	18" HDPE	I-22 to MH-27	14 L.F.	18" HDPE
I-50 to MH-50	11 L.F.	18" HDPE	I-21 to MH-27	14 L.F.	18" HDPE
MH-50 to MH-49	209 L.F.	18" HDPE	MH-27 to MH-25	34 L.F.	48" HDPE
I-49 to MH-49	13 L.F.	18" HDPE	S-7 to MH-26	24" HDPE	
I-48 to MH-49	11 L.F.	18" HDPE	MH-26 to MH-25	105 L.F.	24" HDPE
MH-49 to MH-47	39 L.F.	18" HDPE	MH-25 to ES-4	74 L.F.	48" HDPE
D-14 to D-13	80 L.F.	18" HDPE	I-94 to MH-56	126 L.F.	18" HDPE
D-13 to MH-52	94 L.F.	18" HDPE	MH-56 to MH-57	33 L.F.	18" HDPE
D-11 to MH-56	57 L.F.	18" HDPE	MH-57 to MH-2	15 L.F.	18" HDPE
D-12 to MH-56	51 L.F.	18" HDPE	MH-5A to MH-2	22 L.F.	42" HDPE
MH-56 to D10	80 L.F.	18" HDPE	I-12 to MH-1	42 L.F.	18" HDPE
D-10 to MH-52	41 L.F.	18" HDPE	I-10 to MH-2A	11 L.F.	18" HDPE
			I-10 to MH-2A	2 L.F.	24" HDPE

NOTE:
 HDPE = High Density Polyethylene
 RCP = Reinforced Concrete Pipe
 HERCP = Horizontal Elliptical Reinforced Concrete Pipes

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-7-07
 Chief, Bureau of Highways
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/15/07
 Chief, Division of Land Development
 Date

[Signature] 8/15/07
 Chief, Development Engineering Division
 Date

ALL STORM DRAIN PIPES ARE HDPE.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3919 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4188

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 G & R Maple Lawn, Inc., et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD, 21208
 Attn: Charlie O'Donovan
 410-484-8400

STRUCTURE INFORMATION
MAPLE LAWN FARMS
 Midtown District - Area I
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 R121 (L. 4213 R. 95), R. 450 (L. 1908 R. 623), R. 205 (L. 894 R. 596)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

THE PURPOSE OF THIS DRAWING IS TO SHOW STORM DRAIN INFORMATION.
 FOR CLARITY, EASEMENTS HAVE NOT BEEN SHOWN.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

SCALE	ZONING	G. I. R. FILE No.
1"=100'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16,21 & 22	13 OF 28

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DRAINAGE AREA INFORMATION

INLET	AREA	'C' VALUE	% IMP.	INLET	AREA	'C' VALUE	% IMP.
I-1	0.36	0.71	75%	I-38	0.30	0.71	75%
I-2	0.22	0.71	75%	I-39	0.15	0.87	100%
I-3	0.32	0.71	75%	I-40	0.46	0.71	75%
I-4	0.25	0.71	75%	I-41	0.16	0.87	100%
I-5	0.51	0.71	75%	I-42	0.70	0.55	50%
I-6	0.57	0.71	75%	I-43	0.27	0.55	50%
I-7	0.83	0.55	50%	I-44	0.38	0.55	50%
I-8	0.45	0.71	75%	I-45	0.14	0.71	75%
I-9	0.75	0.40	25%	I-46	0.48	0.71	75%
I-10	0.37	0.71	75%	I-47	0.48	0.71	75%
I-11	0.74	0.40	25%	I-48	0.26	0.71	75%
I-12	0.77	0.40	25%	I-49	0.25	0.71	75%
I-13	0.27	0.71	75%	I-50	0.22	0.71	75%
I-14	0.26	0.71	75%	I-51	1.09	0.71	75%
I-15	0.44	0.71	75%	I-52	0.21	0.71	75%
I-16	0.44	0.71	75%	I-53	0.14	0.71	75%
I-17	0.14	0.71	75%	S-1	6.50	0.71	75%
I-18	0.26	0.71	75%	S-2	1.10	0.71	75%
I-19	0.36	0.71	75%	S-3	0.83	0.71	75%
I-20	0.30	0.71	75%	S-4	2.20	0.71	75%
I-21	0.15	0.71	75%	S-5	0.80	0.71	75%
I-22	0.22	0.71	75%	S-6*	0.60	0.71	75%
I-22A	0.42	0.87	100%	S-7	2.00	0.71	75%
I-22B	0.39	0.87	100%	S-8	2.40	0.71	75%
I-23	0.64	0.87	100%	S-9	2.30	0.71	75%
I-24	0.70	0.87	100%	S-10	1.80	0.71	75%
I-25	0.42	0.87	100%	D-1	0.23	0.71	75%
I-26	0.47	0.87	100%	D-2	0.29	0.71	75%
I-27	0.47	0.87	100%	D-3	0.70	0.71	75%
I-28	0.51	0.87	100%	D-4	0.80	0.71	75%
I-29	0.32	0.71	75%	D-5	0.22	0.71	75%
I-30	0.31	0.71	75%	D-6	0.29	0.71	75%
I-31	0.43	0.71	75%	D-7	0.46	0.71	75%
I-32	0.30	0.71	75%	D-8	0.44	0.71	75%
I-33	0.58	0.71	75%	D-9	0.23	0.71	75%
I-34	0.59	0.71	75%	D-10	0.21	0.71	75%
I-35	0.16	0.71	75%	D-11	0.21	0.71	75%
I-36	0.22	0.71	75%	D-12	0.57	0.71	75%
I-37	0.14	0.87	100%	D-13	0.45	0.71	75%
				D-14	0.35	0.71	75%

AREAS TO BE PICKED UP BY YARD DRAINS
NOTE: FOR STRUCTURE NUMBERS AND LOCATIONS, SEE SHEETS 15 & 16.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. Mahan 8-7-07
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Candy Harris 8/15/07
Chief, Division of Land Development Date
Michael Williams 8/15/07
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.



THE PURPOSE OF THIS DRAWING IS TO SHOW STORM DRAIN DRAINAGE AREAS. FOR CLARITY, EASEMENTS HAVE NOT BEEN SHOWN.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3009 NATIONAL DRIVE - SUITE 250 - BOSTONVILLE OFFICE PARK
BOSTONVILLE, MARYLAND 20868
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-938-2524 FAX: 301-421-4166

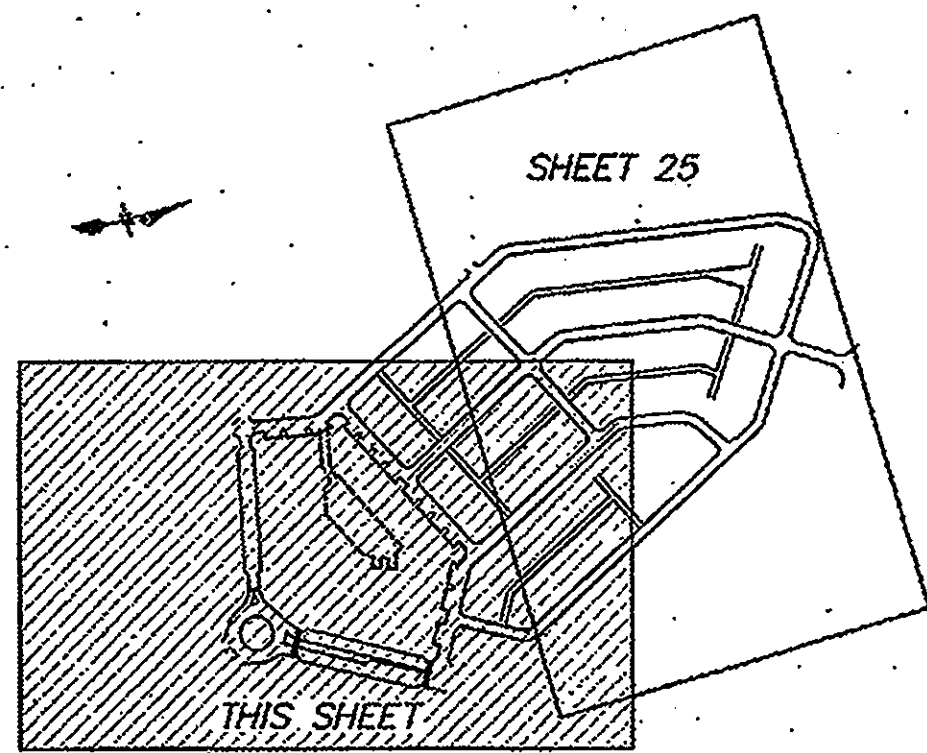
PREPARED FOR:
G & R Maple Lawn, Inc., et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD, 21208
Attn: Charis O'Donovan
410-484-8400

DRAINAGE AREA MAP - STORMDRAINS
MAPLE LAWN FARMS
Midtown District - Area 1
Lots 1 thru 120, Open Space Lots 121 thru 127,
Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
P. 121 (L. 4219 P. 25), P. 450 (L. 1908 P. 623), P. 205 (L. 894 P. 590)
ELECTION DISTRICT No. 5

SCALE 1"=100'	ZONING MXD-3	FILE NO. 02001
DATE JULY, 2007	TAX MAP - GRID 41- 15,16,21 & 22	SHEET 14 OF 28

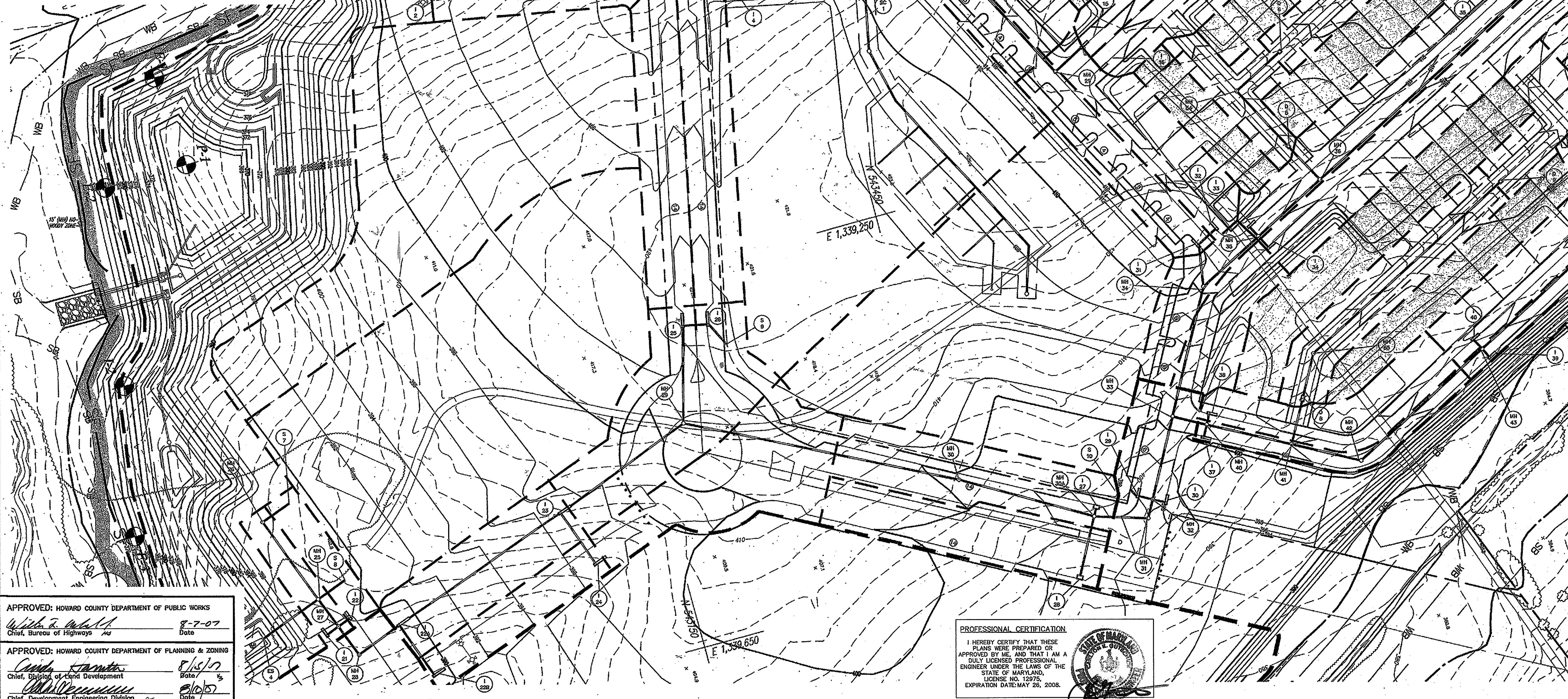
DATE	REVISION	BY	APPR.

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AREAS TO BE PICKED UP BY YARD DRAINS

SEE SHEET 14 FOR DRAINAGE AREA TABLE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Walter R. [Signature] 8-7-07
 Chief, Bureau of Highways MS Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cathy [Signature] 8/5/07
 Chief, Division of Land Development Bots Date

Chris [Signature] 8/10/07
 Chief, Development Engineering Division CE Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

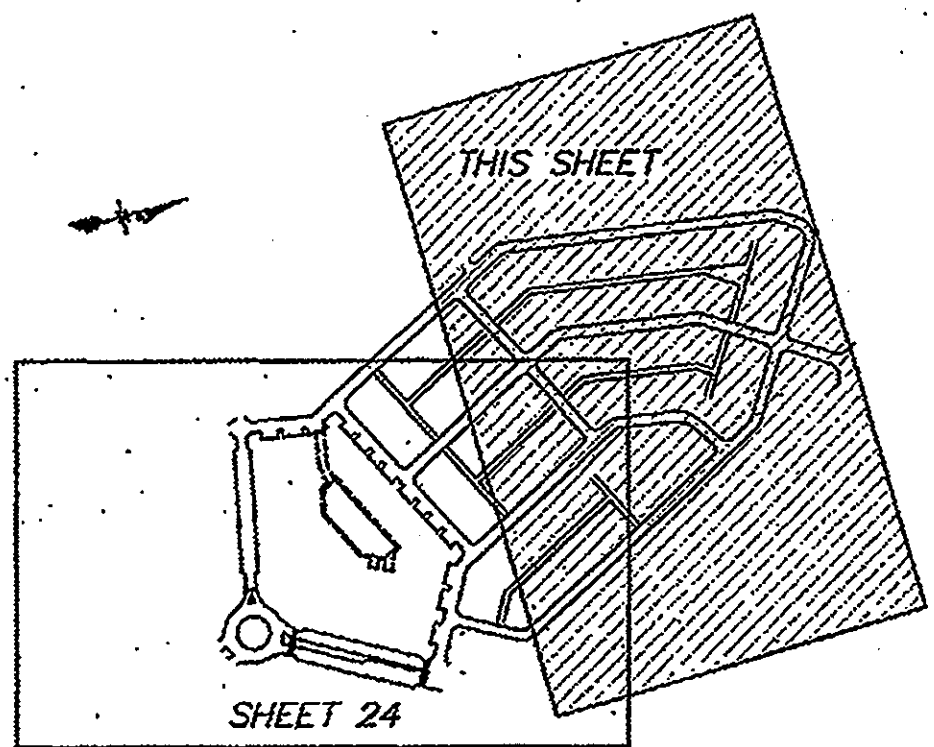
GLWGUTSCHICK LITTLE & WEBER, P.A.
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 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4183
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PREPARED FOR:
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 Baltimore, MD. 21208
 Attn: Charlie O'Donovan
 410-484-8400

DRAINAGE AREA MAP - STORM DRAINS
MAPLE LAWN FARMS
 Midtown District
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 E 121 (L. 4213 R. 95), P. 450 (L. 1908 R. 623), P. 205 (L. 894 R. 596)
 HOWARD COUNTY, MARYLAND

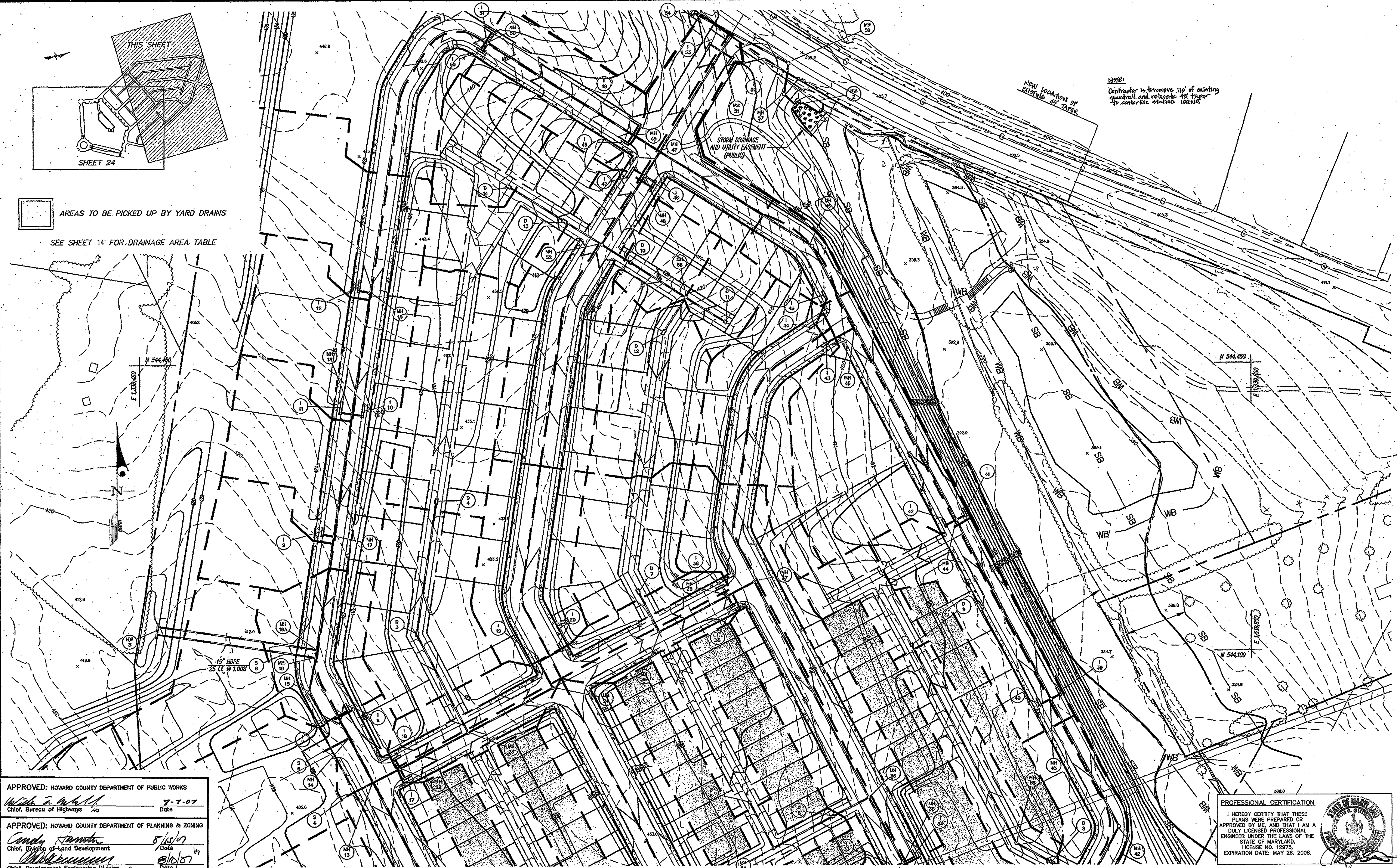
SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	15,16,21 & 22	41: 15 OF 28

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NOTE:
Contractor to remove 110' of existing
guardrail and relocate 42' taper
to centerline station 100.118

AREAS TO BE PICKED UP BY YARD DRAINS
SEE SHEET 14 FOR DRAINAGE AREA TABLE



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William A. McCall 8-7-07
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Candy Kamin 8/15/07
Chief, Division of Land Development Date
William A. McCall 8/16/07
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
PLANS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND,
LICENSE NO. 12975,
EXPIRATION DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3910 NATIONAL DRIVE - SUITE 250 - BURTONTOWNE OFFICE PARK
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TEL: 301-421-4024 BAL: 410-882-1020 DC/VA: 301-983-2524 FAX: 301-421-4186

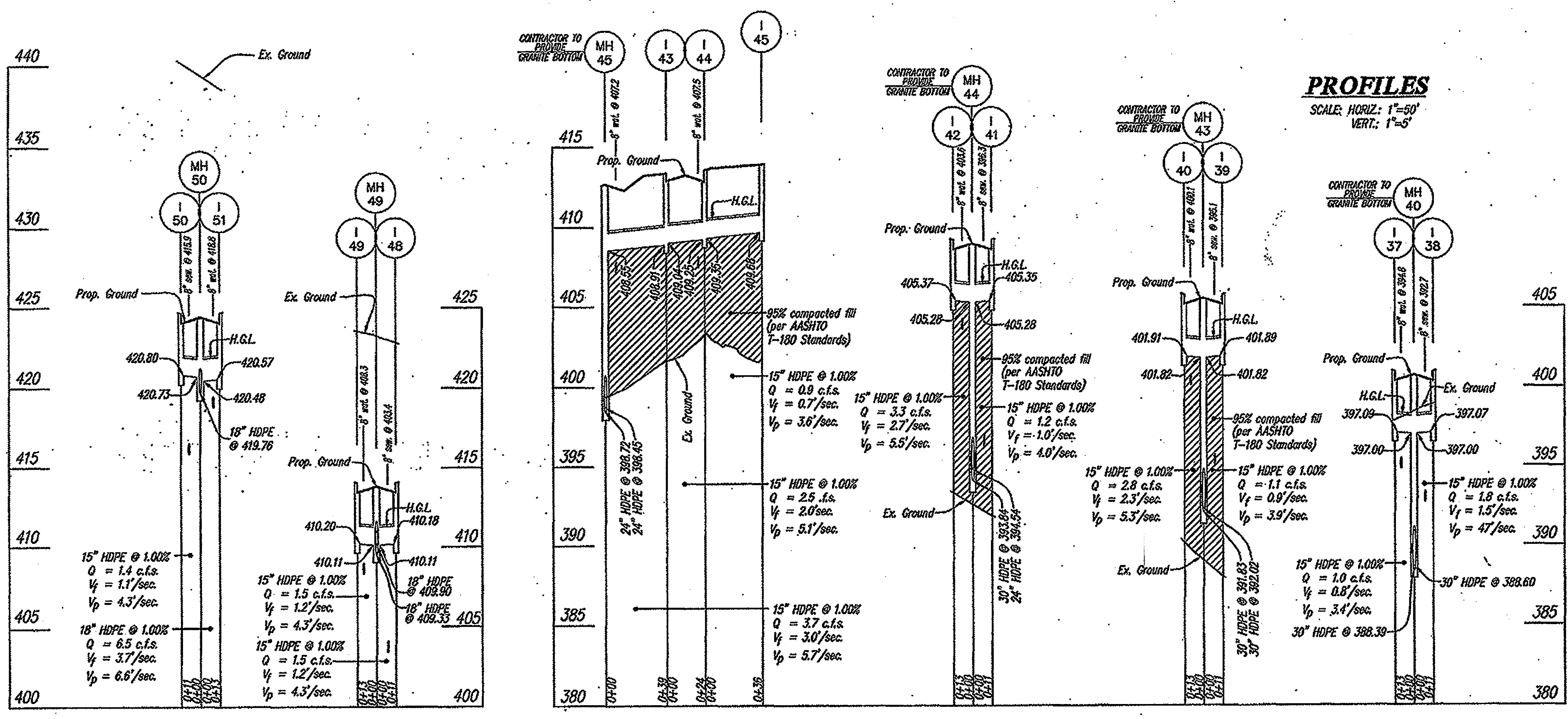
DATE	REVISION	BY	APPR.

PREPARED FOR:
G & R Maple Lawn, Inc., et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD. 21208
Attn: Charis O'Donovan
410-484-8400

DRAINAGE AREA MAP - STORMDRAINS
MAPLE LAWN FARMS
Midtown District - Area 1
Lots 1 thru 120, Open Space Lots 121 thru 127,
Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
P. 121 (L. 4213 F. 23), P. 450 (L. 1908 F. 623), P. 205 (L. 894 F. 596)
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16,21 & 22	16 OF 28

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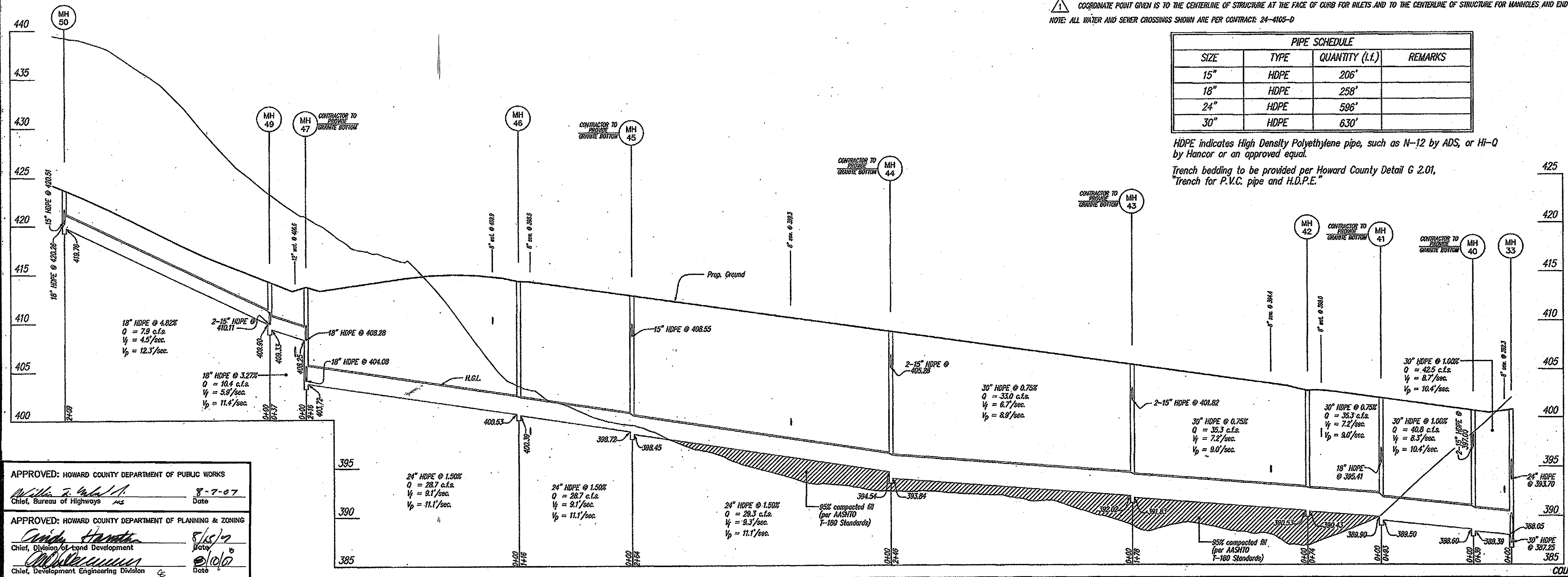


STRUCTURE SCHEDULE										
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS		REMARKS
			UPPER	LOWER	UPPER	LOWER		N	E	
I-37	COG-10 INLET	----	401.05	400.90	----	397.09	MD 374.63	543,730	1,339,571	
I-38	COG-10 INLET	----	401.05	400.90	----	397.07	MD 374.63	543,743	1,339,551	
I-39	COG-10 INLET	----	405.87	405.72	----	401.89	MD 374.63	544,046	1,339,567	
I-40	COG-10 INLET	----	405.87	405.72	----	401.91	MD 374.63	544,038	1,339,545	
I-41	COG-10 INLET	----	409.34	409.18	----	405.35	MD 374.63	544,264	1,339,454	
I-42	COG-10 INLET	----	409.34	409.18	----	405.37	MD 374.63	544,256	1,339,431	
I-43	COG-10 INLET	----	413.76	413.47	409.04	408.91	MD 374.63	544,477	1,339,287	
I-44	COG-10 INLET	----	413.76	413.47	409.35	409.25	MD 374.63	544,498	1,339,275	
I-45	COG-10 INLET	----	413.76	413.60	----	409.68	MD 374.63	544,530	1,339,288	
I-48	COG-15 INLET	----	414.80	414.36	----	410.18	MD 374.63	544,720	1,339,049	
I-49	COG-10 INLET	----	415.00	414.36	----	410.20	MD 374.63	544,741	1,339,059	
I-50	COG-10 INLET	----	424.34	423.90	----	420.80	MD 374.63	544,838	1,338,859	
I-51	COG-15 INLET	----	424.54	423.90	----	420.57	MD 374.63	544,858	1,338,872	
MH 33	STD. MANHOLE	5'-0"	----	400.78	393.70	387.25	HO. CO. G 5.13	543,702	1,339,541	
MH 40	STD. MANHOLE	5'-0"	----	400.71	397.00	388.39	HO. CO. G 5.13	543,736	1,339,559	
MH 41	STD. MANHOLE	5'-0"	----	402.02	395.41	389.50	HO. CO. G 5.13	543,818	1,339,603	
MH 42	STD. MANHOLE	5'-0"	----	403.04	390.53	390.43	HO. CO. G 5.13	543,885	1,339,640	
MH 43	STD. MANHOLE	5'-0"	----	405.52	401.82	391.83	HO. CO. G 5.13	544,041	1,339,558	
MH 44	STD. MANHOLE	5'-0"	----	408.99	405.28	393.84	HO. CO. G 5.13	544,259	1,339,444	
MH 45	STD. MANHOLE	4'-0"	----	412.71	408.55	398.45	HO. CO. G 5.12	544,494	1,339,321	
MH 46	STD. MANHOLE	4'-0"	----	414.33	400.53	400.39	HO. CO. G 5.12	544,593	1,339,269	
MH 47	STD. MANHOLE	4'-0"	----	413.69	408.28	403.72	HO. CO. G 5.12	544,709	1,339,084	
MH 49	STD. MANHOLE	4'-0"	----	414.23	410.11	409.33	HO. CO. G 5.12	544,730	1,339,051	
MH 50	STD. MANHOLE	4'-0"	----	423.77	420.51	419.76	HO. CO. G 5.12	544,848	1,338,865	

NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4105-0

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	206'	
18"	HDPE	258'	
24"	HDPE	596'	
30"	HDPE	630'	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancor or an approved equal.
Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/15/07
 Chief, Division of Land Development

[Signature] 8/15/07
 Chief, Development Engineering Division

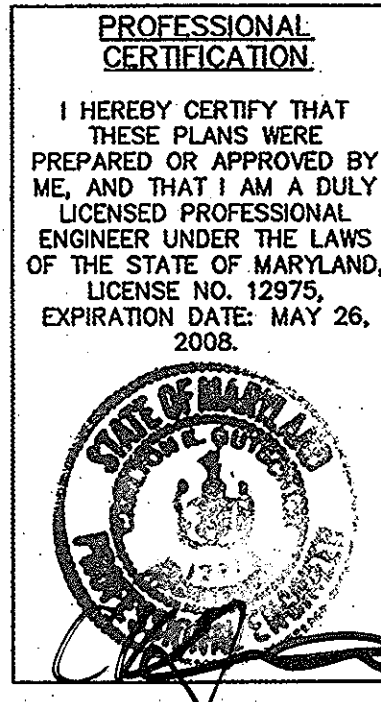
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20868
 TEL: 301-421-4024 FAX: 301-421-1186

NO.	DATE	REVISION	BY	APPR.

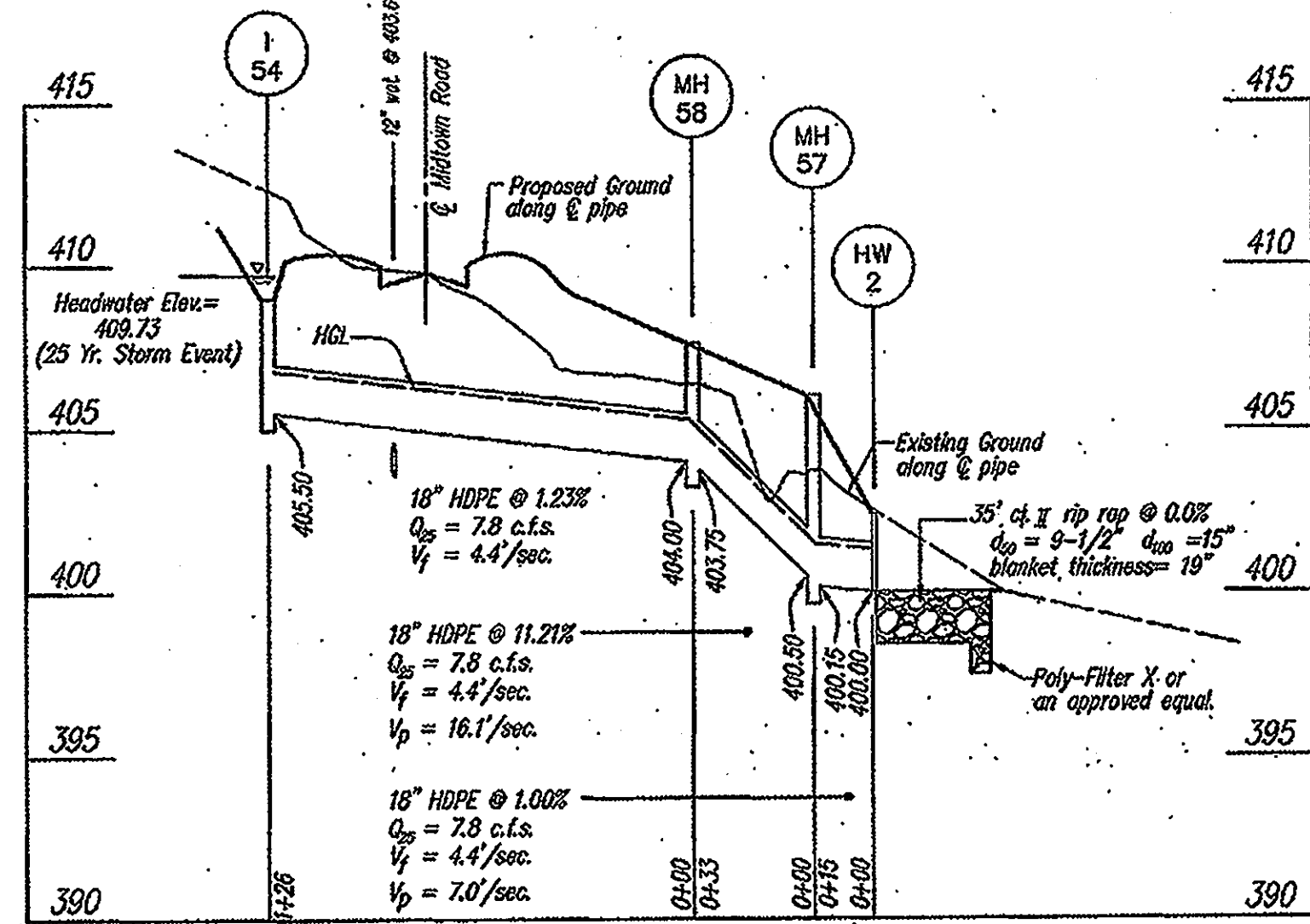
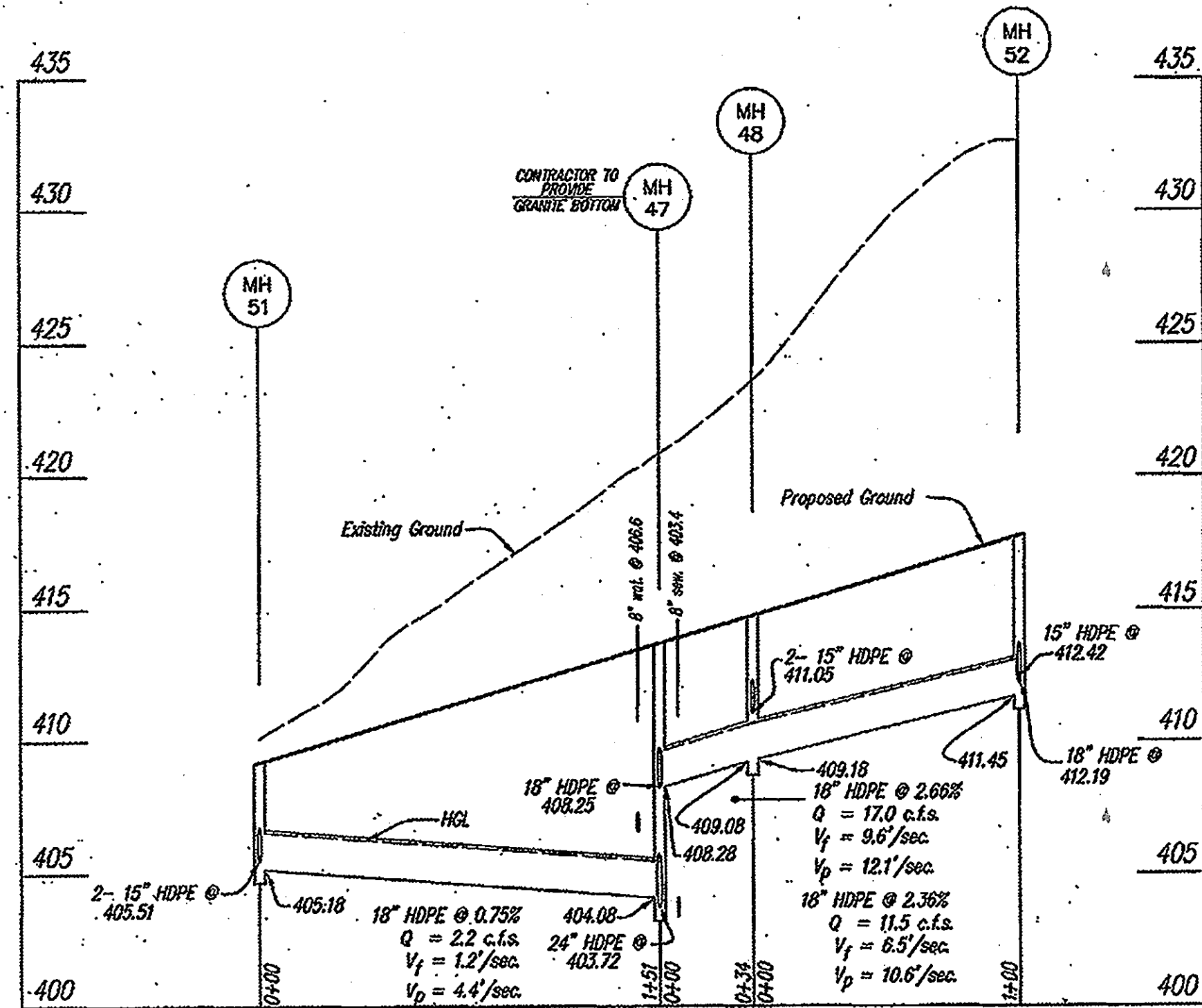
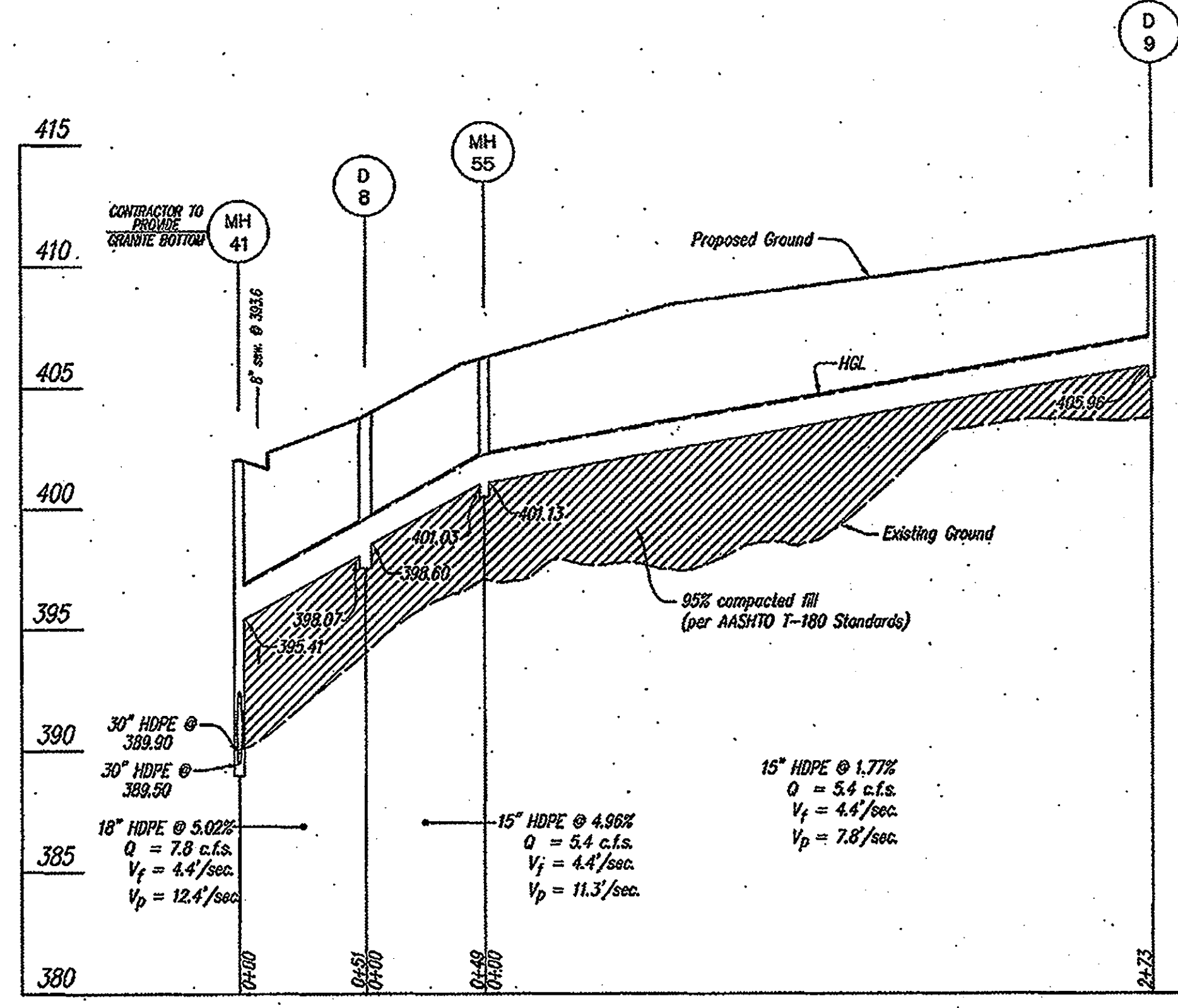
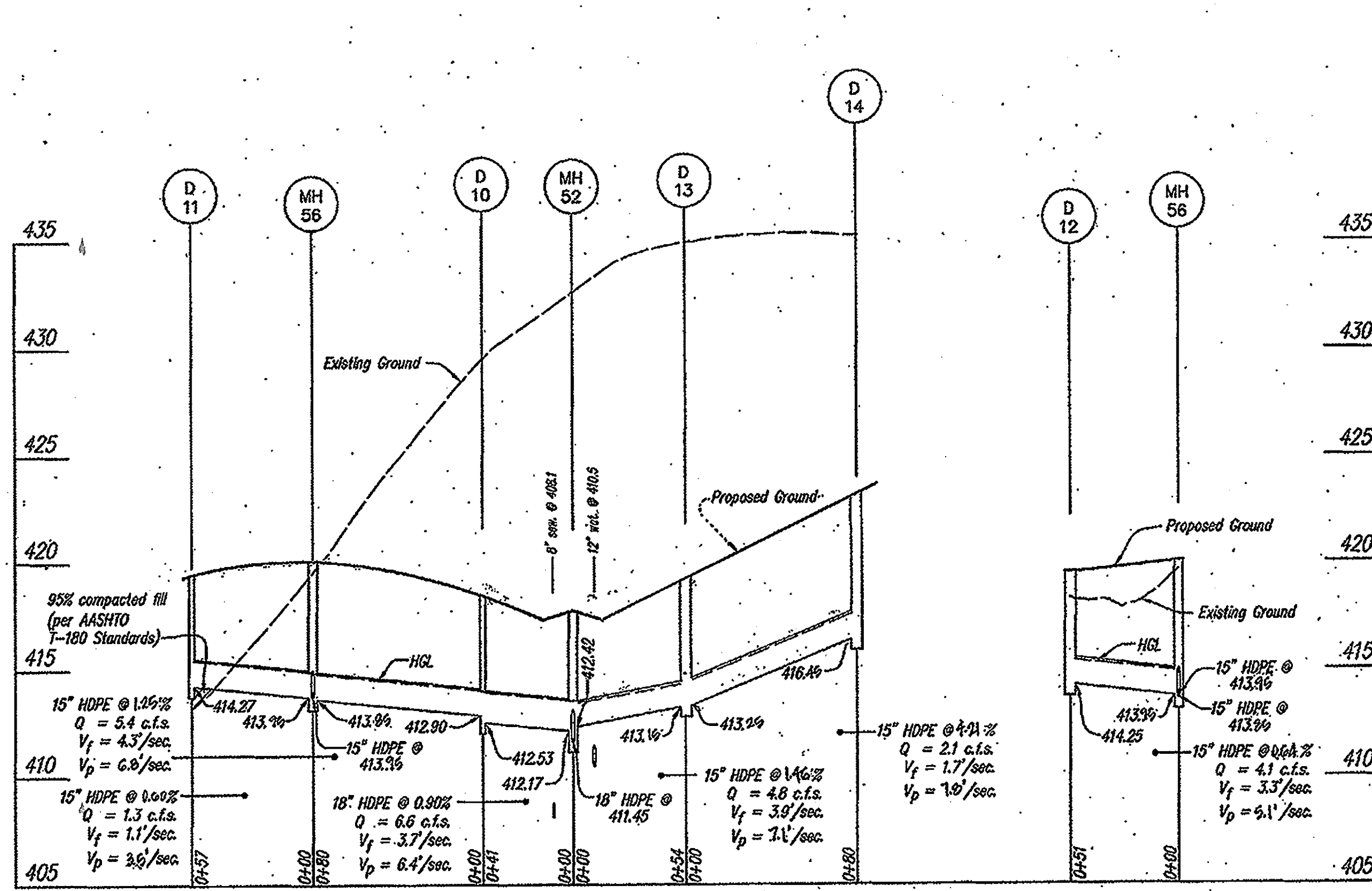
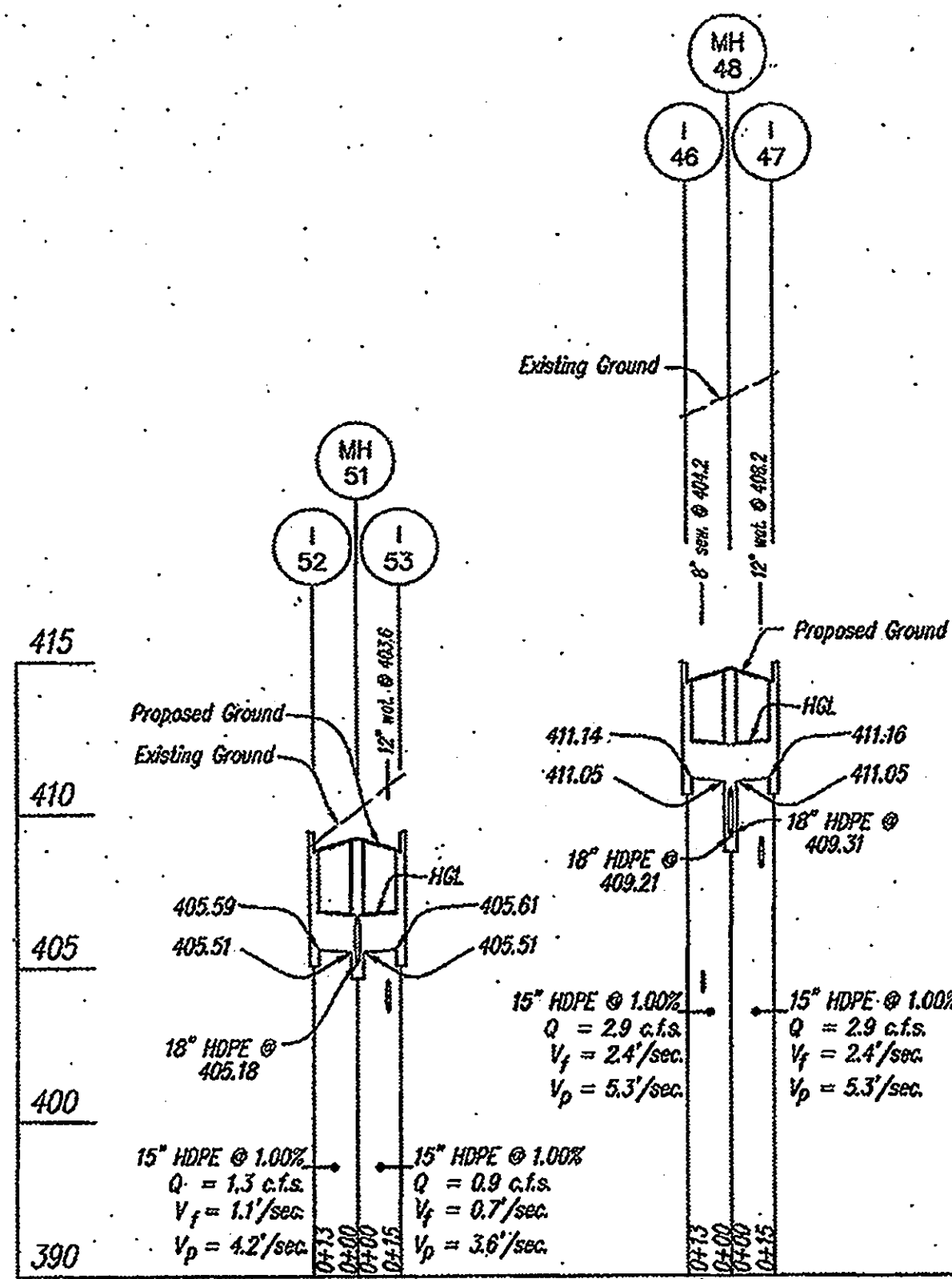
PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD. 21205
 Attn: Charlie O'Donovan
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 122,
 Common Open Areas 128 thru 132 and Parents "A", "B" & "C"
 P. 121 (L. 4213 N. 25), P. 430 (L. 1908 E. 023), E. 203 (L. 824 E. 590)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41 15,16,21 & 22	17 OF 28



COUNTY FILE # 385



STRUCTURE SCHEDULE										
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS		REMARKS
			UPPER	LOWER	UPPER	LOWER		N	E	
I-46	COG-15 INLET	----	415.35	414.87	----	411.14	MD 374.63	544,668	1,339,073	
I-47	COG-15 INLET	----	415.35	414.87	----	411.16	MD 374.63	544,683	1,339,050	
I-52	COG-10 INLET	----	409.60	409.27	----	405.59	MD 374.63	544,820	1,339,169	
I-53	A-10 INLET	----	409.60	409.27	----	405.61	HO. CO. SD 4.41	544,835	1,339,145	
I-54	TYPE 'K' INLET	----	409.00	409.00	----	405.50	HO. CO. SD 4.12	544,878	1,339,125	2
MH 41	STD. MANHOLE	5'-0"	402.02	395.41	389.50	HO. CO. G 5.13	N 543,818	E 1,339,603		
MH 47	STD. MANHOLE	4'-0"	413.16	408.28	403.72	HO. CO. G 5.12	N 544,709	E 1,339,084		
MH 48	STD. MANHOLE	4'-0"	414.17	411.05	409.08	HO. CO. G 5.12	N 544,680	E 1,339,064		
MH 51	STD. MANHOLE	4'-0"	409.17	405.51	405.18	HO. CO. G 5.12	N 544,830	E 1,339,159		
MH 52	STD. MANHOLE	4'-0"	417.74	412.42	411.45	HO. CO. G 5.12	N 544,596	E 1,339,013		
MH 55	STD. MANHOLE	4'-0"	406.27	401.13	401.03	HO. CO. G 5.12	N 543,865	E 1,339,516		
MH 56	STD. MANHOLE	4'-0"	420.20	413.96	413.86	HO. CO. G 5.12	N 544,532	E 1,339,115		
MH 57	STD. MANHOLE	4'-0"	406.05	400.50	400.15	HO. CO. G 5.12	N 544,778	E 1,339,235		
MH 58	STD. MANHOLE	4'-0"	407.65	404.00	403.75	HO. CO. G 5.12	N 544,815	E 1,339,241		
D-8	DOUBLE 'S' INLET	----	403.74	403.34	398.60	398.07	HO. CO. SD-4.23	544,842	E 1,339,559	
D-9	SINGLE 'S' INLET	----	410.81	410.75	----	405.96	HO. CO. SD-4.22	544,107	E 1,339,389	
D-10	SINGLE 'S' INLET	----	418.41	418.35	412.90	412.53	HO. CO. SD-4.22	544,574	E 1,339,047	
D-11	SINGLE 'S' INLET	----	419.50	419.50	----	414.27	HO. CO. SD-4.22	544,501	E 1,339,163	
D-12	DOUBLE 'S' INLET	----	419.50	419.50	----	414.25	HO. CO. SD-4.23	544,489	E 1,339,088	
D-13	DOUBLE 'S' INLET	----	419.91	419.11	413.96	413.16	HO. CO. SD-4.23	544,625	E 1,338,967	
D-14	DOUBLE 'S' INLET	----	423.91	423.91	----	416.45	HO. CO. SD-4.23	544,667	E 1,338,899	
HW-2	TYPE 'C' HEADWALL	----	402.75	----	400.00	HO. CO. SD-5.21	544,766	E 1,339,249		

1 COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 2 LOCATION IS TO THE CENTER OF THE STRUCTURE AND THE TOP OF STRUCTURE ELEVATION SHOWN IS AT THE INVERT OF THE CHANNEL INTO THE SIDES OF THE STRUCTURE
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4105-D

PROFILES
 SCALE: HORIZ: 1"=50'
 VERT: 1"=5'

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	699'	
18"	HDPE	553'	

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE: MAY 26, 2008.

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or Hi-Q by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 9-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/15/07
 Chief, Division of Land Development

[Signature] 8/10/07
 Chief, Development Engineering Division

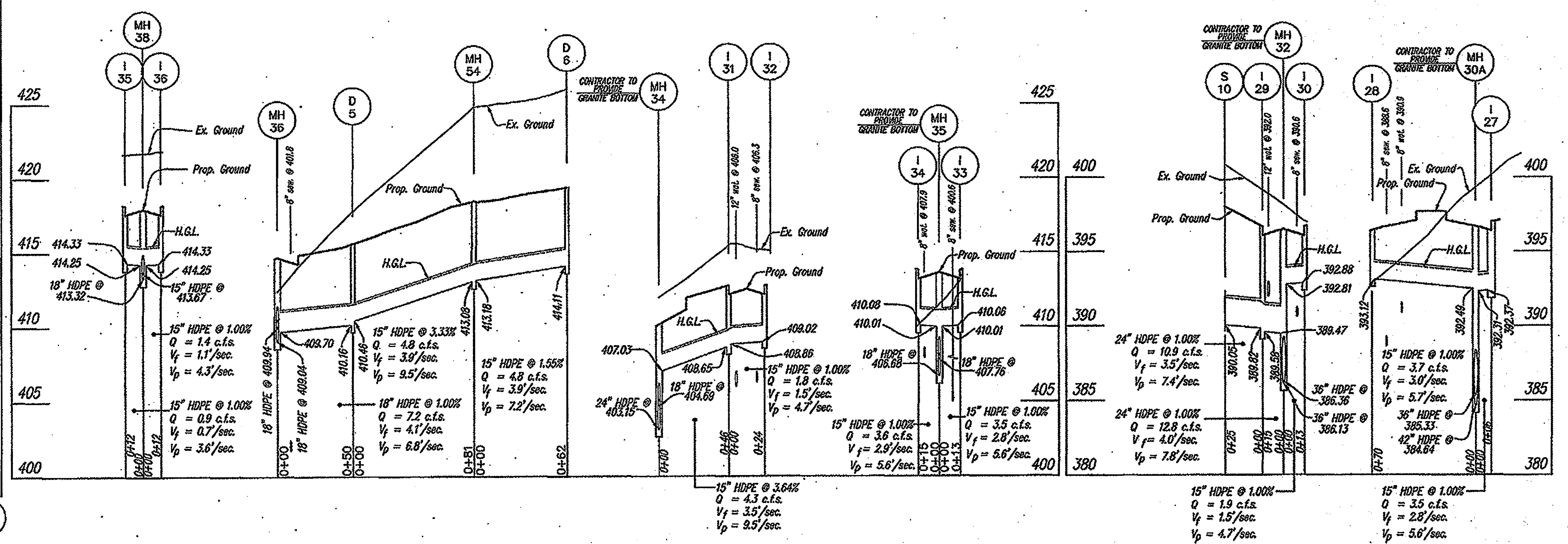
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3010 NATIONAL DRIVE - SUITE 200 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20896
 TEL: 301-421-0024 FAX: 301-421-0024

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD. 21208
 Attn: Charis O'Donovan
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 124,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 E 121 (L. 423 R. 23), E 420 (L. 1203 R. 22), E 202 (L. 824 R. 20)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16,21 & 22	18 OF 28

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-27	DOUBLE 'S' COMB. INLET	---	397.13	396.95	---	392.37	HO. CO. SD-4.34	N 543,600 E 1,339,617	△
I-28	DOUBLE 'S' COMB. INLET	---	397.13	396.95	---	393.12	HO. CO. SD-4.34	N 543,564 E 1,339,684	△
I-29	COG-10 INLET	---	396.99	396.60	389.82	389.58	MD 374.63	N 543,645 E 1,339,616	
I-30	COG-10 INLET	---	396.99	396.60	---	392.88	MD 374.63	N 543,689 E 1,339,630	
I-31	COG-10 INLET	---	413.00	412.83	408.86	408.65	MD 374.63	N 543,778 E 1,339,371	
I-32	COG-10 INLET	---	413.00	412.83	---	409.02	MD 374.63	N 543,800 E 1,339,360	
I-33	COG-10 INLET	---	413.95	413.80	---	410.06	MD 374.63	N 543,836 E 1,339,386	
I-34	COG-10 INLET	---	413.95	413.80	---	410.08	MD 374.63	N 543,849 E 1,339,391	
I-35	COG-10 INLET	---	418.50	418.12	---	414.33	MD 374.63	N 544,158 E 1,339,172	
I-36	COG-10 INLET	---	418.50	418.12	---	414.33	MD 374.63	N 544,179 E 1,339,160	
MH 30	STD. MANHOLE	6'-0"	---	399.51	383.90	383.80	MD 384.05	N 543,462 E 1,339,547	
MH 30A	STD. MANHOLE	6'-0"	---	396.46	392.49	384.64	MD 384.05	N 543,593 E 1,339,624	
MH 31	STD. MANHOLE	5'-0"	---	395.91	392.81	385.86	HO. CO. G 5.13	N 543,648 E 1,339,641	
MH 32	STD. MANHOLE	5'-0"	---	396.52	386.36	386.13	HO. CO. G 5.13	N 543,658 E 1,339,623	
MH 33	STD. MANHOLE	5'-0"	---	400.78	393.70	387.25	HO. CO. G 5.13	N 543,702 E 1,339,541	
MH 34	STD. MANHOLE	5'-0"	---	410.38	407.03	403.15	HO. CO. G 5.13	N 543,771 E 1,339,415	
MH 35	STD. MANHOLE	4'-0"	---	413.67	410.01	406.68	HO. CO. G 5.12	N 543,842 E 1,339,378	
MH 36	STD. MANHOLE	4'-0"	---	414.58	409.94	409.04	HO. CO. G 5.12	N 543,921 E 1,339,337	
MH 37	STD. MANHOLE	4'-0"	---	417.57	412.99	412.89	HO. CO. G 5.12	N 544,186 E 1,339,198	
MH 38	STD. MANHOLE	4'-0"	---	417.98	414.25	413.32	HO. CO. G 5.12	N 544,168 E 1,339,165	
MH 39	STD. MANHOLE	4'-0"	---	421.20	416.89	416.79	HO. CO. G 5.12	N 544,125 E 1,339,082	
MH 54	STD. MANHOLE	4'-0"	---	454.81	413.18	413.08	HO. CO. G 5.12	N 544,125 E 1,339,082	
D-5	SINGLE 'S' INLET	---	415.42	415.29	410.46	410.16	HO. CO. SD-4.22	N 543,898 E 1,339,293	
D-6	SINGLE 'S' INLET	---	419.38	419.32	---	414.11	HO. CO. SD-4.22	N 543,915 E 1,339,192	
D-7	DOUBLE 'S' INLET	---	421.29	421.25	---	417.42	HO. CO. SD-4.23	N 544,174 E 1,339,056	

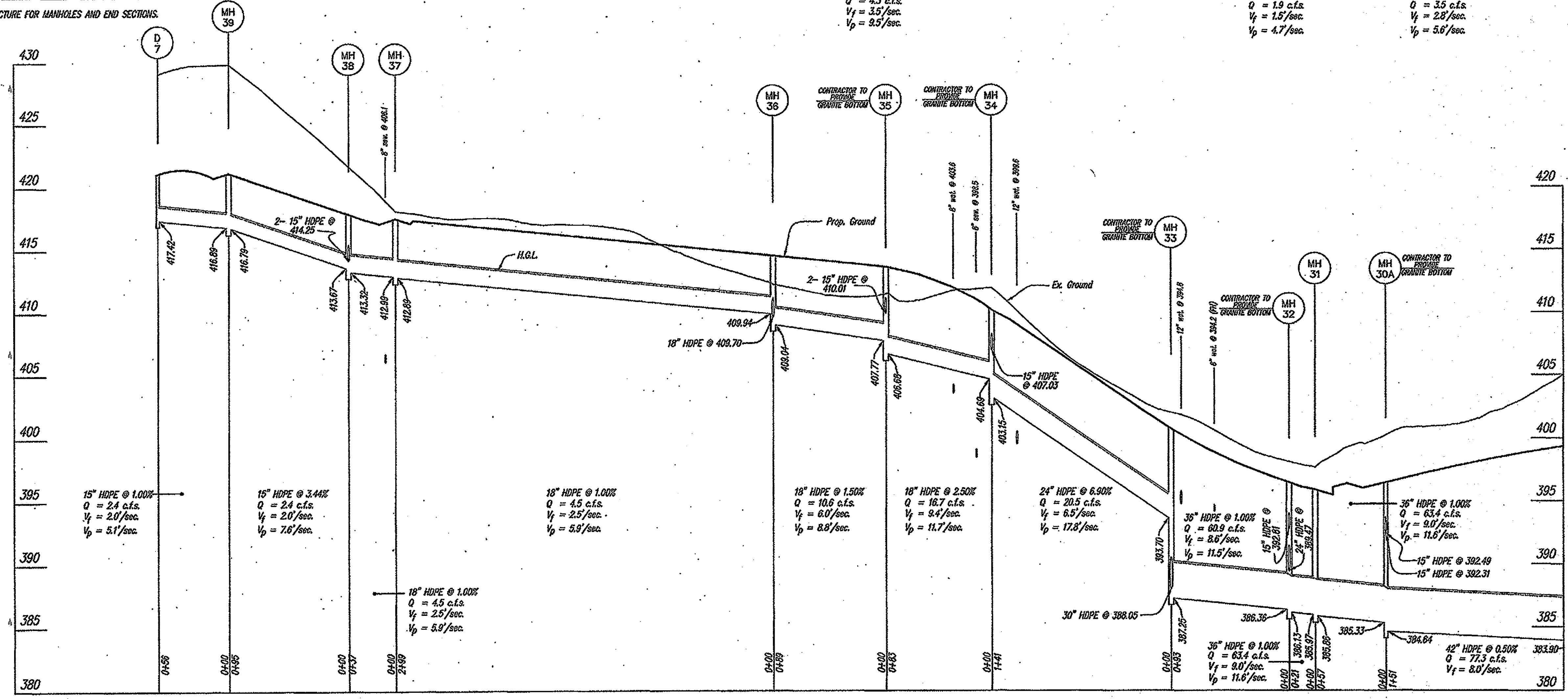


△ COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 △ TOP OF STRUCTURE ELEVATIONS ARE AT FLOW LINE OF STRUCTURE.
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4105-D

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	507'	
18"	HDPE	559'	
24"	HDPE	180'	
36"	HDPE	170'	
42"	HDPE	151'	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail G 2.01, "trench for P.V.C. pipe and H.D.P.E."

PROFILES
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 7-7-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 5/16/07

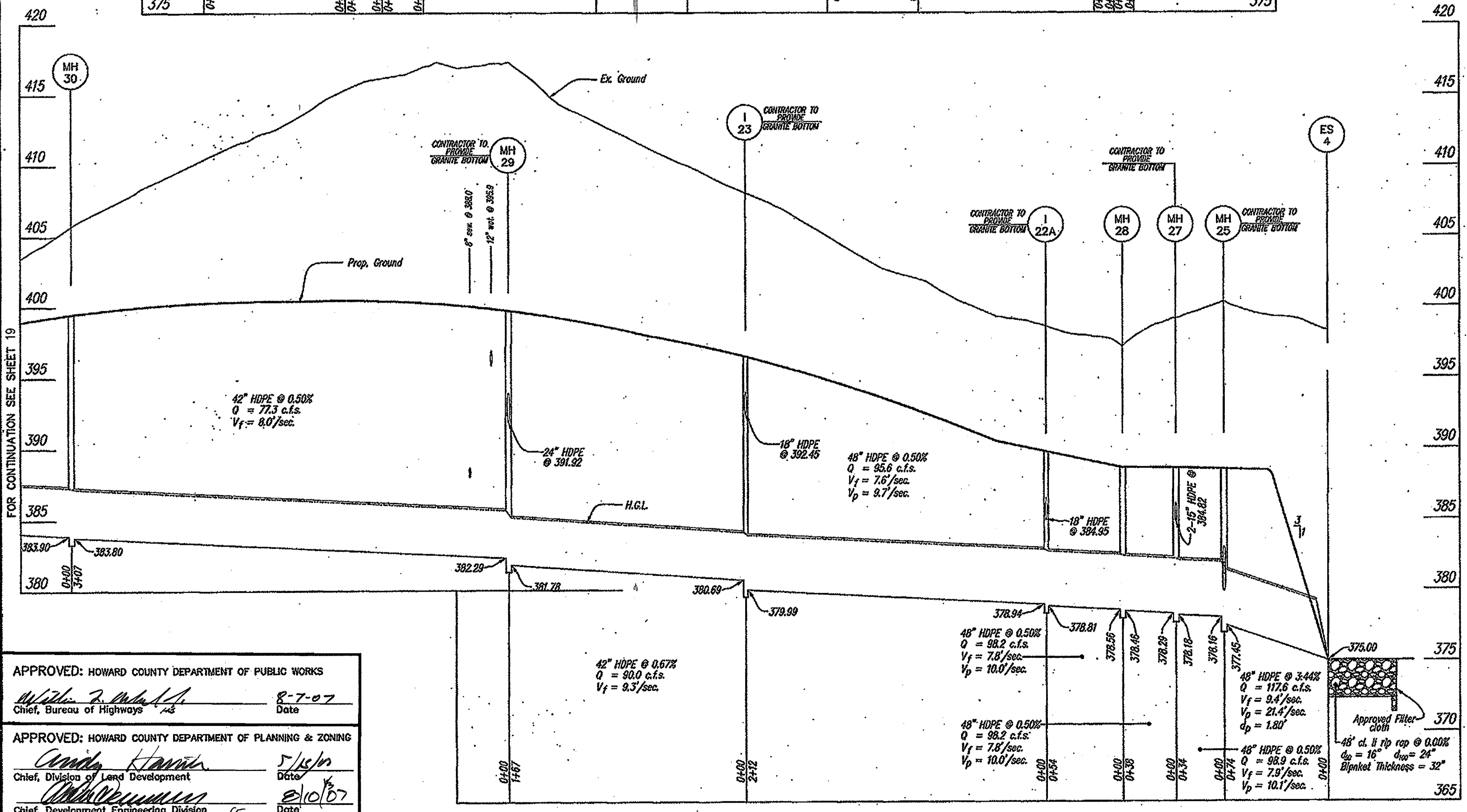
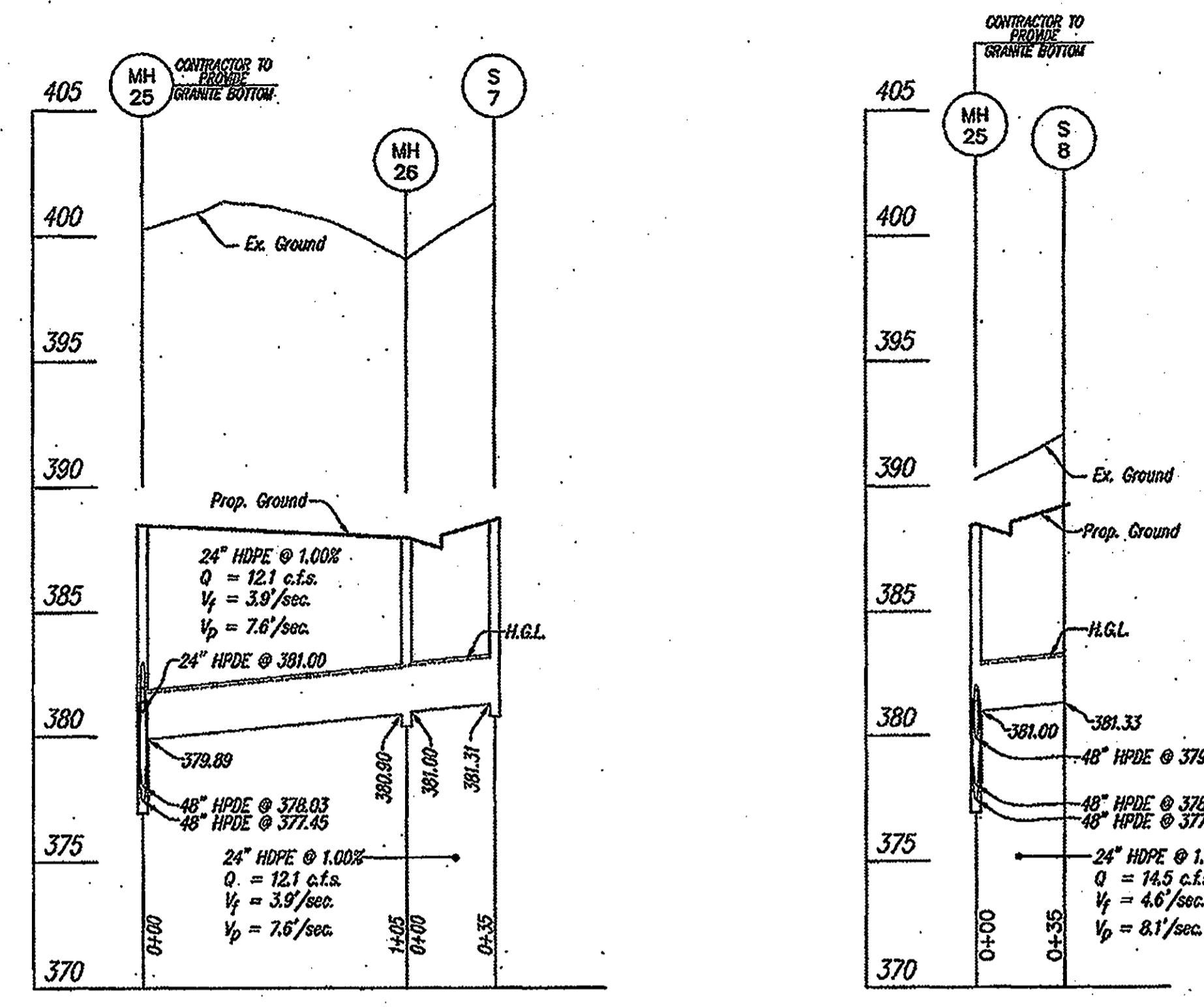
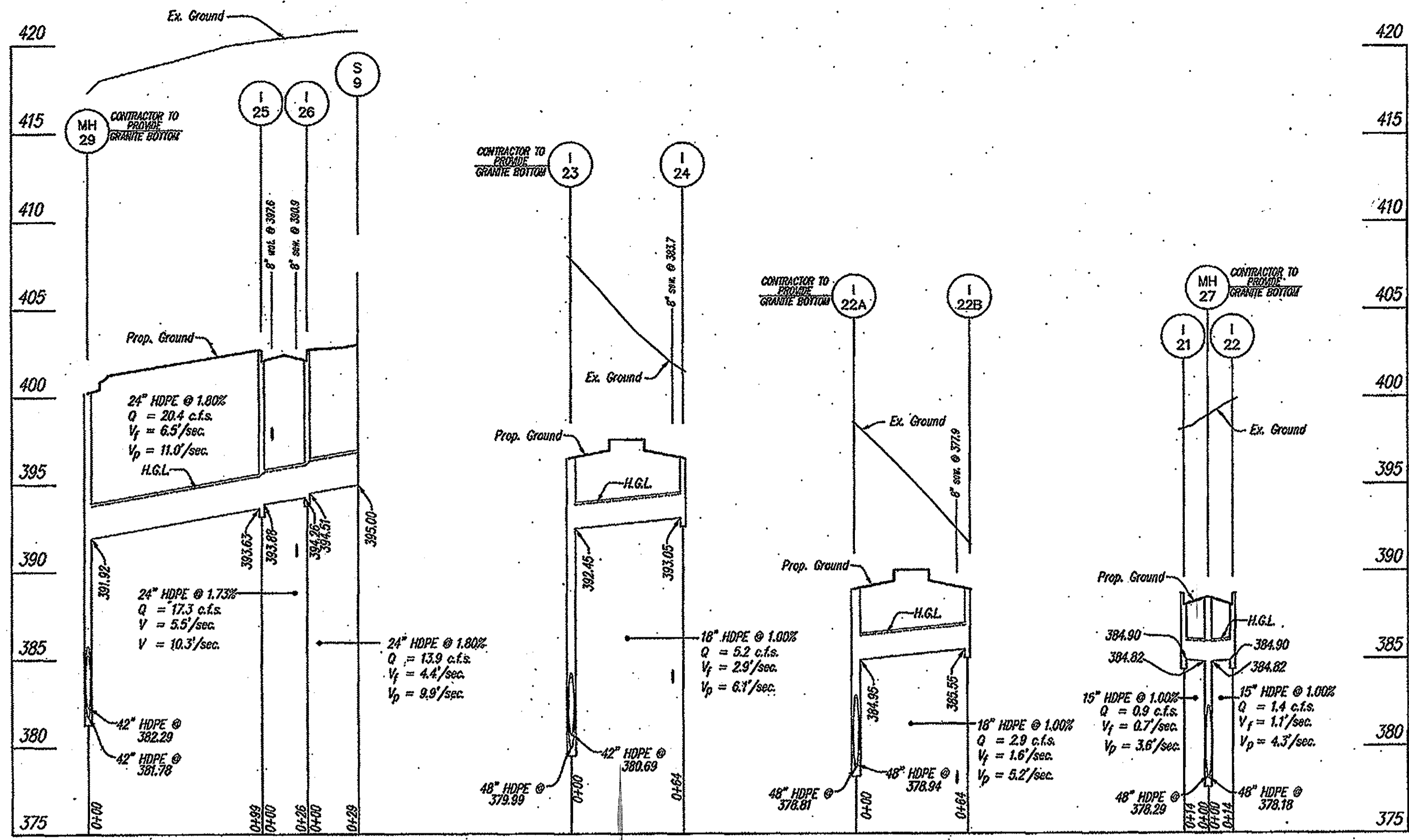
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 410-850-1820 DC/VA: 301-969-2524 FAX: 301-421-4188

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Attn: Charlie O'Donovan
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN
 ZONING: MXD-3
 DATE: JULY, 2007
 TAX MAP - GRID: 4T, 15,16,21 & 22
 SHEET: 19 OF 28
 G. L. W. FILE NO.: 02001

FOR CONTINUATION SEE SHEET 20



STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-21	COG-10 INLET	---	388.60	388.60	---	384.90	MD 374.63	N 542,762 E 1,339,536	
I-22	COG-10 INLET	---	388.60	388.60	---	384.90	MD 374.63	N 542,790 E 1,339,525	
I-22A	COG-15 INLET	---	390.21	389.51	384.95	378.81	MD 374.63	N 542,838 E 1,339,542	
I-22B	COG-15 INLET	---	390.21	389.51	---	385.55	MD 374.63	N 542,860 E 1,339,602	
I-23	COG-15 INLET	---	397.47	397.06	392.45	379.99	MD 374.63	N 543,038 E 1,339,470	
I-24	COG-15 INLET	---	397.47	397.06	---	393.05	MD 374.63	N 543,060 E 1,339,531	
I-25	COG-15 INLET	---	403.14	402.91	393.88	393.63	MD 374.63	N 543,220 E 1,339,303	
I-26	COG-15 INLET	---	403.14	402.91	394.51	394.26	MD 374.63	N 543,243 E 1,339,308	
MH 25	STD. MANHOLE	6'-0"	---	388.50	381.00	377.45	MD 384.05	N 542,761 E 1,339,490	
MH 26	STD. MANHOLE	4'-0"	---	387.99	381.00	380.90	HO. CO. G 5.12	N 542,725 E 1,339,395	
MH 27	STD. MANHOLE	6'-0"	---	388.59	384.82	378.18	MD 384.05	N 542,776 E 1,339,530	
MH 28	STD. MANHOLE	6'-0"	---	388.62	378.56	378.46	MD 384.05	N 542,788 E 1,339,560	
MH 29	STD. MANHOLE	6'-0"	---	399.72	391.92	381.78	MD 384.05	N 543,191 E 1,339,410	
MH 30	STD. MANHOLE	6'-0"	---	399.51	383.90	383.80	MD 384.05	N 543,647 E 1,339,547	

▲ COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 NOTES: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-100-0

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	28'	
18"	HDPE	128'	
24"	HDPE	329'	
42"	HDPE	474'	
48"	HDPE	412'	

PROFILES
 SCALE: HORIZ: 1"=50'
 VERT: 1"=5'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 25, 2008.



HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/16/08
 Chief, Division of Land Development

[Signature] 8/10/07
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-886-1828 DC/VA: 301-659-2524 FAX: 301-421-4186

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD, 21208
 Attn: Charlie O'Donovan
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
 Midtown District - Area I
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels "A", "B" & "C"
 P. 121 G. 423 E. 220, P. 450 (E. 1963 E. 623), E. 225 (E. 624 P. 220)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	15,16,21 & 22	20 OF 28

DES. DEV	DRN. AVL	CHK. DEV	DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

STRUCTURE SCHEDULE										
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS		REMARKS
			UPPER	LOWER	UPPER	LOWER		N	E	
I-7	COG-10 INLET	---	420.35	420.20	408.56	408.46	MD 374.63	N 544,017	E 1,338,676	
I-8	COG-10 INLET	---	420.35	420.20	---	416.43	MD 374.63	N 544,030	E 1,338,701	
I-9	COG-10 INLET	---	423.65	423.49	---	419.68	MD 374.63	N 544,244	E 1,338,672	
I-10	COG-15 INLET	---	425.85	425.63	---	422.72	MD 374.63	N 544,389	E 1,338,719	
I-11	COG-15 INLET	---	425.86	425.63	---	422.74	MD 374.63	N 544,393	E 1,338,695	
I-12	COG-15 INLET	---	428.00	427.77	---	423.98	MD 374.63	N 544,581	E 1,338,717	
MH 12	STD. MANHOLE	5'-0"	414.46	408.97	405.42	---	HQ. CO. G 5.13	N 543,677	E 1,338,710	
MH 13	STD. MANHOLE	5'-0"	418.73	412.50	408.19	---	HQ. CO. G 5.13	N 543,942	E 1,338,732	
MH 14	STD. MANHOLE	5'-0"	418.62	413.18	409.07	---	HQ. CO. G 5.13	N 543,997	E 1,338,703	
MH 14A	STD. MANHOLE	5'-0"	420.01	416.34	409.30	---	HQ. CO. G 5.13	N 544,024	E 1,338,689	
MH 15	STD. MANHOLE	5'-0"	420.81	409.85	409.75	---	HQ. CO. G 5.13	N 544,052	E 1,338,654	
MH 16	STD. MANHOLE	5'-0"	421.15	415.80	410.05	---	HQ. CO. G 5.13	N 544,094	E 1,338,663	
MH 16A	STD. MANHOLE	5'-0"	421.30	415.74	410.50	---	HQ. CO. G 5.13	N 544,104	E 1,338,684	
MH 17	STD. MANHOLE	4'-0"	423.30	419.59	417.62	---	HQ. CO. G 5.12	N 544,242	E 1,338,685	
MH 18	STD. MANHOLE	4'-0"	425.44	422.64	420.79	---	HQ. CO. G 5.12	N 544,391	E 1,338,708	
MH 19	STD. MANHOLE	4'-0"	427.58	423.89	423.79	---	HQ. CO. G 5.12	N 544,539	E 1,338,730	
HW-3	TYPE 'C' HEADWALL	---	414.60	---	412.05	---	HQ. CO. SD-3.21	---	---	

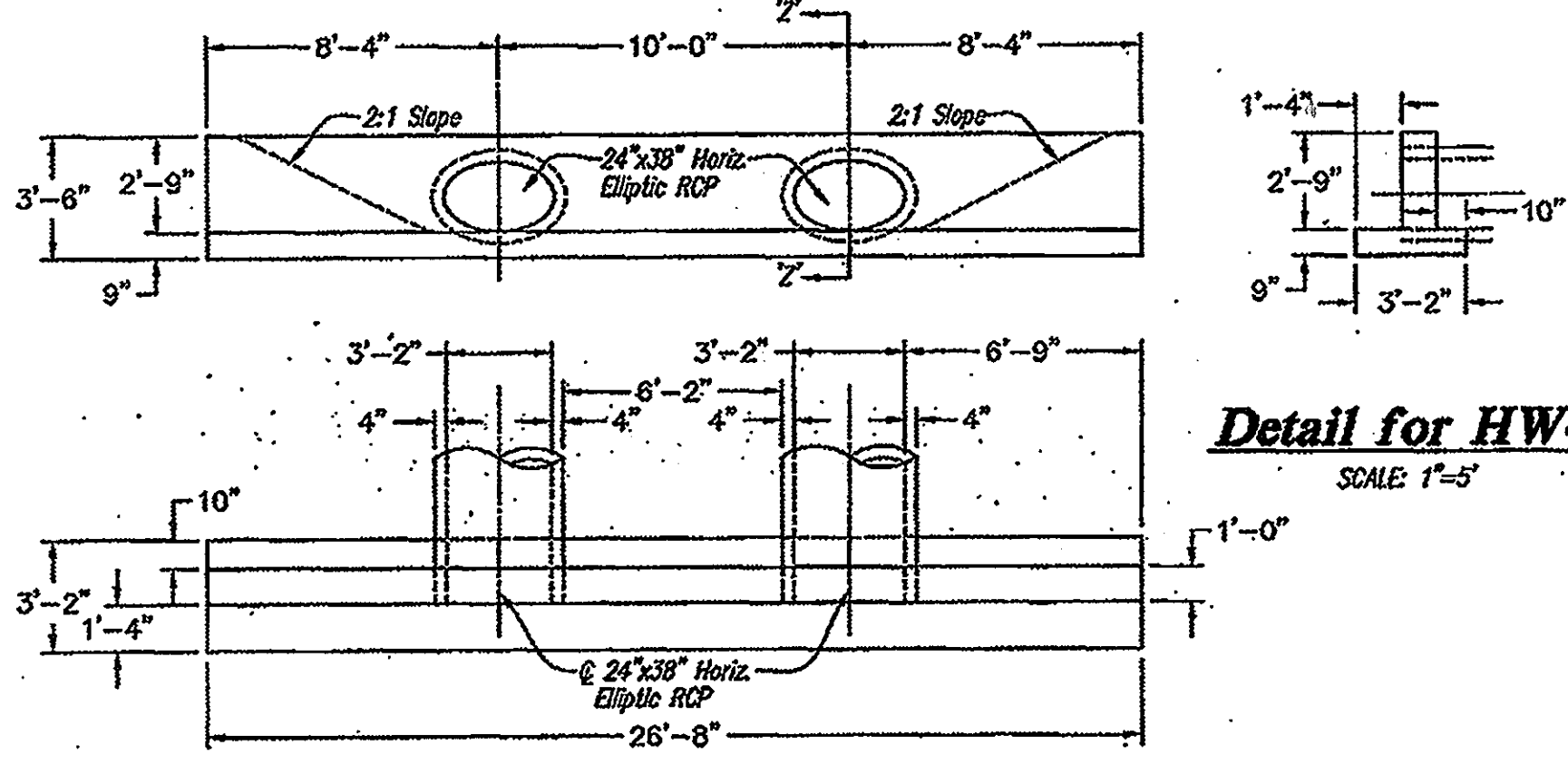
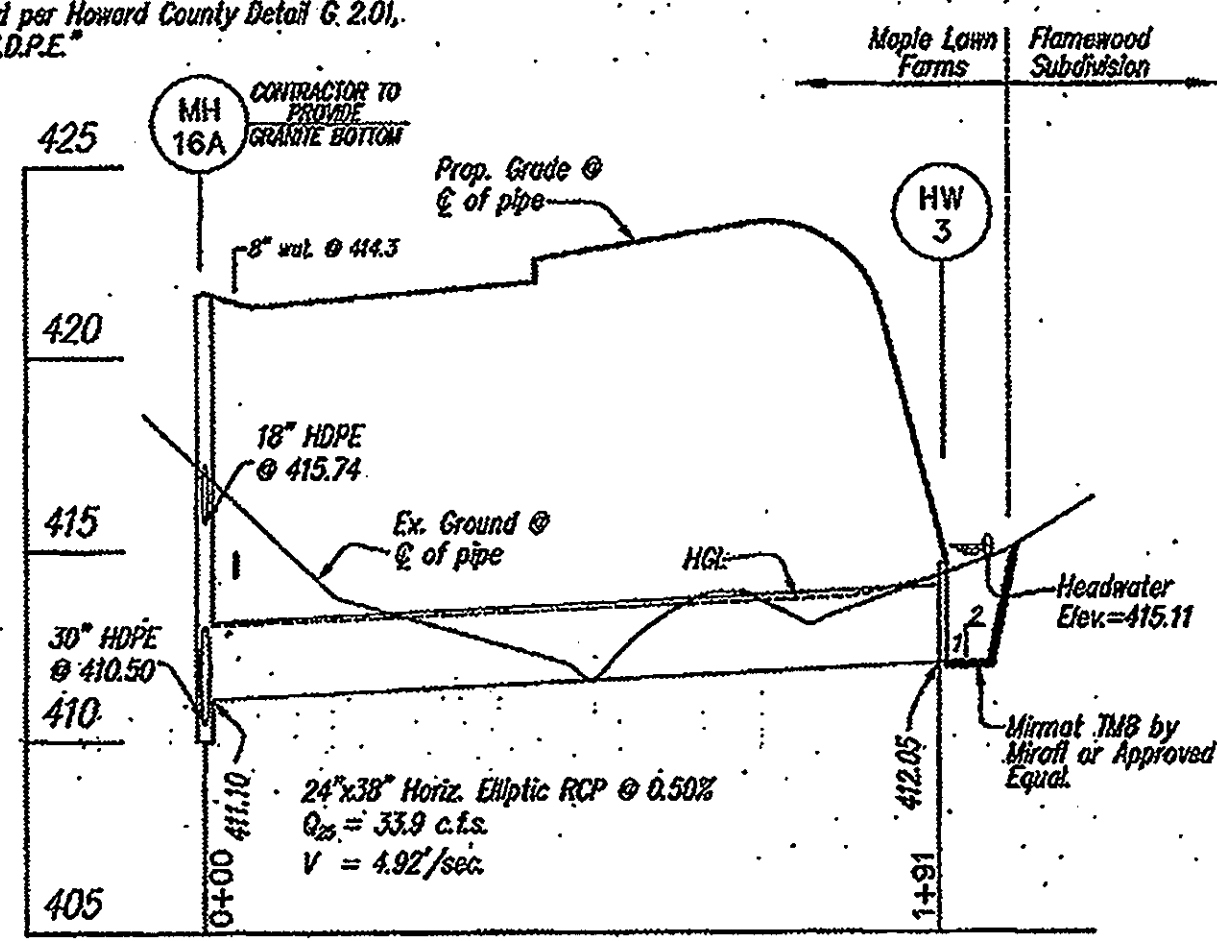
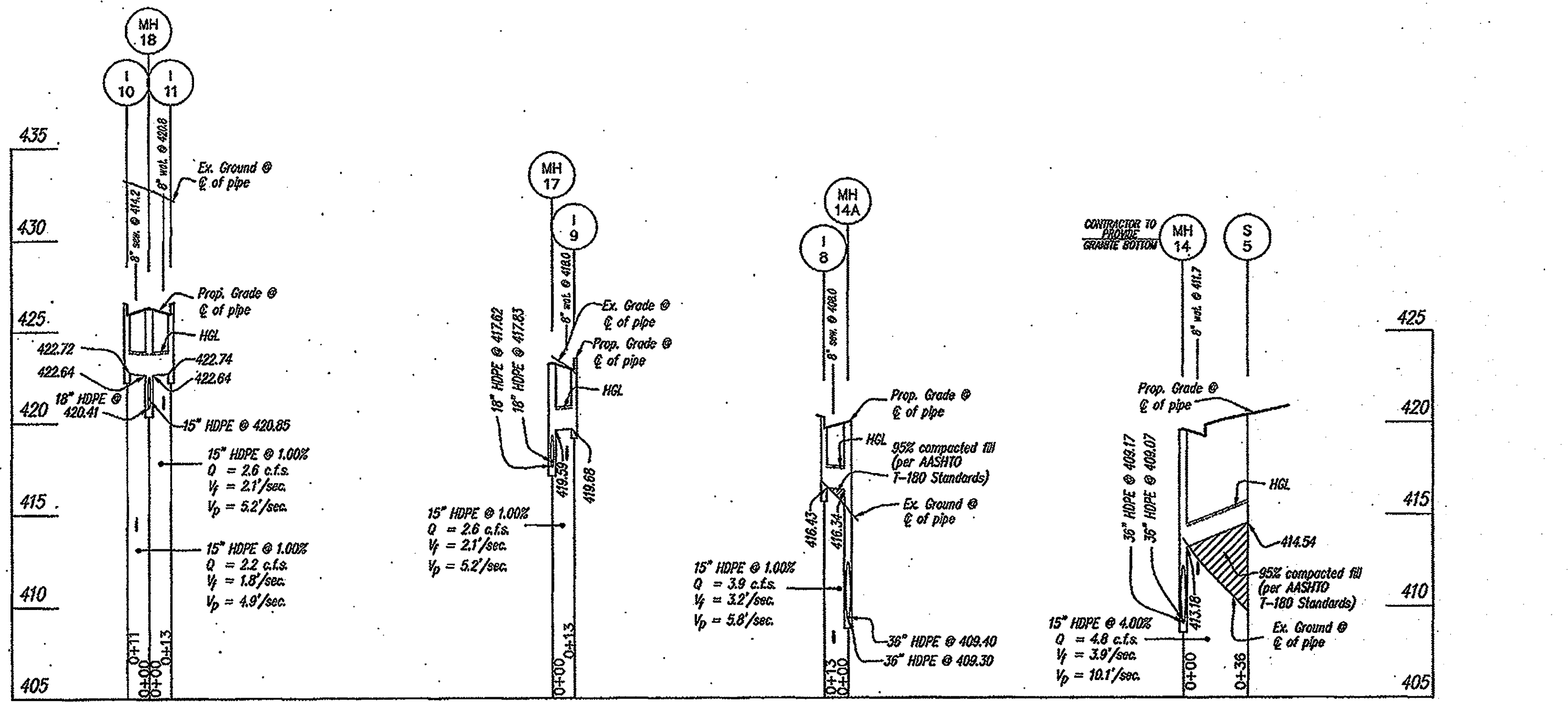
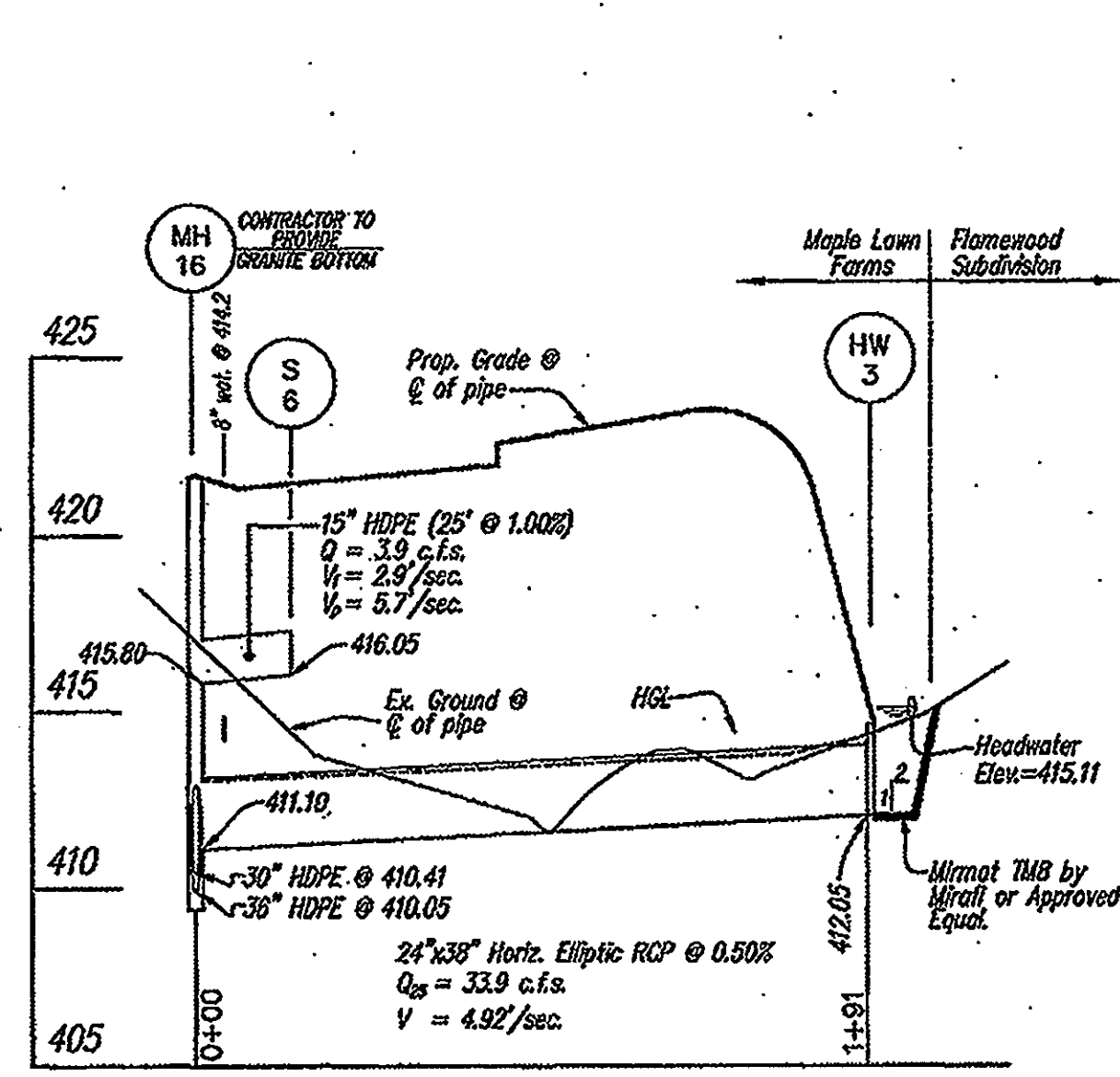
COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4105-D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	261'	
18"	HDPE	290'	
30"	HDPE	10'	
36"	HDPE	181'	
24"x38"	HERCP	380'	
42"	HDPE	299'	

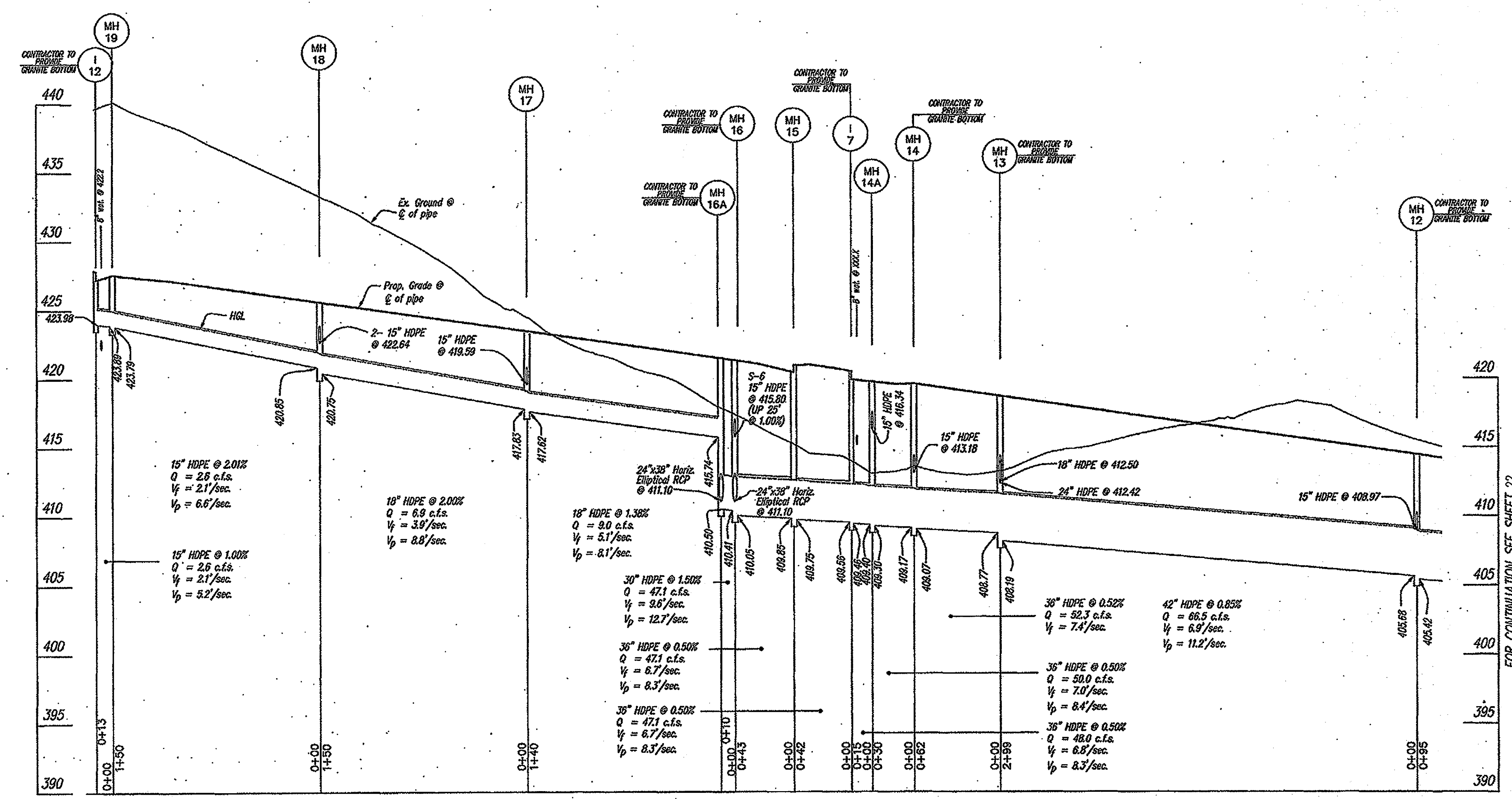
HDPE indicates High Density Polyethylene pipe, such as I-12 by ADS, or H-10 by Hancox or an approved equal.
HERCP indicates Horizontal Elliptical Reinforced Concrete Pipe.
Trench bedding to be provided per Howard County Detail C.201.
Trench for P.V.C. pipe and H.D.P.E.

PROFILES

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



Detail for HW-3
SCALE: 1"=5'



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. White 8-7-07
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Andy Hantz 5/16/07
Chief, Division of Land Development Date
Chris Williams 6/10/07
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.



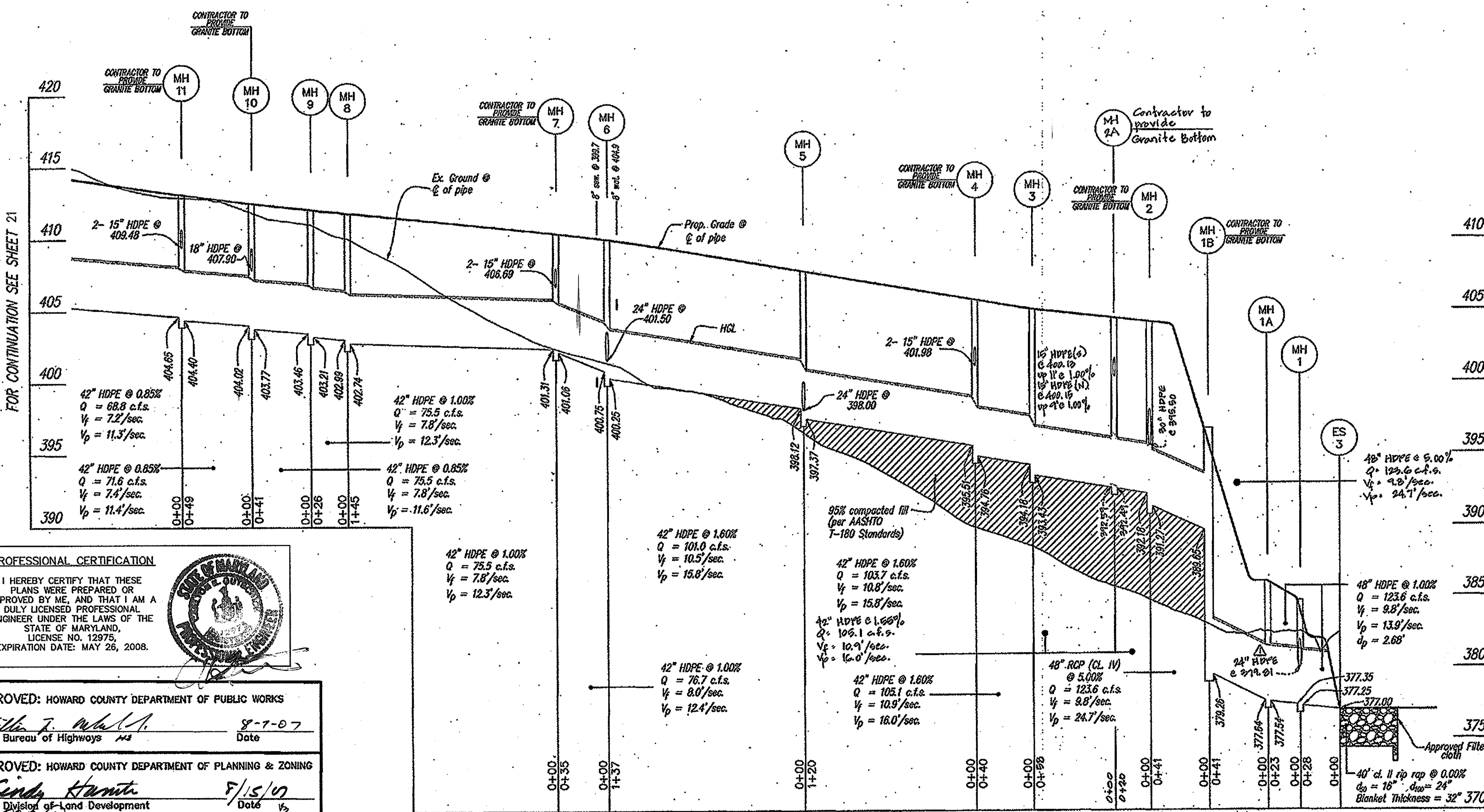
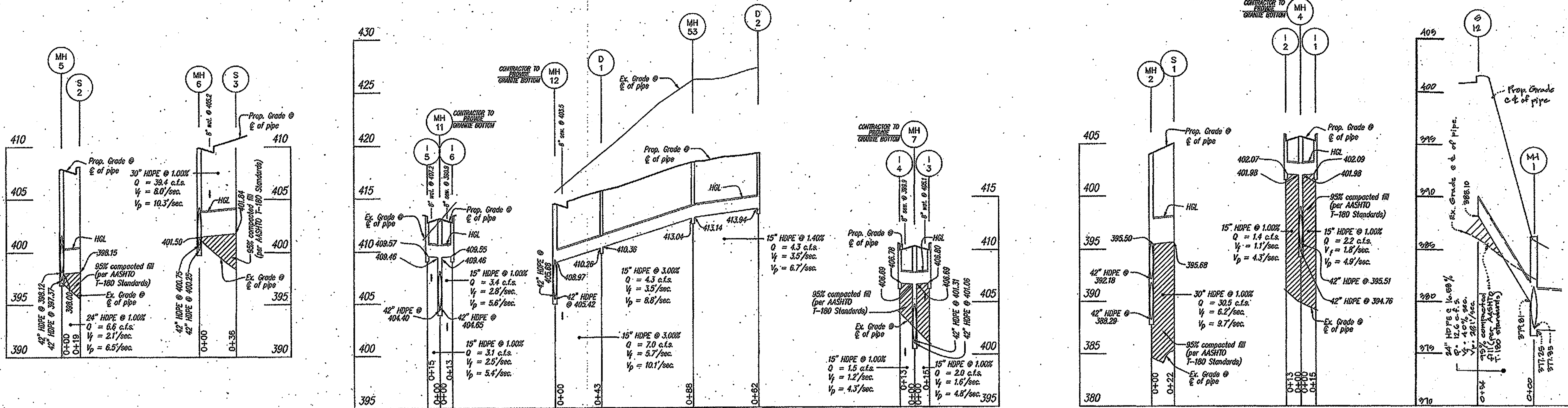
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3902 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-0224 FAX: 301-421-4186

PREPARED FOR:
G & R Maple Lawn, Inc., et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD, 21208
Attn: Charlie O'Donovan
410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
Midtown District - Area 1
Lots 1 thru 120, Open Space Lots 121 thru 127,
Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
E. 121 (L. 4213 E. 59, E. 450 (L. 1908 E. 623, E. 205 (L. 824 E. 590)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41-15,16,21 & 22	21 OF 28

FOR CONTINUATION SEE SHEET 22



STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-1	COG-10 INLET	---	405.99	405.80	---	402.09	MD 374.63	N 543,060 E 1,338,870	
I-2	COG-10 INLET	---	405.99	405.80	---	402.07	MD 374.63	N 543,055 E 1,338,897	
I-3	COG-10 INLET	---	410.60	410.49	---	406.80	MD 374.63	N 543,923 E 1,338,923	
I-4	COG-10 INLET	---	410.61	410.49	---	406.78	MD 374.63	N 543,351 E 1,338,950	
I-5	COG-10 INLET	---	413.40	413.25	---	409.57	MD 374.63	N 543,586 E 1,338,901	
I-6	COG-10 INLET	---	413.40	413.25	---	409.55	MD 374.63	N 543,599 E 1,338,926	
MH 1	STD. MANHOLE	6'-0"	---	384.64	379.81	377.25	MD 384.05	N 542,929 E 1,338,777	
MH 1A	STD. MANHOLE	6'-0"	---	386.00	377.64	377.54	MD 384.05	N 542,952 E 1,338,781	
MH 1B	STD. MANHOLE	6'-0"	---	396.67	389.65	379.26	MD 384.05	N 542,902 E 1,338,788	
MH 2	STD. MANHOLE	6'-0"	---	401.47	392.18	391.27	MD 384.05	N 543,033 E 1,338,796	
MH 3	STD. MANHOLE	6'-0"	---	402.29	394.18	393.43	MD 384.05	N 543,018 E 1,338,877	
MH 4	STD. MANHOLE	6'-0"	---	405.67	401.98	394.76	MD 384.05	N 543,058 E 1,338,885	
MH 5	STD. MANHOLE	6'-0"	---	407.69	398.00	397.37	MD 384.05	N 543,175 E 1,338,906	
MH 6	STD. MANHOLE	6'-0"	---	409.92	401.50	400.25	MD 384.05	N 543,311 E 1,338,930	
MH 7	STD. MANHOLE	6'-0"	---	410.34	406.69	401.06	MD 384.05	N 543,345 E 1,338,936	
MH 8	STD. MANHOLE	6'-0"	---	411.80	402.99	402.74	MD 384.05	N 543,488 E 1,338,962	
MH 9	STD. MANHOLE	6'-0"	---	412.06	403.46	403.21	MD 384.05	N 543,513 E 1,338,956	
MH 10	STD. MANHOLE	6'-0"	---	412.50	407.90	403.77	MD 384.05	N 543,550 E 1,338,937	
MH 11	STD. MANHOLE	5'-0"	---	413.11	409.48	404.40	HO. CO. G 5.13	N 543,583 E 1,338,915	
MH 53	STD. MANHOLE	4'-0"	---	418.41	413.15	413.05	HO. CO. G 5.12	N 543,738 E 1,338,987	
MH 2A	STD. MANHOLE	6'-0"	---	404.25	400.15	392.49	MD. 384.05	N 543,029 E 1,338,820	
D-1	SINGLE 'S' INLET	---	415.46	415.17	410.37	410.27	HO. CO. SD. 4.22	N 543,697 E 1,338,909	
D-2	SINGLE 'S' INLET	---	419.43	419.37	---	---	HO. CO. SD. 4.22	N 543,793 E 1,338,958	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT 24-4105-D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	24'	
24"	HDPE	70'	
30"	HDPE	57'	
42"	HDPE	750'	
48"	HDPE	51'	

PROFILES
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. ...
Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Cinda ...
Chief, Division of Land Development

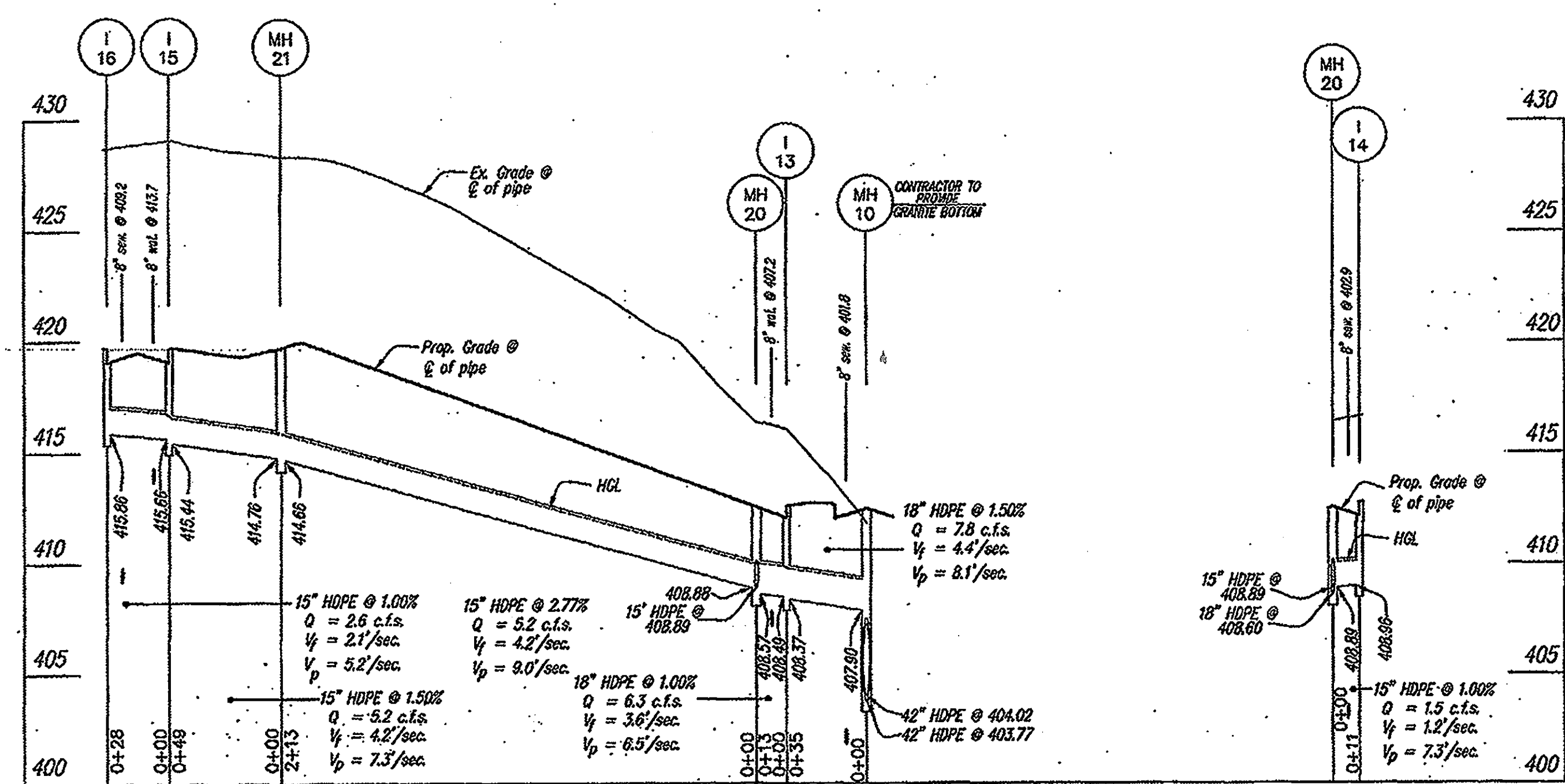
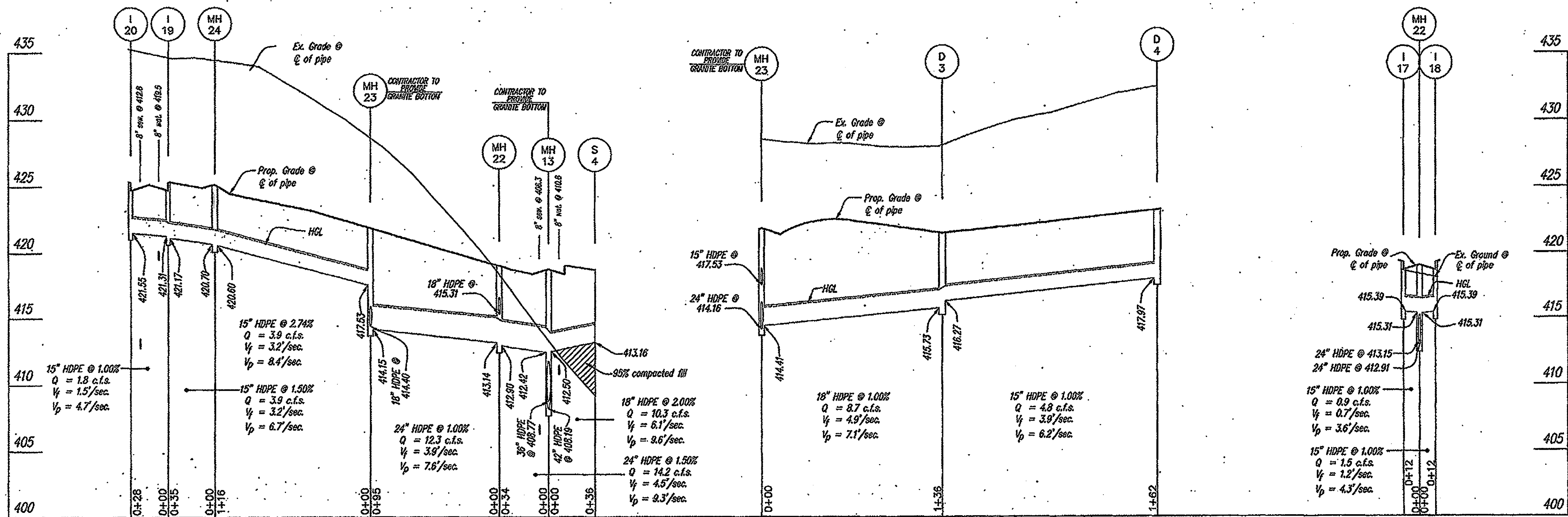
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4196

NO.	DATE	REVISION	BY	APPR.

PREPARED FOR:
G & R Maple Lawn, Inc., et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD, 21208
Attn: Charlie O'Donovan
410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
Midtown District - Area 1
Lots 1 thru 120, Open Space Lots 121 thru 127,
Common Open Areas 128 thru 132 and Parcels 1A, 1B, & 1C
P. 121 (L. 420 E. 53), E. 420 (L. 1208 E. 62), E. 205 (L. 604 E. 59)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	15, 16, 21 & 22	22 OF 28



STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-13	COG-10 INLET	---	412.94	412.77	408.49	408.37	MD 374.63	N 543,567 E 1,338,967	
I-14	COG-10 INLET	---	412.94	412.77	---	408.96	MD 374.63	N 543,588 E 1,338,956	
I-15	COG-10 INLET	---	419.80	419.65	415.66	415.44	MD 374.63	N 543,716 E 1,339,131	
I-16	COG-10 INLET	---	419.79	419.64	---	415.86	MD 374.63	N 543,728 E 1,339,156	
I-17	COG-10 INLET	---	419.51	419.18	---	415.39	MD 374.63	N 543,948 E 1,338,769	
I-18	COG-10 INLET	---	419.51	419.18	---	415.39	MD 374.63	N 543,969 E 1,338,758	
I-19	COG-10 INLET	---	425.48	425.33	421.31	421.17	MD 374.63	N 544,088 E 1,338,936	
I-20	COG-10 INLET	---	425.48	425.33	---	421.55	MD 374.63	N 544,101 E 1,338,961	
MH 10	STD. MANHOLE	6'-0"	---	412.50	407.90	403.77	MD 384.05	N 543,550 E 1,338,937	
MH 13	STD. MANHOLE	5'-0"	---	418.73	412.50	408.19	HO. CO. G 5.13	N 543,942 E 1,338,732	
MH 20	STD. MANHOLE	4'-0"	---	412.58	408.88	408.57	HO. CO. G 5.12	N 543,580 E 1,338,963	
MH 21	STD. MANHOLE	4'-0"	---	418.72	414.76	414.66	HO. CO. G 5.12	N 543,677 E 1,339,150	
MH 22	STD. MANHOLE	4'-0"	---	419.02	415.31	412.90	HO. CO. G 5.12	N 543,959 E 1,338,765	
MH 23	STD. MANHOLE	4'-0"	---	421.82	417.53	414.15	HO. CO. G 5.12	N 544,003 E 1,338,848	
MH 24	STD. MANHOLE	4'-0"	---	424.68	420.70	420.60	HO. CO. G 5.12	N 544,057 E 1,338,951	
D-3	DOUBLE 'S' INLET	---	423.08	422.94	416.27	415.73	HO. CO. SD-4.23	N 544,124 E 1,338,786	
D-4	DOUBLE 'S' INLET	---	425.20	425.13	---	417.97	HO. CO. SD-4.23	N 544,284 E 1,338,810	

NOTE: COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4105-D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	803'	
18"	HDPE	85'	
24"	HDPE	132'	

PROFILES
 SCALE: HORIZ: 1"=50'
 VERT: 1"=5'

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-9 by Hamcor or an approved equal.
 Trench bedding to be provided per Howard County Detail C.2.01.
 Trench for P.V.C. pipe and HDPE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. ... 8-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
... 8/15/07
 Chief, Division of Land Development

... 8/10/07
 Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION
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GLW Gutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3309 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-850-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

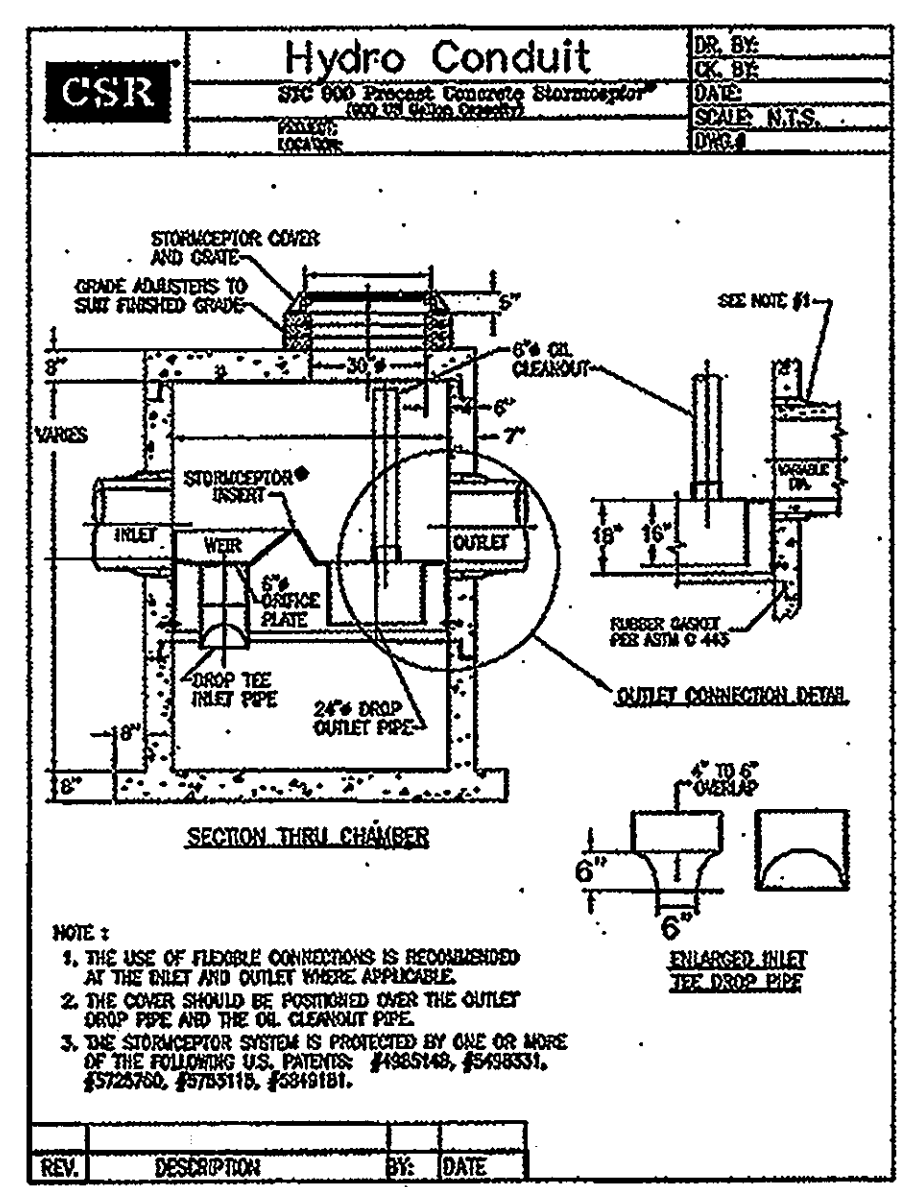
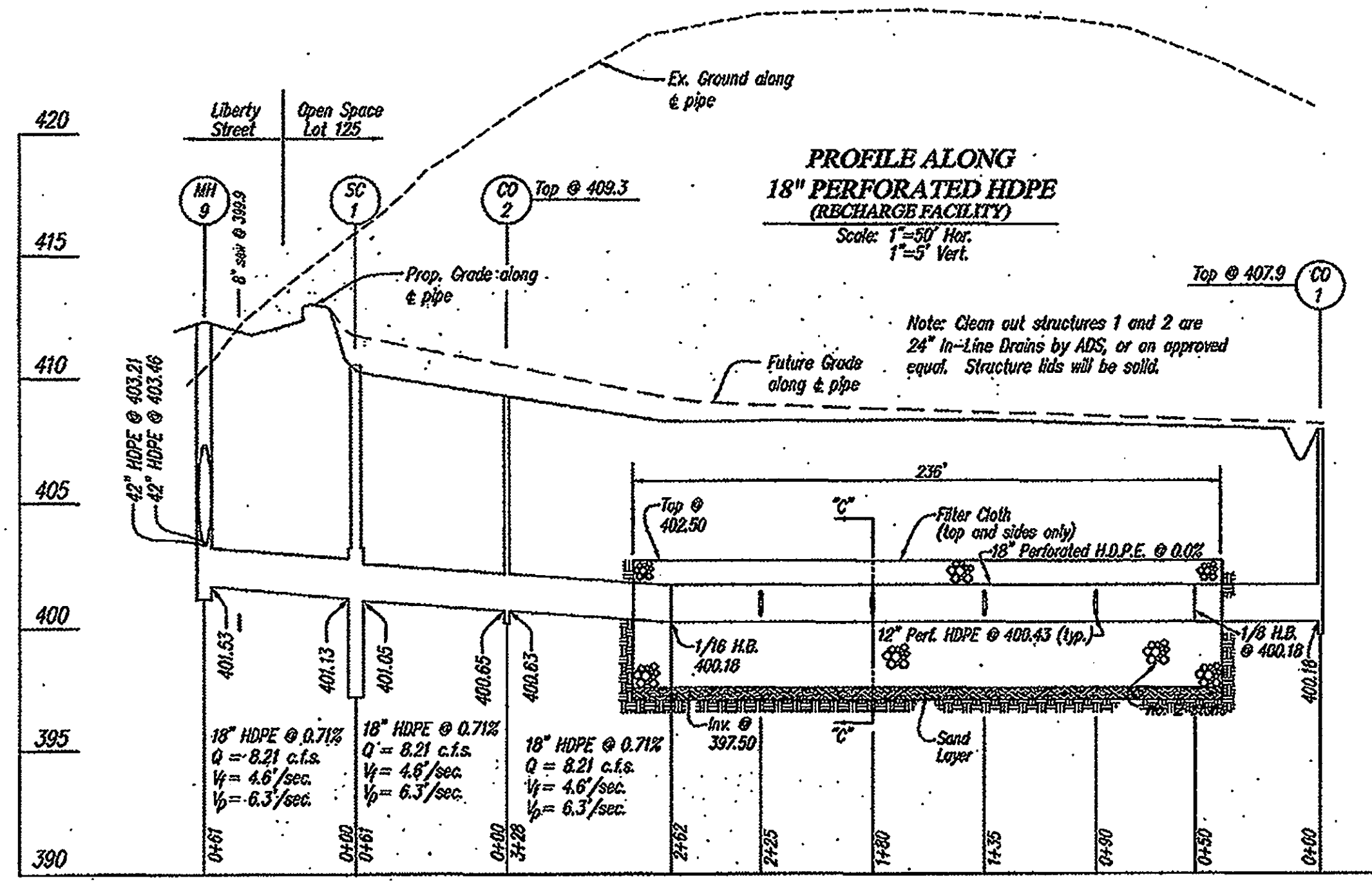
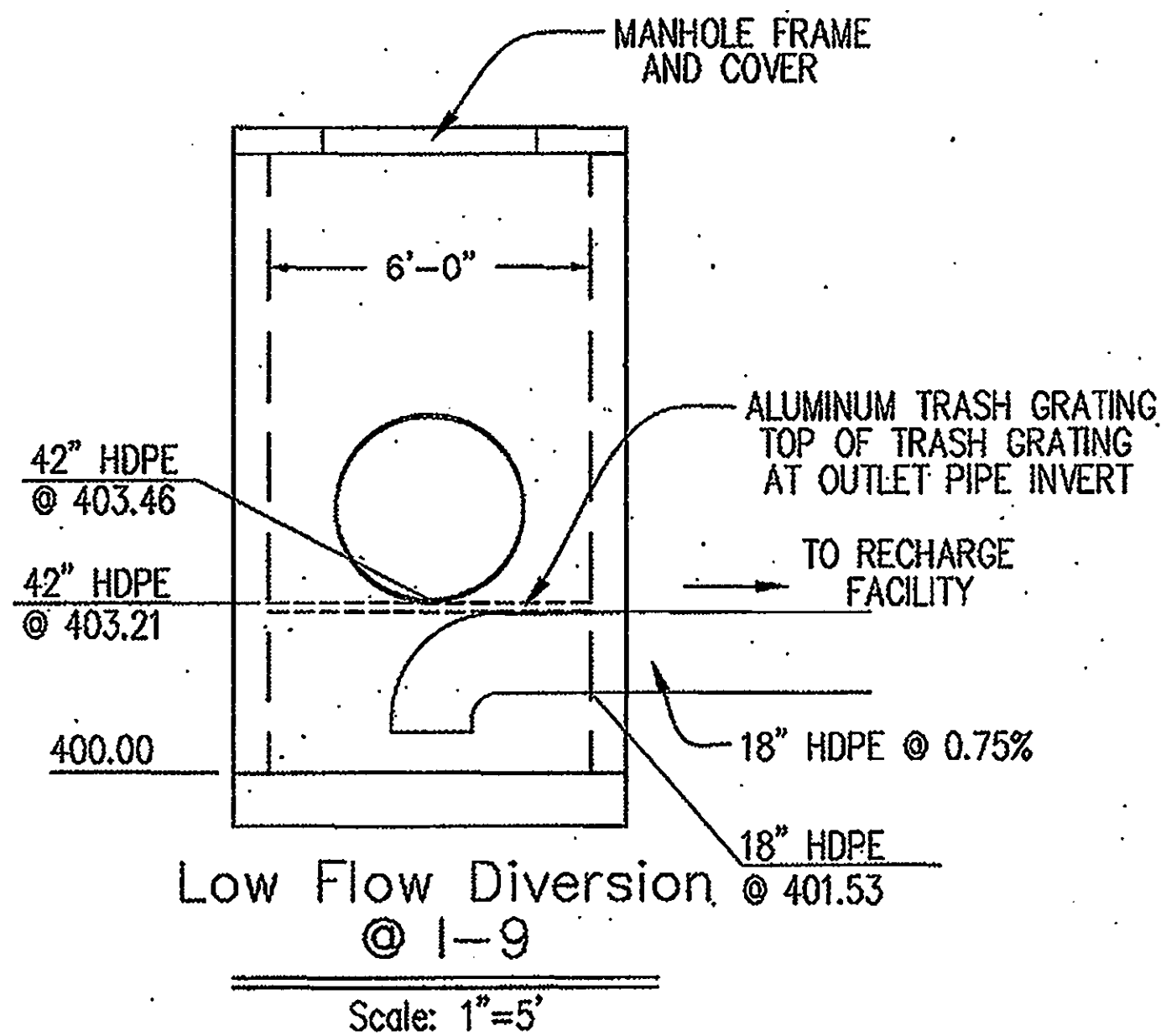
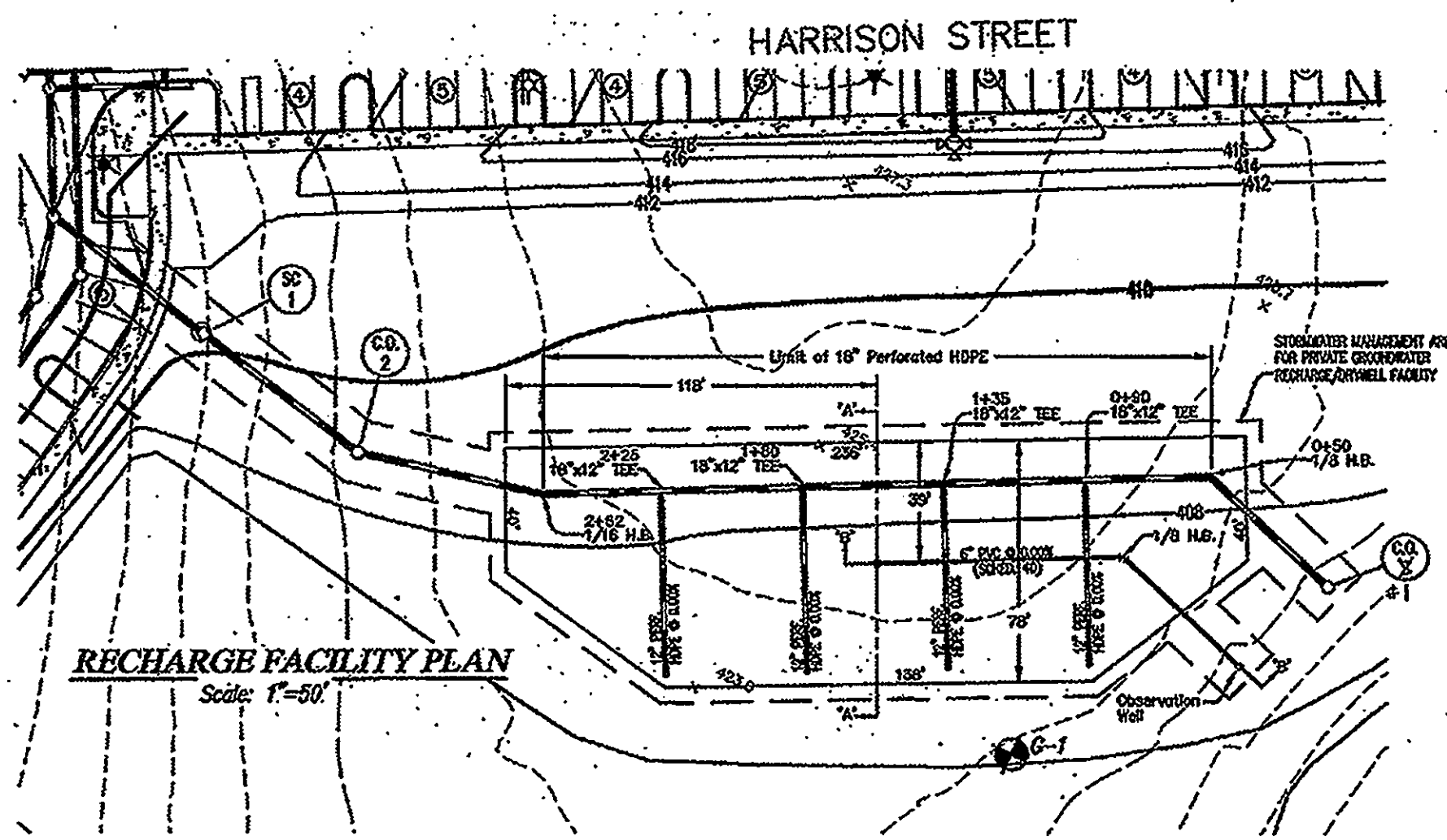
PREPARED FOR:
 G & R Maple Lawn, Inc., et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD, 21208
 Attn: Charlie O'Donovan
 410-484-8400

STORM DRAIN PROFILES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 1A*, 1B* & 1C*
 P. 121 (L. 423 & 58), P. 450 (L. 180 & 423), P. 285 (L. 694 & 590)

COUNTY FILE # F 03-090

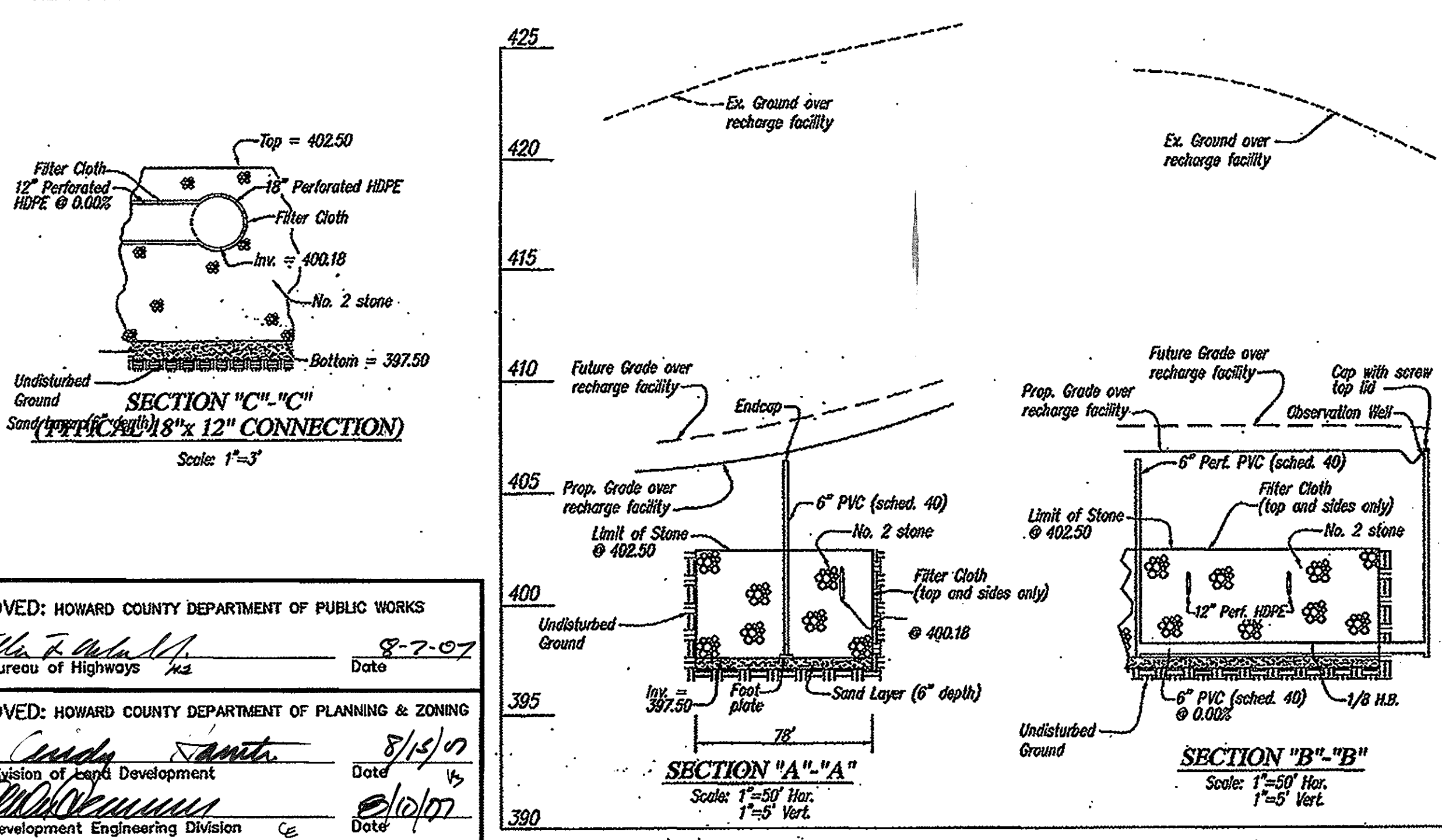
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41; 15,16,21 & 22	23 OF 28

HOWARD COUNTY, MARYLAND



- Operations And Maintenance Schedule For Privately Owned And Maintained Stormceptor Water Quality Device
- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the stormceptor unit yearly at a minimum, utilizing the stormceptor inspection/monitoring form. Inspections shall be done by using clear plexiglass tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in table G of the stormceptor Technical Manual, the unit must be cleaned.
 - The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
 - The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove water, sediment, debris, floating hydrocarbons and other materials in each unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
 - The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
 - The owner shall retain and make the Stormceptor Inspection / Monitoring Forms available to the Howard County officials upon their request.

- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (TYPE I-1 FACILITY)
- The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
 - Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
 - A log book shall be maintained to determine the rate at which the facility drains.
 - When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
 - The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
 - Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



Precast Concrete Stormceptor Order Request Form

CONTRACTOR INFORMATION: Name, Address, City, State, Zip, Phone, Fax, E-mail.

OWNER INFORMATION: Name, Address, City, State, Zip, Phone, Fax, E-mail.

STORMWATER DRAINAGE AREA FOR THE UNIT: Table with columns for Inlet Size and Inlet Pipe Length, and rows for 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000.

PLEASE FILL OUT COMPLETELY AND FAX TO: CSR Hydro Conduit ATTN: ED O'MALLEY FAX: (703)922-3699, PHONE: (703)971-1900 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-7-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/15/07

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

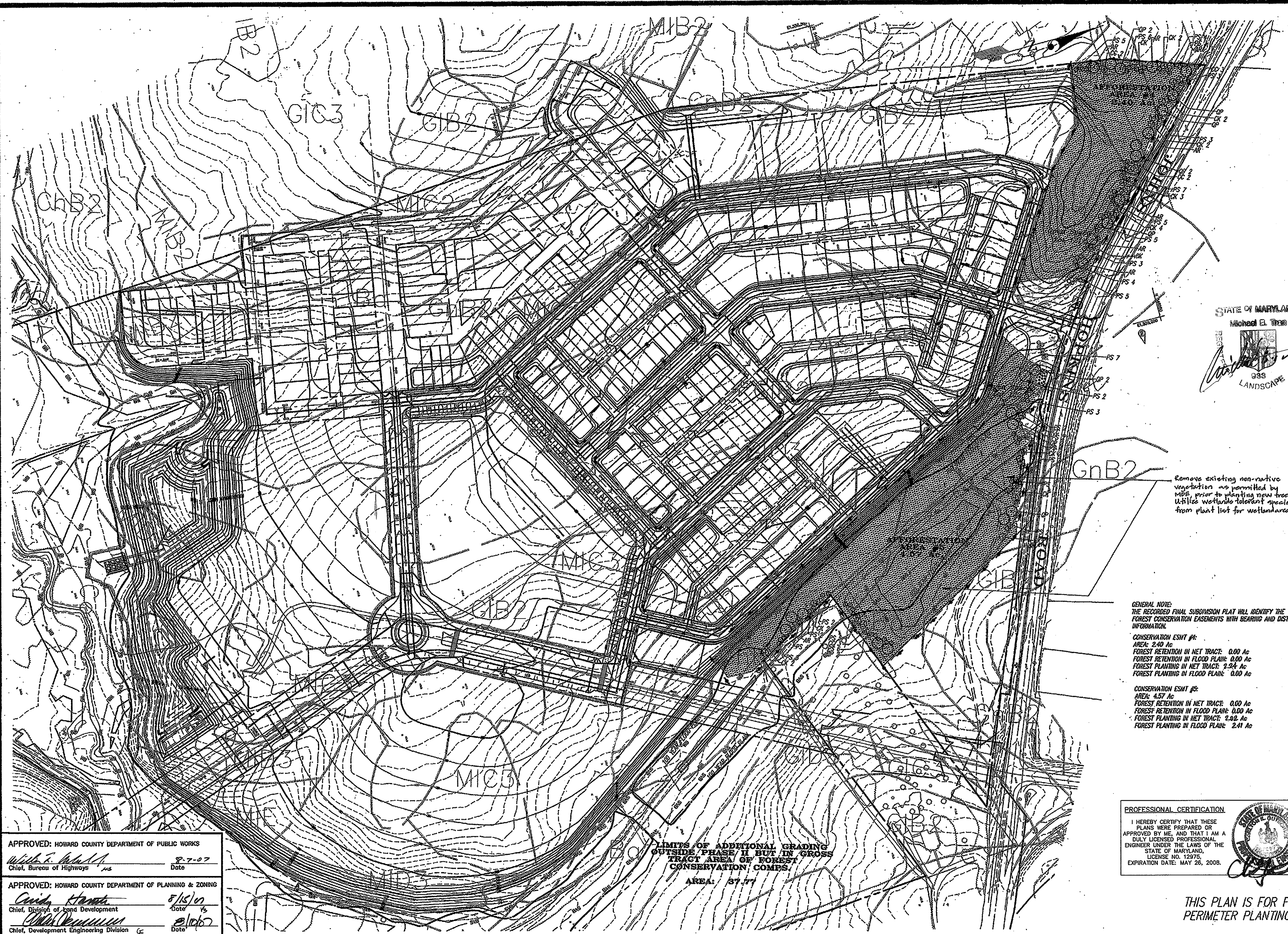
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3000 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR: G & R Maple Lawn, Inc., et. al. Suite 410, Woodholme Center 1829 Reisterstown Road Baltimore, MD. 21208 Attn: Charlie O'Donovan 410-484-8400

RECHARGE FACILITY DETAILS AND NOTES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 1A, 1B & 1C
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16, 21 & 22	24 OF 28

HOWARD COUNTY, MARYLAND

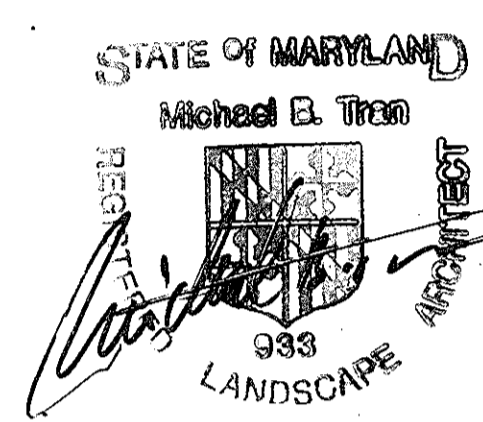


SITE DATA

GROSS AREA - PHASE I: 75.20
 NET TRACT AREA: 72.82

LEGEND

- LIMITS OF PHASE II
- LIMITS OF ADDITIONAL GRADING OUTSIDE PHASE II, BUT IN GROSS TRACT AREA OF F.C. COMPS
- EXISTING TOPOGRAPHY
- PROPOSED CONTOURS
- EXISTING TREE LINE
- 15-25% STEEP SLOPES
- 25% AND GREATER
- EXISTING STRUCTURES
- SOILS
- STREAM BUFFER
- WETLANDS
- FLOODPLAIN
- LIMIT OF DISTURBANCE
- TREE PLANTING AREA
- TREE PROTECTION SIGN
- FOREST CONSERVATION EASEMENT LINE
- PROPOSED BUFFER PLANTING



Remove existing non-native vegetation as permitted by MPE prior to planting new trees. Utilize wetlands tolerant species from plant list for wetland areas.

GENERAL NOTE:
 THE RECORDED FINAL SUBDIVISION PLAN WILL IDENTIFY THE FOREST CONSERVATION EASEMENTS WITH BEARING AND DISTANCE INFORMATION.

CONSERVATION ESMT #1:
 AREA: 2.40 Ac
 FOREST RETENTION IN NET TRACE: 0.00 Ac
 FOREST RETENTION IN FLOOD PLANE: 0.00 Ac
 FOREST PLANTING IN NET TRACE: 2.24 Ac
 FOREST PLANTING IN FLOOD PLANE: 0.00 Ac

CONSERVATION ESMT #2:
 AREA: 4.57 Ac
 FOREST RETENTION IN NET TRACE: 0.00 Ac
 FOREST RETENTION IN FLOOD PLANE: 0.00 Ac
 FOREST PLANTING IN NET TRACE: 2.02 Ac
 FOREST PLANTING IN FLOOD PLANE: 2.41 Ac

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12976, EXPIRATION DATE: MAY 26, 2008.

THIS PLAN IS FOR FOREST CONSERVATION AND PERIMETER PLANTING PURPOSES ONLY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/15/07
 Chief, Division of Land Development

[Signature] 8/15/07
 Chief, Development Engineering Division

LIMITS OF ADDITIONAL GRADING OUTSIDE PHASE II BUT IN GROSS TRACT AREA OF FOREST CONSERVATION COMPS
 AREA: 37.77

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3010 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4166

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD, 21208
 Attn: Charlie O'Donovan
 410-484-8400

FINAL FOREST CONSERVATION PLAN
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127
 Common Open Areas 128 thru 132 and Parcel 147, 148 & 149
 E. 121 St. 423 E. 50, E. 450 St. 196 E. 523, E. 525 St. 694 E. 530

SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15, 16, 21 AND 22	25 OF 28

FOREST CONSERVATION WORKSHEET (F-03-90)

I. SITE DATA

A. GROSS SITE AREA - PHASE II	75.20
B. AREA WITHIN 100-YEAR FLOOD PLAIN	2.38
C. NET TRACT AREA	72.82
D. LAND USE CATEGORY	MDD

II. INFORMATION FOR CALCULATIONS

A. NET TRACT AREA	72.82
B. REFORESTATION THRESHOLD (15% x A)	10.92
C. AFFORESTATION MINIMUM (15% x A)	10.92
D. EXISTING FOREST ON NET TRACT AREA	0.00
E. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
F. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.00

III. AFFORESTATION CALCULATIONS

A. NET TRACT AREA	72.82
B. AFFORESTATION MINIMUM (15% x A)	10.92
C. EXISTING FOREST ON NET TRACT AREA	0.00
D. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
E. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.00
F. TOTAL AFFORESTATION REQUIRED	10.92
G. TOTAL AFFORESTATION TO BE PROVIDED	6.67

IV. PROPOSED METHODS OF FULFILLING FOREST CONSERVATION OBLIGATIONS:

BASED ON THE ABOVE CALCULATIONS, NO REFORESTATION PLANTING IS REQUIRED FOR PHASE II. HOWEVER, 10.92 ACRES OF AFFORESTATION IS REQUIRED FOR THIS PHASE OF THE PROJECT. 6.97 ACRES OF AFFORESTATION IS PROPOSED FOR THIS PHASE, WHICH, ALONG WITH THE 5.19 ACRES EXCESS FROM PHASE I, EXCEEDS THE REQUIREMENT BY 1.24 ACRES. THE EXCESS FOREST PLANTING WILL BE CARRIED FORWARD TO FULFILL SDP-03-140 AND FUTURE AFFORESTATION REQUIREMENTS.

FUTURE AFFORESTATION AND REFORESTATION WILL BE PROVIDED INCREMENTALLY AS THE DEVELOPMENT PROGRESSES. A RUNNING ACCOUNTING OF THE PROGRESS OF AFFORESTATION OR REFORESTATION WILL BE PROVIDED DURING EVERY STEP TO SHOW THAT PROGRESSION OF THIS AFFORESTATION IS ON TRACK.

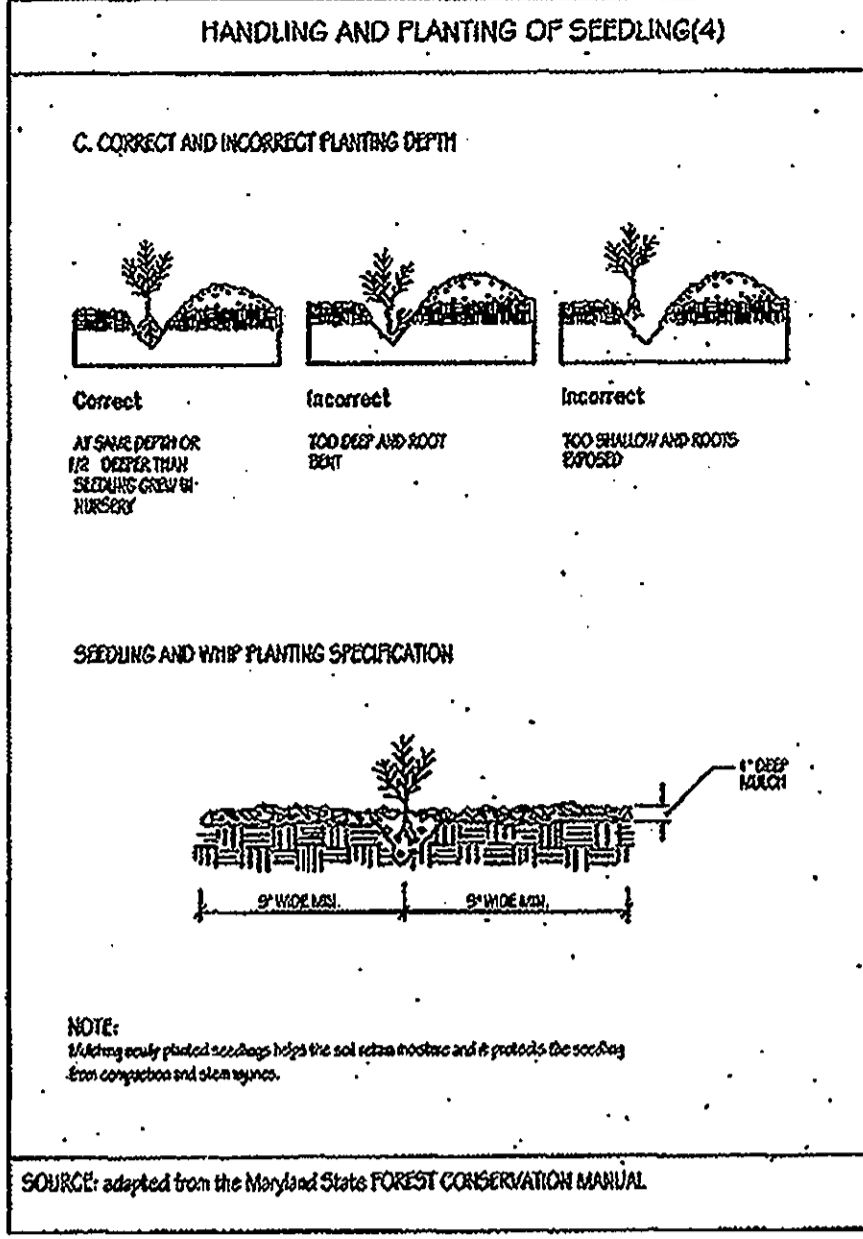
TREE PLANTING AND MAINTENANCE CALENDAR

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF P-20Y OR GREATER												
PLANTING SEEDLINGS, WHIP												
MINIMUM WATERING	*					*					*	
PRUNING												

KEY:
 * ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
 - GRADUALLY RECOMMENDED
 - RECOMMENDED WITH ADDITIONAL CARE
 - RECOMMENDED
 + DEFICIENT UPON SITE CONDITIONS
 ++ DEFICIENT UPON SITE CONDITIONS; WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"

NOTE:
 The planting and care of trees is most successful when coordinated with the local climatic conditions. The calendar represents some of the recommended tree types for tree reforestation and strip reduction activities.

SOURCE: adapted from the Maryland State FOREST CONSERVATION MANUAL



FOREST CONSERVATION PLANTING QUANTITY SCHEDULE

FOREST PLANTING LOCATION NO.	ESMT #4	ESMT #5
AREA TO BE PLANTED (IN AC.)	2.24	4.43
BASE QUANTITY OF 2" CAL. TREES REQUIRED (AT 100 TREES/AC.)	224	443
CREDIT FOR LANDSCAPE TREES	N/A	N/A
REQUIRED QUANTITY OF 2" CAL. TREES TO BE PLANTED*	224	443

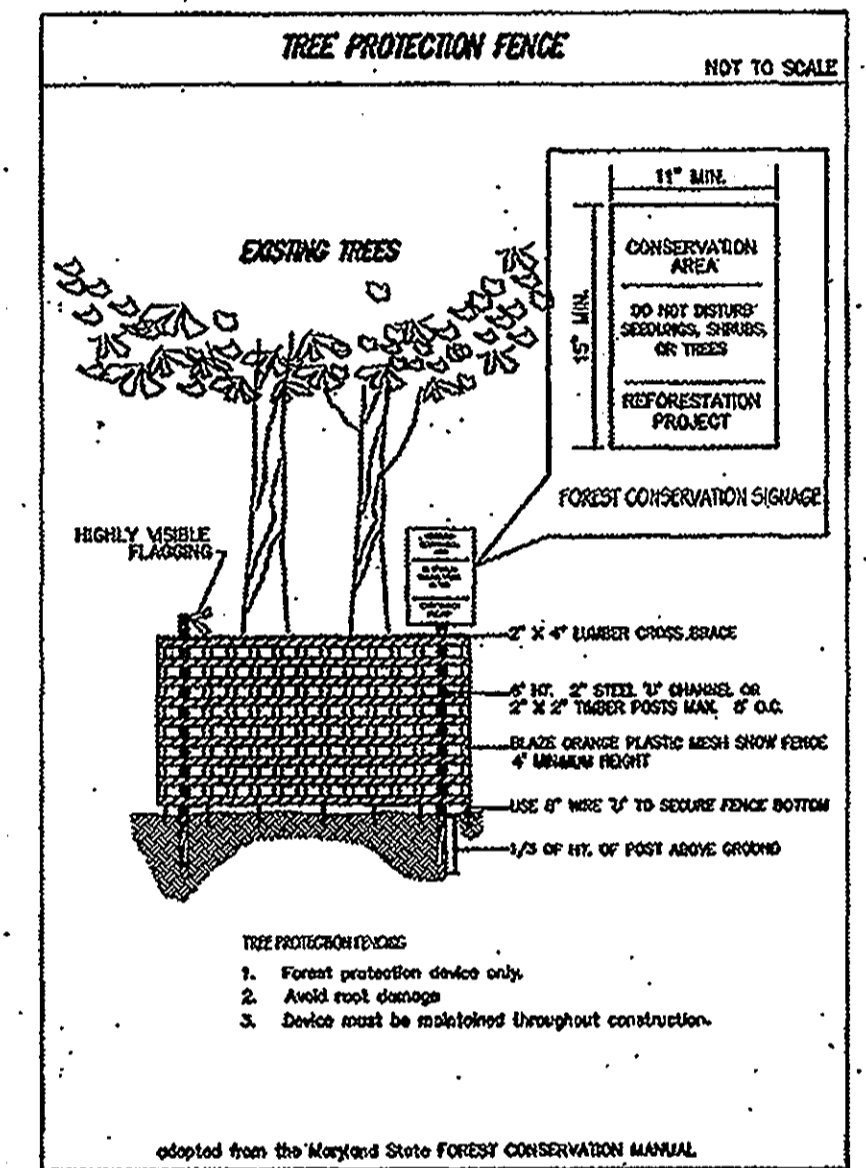
*ALTERNATE PLANTING DENSITY. THE REQUIRED QUANTITY TO BE PLANTED SHALL BE INCREASED BY A FACTOR OF:
 A. 2x FOR PLANTING WITH 1" CAL. TREES
 B. 7x FOR PLANTING WITH SEEDLINGS

Plantings for afforestation esmt. # 4 have been reduced by 20 shade, 72 evergreen, and 27 ornamentals for the purposes of providing landscape perimeter buffering. (20 shade x 400 s.f.=8000 s.f.; 72 e.g. trees x 225 s.f.=16,200; 27 ornamentals x 225 = 6,075, totalling 30,275 s.f. The area of F.C.A #4 is 20,224 s.f.-30,275 s.f. = 7,241 s.f. or 1.64 Ac. of planting obligation.

Plantings for afforestation esmt. # 5 have been reduced by 16 shade, 68 evergreen, and 20 ornamentals for the purposes of providing landscape perimeter buffering. (16 shade x 400 s.f.=6400 s.f.; 68 e.g. trees x 225 s.f.=15,300; 20 ornamentals x 225 = 4,500, totalling 26,200 s.f. The area of F.C.A #5 is 142,472 s.f.-26,200 s.f. = 116,272 s.f. or 2.64 Ac. of planting obligation. Plant list calculations are based on these remaining areas.

FOREST CONSERVATION PLANT LIST

PLANT NAME (BOTANICAL/COMMON)	FOREST PLANTING AREA	
	4	5
CORNUS KOUSA/KOUSA DOGWOOD	14	27
ACER RUBRUM/RED MAPLE	3	31
CERCIS CANADENSIS/EASTERN REDBUD	14	26
FRAXINUS PENNSYLVANICA/GREEN ASH	3	31
LIRIODENDRON TULIPIFERA/TULIP TREE	3	32
PLATANUS OCCIDENTALIS/AMERICAN SYCAMORE (PLANTREE)	3	32
QUERCUS PALUSTRIS/PIN OAK	12	32
LIQUIDAMBAR STYRACIFLUA/SWEET GUM	12	32
QUERCUS RUBRUM/RED OAK	12	32
QUERCUS BICOLOR/SWAMP WHITE OAK	12	32
PINUS STROBUS/WHITE PINE	12	32

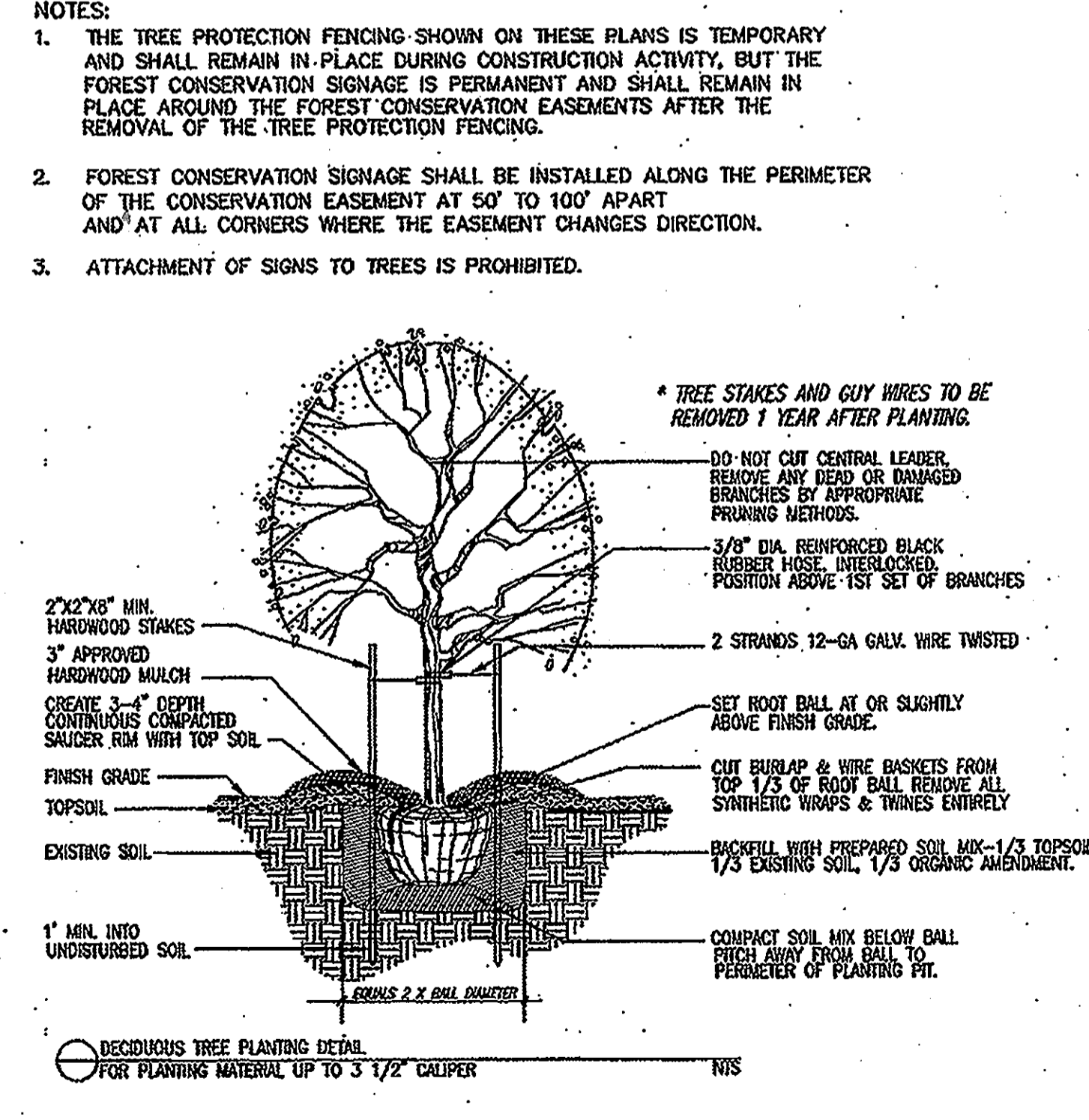


- NOTES:**
- THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2" CAL. TREES AT 20' X 20' SPACING. FOR PLANTING WITH 1" CAL. TREES OR WITH SEEDLINGS, THE ABOVE SHALL BE INCREASED BY THE FOLLOWING FACTOR.
 A. 2x FOR 1" CAL. TREES AT 15' X 15' SPACING.
 B. 7x FOR SEEDLINGS AT 8' X 8' SPACING.
 - ALL 1" AND 2" CAL. TREES SHALL BE B&B OR CONTAINER GROWN.
 - ALL SEEDLINGS SHALL BE 1-YEAR OR OLDER, 1/4" TO 1/2" CAL AND WITH ROOTS NO LESS THAN 8" LONG OR IN CONTAINERS.
 - TREE SPECIES SHALL BE PLANTED IN RANDOM ARRANGEMENT, IMITATING THE NATURAL PATTERN OF THE FOREST. THE TREES SHALL BE PLANTED IN A RANDOM PATTERN AS WELL, APPROXIMATELY 20' ON CENTER.
 - ALONG P-A, P-B, P-N, P-O OF THE LANDSCAPE PLAN, INCREASE REQUIRED CALIPER SIZE FOR FOLLOWING NOTED TREES:
 21 ACER RUBRUM - PLANT 2 1/2-3" CAL TREES ALONG PERIMETER EDGE.
 15 QUERCUS PALUSTRIS - PLANT 2 1/2-3" CAL TREES ALONG PERIMETER EDGE.
 140 PINUS STROBUS 7-8" IN HEIGHT PLANTED ALONG PERIMETER EDGE.
 14 CERCIS CANADENSIS 2-2 1/2" CAL ALONG PERIMETER EDGE.
 33 CORNUS KOUSA 2-2 1/2" CAL ALONG PERIMETER EDGE.

- NOTES:**
- THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2 1/2" CAL. TREES AT 20' X 20' SPACING. FOR PLANTING WITH 1" CAL. TREES OR WITH SEEDLINGS, THE ABOVE SHALL BE INCREASED BY THE FOLLOWING FACTOR.
 A. 2x FOR 1" CAL. TREES AT 15' X 15' SPACING.
 B. 7x FOR SEEDLINGS AT 8' X 8' SPACING.
 - ALL 1" AND 2" CAL. TREES SHALL BE B&B OR CONTAINER GROWN.
 - ALL SEEDLINGS SHALL BE 1-YEAR OR OLDER, 1/4" TO 1/2" CAL. AND WITH ROOTS NO LESS THAN 8" LONG OR IN CONTAINERS.

TABULATION OF PROPOSED FOREST CONSERVATION AREAS

FOREST CONSERVATION ESMT	4	5	TOTAL
FOREST PLANTING PROVIDED IN THE 100-YR FLOOD PLAIN	0.00 sf 0.00 Ac	104,981 sf 2.41 Ac	104,981 sf 2.41 Ac
FOREST PLANTING PROVIDED OUTSIDE THE 100 YR FLOOD PLAIN	47,974 sf 1.10 Ac	21,931 sf 0.50 Ac	69,905 sf 1.60 Ac
FOREST RETENTION INSIDE THE 100-YR FLOOD PLAIN	0.00 sf 0.00 Ac	0.00 sf 0.00 Ac	0.00 sf 0.00 Ac
FOREST RETENTION OUTSIDE THE 100-YR FLOOD PLAIN	0.00 sf 0.00 Ac	0.00 sf 0.00 Ac	0.00 sf 0.00 Ac
TOTAL AREA OF EACH FOREST CONSERVATION AREA	47,974 sf 1.10 Ac	126,912 sf 2.91 Ac	174,886 sf 3.91 Ac



STATE OF MARYLAND
 Michael B. Tran
 983 LANDSCAPE ARCHITECT

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 8-7-07
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/15/07
 Chief, Division of Land Development

[Signature] 8/15/07
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20868
 TEL: 301-421-4024 FAX: 301-421-4100

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD, 21208
 Attn: Charlie O'Donovan
 410-484-8400

FINAL FOREST CONSERVATION DETAILS AND NOTES
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 122
 Common Open Areas 128 thru 132 and Parcels 141, 142 & 143
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
NTS	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16 21, 22	26 OF 28

HOWARD COUNTY, MARYLAND

- NOTES**
- STREET TREES SHALL BE PROVIDED AT FINAL PLAN STAGE. FOR PLANTING SCHEDULES, SEE SHEETS 2-9 OF THE ROAD PLAN.
 - INTERNAL PLANTING, PARKING LOT LANDSCAPING AND STORMWATER MANAGEMENT BUFFERING SHALL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS.
 - THE BUFFERS SHOWN ON THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL. ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED ALONG A PERIMETER EDGE:
 SHADE TREE: 1:80 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 SMALL ORNAMENTAL DECIDUOUS TREES: 1:60 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 EVERGREEN TREE: 1:20 LINEAR FEET OF MEASURED PERIMETER EDGE.
 - THE BUFFERS SHOWN FOR SCHEDULE 'V' ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL. ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED ALONG BUFFER TYPE 'V':
 SHADE TREE: 1:50 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 EVERGREEN TREE: 1:40 LINEAR FEET OF MEASURED PERIMETER EDGE.
 BUFFER STORMWATER MANAGEMENT FROM A ROADWAY OR PERIMETER RESIDENTIAL PROPERTIES:
 SHADE TREE: 1:50 LINEAR FEET OF MEASURED PERIMETER EDGE, AND
 EVERGREEN TREE: 1:20 LINEAR FEET OF MEASURED PERIMETER EDGE.

NOTE OF EXPLANATION

THE PERIMETERS SHOWN HEREON CONFORM WITH THE LIMITS OF PHASE II. THE AREAS THAT HAVE "EXTENDED GRADING" AS SHOWN ON THE CONCEPT GRADING AND FOREST CONSERVATION PLANS ARE BEING GRADDED FOR EARTHWORK BALANCE PURPOSES ONLY. THESE AREAS WILL BE DEVELOPED UNDER FUTURE YEAR PLANS AND WILL HAVE THE LANDSCAPE PERIMETERS SHOWN AT THE TIME WHEN ROADS, LOTS, UTILITIES AND OTHER IMPROVEMENTS ARE ALSO BEING ADDED.

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS SCHEDULE						
RESIDENTIAL LOT LINE	LENGTH OF SIDE PERIMETER	BUFFER REQUIRED	*SHADE TREES	**EVERGREEN TREES	**SHRUBS	HOW LANDSCAPING WILL BE PROVIDED
R-1	120	'B' BUFFER	2	3		- DEFER TO SDP -
R-2	100	'B' BUFFER	2	3		- DEFER TO SDP -
R-3	100	'B' BUFFER	2	3		- DEFER TO SDP -
R-4	105	'B' BUFFER	2	3		- DEFER TO SDP -
R-5	130	'B' BUFFER	2	3		- DEFER TO SDP -
R-6	90	'B' BUFFER	2	2		- DEFER TO SDP -
R-7	95	'B' BUFFER	2	2		- DEFER TO SDP -
R-8	90	'B' BUFFER	2	2		- DEFER TO SDP -
R-9	95	'B' BUFFER	2	2		- DEFER TO SDP -
R-10	95	'C' BUFFER	2	5		- DEFER TO SDP -
R-11	100	'C' BUFFER	2	5		- DEFER TO SDP -
R-12	100	'C' BUFFER	2	5		- DEFER TO SDP -
R-13	100	'C' BUFFER	2	5		- DEFER TO SDP -
R-14	95	'C' BUFFER	2	5		- DEFER TO SDP -
R-15	95	'C' BUFFER	2	5		- DEFER TO SDP -
R-16	95	'C' BUFFER	2	5		- DEFER TO SDP -
R-17	95	'C' BUFFER	2	5		- DEFER TO SDP -

*Shade trees are not required in the front yard where the building fronts a thruway with street trees. Where there is no thruway (such as an attached green or parking/drive aisle) trees shall be spaced to conform with the spacing of the adjoining thruways and not less than 40' on center.

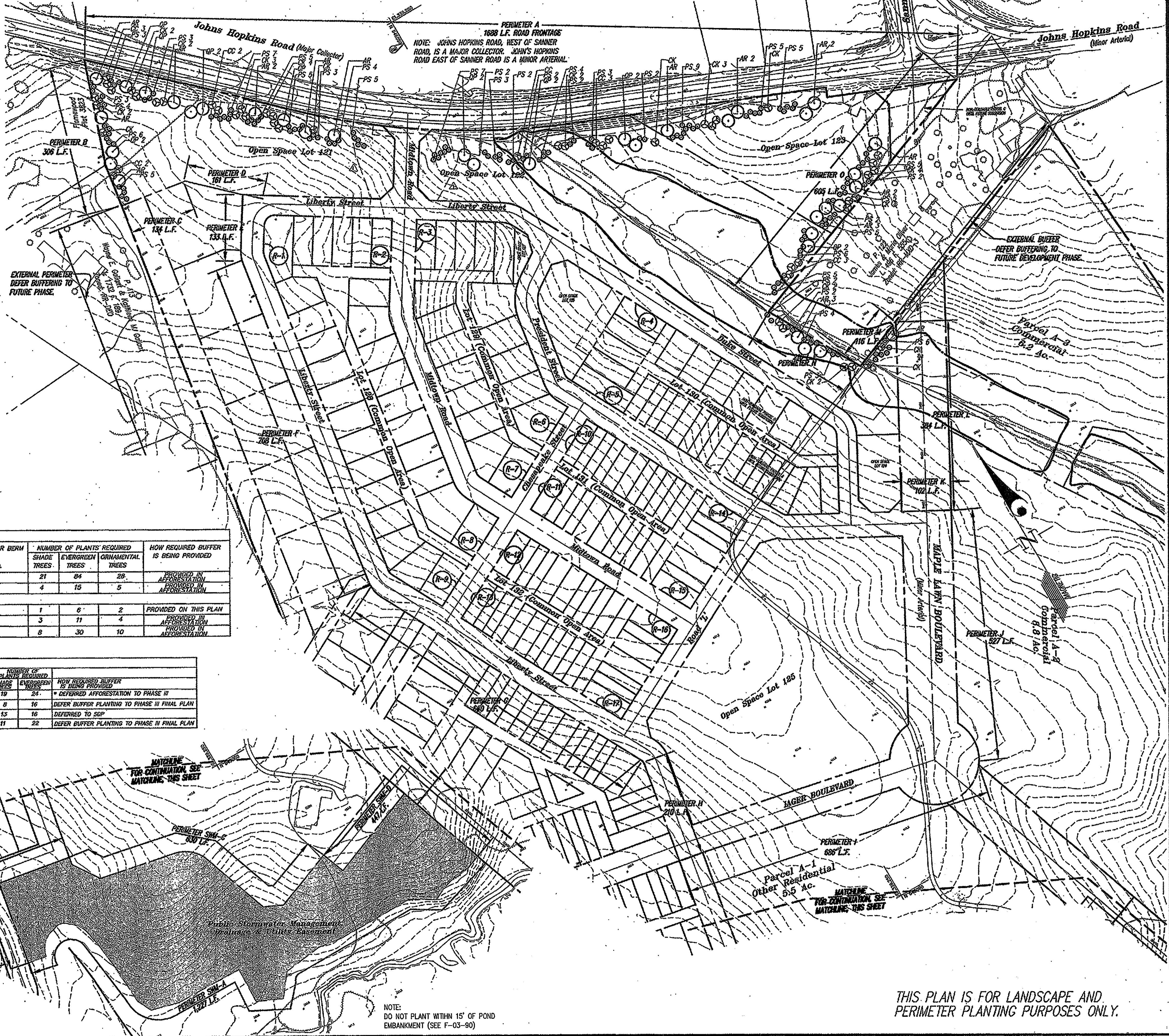
**Shrubs are not required where the building fronts a thruway and the sidewalk abuts the storefront. Where the sidewalk does not continuously abut the storefront, 1 shrub per 4 linear feet of storefront shall be required.

RESIDENTIAL LOT INTERNAL LANDSCAPING CHART PROVIDED AT SDP				
BUILDING TYPE	FRONT YARD		SIDE AND REAR YARD	
	NUMBER OF PLANTS REQUIRED SHADE TREES	NUMBER OF PLANTS REQUIRED SHRUBS	NUMBER OF PLANTS REQUIRED SHADE TREES	NUMBER OF PLANTS REQUIRED SHRUBS
SINGLE FAMILY ATTACHED	NONE REQUIRED	1:4' OF LOT WIDTH AT BRL	NONE REQUIRED	NONE REQUIRED
COTTAGE	NONE REQUIRED	1:4' OF LOT WIDTH AT BRL	1 PER LOT	1:4' OF SIDE & REAR BUILDING LENGTHS
MANOR	NONE REQUIRED	1:4' OF LOT WIDTH AT BRL	1 PER LOT	1:4' OF SIDE & REAR BUILDING LENGTHS

PERIMETER PLANTING SCHEDULE - SCHEDULE A										
PERIMETER	PROPOSED LAND USE	ADJACENT LAND USE	TYPE OF BUFFER	LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED			HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	EVERGREEN TREES	ORNAMENTAL TREES	
P-A	OPEN SPACE	ROADWAY	'B' Buffer	1628'	NO	NO	21	84	28	DEFERRED AFFORESTATION PROVIDED IN AFFORESTATION
P-B	OPEN SPACE	RESIDENTIAL (S.F.D.)	'A' Buffer	306'	NO	NO	4	15	5	DEFERRED AFFORESTATION PROVIDED IN AFFORESTATION
*Perimeter C thru Perimeter L are internal perimeters, and not applicable to this table.										
P-M	OPEN SPACE	COMMERCIAL	'C' Buffer	116'	NO	NO	1	6	2	PROVIDED ON THIS PLAN
P-N	OPEN SPACE	RESIDENTIAL	'A' Buffer	210'	NO	NO	3	11	4	PROVIDED IN AFFORESTATION
P-O	OPEN SPACE	RESIDENTIAL	'A' Buffer	605'	NO	NO	8	30	10	PROVIDED IN AFFORESTATION

STORMWATER MANAGEMENT AREA LANDSCAPING - SCHEDULE D									
PERIMETER	PROPOSED LAND USE	ADJACENT LAND USE	TYPE OF BUFFER	LINEAR FEET OF PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED.	NUMBER OF PLANTS REQUIRED		HOW REQUIRED BUFFER IS BEING PROVIDED
							SHADE TREES	EVERGREEN TREES	
SWM-A	SWM	AFFORESTATION AREA	'B' Buffer	1,227 L.F.	NO	NO	18	24	DEFERRED AFFORESTATION TO PHASE III
SWM-B	SWM	ROADWAY	'C' Buffer	328' L.F.	NO	NO	8	16	DEFER BUFFER PLANTING TO PHASE III FINAL PLAN
SWM-C	SWM	RESIDENTIAL	'B' Buffer	630' L.F.	NO	NO	12	18	DEFERRED TO SDP
SWM-D	SWM	ROADWAY	'C' Buffer	447' L.F.	NO	NO	11	22	DEFER BUFFER PLANTING TO PHASE III FINAL PLAN

*NOTE: THE LANDSCAPE BUFFERING PERIMETERS SHALL BE PLANTED SO THAT THE PROVIDED TREES QUALIFY AS BOTH REFORESTATION AND PERIMETER BUFFERING. THE FOREST PLANTING SHALL BE ADJUSTED IN SIZE AND VARIETY ALONG THE EDGE TO PROVIDE THE BUFFER PLANTINGS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 Date: 8-7-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development
 Date: 8/15/07

Chief, Development Engineering Division
 Date: 8/15/07

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3919 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4165

DATE	REVISION	BY	APPR.

PREPARED FOR:
 G & R Maple Lawn, Inc., et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD. 21208
 Attn: Charis O'Donovan
 410-484-8400

PERIMETER LANDSCAPING PLAN
MAPLE LAWN FARMS
 Midtown District - Area 1
 Lots 1 thru 120, Open Space Lots 121 thru 127,
 Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'
 P. 121 (L. 4213 F. 25), P. 450 (L. 1908 F. 623), P. 205 (L. 894 F. 590)
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=100'	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15, 16, 21 & 22	27 OF 28

LANDSCAPE PERIMETER NOTES

PLANT LIST - SHEET 27 OF 28

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
SHADE TREES					
AR	22	Acer rubrum 'Autumn Flame' Autumn Flame Maple	2 1/2-3" Cal.	B&B	
QP	15	Quercus palustris Pin Oak	2 1/2-3" Cal.	B&B	
EVERGREEN TREES					
FS	146	Pinus strobus White Pine	8'-10" HL.	B&B	
ORNAMENTAL TREES					
CC	14	Cercis canadensis Redbud Tree	2-2 1/2" Cal. 8'-10" HL.	B&B	
CK	35	Cornus Kousa 'National' National Kousa Dogwood	2-2 1/2" Cal. 8'-10" HL.	B&B	

THIS PLANT LIST FOR BONDING PURPOSES ONLY.
SEE FOREST CONSERVATION DETAIL SHEET FOR TREE PLANTING DETAILS.
PERIMETER PLANTING SURETY FOR 37 SHADE TREES (27 X \$300) = \$11,100.00
146 EVERGREEN TREES (146 X \$150) = \$21,900.00
49 ORNAMENTAL TREES (49 X \$150) = \$7,350.00

TOTAL SURETY FOR LANDSCAPE BUFFERING FOR PERIMETER P-A, P-B, P-M,
P-N, P-O BUFFERING IS \$40,350.00

Financial surety for the required landscape buffering has been posted as
part of the DPW Developer's Agreement in the amount of \$40,350.00.

FOREST CONSERVATION PLANTING NOTES

RETENTION / AFFORESTATION / REFORESTATION SUMMARY TABLE FOR MAPLE LAWN FARM PROJECT											
PHASE NO.	GROSS AC.	FLOODPLAIN AC.	NET TRACT AREA	EXG FOREST IN AC.	FOREST CLEARED	FOREST RETAINED	EXCESS RETENTION	REF/AFF. REQUIRED	CREDITED PLANTING PROVIDED	EXCESS FOREST CON'S (Planting+Retention)	COMMENTS
1	51.88	3.4	48.58	9.45	0.51	8.94	0.63	0.00	4.56	5.19	Per F-03-07
2	75.20	2.38	72.82	0.00	0.00	0.00	0.00	10.92	6.67	-4.25	Per F-03-90
2	5.70	0.00	5.70	0.00	0.00	0.00	0.00	0.86	0.00	-0.86	Per SDP-03-140
TOTAL	132.88	5.78	127.10	9.45	0.51	8.94	0.63	11.78	11.23	0.02	

* Includes future phase areas of Maple Lawn Farms. When those areas are recorded in future phases, the forest conservation requirements will already have been met.
THE SURETY AMOUNT FOR FOREST PLANTING IS FOR 6.97 Ac (303,878 sf - 56,475 S.F. of landscape credit for perimeters P-A, P-B, P-N, P-O landscaping (36 shade trees x 400 S.F. + 187 evergreen/ornamental trees x 225 S.F. = 247,203 S.F. x \$ 0.50) = \$ 123,601.50
THE SURETY AMOUNT FOR FOREST RETENTION AREA OUTSIDE THE FLOOD PLAN IS 0.00 Ac (0.00 S.F. x \$ 0.20) = \$0.00
THE TOTAL SURETY AMOUNT IS \$123,601.50

Financial surety for the required forest conservation has been posted as
part of the DPW Developer's Agreement in the amount of \$123,601.50.

DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the
Howard County Code and the Landscape Manual. I/We further certify that upon completion of the landscape
installations, a letter of notice, accompanied with an executed one year guarantee of plant materials, will be
submitted to the Department of Planning and Zoning.

[Signature] 7-30-07
Name Date

FOREST CONSERVATION WORKSHEET (SDP-03-140)

I. SITE DATA

A. GROSS SITE AREA - (part of Tax Parcel 205)	5.70
B. AREA WITHIN 100-YEAR FLOOD PLAN	0
C. NET TRACT AREA	5.70
D. LAND USE CATEGORY	MXD

II. INFORMATION FOR CALCULATIONS

A. NET TRACT AREA	5.70
B. REFORESTATION THRESHOLD (15% x A)	0.86
C. AFFORESTATION MINIMUM (15% x A)	0.86
D. EXISTING FOREST ON NET TRACT AREA	0.00
E. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
F. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.00

III. AFFORESTATION CALCULATIONS

A. NET TRACT AREA	5.70
B. AFFORESTATION MINIMUM (15% x A)	0.86
C. EXISTING FOREST ON NET TRACT AREA	0.00
D. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
E. TOTAL AFFORESTATION REQUIRED	0.86
F. TOTAL AFFORESTATION TO BE PROVIDED	0.00

IV. PROPOSED METHODS OF FULFILLING FOREST CONSERVATION OBLIGATIONS

BASED ON THE ABOVE CALCULATIONS, NO REFORESTATION PLANTING IS REQUIRED
FOR SDP-03-140. HOWEVER, 0.86 ACRES OF AFFORESTATION PLANTING IS REQUIRED
FOR SDP-03-140. NO AFFORESTATION IS PROPOSED ON SDP-03-140, BUT THE
EXCESS CARRIED FORWARD FROM PHASE 122 SATISFIES THE OBLIGATION WITH A
SURPLUS OF 0.38 AC. BEING AVAILABLE FOR FUTURE AFFORESTATION REQUIREMENT.

FUTURE AFFORESTATION AND REFORESTATION WILL BE PROVIDED INCREMENTALLY
AS THE DEVELOPMENT PROGRESSES. A RUNNING ACCOUNTING OF THE PROGRESS
OF AFFORESTATION OR REFORESTATION WILL BE PROVIDED DURING EVERY STEP TO
SHOW THAT PROGRESSION OF THIS AFFORESTATION IS ON TRACK.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Walter R. Weber 8-7-07
Chief, Bureau of Highways Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Candy Hanrahan 8/15/07
Chief, Division of Land Development Date
[Signature] 8/15/07
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE
PLANS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND,
LICENSE NO. 12975,
EXPIRATION DATE: MAY 26, 2008.



STATE OF MARYLAND

Michael E. Tran

[Signature]
933
LANDSCAPE ARCHITECT

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20868
TEL: 301-421-4024 BAL: 410-980-1820 DC/VA: 301-989-2524 FAX 301-421-4106

DES. LMM DRN. LMM CHK. CKG

DATE	REVISION	BY	APPR.

PREPARED FOR:
G & R Maple Lawn, Inc., et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD, 21208
Attn: Charlie O'Donovan
410-484-8400

FINAL FOREST CONSERVATION AND PERIMETER LANDSCAPE PLAN NOTES

MAPLE LAWN FARMS

Midtown District - Area 1
Lots 1 thru 120, Open Space Lots 121 thru 127,
Common Open Areas 128 thru 132 and Parcels 'A', 'B' & 'C'

P. 121 G. 423 E. 99, E. 452 G. 1502 E. 029, E. 205 G. 804 E. 809

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
NTS	MXD-3	02001
DATE	TAX MAP - GRID	SHEET
JULY, 2007	41: 15,16 21, 22	28 OF 28

HOWARD COUNTY, MARYLAND