

NOTES

- Existing Zoning: R-ED per April 2004 Comprehensive Zoning Plan and the 'Comp Lite' Zoning Amendments effective July 28, 2006.
 - Dead Reference: 462/230
 - Plot Reference: N/A
 - Gross Area of Tract: 2.0350 ac.
 - Area of 100 Year Floodplain: N/A
 - Area of Steep Slopes: 0.6605 ac.
 - Net Area of Tract: 1.3745 ac.
 - Number of Proposed Lots/Parcels: 5
 - Area of Proposed Lots/Parcels: 1.9652 ac.
 - Buildable Lots: 1.3011 ac.
 - Open Space Lots: 0.3941 ac.
 - Area of proposed public roads: 0.3398 ac.
- The existing topography shown hereon is based on a field survey prepared by DeMario Design Consultants, Inc. dated March, 2006. Boundary provided by Hicks Engineering Company, Inc. dated January, 1998.
- Coordinates are based on Maryland Coordinate System - NAD83(1991) as projected by Howard County Geodetic Control Stations Nos. 0047 and 0084.
- (Meters X 0.3048 = Feet; Feet X 0.3048 = Meters)
 No. 0047 N 581925.67 E 1367546.06
 No. 0084 N 583158.76 E 1370759.98
- This property is within the Metropolitan District.
- Existing utilities shown hereon are based on field surveys and record drawings.
- There is no floodplain onsite.
- Project Background Information:

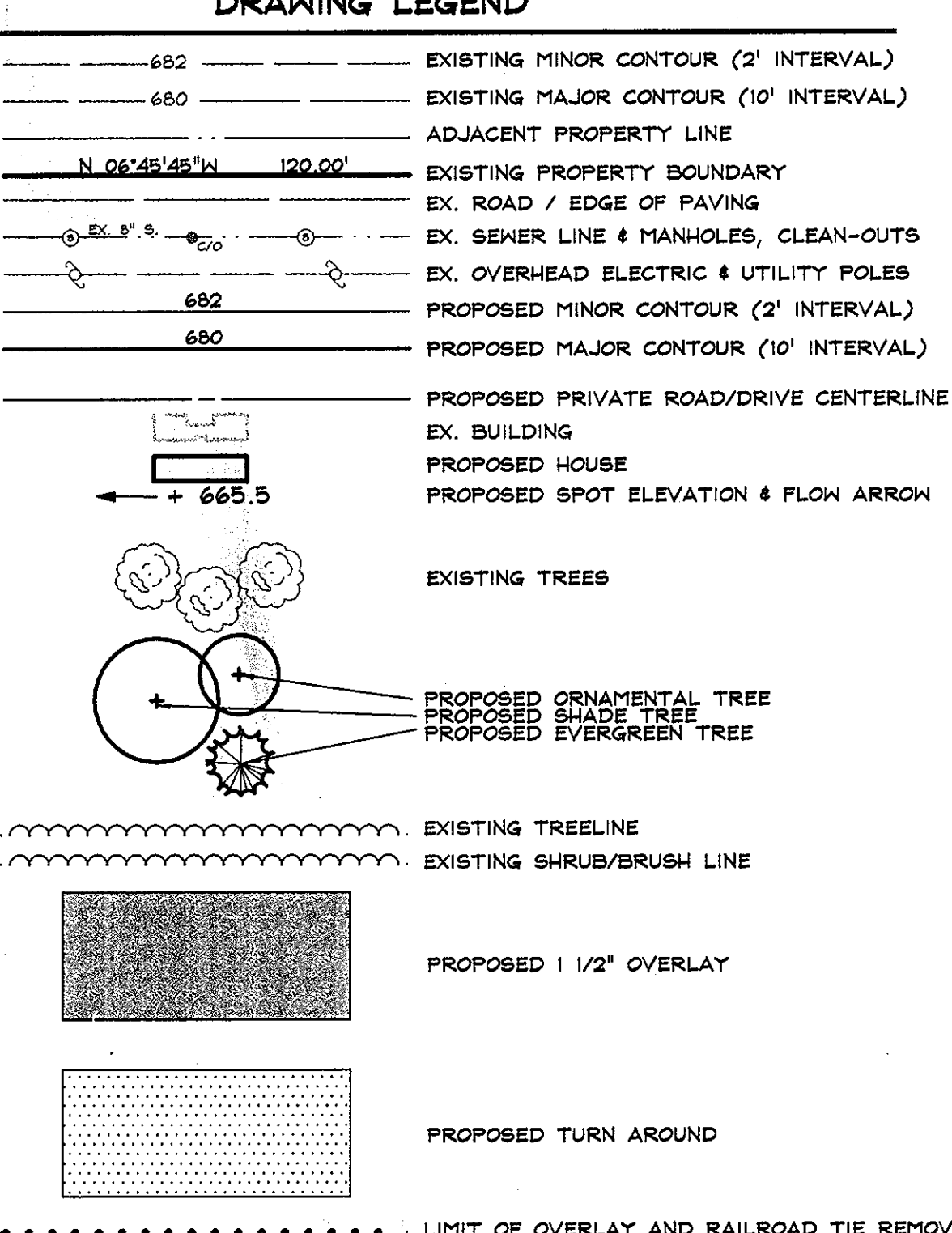
- Subdivision Name: Cahill Overlook
 - Tax Map/Block/Parcel: 25A/24/329
 - Zoning: R-ED
 - Election District: 2ND
 - Total (Gross) Tract Area: 2.0350 ac.
 - Number of Proposed Lots/Parcels: 5
 - Applicable Department of Planning & Zoning File No.'s: F-06-115, WP-07-030, WP-06-062
- In accordance with Section 16.1200 of the Howard County Code and Forest Conservation Manual, Forest Conservation obligations shall be met by the placement of 0.2304 acres of existing forest into a retention easement and by payment of a fee-in-lieu for 0.3046 acres.
- ERS denotes the Building Restriction Line.
- Sediment and erosion control measures will be provided in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control and will be shown on the Final Plan.
- Street trees will be provided on the access street in accordance with Section 16.124 of the Howard County Subdivision Regulations.
- There are no historic structures or cemeteries located on the subject property.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the wetlands, stream or their required buffers, flood plain and forest conservation easement.
- Stormwater management for the lots will be provided by the use of a dry swale for WQV and Rev. City is not required for this project. Stormwater management is not required for the proposed overlay since there is no additional impervious area.
- This plan is subject to WP-07-030 which was granted on November 16, 2006 for the following sections:

- Section 16.120(b)(4)(i) which requires lot dimensions to generally not exceed a 3:1 lot depth to lot width ratio.
- Section 16.120(c)(2) which requires all lots, preservation parcel or bulk parcels for single family detached dwellings to have minimum lot frontages on approved streets within a public right of way which provides access to the property.
- Approval is subject to the following:
- On the associated final plan (F-06-115), the developer shall create a 24' wide shared access easement for Lots 1 through 3 across Lots 1 & 2. Within this shared access, a Use-In-Common driveway (meeting Design Manual standards) shall be constructed.
 - The developer shall be responsible for the preparation of a Use-In-Common driveway maintenance agreement. This document will be recorded with the associated final plan (F-06-115).
 - The developer shall comply with comments 1 & 3 generated by the Fire Department (Bureau of Life Safety).
- This plan is subject to WP-07-062 which was granted on January 22, 2007 for the following sections:
- Section 16.121(e)(1) which requires open space lots to have minimum of 40 feet of frontage on a public road.
- Section 16.160(b)(4)(iv) which prohibits residential lots from being encumbered by access easements for stormwater management facilities or open space.
- Approval is subject to the following:
- On the associated Final Plat (F-06-115), the developer shall create a 24' wide shared access easement for Lots 1 through 3 across Lots 1 & 2. Within this shared access, a Use-In-Common driveway (meeting Design Manual Standards) shall be constructed. This Use-In-Common will connect directly to a 20' wide private stormwater management access easement that travels across Lot 3 and connect to open space Lot 4, parallel to the front building restriction line of Lot 3. The 20' access easement is not permitted to travel behind (to the rear of) any future dwelling on Lot 3. A minimum of 12 feet of the easement must be clear for vehicular passage. Reference 5.2.6D.1.b and 5.2.6D.1.c of the Design Manual-Volume I-Storm Drainage.
 - The 20' access easement shall be paved if the access grade is greater than 12%. If the access grade is between 10% and 12%, the easement shall be crushed stone or other reinforced surface. If the grade is 10% or less it may be grassed. Reference 5.2.6D.1.b and 5.2.6D.1.c of the Design Manual-Volume I-Storm Drainage.
 - The Developer shall be responsible for the preparation of a Stormwater Management access easement that will be recorded with the associated Final Plat (F-06-115).

SEQUENCE OF CONSTRUCTION

- OBTAIN A GRADING PERMIT.
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-1870 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- REMOVE EXISTING RAILROAD TIES TO PROPERTY LINE.
- BEGIN INSTALLATION OF 1 1/2" PAVING OVERLAY. (1 WEEK)
- STABILIZE ANY DISTURBED AREA.
- NOTIFY HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS FOR A FINAL INSPECTION OF THE COMPLETED SITE.

DRAWING LEGEND



STREET LIGHT TABLE		
SYMBOL	TYPE	LOCATION
☆	100 WATT HIGH PRESSURE SODIUM (HPS) VAPOR, PREMIER	CENTERLINE STA. 0+78, 12' RT. ROSS ROAD CENTERLINE STA. 2+35, 14' LT. ROSS ROAD

CENTERLINE CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	BEARING	CHORD
CI	68.99'	287.26'	34.74'	16°33'36"	N69°46'26" W	68.75'

MAINTENANCE OF TRAFFIC NOTES

- ALL MAINTENANCE OF TRAFFIC DEVICES MUST MEET MSHA STANDARDS.
- CONTRACTOR TO OVERLAY 1/2" ROAD AT A TIME AND PROVIDE CHANNELIZING DEVICES TO CREATE ONE LANE. CONTRACTOR TO MAINTAIN ACCESS TO RESIDENCES AT ALL TIMES.
- TRAFFIC CONTROL SIGN LOCATIONS TO BE PLACED PER THE INSPECTORS IN THE FIELD.

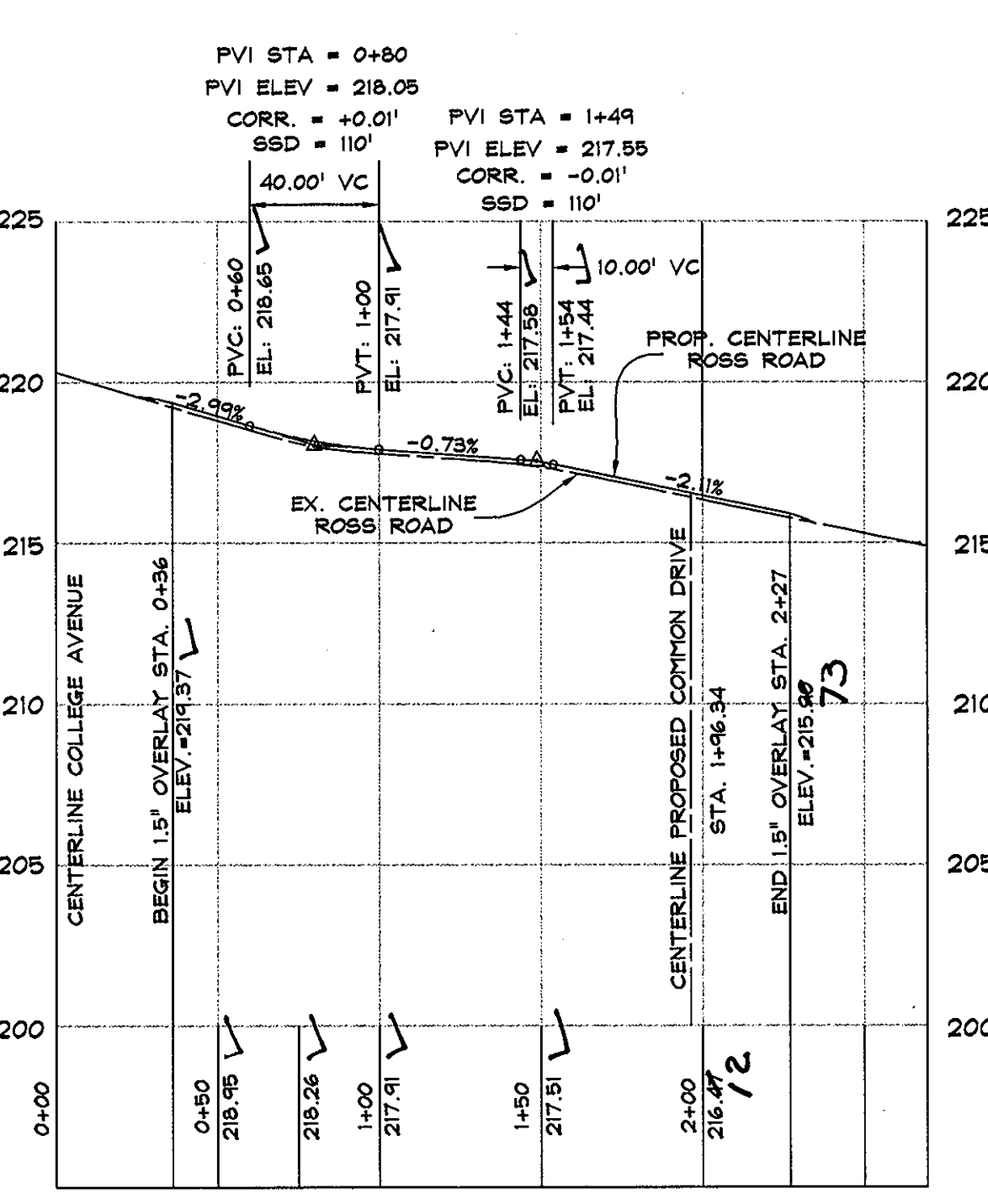
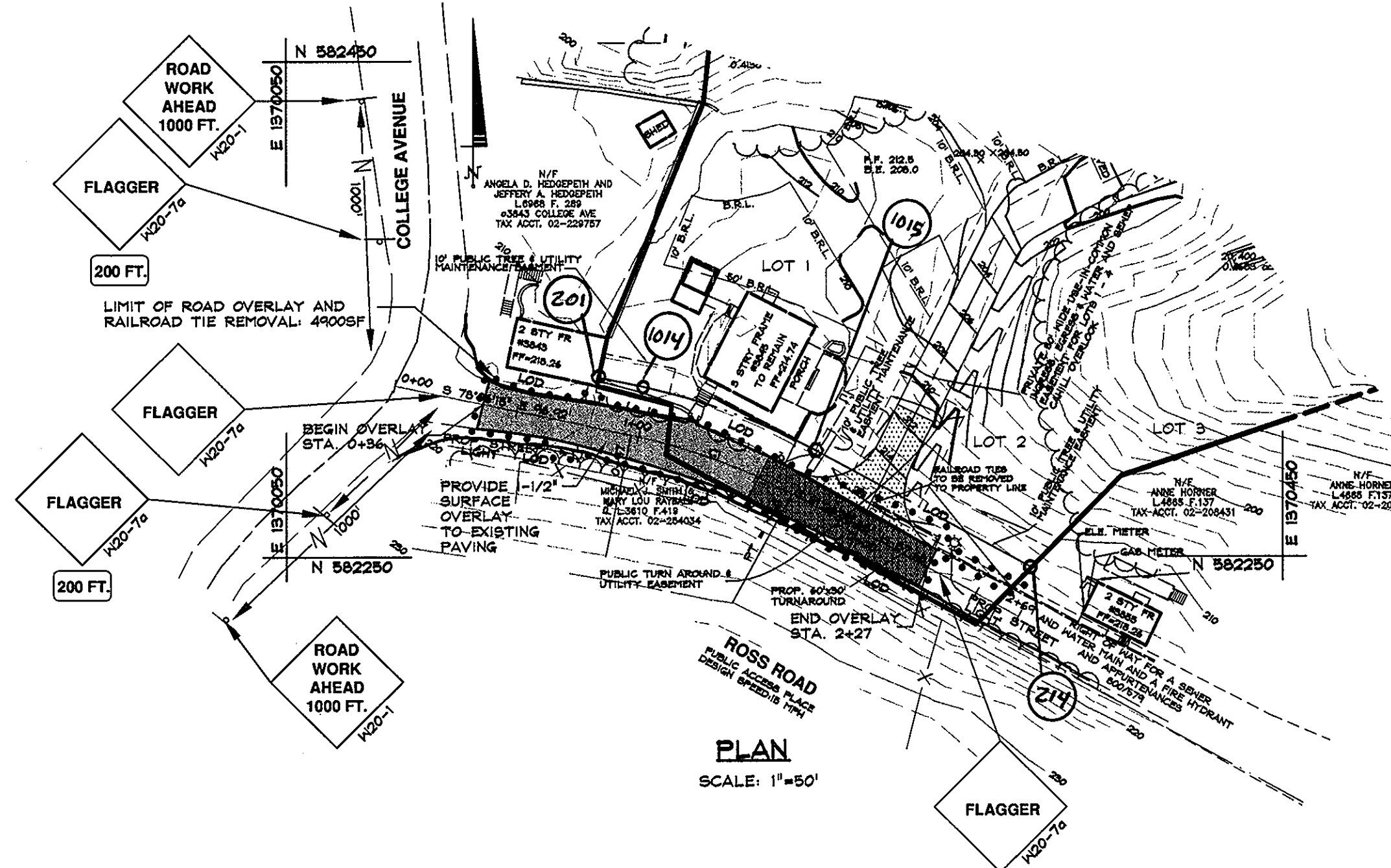
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 21443 Expiration Date: 12-21-14



AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this AS-BUILT plan.
 Donald Mason, P.E. No. 21443 Date 9-5-13

FINAL ROAD CONSTRUCTION PLANS for CAHILL OVERLOOK

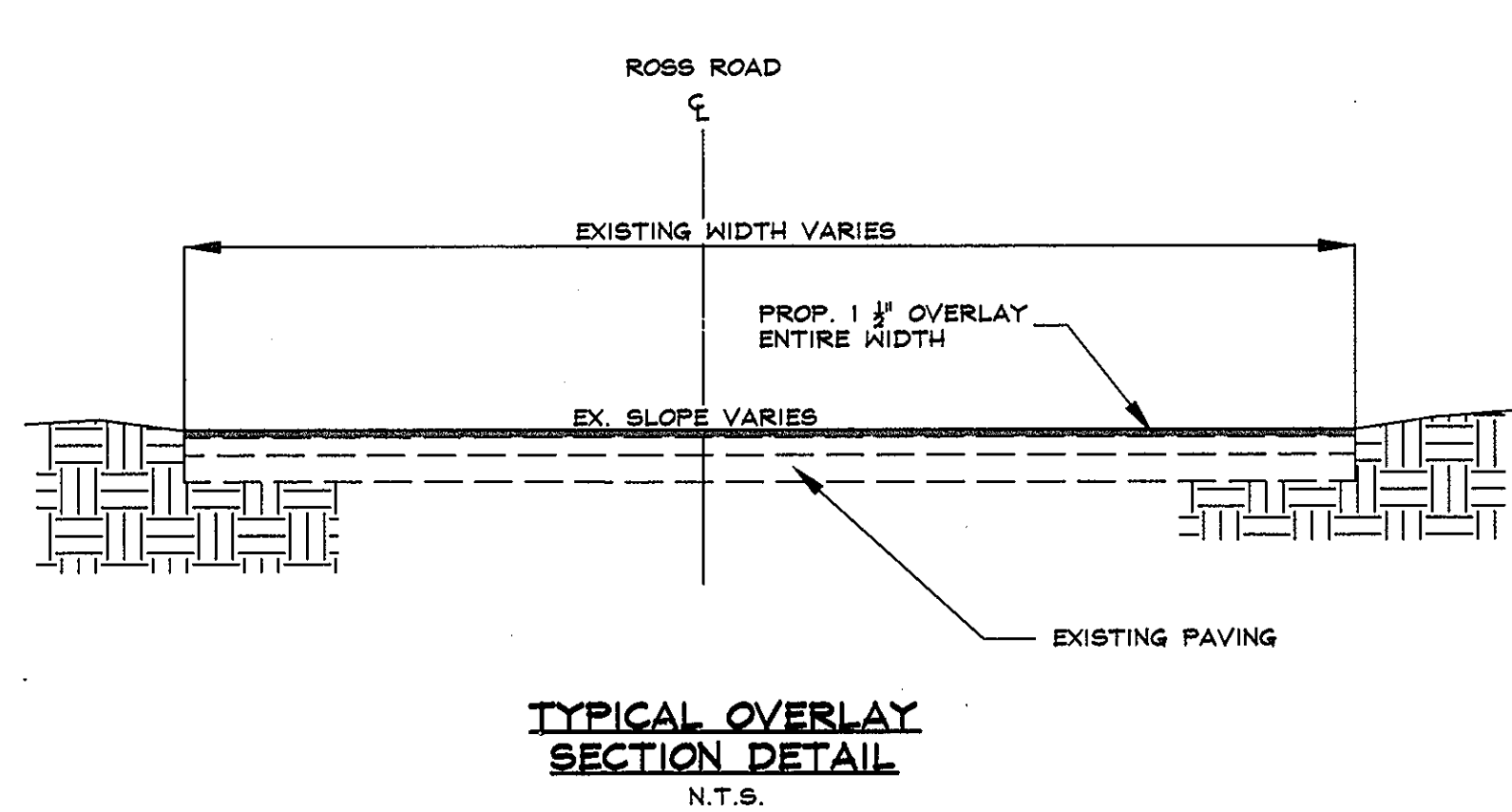
ROSS ROAD
TAX MAP 25A, GRID 24, PARCEL 329
2ND ELECTION DISTRICT HOWARD COUNTY, MD



RIGHT OF WAY ELEVATION CHART		
POINT NO.	DESCRIPTION	ELEV
201	REBAR # CAP	214.65
214	REBAR # CAP	212.94
1014	REBAR # CAP	214.71
1015	REBAR # CAP	215.85
1017	REBAR # CAP	173.73
1018	REBAR # CAP	170.37
1019	REBAR # CAP	173.17
1020	REBAR # CAP	171.58
1021	REBAR # CAP	148.68

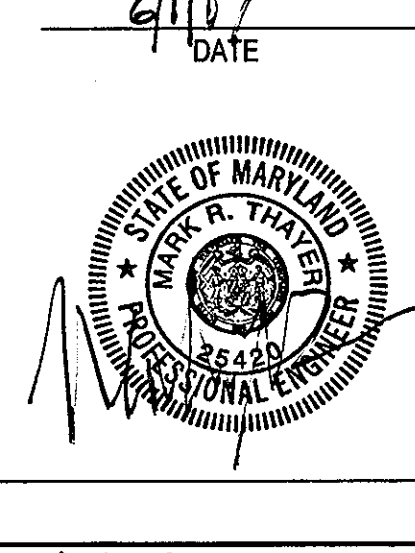


SURFACE OVERLAY DETAIL

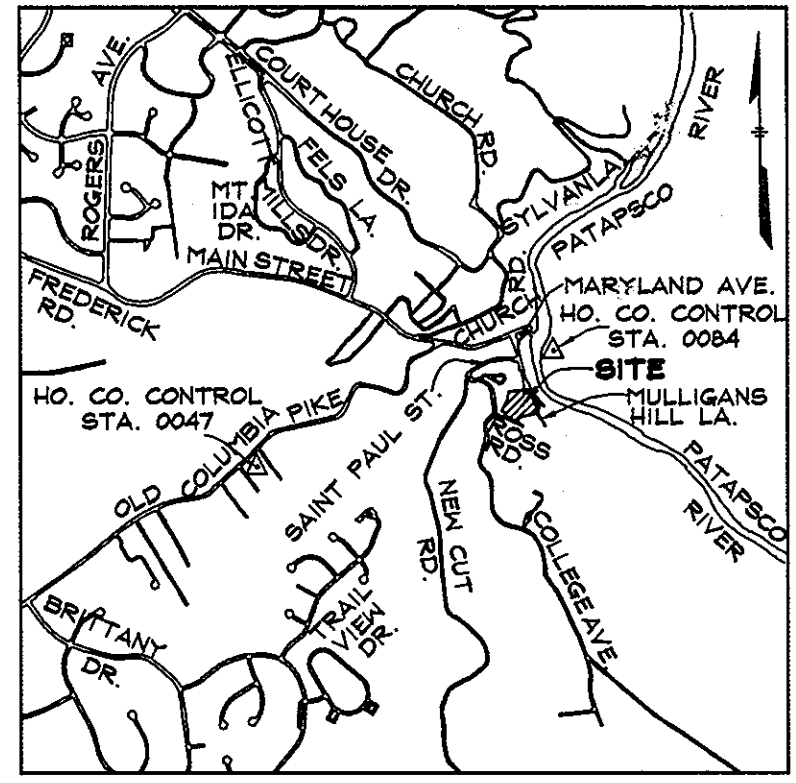


APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 6-22-07
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6/20/07
 CHIEF, DIVISION OF LAND DEVELOPMENT



AS-BUILT



VICINITY MAP
 SCALE: 1"=2000'
 ADC MAP NO. 12, 610
 NEAR ADC COORDINATES
 39°15'00", 76°47'30"

- General Notes**
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
 - The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
 - Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
 - Street light placement and the type of fixture and pole shall be in accordance with the Howard County Design Manual, Volume III (1993) and as modified by "Guidelines for Street Lights in Residential Developments (June 1993)". A minimum spacing of 20' shall be maintained between any streetlight and any tree.
 - All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (14 gauge) inserted into a 2-1/2" galvanized steel, perforated, square tube sleeve (12 gauge) - 3' long. A galvanized steel pole cap shall be mounted on top of each post.
 - Water is public. (Contract Number 661 W & S, Patapsco Drainage Area).
 - Sewer is public. (Contract Number 661 W & S, Patapsco Drainage Area).
 - There are no wetlands on this site.
 - The traffic study for this project was prepared by The Traffic Group, dated October 28, 2005, and was approved on January 5, 2006.

DATA SOURCES:
 THE TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY DEMARIO DESIGN CONSULTANTS IN MAY, 2005. THE BOUNDARY SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY HICKS ENGINEERING, INC. IN JANUARY OF 1998, AND TIED TO MARYLAND COORDINATE SYSTEM MD 83 (1991) BY DEMARIO DESIGN CONSULTANTS IN MAY OF 2005.

DeMario Design Consultants, Inc.
 192 East Main Street, Westminster, MD 21157
 Phone: (410) 386-0560 Fax: (410) 386-0564 Email: ddc@demariodesign.com

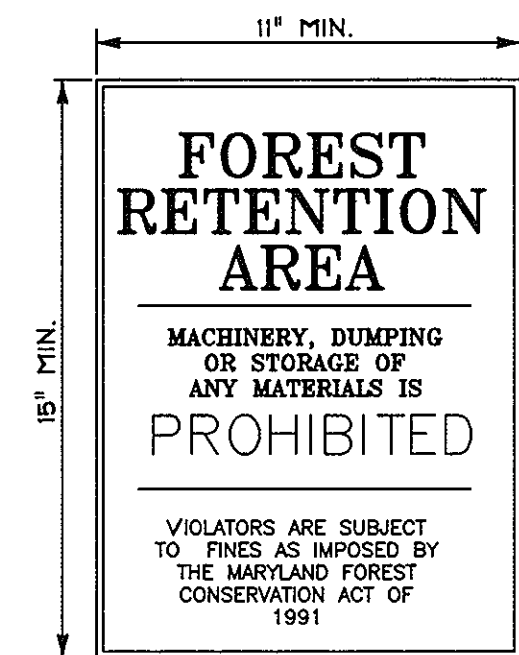
OWNER: TIMOTHY CAHILL, 3845 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, 410-992-6000
 DEVELOPER: TIMOTHY CAHILL, 3845 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, 410-992-6000

SITE ADDRESS: 3845 COLLEGE AVENUE

FINAL ROAD CONSTRUCTION PLANS
 CAHILL OVERLOOK LOTS 1-3 &
 OPEN SPACE LOTS 4 & 5
FINAL ROAD CONSTRUCTION PLANS AND M.O.T. PLAN
 ELLICOTT CITY, MD 21043 HOWARD COUNTY, MD

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #	F-06-115	DES. BY:	JAIJCO	
TAX ACC. #	02-392526	DRN. BY:	JAIJCO	
TAX MAP:	25A	CHK. BY:	MRT	
BLOCK / GRID:	24	DATE:	04.13.07	
PARCEL #:	329	DDC JOB#:	05027.1	
ZONE / USE:	R-ED	SHEET NUMBER:		
DWG. SCALE:	AS SHOWN		1	of 4

F-06-115



NOTE: SIGNS TO BE PLACED ON METAL POSTS 5' +/- ABOVE FINISH GRADE. PLACE SIGNS EVERY 100' AROUND PERIMETER OF FOREST RETENTION AREA. SIGNS MAY NOT BE ATTACHED TO TREES.

NOTE: SIGNS TO BE PLACED ON METAL POSTS 5' +/- ABOVE FINISH GRADE. PLACE 2 SIGNS PER TREE. SIGNS MAY NOT BE ATTACHED TO TREES.

NOTE: SIGNS TO BE PLACED ON METAL POSTS 5' +/- ABOVE FINISH GRADE. PLACE SIGNS EVERY 100' AROUND PERIMETER OF FOREST RETENTION AREA. SIGNS MAY NOT BE ATTACHED TO TREES.

RETENTION, REFORESTATION, & AFFORESTATION PROTECTION SIGN DETAILS
N.T.S.

FOREST CONSERVATION WORKSHEET

I. BASIC SITE DATA

Gross Site Area	2.04 Acres
Area within 100 yr. floodplain	0
Area within Ag Us or Preservation Parcel	0
Net Tract Area	2.05 Acres
Land Use Category	R-S

II.

A. Net Tract Area	2.04 Acres
B. Reforestation Threshold (20% X A)	0.41 Acres
C. Afforestation Threshold (Net Tract Area X 15%)	0.31 Acres
D. Existing Forest Cover within Net Tract Area	1.13 Acres
E. Forest Area to be cleared	0.90 Acres
F. Forest Areas to be retained	0.23 Acres

III. Determining Requirements: Afforestation or Reforestation

1. Reforestation
If existing forest is equal or exceeds the afforestation minimum (if D equals or is more than C) and clearing of forest is proposed, reforestation requirements may apply.
Go to Section IV

If existing forest areas equal or exceed the afforestation minimum (if D equals or is more than C) and no clearing of existing forest resources is proposed, no reforestation is required. No further calculations needed.

2. Afforestation
If existing forest areas are less than the afforestation minimum (if D is less than C), afforestation requirements apply.
Go to Section V

IV. Reforestation Calculations

A. Net Tract Area	2.035 Acres
B. Reforestation Threshold (20% X A)	0.41 Acres
D. Existing Forest Cover within Net Tract Area	1.13 Acres
E. Forest Area to be cleared	0.90 Acres
F. Forest Areas to be retained	0.23 Acres
G. Forest Areas Cleared Above Reforestation threshold	0.72 Acres
(D-F, if F equals or is greater than B, Alternate 1)	
(D-B, if F is less than B, Alternate 2)	
H. Forest Areas cleared Below Reforestation Threshold	0.18
(B-F, if applicable)	

Clearing Below the Threshold
If forest areas to be retained are less than the reforestation threshold (if F is less than B), the following conditions apply.

Reforestation for clearing above the threshold.	0.18 ACRES
G X 1/2	
Reforestation for clearing below the threshold	0.36 ACRES
H X 2	
Total Reforestation required	0.54 ACRES
(G x 1/2) + (H x 2)	

Note: We are requesting payment of a fee-in-lieu for Forest Conservation obligations not met onsite.

RETENTION AREAS AND PRIORITY RATINGS

Net Tract Area: 2.04 AC.

STAND ACREAGE CHART

STAND	EXISTING	RATING	REMOVAL	RETAIN
F-1	1.13 AC.	Priority-high	0.90AC.	0.23 AC.

Stand F-1 is a priority area due to steep slopes

FOREST CONSERVATION PLAN NARRATIVE
When applying the forest stand delineation to this project care was given to minimize forest disturbance, since initial submittal forest clearing has been greatly reduced.

SPECIMEN TREE CHART

NO.	DBH	CRZ	SPECIE	CONDITION/RETAIN
1*	56"	84'	Fraxinus Pennsylvania	Poor/YES
2	34"	51'	Fraxinus Pennsylvania	Fair/NO
3	50"	75'	Aesculus hippocastaneum	Poor/NO
4	36"	54'	Acer saccharinum	Fair/NO
5*	32"	48'	Fraxinus pennsylvanica	Poor/YES
6*	40"	60'	Platanus occidentalis	Poor/YES
7*	64"	96'	Quercus alba	Poor/YES

*These trees (# 1, #5, #6 and #7, will be posted with specimen tree signs, 2, per tree. Trees #2, #3, and #4 will be removed due to location of drive, home site and grading. Tree # 1&5 will be protected during construction activity by tree protection fence.

FOREST PROTECTION PLAN
The permanent forest protection device, Forest Conservation Area Signs posted as noted on plan sheet, posted approximately 4-feet off the ground on metal posts, affix with metal bolts. This protection device will be installed prior to any construction activity. Grading will not occur near areas designated for retention. Signs are not to be put on trees!!

No construction equipment, machinery, vehicle, materials or excessive pedestrian traffic will be allowed in the retention area. Entrance to the area will be allowed for inspection or Corrective measures only.

To help reduce the possibility of disturbance within an identified retention, protection area, a pre-construction meeting will take place after the boundaries of the L.O.D. have been staked and flagged and the forest protection devices have been installed. The employees of the construction crew will be informed of the importance of the trees slated for retention. During the pre-construction meeting the temporary parking location, stockpile area, staging and fueling area will be shown to all personnel.

NOTE: Wash-Out Area is designated in driveways or to be taken off site.

PROTECTION DEVICES:
The Forest Conservation Easement area will be protected with appropriate signs and the retention forest area will be placed in a Forest Conservation Easement in perpetuity.

POST-CONSTRUCTION PHASE
The following measures shall be taken when appropriate:

- Corrective measures if damages were incurred due to negligence:
 - Stress reduction
 - Removal of dead or dying trees: this may be done only if trees pose an immediate safety hazard.
- Removal of temporary structures: the following minimum standards shall be observed during the removal of temporary structures.
 - No burial of discarded materials will occur on-site within the conservation area.
 - No open burning within 100 feet of a wooded area.
 - All temporary forest protection structures will be removed after construction.
 - Follow procedures in Maintenance and Management agreement.
 - Education Plan must be provided to site residents or occupants which identifies the Forest Conservation Area and describes the proper use and protection of the area. The need for the Developer to carry our post-construction management and the conveyance of the Forest Conservation Area and the transfer of long-term responsibilities to the fee-simple owner of the Forest Conservation Areas shown on Plan

FOREST PROTECTION MEASURES/NOTES

- The Forest Conservation Easement area shall be protected by "Forest Conservation Area Do Not Disturb" signs and fencing as noted on plan.
- All protection devices shall be in place prior to any grading or land clearing.
- All protection devices shall remain in place until all construction has ceased in immediate area, the Forest Conservation Area-Do Not Disturb" signs shall be Permanent.
- Devices shall be maintained throughout construction.
- Attachment of signs or any other object, to trees is prohibited.
- No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- Pre Construction meeting: After the boundaries have been staked and flagged and before any disturbance, the developer, contractor or project manager and local inspector shall attend. Temporary parking, stockpile, staging and fueling area will be shown to all personnel.
- Any changes made to the Forest Conservation Plan due to On-Site conditions shall be made in consultation with a representative of the Howard County DPZ (410) 313-2323.
- Any Forest Conservation Easement (FCE) Area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restricts the disturbance and use of these areas.
- There shall be NO, clearing, grading, construction or disturbance of vegetative cover, paving or new structures shall be permitted in the limits of wetlands, streams or their required buffers, floodplain and forest conservation easement areas.
- Follow Forest Conservation Maintenance Agreement

NOTES

- PLEASE NOTE THAT THE LIMIT OF FOREST CLEARING ON THIS PLAN INCLUDES ALL FOREST ON THE SITE THAT WILL NOT BE PLACED INTO A FOREST CONSERVATION EASEMENT. LIMIT OF DISTURBANCE DOES NOT REPRESENT LIMIT OF CLEARING.
- IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL, FOREST CONSERVATION OBLIGATIONS SHALL BE MET BY THE PLACEMENT OF 0.2304 ACRES OF EXISTING FOREST INTO A RETENTION EASEMENT AND BY PAYMENT OF A FEE-IN-LIEU IN THE AMOUNT OF \$6,745.50 FOR 0.2304 ACRES.

DATA SOURCES:
THE TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY DEMARIO DESIGN CONSULTANTS, INC. IN MAY 2009. THE BOUNDARY SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY HICKS ENGINEERING IN JANUARY OF 1999 AND IS TIED TO MARYLAND NAD 83 COORDINATES BY DEMARIO DESIGN CONSULTANTS, MAY 2009.

DeMario Design Consultants, Inc.

192 East Main Street
Westminster, MD 21157

Phone: (410) 388-6550
Fax: (410) 388-6564
eMail: ddc@demariodesign.com

OWNER:
TIMOTHY CAHILL
3845 COLLEGE AVENUE
ELLCOTT CITY, MD 21043

DEVELOPER:
S/A OWNER

SITE ADDRESS:
3845 COLLEGE AVENUE
ELLCOTT CITY, MD 21043

CAHILL OVERLOOK
LOTS 1-3 & OPEN SPACE LOTS 4 AND 5

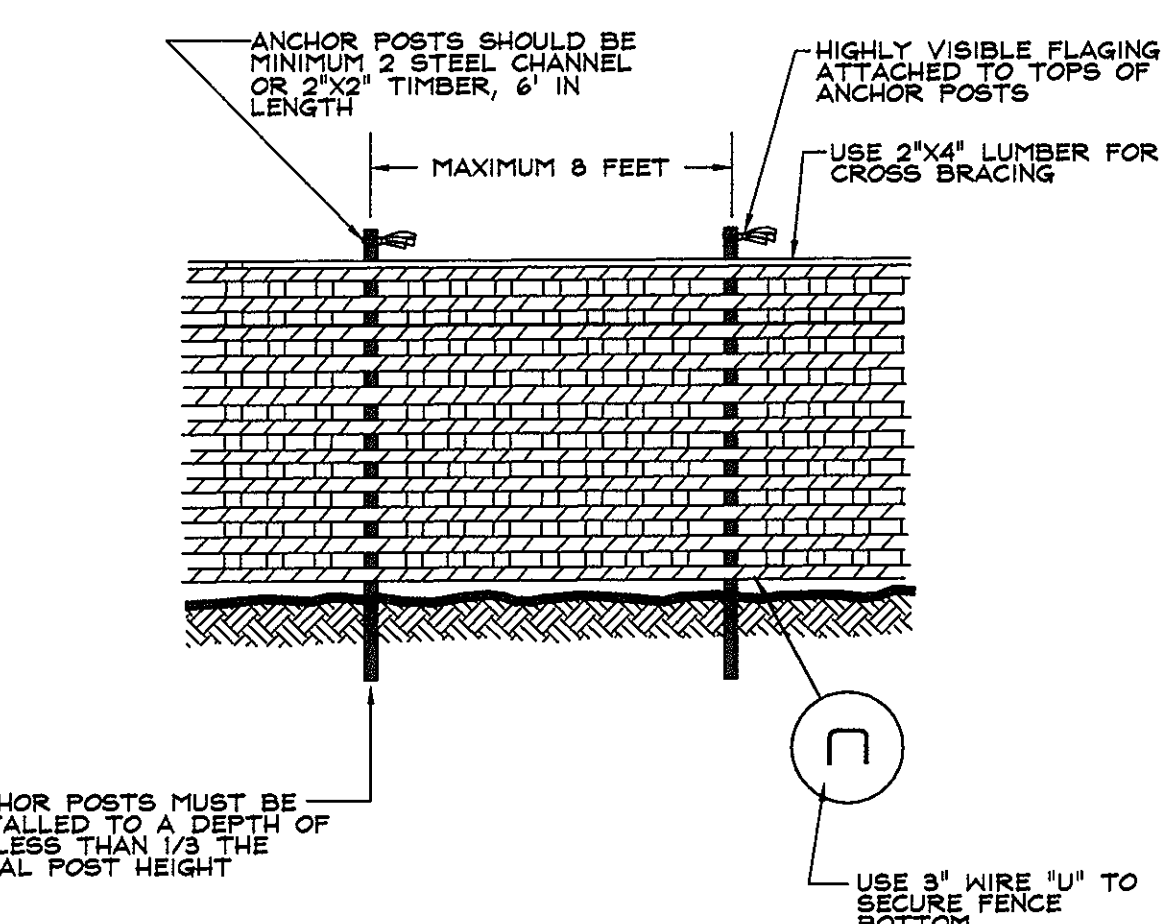
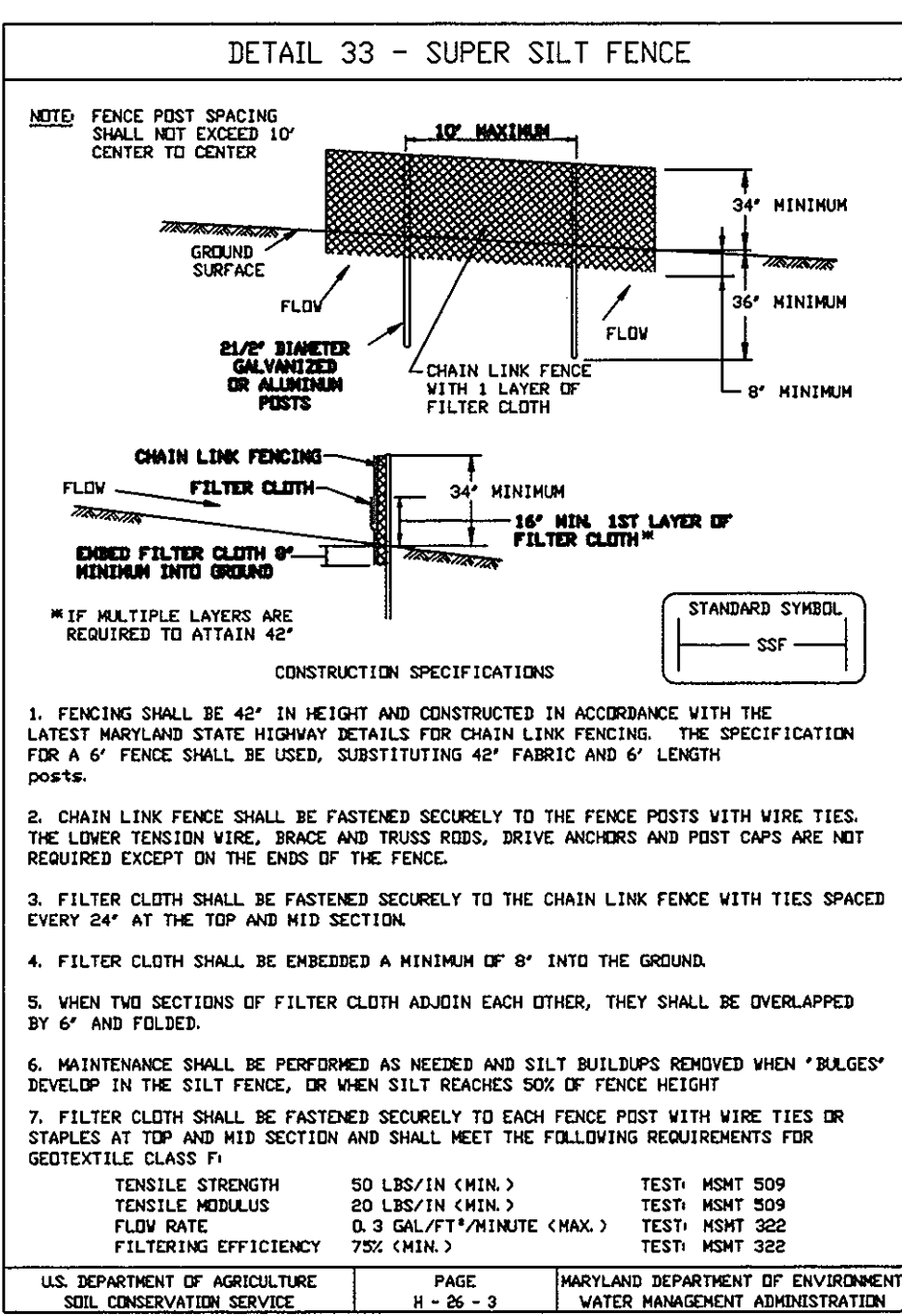
FOREST CONSERVATION PLAN

2ND ELECTION DISTRICT HONARD COUNTY, MD

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE

CO. FILE #: F-06-115	DES. BY: JAI
TAX ACC. #: 02-392526	DRN. BY: JAI
TAX MAP: 25A	CHK. BY: AJS/ML
BLOCK / GRID: 24	DATE: 2/23/2007
PARCEL #: 329	DDC JOB#: 05027.1
ZONE / USE: R-ED	SHEET NUMBER:
DWG. SCALE: 1" = 30'	3 of 4

F-06-115



PLASTIC MESH TREE PROTECTION FENCE
N.T.S.

APPROVED: DEPARTMENT OF PUBLIC WORKS

William F. White
CHIEF, BUREAU OF HIGHWAYS 6-22-07 DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING

Michael J. Smith
CHIEF, DIVISION OF LAND DEVELOPMENT 6/28/07 DATE

No As-Built information is required on this sheet

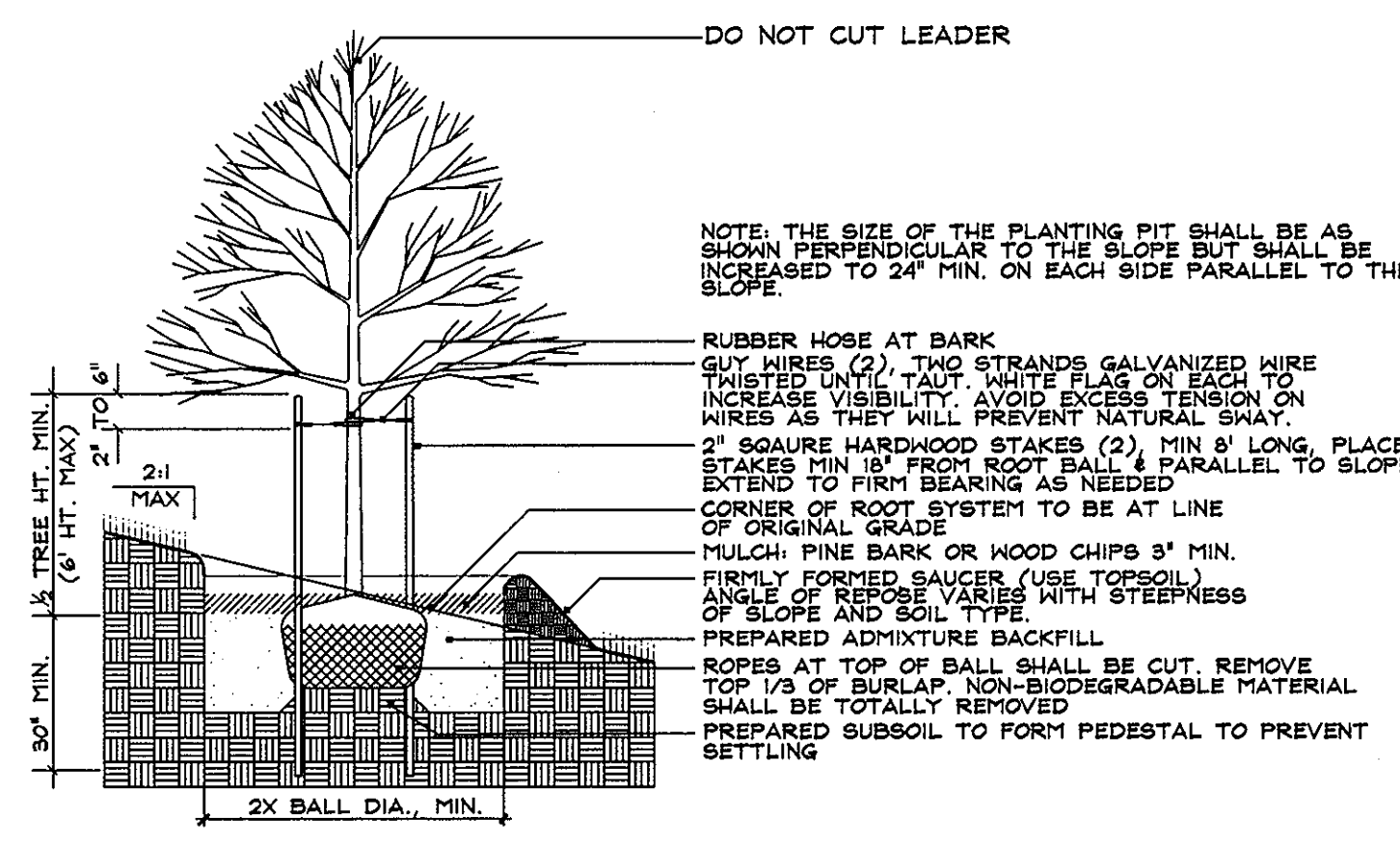
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21448 Expiration Date: 12-21-14

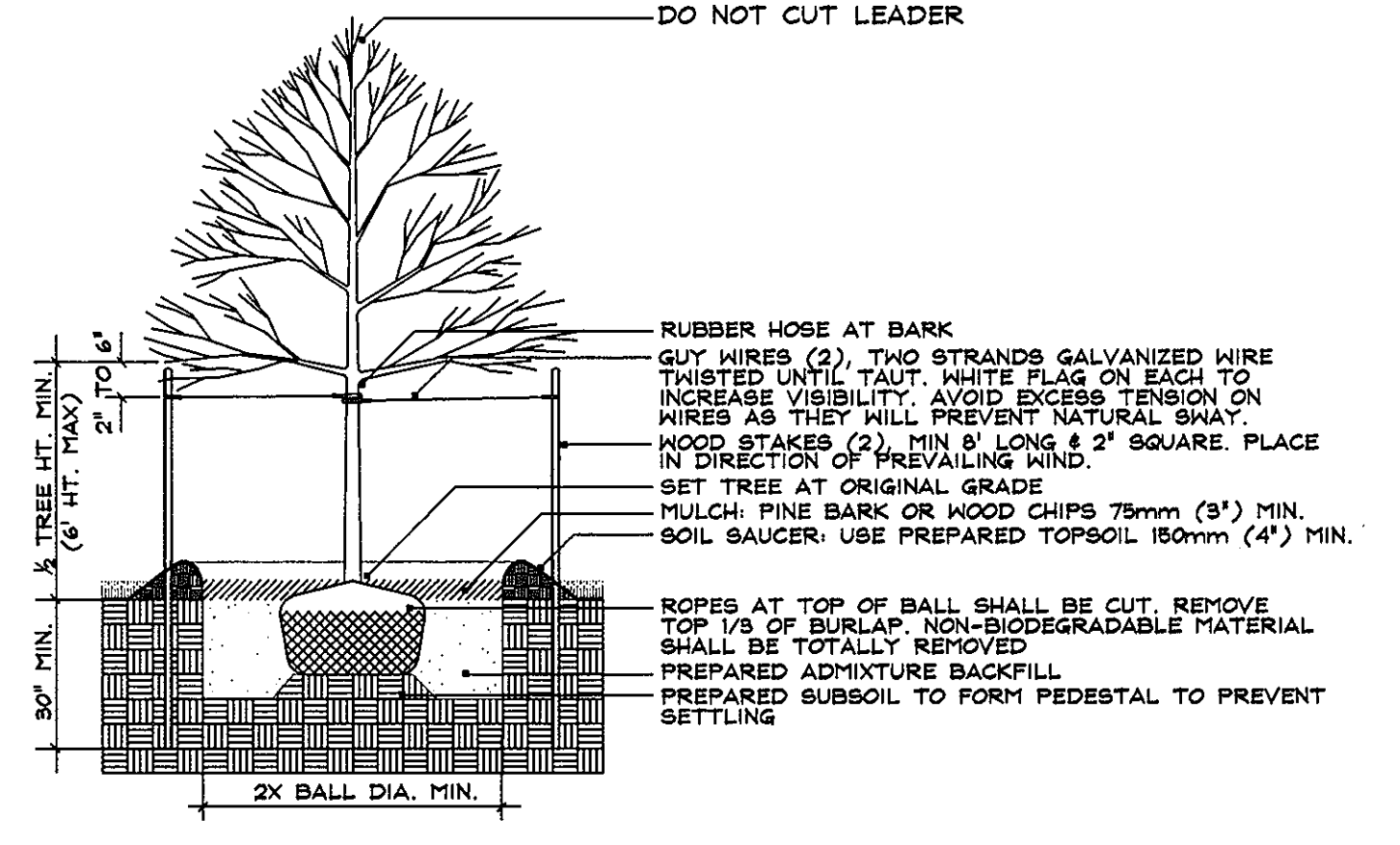
PLAN PREPARED WITH:
MAR-LEN ENVIRONMENTAL
275 BARNHART ROAD
WESTMINSTER, MD 21158
(410) 857-2322

5-31-07
DATE

LEONARD M. WRABEL RPF# 182



NOTE: THE SIZE OF THE PLANTING PIT SHALL BE AS SHOWN PERPENDICULAR TO THE SLOPE BUT SHALL BE INCREASED TO 24" MIN. ON EACH SIDE PARALLEL TO THE SLOPE.



RUBBER HOSE AT BARK
GUY WIRES (2) TWO STRANDS GALVANIZED WIRE TWISTED UNTIL TAUT. WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID EXCESS TENSION ON WIRES AS THEY WILL PREVENT NATURAL SWAY.
WOOD STAKES (2) MIN 8' LONG & 2" SQUARE. PLACE IN DIRECTION OF PREVAILING WIND.
SET TREE AT ORIGINAL GRADE
MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN. SOIL SAUCER: USE PREPARED TOPSOIL 150mm (4") MIN.
ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.
PREPARED ADMIXTURE BACKFILL
PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING

DECIDUOUS TREE PLANTING ON SLOPE (LESS THAN 3" CAL.)
N.T.S.

DECIDUOUS TREE PLANTING (LESS THAN 3" CAL.)
N.T.S.

DRAWING LEGEND

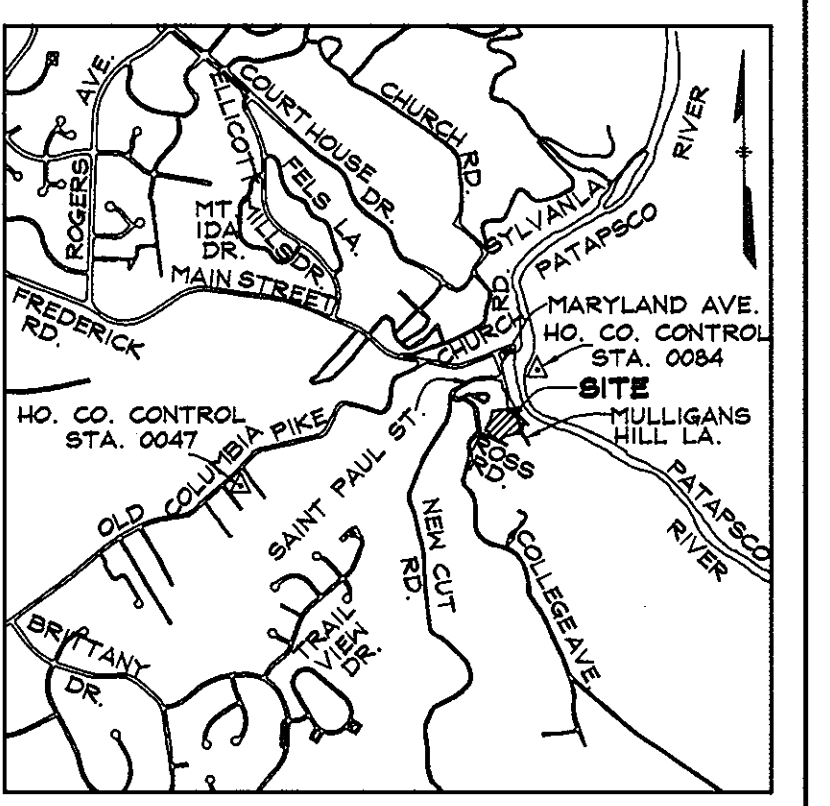
- 682 EXISTING MINOR CONTOUR (2' INTERVAL)
- 680 EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- N 06°45'45"N 120.0' EXISTING PROPERTY BOUNDARY
- MNF SOIL DELINEATION LINE
- EX. ROAD / EDGE OF PAVING
- EX. SENIOR LINE & MANHOLES, CLEAN-OUTS
- EX. OVERHEAD ELECTRIC & UTILITY POLES
- 682 PROPOSED MINOR CONTOUR (2' INTERVAL)
- 680 PROPOSED MAJOR CONTOUR (10' INTERVAL)
- EX/PROP. ROAD CENTERLINE
- EX. BUILDINGS
- PROPOSED BUILDING/HOME
- EXISTING TREES
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- STEEP SLOPES (15% - 24.4%)
- EXISTING TREES (25%+)

General Planting Notes

1. All plant materials to meet A.N.L.A. Standards.
2. The Contractor is to follow specification guidelines for Baltimore & Washington Metropolitan Area as approved by the L.C.A. of Maryland, Washington D.C., & Virginia and described in the latest edition of "Landscape Specification Guidelines."
3. No substitutions are to be made without the consent of the Landscape Architect and/or the Owner.
4. All beds are to be topped with three (3) inches of hardwood mulch.
5. Contractor shall notify Miss Utility at, 1 (800) 257-7777, at least 72 hours prior to construction and verify the location of all utilities with the Owner before planting.
6. Landscape Architect/Owner shall select, verify, and/or approve all plant material. At the Owner's discretion, specimen and other plant material may be selected.
7. The Landscape Contractor shall coordinate with the general, lighting, & irrigation contractors regarding timing and installation of plant material. At the time of final inspection with acceptance, all electric, water & drainage utilities, as well as plant material, shall remain undamaged. Likewise, the Landscape Contractor and utilities contractors shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
8. The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
9. This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. Code. Financial surety for the required landscaping in the amount of \$600 must be posted as part of the Developer's Agreement. (2 shade trees, 0 evergreen trees). Financial surety for the required street trees in the amount of \$1500.00 must be posted as part of the Developer's Agreement for roads, storm drainage and/or stormwater management (5 shade trees, 0 evergreen trees).
10. Developer/Builder's Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that, upon completion, a certification of landscape installation, accompanied by an executed one-year guarantee of the plant materials, will be submitted to the Department of Planning and Zoning.

NAME: Timothy Cahill
DATE: 6/13/07



VICINITY MAP
SCALE: 1"=2000'

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	PERIMETER 2 (SFD - FRONT ORIENTATION)	PERIMETER 1 TYPE 'A'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	194 L.F.	879 L.F. TOTAL
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	N/A	756 L.F.
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A
NUMBER OF PLANTS REQUIRED	N/A	
SHADE TREES		2
EVERGREEN TREES		0
SHRUBS		0
NUMBER OF PLANTS PROVIDED	N/A	
SHADE TREES		2
EVERGREEN TREES		0
OTHER TREES (2:1 SUBSTITUTION)		0
SHRUBS		0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

- NOTES:
1. * CREDIT WILL BE TAKEN FOR 756 L.F. OF EXISTING TREES TO REMAIN ON THIS PERIMETER.
 2. STORMWATER MANAGEMENT WILL BE PROVIDED BY SUB-SURFACE/NON-STRUCTURAL MEANS AND WILL NOT REQUIRE LANDSCAPE PERIMETERS.
 3. PERIMETER 2 IS EXEMPT FROM LANDSCAPE REQUIREMENTS AS IT REPRESENTS SINGLE FAMILY DETACHED UNITS WITH A FRONT ORIENTATION TO A PUBLIC RW. STREET TREES HAVE BEEN PROVIDED INDEPENDENTLY OF THIS REQUIREMENT (SEE PLAN FOR LOCATION).

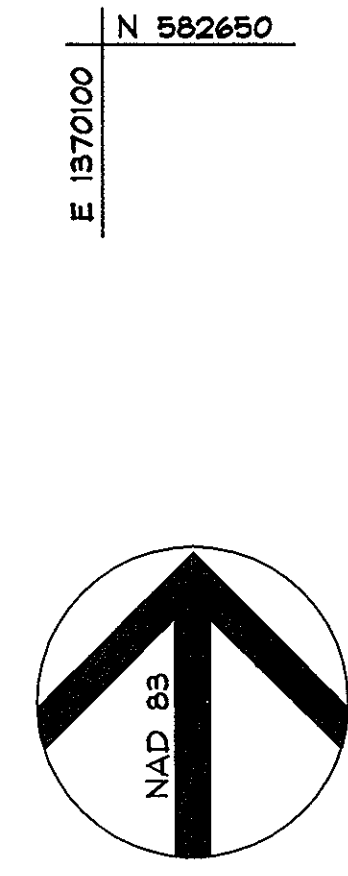
STREET TREE CALCULATIONS:

1. STREET TREES REQUIRED = 5
104 L.F. @ TREE/40 L.F.
2. STREET TREES PROVIDED = 5

NOTE: STREET TREES SHALL NOT BE INCLUDED IN THE SURETY POSTED WITH THE DEVELOPERS AGREEMENT.

PLANT LIST

QTY	SYM	BOTANICAL NAME/ COMMON NAME	SIZE	REMARKS
7	QR	QUERCUS RUBRA RED OAK	2 1/2' - 3' CAL. 12' - 14' HT.	B & B



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1024 L.F.
TYPE 'A'

PERIMETER 2
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PERIMETER 3
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