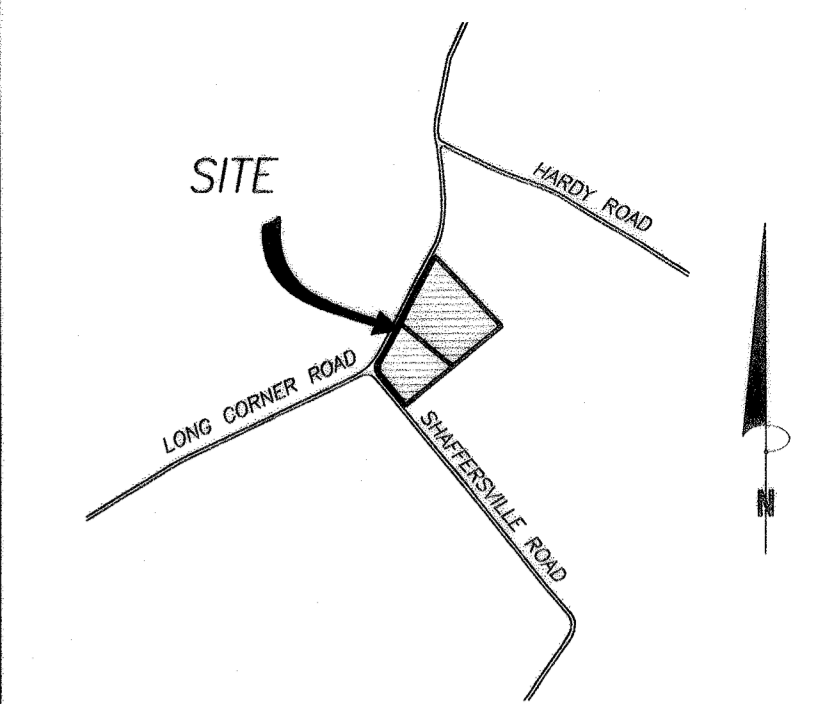


PLANTING SCHEDULE

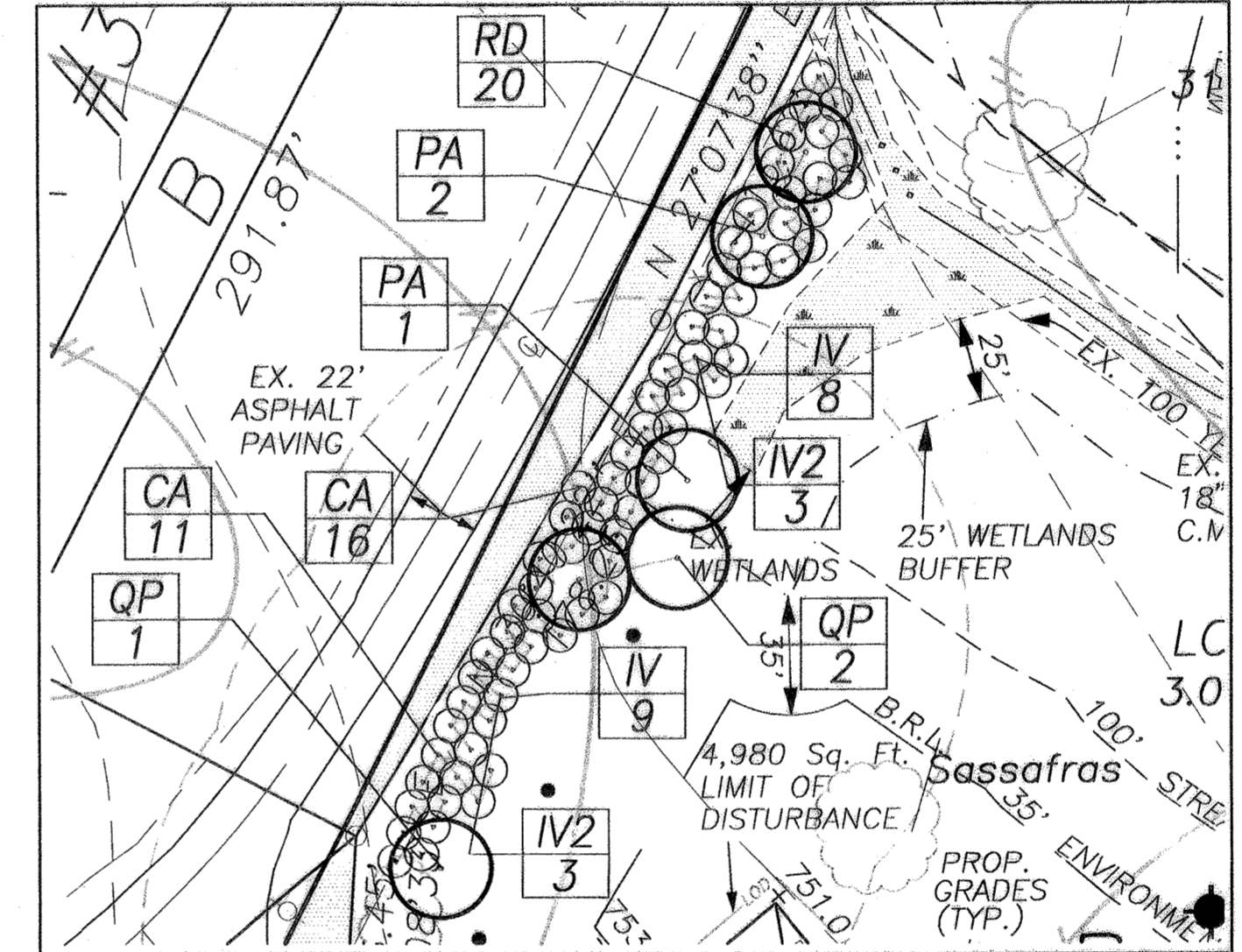
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	SPACING
QP	6	Quercus palustris Pin Oak	2-2.5' CAL	B&B	AS SHOWN
PA	6	Plectanox acerifolia London Planetree	2-2.5' CAL	B&B	AS SHOWN
CA	27	Clethra alnifolia 'Ruby Spice' 'Ruby Spice' Summersweet	2.5-3' HT.	3-5 GAL.	AS SHOWN
IV	17	Ilex verticillata 'Winter Red' 'Winter Red' Winterberry Holly	3-4' HT.	3-5 GAL.	AS SHOWN
IV2	6	Ilex verticillata 'Southern Gentleman' 'Southern Gentleman' Winterberry Holly	3-4' HT.	3-5 GAL.	AS SHOWN
RD	20	Cornus sericea 'Cardinal' 'Cardinal' Redosier Dogwood	2.5-3' HT.	B&B	AS SHOWN



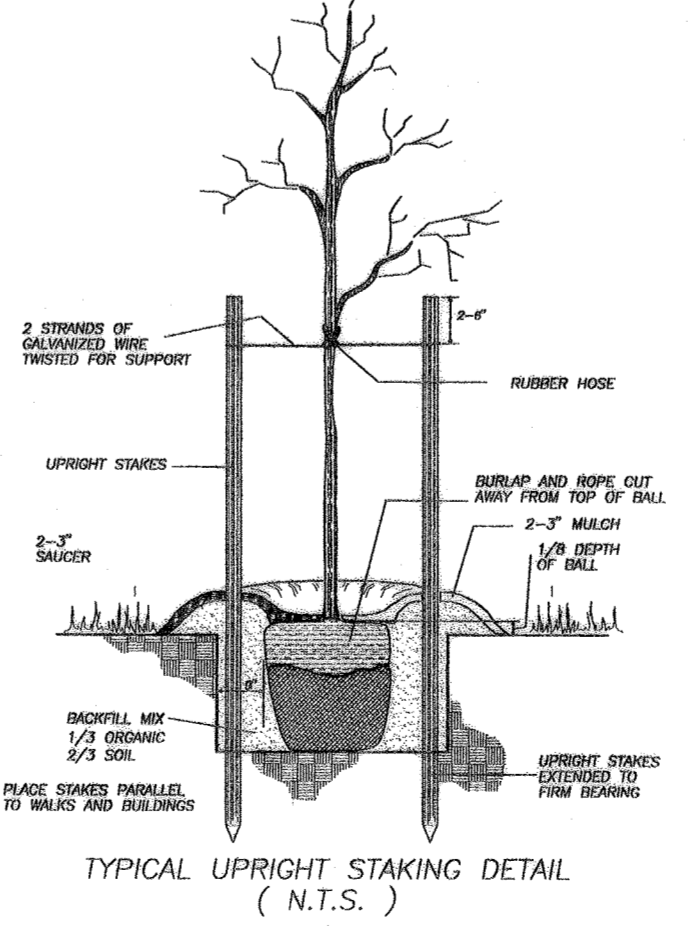
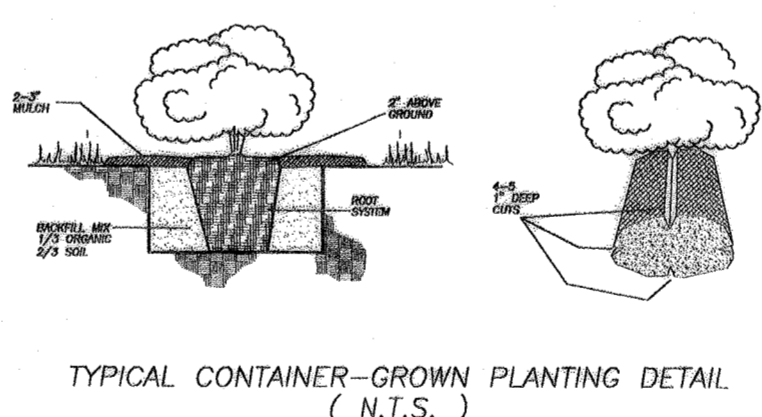
VICINITY MAP
SCALE: 1" = 1200'
TAX MAP: 6, PARCEL: 138

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL COMPLY WITH AMERICAN STANDARDS FOR NURSERY STOCK (AMERICAN ASSOCIATION OF NURSERYMEN) AND INSTALLATION SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS. ALL PLANT MATERIAL SHALL INCLUDE A ONE-YEAR WARRANTY.
- DO NOT PLANT WITHIN 20' OF PROPERTY LINE ABUTTING AN AGRICULTURAL USE.
- SOURCE: WITHIN 100 MILE RADIUS OF MARYLAND, IF POSSIBLE.
- SPACING SHOWN IS APPROXIMATE; TREE LOCATIONS TO BE FIELD ADJUSTED AS REQUIRED TO MAINTAIN 10' MINIMUM CLEARANCE FROM ALL UTILITIES, STREET LIGHTS AND DRIVEWAYS.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL EXCAVATE TO VERIFY THE EXISTENCE, LOCATION AND DEPTH OF ANY UTILITIES (CONSTRUCTED AND EXISTING) AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE BEGINNING OF ALL WORK. EXCAVATION, GRADING, LANDSCAPING, ETC.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF THE UTILITIES.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY UTILITY (WHETHER SHOWN OR NOT) DAMAGED DUE TO CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR REPLACING ANY EXISTING FENCES, DRIVEWAYS, ETC., DAMAGED OR REMOVED BY THE CONTRACTOR DURING CONSTRUCTION. ALL OFF-SITE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- VANMAR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF MEAN MATERIALS, EQUIPMENT OR SAFETY MEASURES IN PERFORMANCE OF ANY WORK FOR THIS CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH ALL CODE REQUIREMENTS.
- IF THE CONTRACTOR DISCOVERS DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE "WORK" SHALL BE STOPPED IMMEDIATELY AND THE ENGINEER NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL PREVAIL.
- IT IS THE INTENT OF THESE PLANS & SPECIFICATIONS TO PROVIDE 100% COMPLETED WORK AND THIS SHALL BE THE PROJECT SCOPE.
- IT SHALL BE DISTINGUISHLY UNDERSTOOD THAT FAILURE TO NOTIFY THE ENGINEER OF DISCREPANCIES FOUND ON THESE PLANS & SPECIFICATIONS, SPECIFICALLY AND WORK WHICH WOULD NATURALLY AND/OR NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REDUCED LANDSCAPING, PLANT MATERIALS, BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS AND SIZE IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN FINES, OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE OWNER'S DEVELOPER'S AGREEMENT, IN THE AMOUNT OF \$5,700.00 FOR:
 12 SHADE TREES @ 300 EA. = \$ 3,600.00
 70 SHRUBS @ 30 EA. = \$ 2,100.00
 \$ 5,700.00



PLANTING DETAIL: PERIMETER #3
SCALE: 1"=50'



CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	
LANDSCAPE TYPE	#1-NONE	#3-B	#2-A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	334.23'	291.87'	336.17'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO
NUMBER OF PLANTS REQUIRED	0	291.87'	336.17'
SHRUBS	0	7	0
EVERGREEN TREES	0	0	0
NUMBER OF PLANTS PROVIDED	0	6	6
SHRUBS	0	0	0
EVERGREEN TREES	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	70	0

(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)

SUBSTITUTIONS:
PERIMETER #3: 70 SHRUBS FOR 7 EVERGREEN TREES

LANDSCAPE PLAN
RIGLER PROPERTY
LIBER 1435 FOLIO 601
SITUATED ON LONG CORNER ROAD
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' DECEMBER 2004

DATE: 11/9/05
REVISIONS: COMMENTS 9/27/05
DATE: 2/3/06
REVISIONS: COMMENTS 12/23/05
DATE: 3/20/06
REVISIONS: COMMENTS 3/1/06

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF NOTICE, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, AND A COPY OF THIS PLAN, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

STATE OF MARYLAND
TIMOTHY R. RIGLER & REGINA E. RIGLER
7/13/06

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
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(301) 829-2890 (301) 831-5015 (410) 549-2751