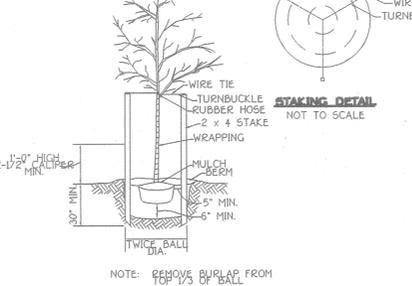
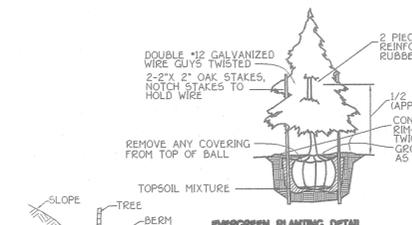


RETAINING WALL DETAIL
NOT TO SCALE

RETAINING WALL NOTES:
TIES SHALL BE EITHER:
A) CRESOTE TREATED RAILROAD TIES
B) 4" X 4" GALVANIZED STEEL TIES 40 BAR/FT RETENTION
HORIZONTALS SHALL BE NOT DIPPED GALVANIZED.
KEEP HOLES WITH OR WITHOUT GRAVEL. DRAIN ARC HOLLOW
MEASURES FOR GROUNDWATER. A DRAIN SYSTEM SHOULD BE DESIGNED
BY UTILITIES DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL
CONDITION BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

- Legend**
- Denotes Natural Area Conservation Credit For Stormwater Management.
 - Denotes Public Forest Conservation Easement.
 - Denotes Public Sewer, Water & Utility Easement.
 - Denotes Private Use-In-Common Driveway Access Easement.
 - Denotes Private Stormwater Management Facility.
 - Denotes 25% and Greater.
 - Denotes 15% - 25% Slopes.
 - Denotes Private Retaining Wall Easement.
 - Limit of Disturbance
 - - - Existing Tree Line
 - Proposed Tree Line



SOILS LEGEND

SOIL	NAME	CLASS
St	Stony land	St

NOTES:
* Hydric soils and/or contains hydric inclusions
** May contain hydric inclusions
† Generally only within 100-year floodplain areas

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER CATEGORY	P-1 ADJACENT TO PUBLIC ROAD (SIDE)	P-2 ADJACENT TO PERIMETER PROPERTIES	P-3 ADJACENT TO PERIMETER PROPERTIES	P-4 ADJACENT TO PERIMETER PROPERTIES	P-5 ADJACENT TO PERIMETER PROPERTIES	TOTAL
LANDSCAPE TYPE	B	A	A	A	A	---
LINEAR FEET OF PERIMETER	209.28'	314.09'	65.68'	208.5'	373.62'	---
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	YES	NO	YES (FOREST) (65.68')	YES (FOREST) (100%)	YES (FOREST) (100%)	---
CREDIT FOR WALL, FENCE OR BERM (NO, YES, AND %)	NO	NO	NO	NO	NO	---
NUMBER OF TREES REQUIRED	209.28'/50"=4.1+4	314.09'/60"=5.2+5	65.68'/60"=1.09+1	208.5'/60"=3.5+4	373.62'/60"=6.2+6	---
SHADE TREES (2-1/2" TO 3" CAL)	209.28'/10"=5.2+5					---
EVERGREEN TREES	0	5	1 (SEE NOTE *1)	0	0	6
NUMBER OF TREES PROVIDED	0	0	0	0	0	0
SHADE TREES (2-1/2" TO 3" CAL)						---
EVERGREEN TREES						---

NOTE *1: PERIMETER LANDSCAPE BUFFER OBLIGATIONS FOR P-3 ARE RELOCATED ALONG P-2.
NOTE *2: SURETY FOR THE 6 SHADE TREES @ \$300/SHADE TREE IN THE AMOUNT OF \$1800.00 SHALL BE POSTED WITH THE GRADING PERMIT.

LANDSCAPING PLANT LIST

QTY.	KEY	NAME	SIZE
6	🌳	ACER RUBRUM RED MAPLE	2 1/2" - 3" CAL

Developer's/Builder's Certificate

I/We certify that the landscaping shown on this plan will be done according to this plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual, I/We Further Certify That Upon Completion, A Letter of Notice, Accompanied By An Executed One Year Guarantee Of Plant Materials, Will Be Submitted To The Department Of Planning And Zoning.

Name: *[Signature]* Date: 11/4/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hamant
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Date: 11/14/05
Date: 11/10/05

SUPPLEMENTAL PLAN TOPOGRAPHY, SOILS AND PERIMETER LANDSCAPING JOURNEY'S END
Lots 1 Thru 3 And Open Space Lots 4 And 5
Zoned: R-ED

OWNER/DEVELOPER
Historic Ellicott Properties, Inc.
Suite 102
5300 Dorsey Hall Drive
Ellicott City, Maryland 21042

Tax Map: 25 Parcel: 72 Grid: 20
Second Election District
Howard County, Maryland

Scale: 1"=30'
Date: October 31, 2005
SHEET 1 OF 2

F-05-134

FCP NOTES

- ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
- LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
- NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
- TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
- PERMANENT SIGNAGE SHALL BE PLACED 50' - 100' APART ALONG BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.
- A DEED OF FOREST CONSERVATION EASEMENT IS REQUIRED. A DEVELOPER'S AGREEMENT AND FOREST CONSERVATION SURETY ARE NOT REQUIRED SINCE THIS IS A MINOR SUBDIVISION.

FSD NOTES

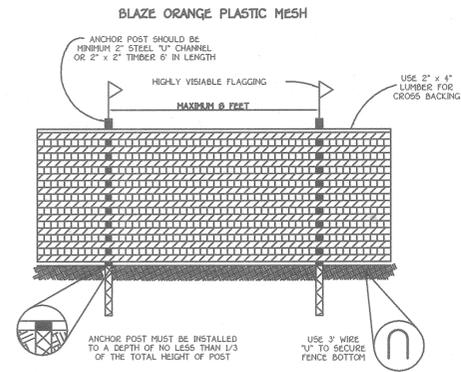
- No rare, threatened, or endangered species were observed on the property.
- Surrounding land use is medium density residential and agricultural.
- All forest on the site is in stand F-1.

Forest Stand Data

KEY	COMMUNITY TYPE	ACREAGE (HTA)	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
F1	MAPLE-POPULAR	1.1	Acer Rubrum Liriodendron tulipifera Acer Flatanoides, Fraxus serotina, Acer negundo, Quercus alba	GOOD	0

LEGEND

- EX. CONTOURS
- SOILS
- EX. TREE LINE
- PROPOSED TREE LINE
- FCE FOREST CONSERVATION
- TEMPORARY FENCING
- PERMANENT SIGNAGE
- DENOTES NATURAL AREA CONSERVATION CREDIT FOR STORMWATER MANAGEMENT.
- DENOTES 25% AND GREATER.
- DENOTES 15% - 24.99% SLOPES.
- LIMIT OF DISTURBANCE



- NOTES:**
- FOREST PROTECTION DEVICE ONLY.
 - RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 - ROOT DAMAGE SHOULD BE AVOIDED.
 - PROTECTIVE SIGNAGE MAY ALSO BE USED.
 - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION DETAIL

NOT TO SCALE

ON-SITE SIGNAGE

FOREST CONSERVATION EASEMENT

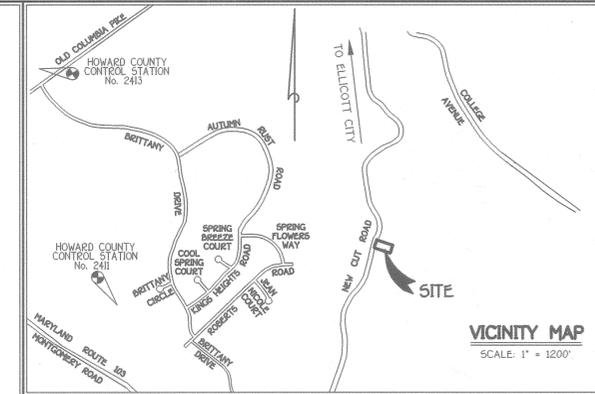
UNAUTHORIZED DISTURBANCE OF VEGETATION IS PROHIBITED. VIOLATORS SUBJECT TO PENALTIES UNDER THE HOWARD COUNTY FOREST CONSERVATION ACT OF 1991.

TREES FOR YOUR FUTURE

11" MINIMUM

15' MINIMUM

▲ DENOTES APPROXIMATE LOCATION OF SIGNS TO BE PLACED



FOREST CONSERVATION WORKSHEET VERSION 1.0

BASIC SITE DATA:

A. TOTAL TRACT AREA.....	2.0
B. AREA WITHIN 100 YEAR FLOODPLAIN.....	0
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION.....	0
D. NET TRACT AREA.....	2.0

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual
ARA MDR IDA HDR MPD CIA
X

INFORMATION FOR CALCULATIONS:

E. AFFORESTATION THRESHOLD.....	15% x D =	0.3
F. FOREST CONSERVATION THRESHOLD.....	20% x D =	0.4

EXISTING FOREST COVER:

G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN).....	1.1
H. AREA OF FOREST ABOVE REFORESTATION THRESHOLD.....	0.8
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD.....	0.7

BREAK-EVEN POINT:

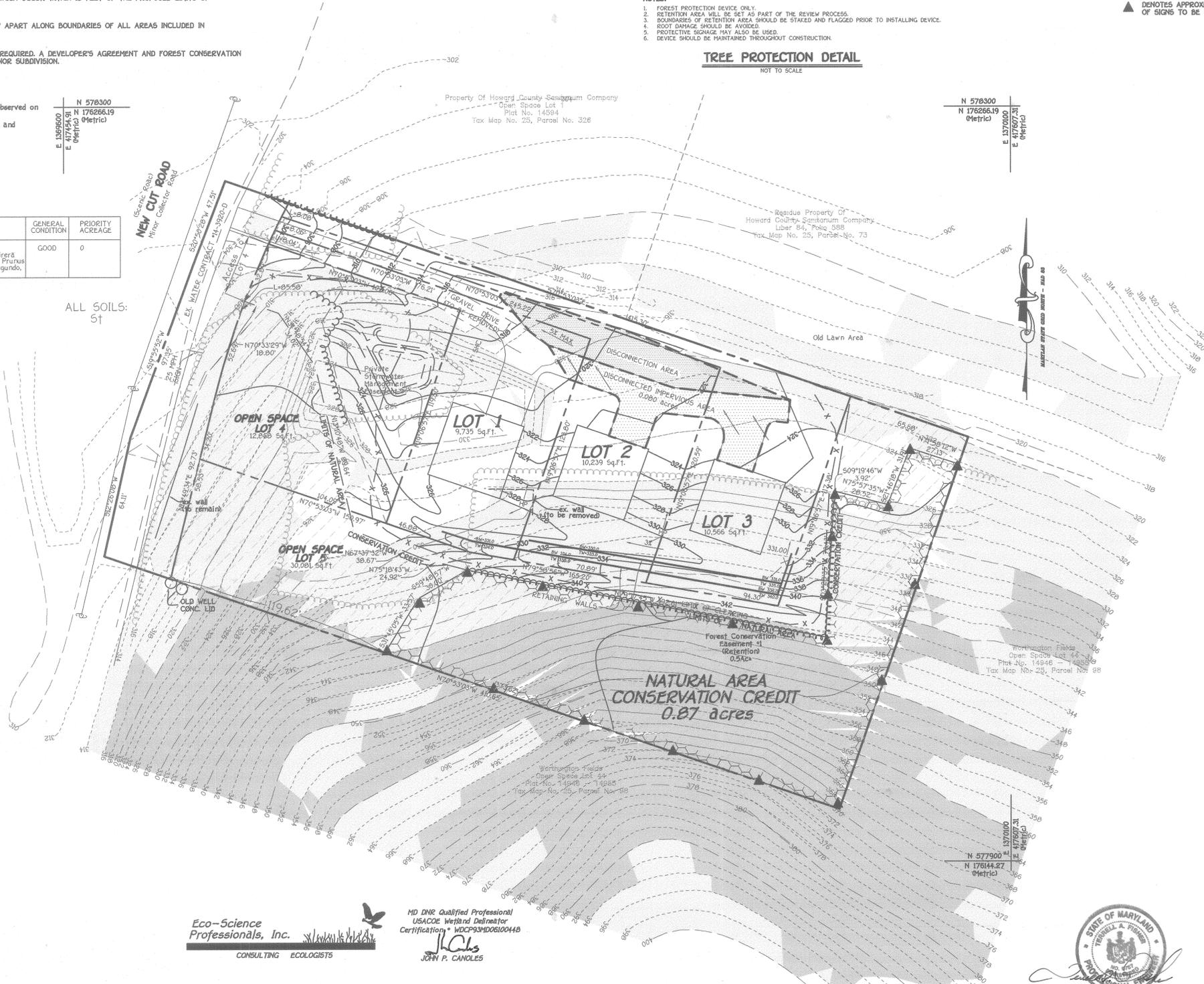
J. FOREST RETENTION ABOVE THRESHOLD WITH NO MITIGATION.....	0.1
Break-Even Point	0.4
K. CLEARING PERMITTED WITHOUT MITIGATION.....	0.6

PROPOSED FOREST CLEARING:

L. TOTAL AREA OF FOREST TO BE CLEARED.....	0.6
M. TOTAL AREA OF FOREST TO BE RETAINED.....	0.5

PLANTING REQUIREMENTS:

N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD.....	0
P. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD.....	0
Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD.....	0
R. TOTAL REFORESTATION REQUIRED.....	0
S. TOTAL AFFORESTATION REQUIRED.....	0
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED.....	0



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hammett 11/14/05
CHIEF, DIVISION OF LAND DEVELOPMENT JR. DATE

John P. Canoles 11/10/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION YC DATE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
ELlicOTT CITY, MARYLAND 21042
(410) 461 - 2855

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS

MD DNR Qualified Professional
USACOE Wetland Delineator
Certification # WDCP93MD06100448
John P. Canoles
JOHN P. CANOLES



OWNER/DEVELOPER
Historic Ellicott Properties, Inc.
Suite 102
5300 Dorsey Hall Drive
Ellicott City, Maryland 21042

Forest Stand Delineation & Forest Conservation Plan JOURNEY'S END
Lots 1 Thru 3 And 5
Open Space Lots 4 And 5
Zoned R-ED
Tax Map: 25 Parcel: 72 Grid: 20
Second Election District
Howard County, Maryland
Scale: 1"=30'
Date: October 31, 2005
Sheet 2 of 2

F-05-134

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