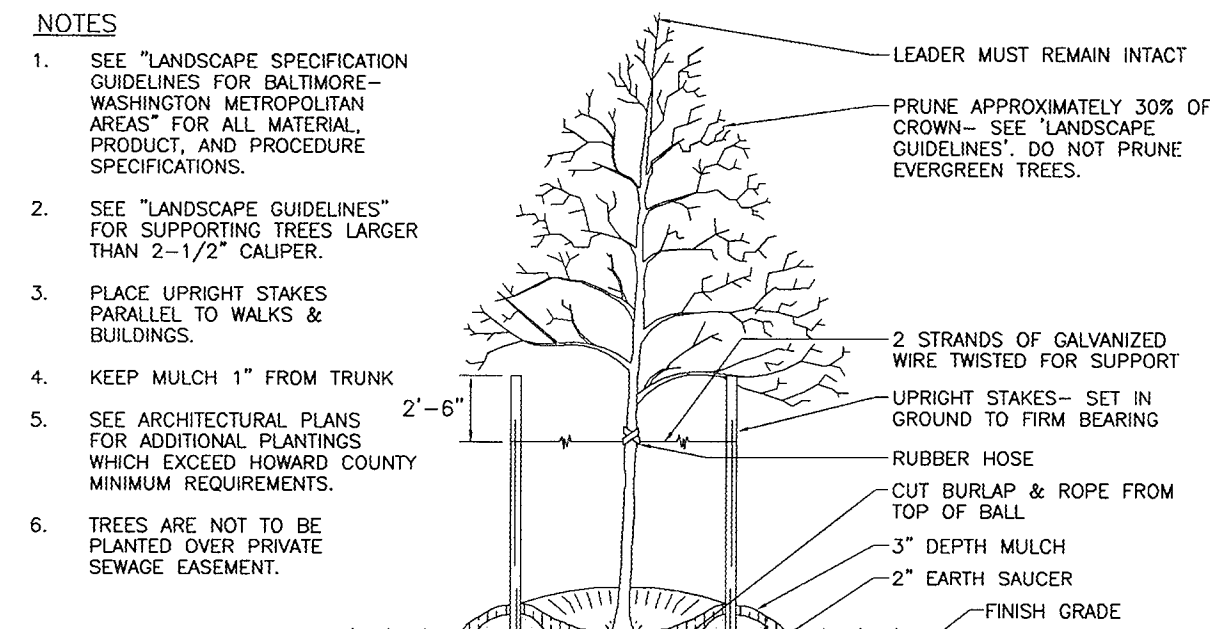


LEGEND

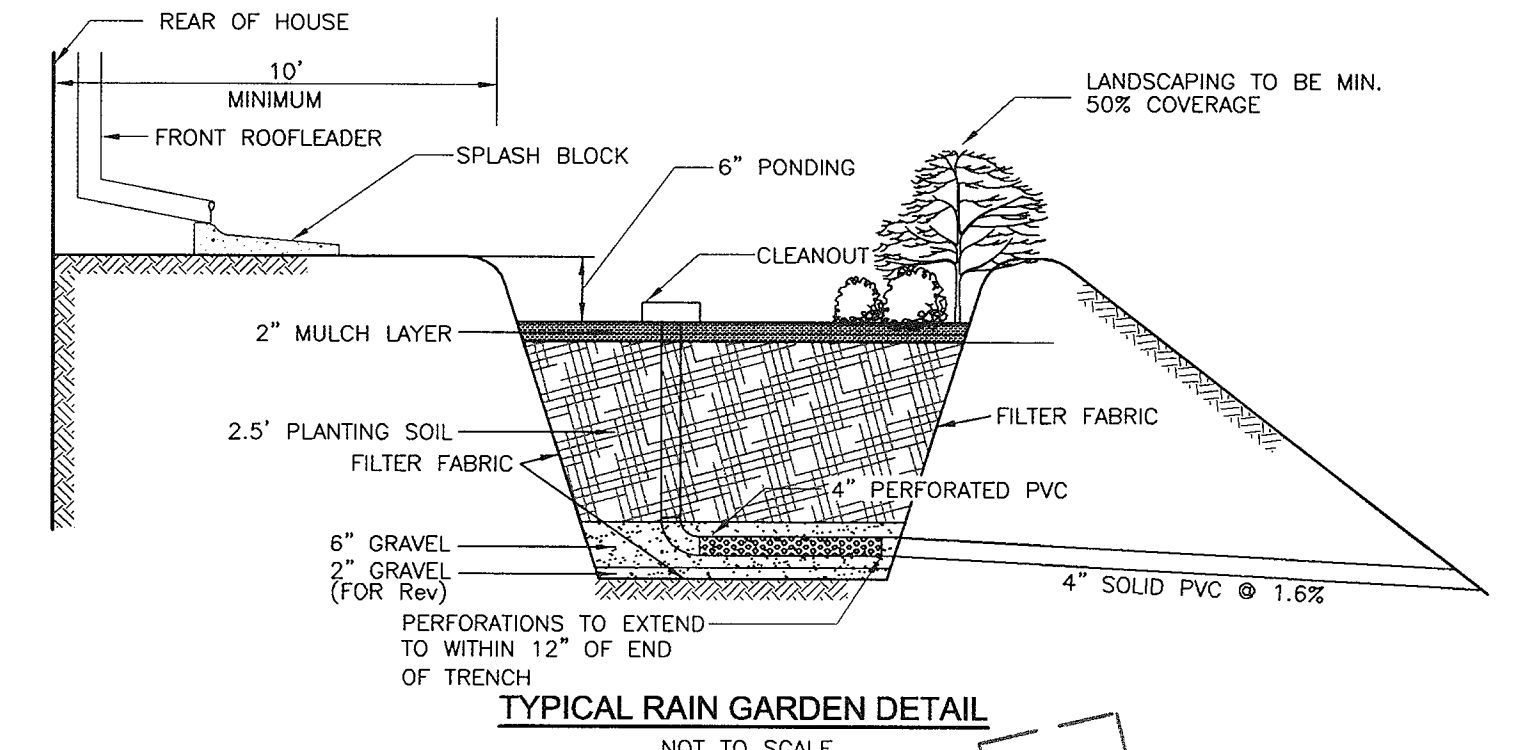
[Symbol]	25% OR GREATER SLOPES
[Symbol]	15-24.9% SLOPES
[Symbol]	PRIVATE SEPTIC EASEMENT
[Symbol]	NON-TIDAL WETLANDS
[Symbol]	ACCESS EASEMENT
[Symbol]	EXISTING FOREST CONSERVATION EASEMENT (F-04-133)
[Symbol]	PROPOSED FOREST CONSERVATION EASEMENT (RETENTION)
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING TREELINE
[Symbol]	PROPERTY LINE
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	EX. METAL FENCE
[Symbol]	EX. WOODEN FENCE
[Symbol]	SOILS DIVISION LINE
[Symbol]	PROPOSED PERIMETER LANDSCAPING TREE



SOILS LEGEND

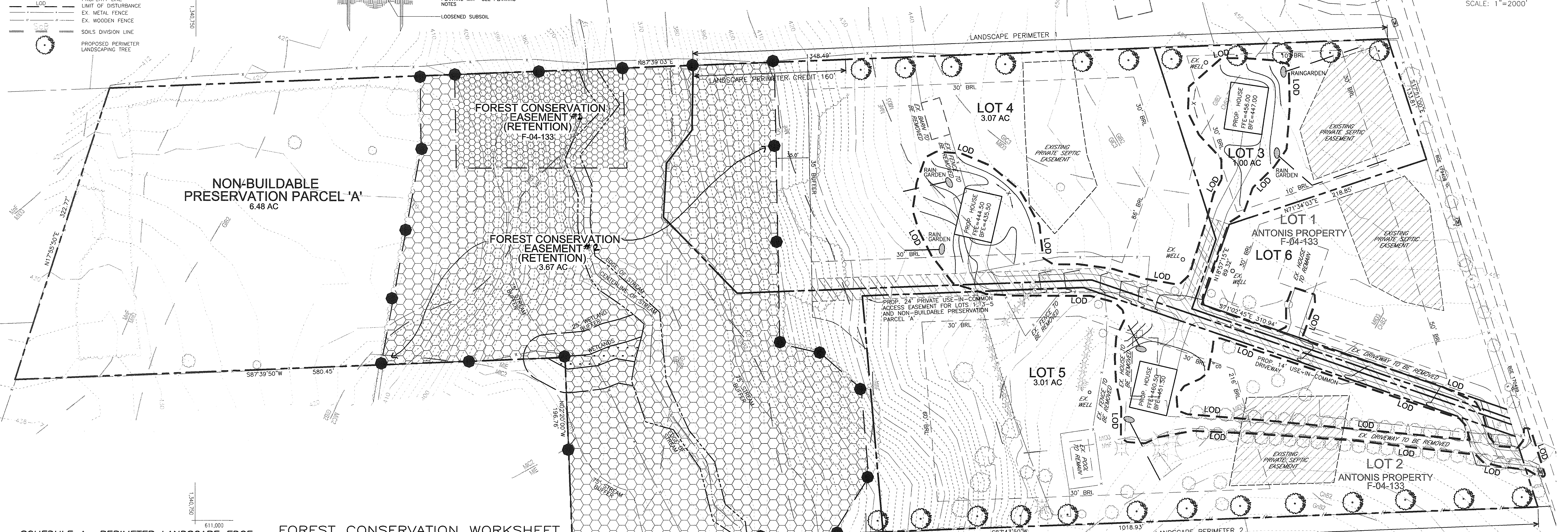
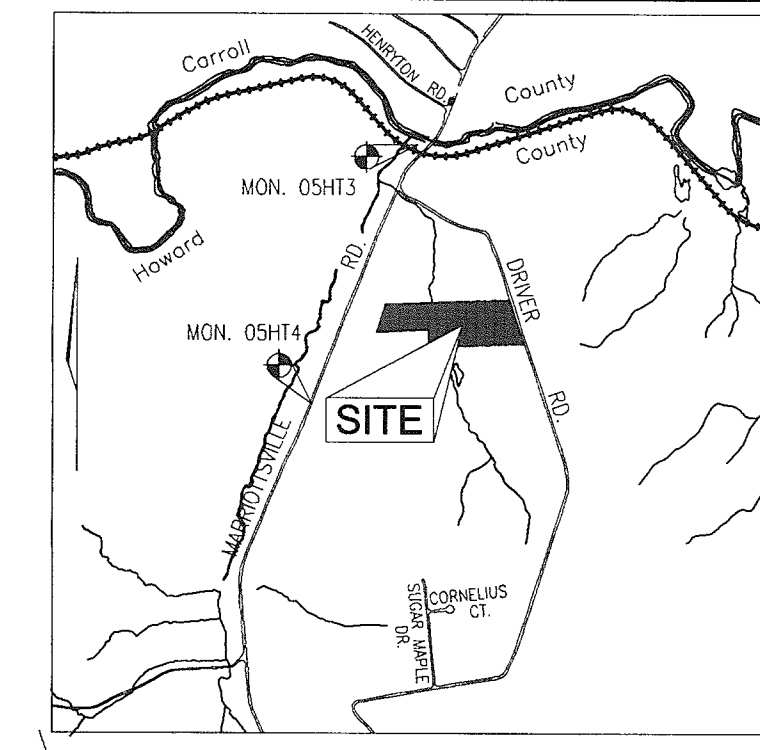
SYMBOL	NAME / DESCRIPTION	TYPE
ChB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
C2	CODRUS SILT LOAM	C
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIC3	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	B
ChB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MID3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B
MIE	MANOR LOAM, 25 TO 40 PERCENT SLOPES	B
Mnd	MANOR VERY STONY LOAM, 3 TO 25 PERCENT SLOPES	B
Mnf	MANOR VERY STONY LOAM, 25 TO 60 PERCENT SLOPES	B

NOTE: -HOWARD SOIL SURVEY, MAP NUMBER 21



BENCHMARK DATA

05H13	N: 613668.369
	E: 1340978.788
05H14	N: 612770.254
	E: 1340552.938



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADS	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES
PERIMETER	NA	1	1
LANDSCAPE TYPE	NONE REQUIRED	A	A
LINEAR FEET OF PERIMETER	NA	732	700
NUMBER OF PLANTS REQUIRED	NA	13	12
CREDIT FOR EXISTING VEGETATION	NA	2	0
20' LANDSCAPE EDGE	NA	0	0
SHADE TREES	NA	0	0
EVERGREEN TREES (2:1 SUBSTITUTION)	NA	0	0
NUMBER OF PLANTS PROVIDED	NA	11	13

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:

A. TOTAL TRACT AREA	13.48 AC
B. AREA WITHIN 100 YEAR FLOODPLAIN	0.00 AC
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0.00 AC
D. NET TRACT AREA	13.48 AC

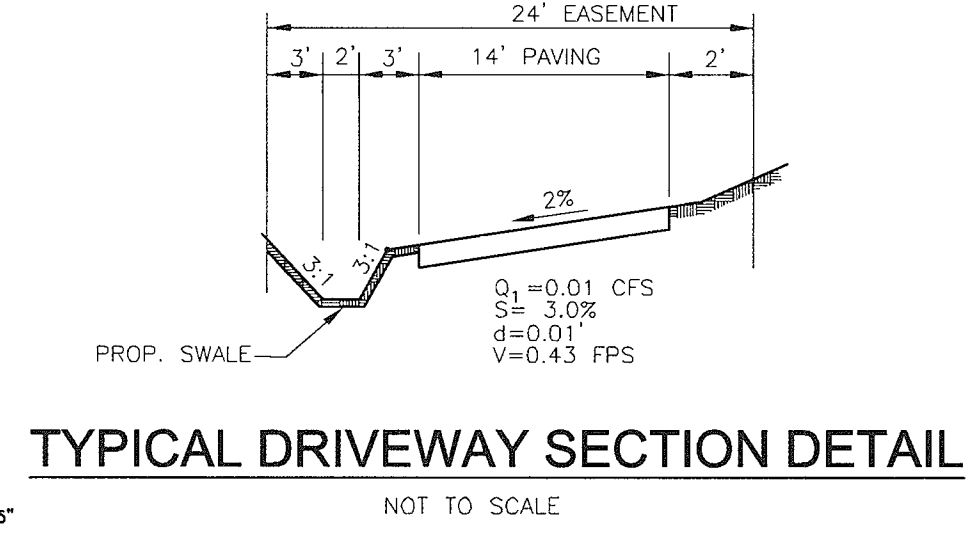
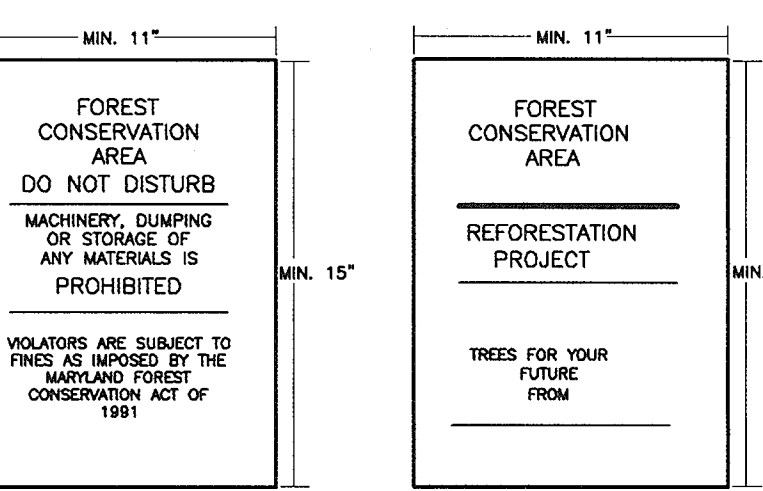
LAND USE CATEGORY (FROM TABLE 3.2.1, PAGE 40, MANUAL)

INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY.

ARA	MDR	IDA	HDR	MPD	CIA
0	1	0	0	0	0

E. AFFOREST THRESHOLD = 20% X D = 2.70 AC
F. CONSERVATION THRESHOLD = 25% X D = 3.37 AC

- NOTES**
- THE PROPERTY OUTLINE IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY FREDERICK WARD ASSOCIATES, INC. IN SEPTEMBER, 2003, AND BASED ON THE 2004 COMPREHENSIVE ZONING PLAN.
 - THE EXISTING FEATURES AND CONTOURS SHOWN HEREON ARE BASED ON FIELD RUN TOPOGRAPHY PERFORMED BY FREDERICK WARD ASSOCIATES, INC. IN SEPTEMBER, 2003.
 - A WETLAND DELINEATION WAS PERFORMED BY ECO-SCIENCE PROFESSIONALS, DATED FEBRUARY 2004.
 - A FOREST STAND DELINEATION WAS PERFORMED BY FREDERICK WARD ASSOCIATES, INC. IN FEBRUARY 2004 AND APPROVED UNDER F-04-133.
 - NO FLOODPLAINS EXIST ON THIS SITE.
 - THIS PROJECT IS SUBJECT TO THE AMENDED 5TH SUBDIVISION REGULATIONS, THE COMPREHENSIVE ZONING PLAN, AND THE APRIL 13, 2004 ZONING REGULATIONS.
 - ALL WELLS TO BE DRILLED PRIOR TO RECORD PLAT SUBMITTAL FOR SIGNATURE.
 - FOREST CONSERVATION OBLIGATION TO BE FULFILLED BY THE RETENTION OF 3.67 AC OF FOREST IN AN EASEMENT LOCATED ON NON-BUILDABLE PRESERVATION PARCEL 'A'. A DEED OF FOREST CONSERVATION WILL BE PROVIDED FOR THE 3.67 AC OF RETENTION.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 - SURETY IN THE AMOUNT OF \$6,900.00 FOR THE REQUIRED 23 SHADE TREES WILL BE PAID WITH THE DEVELOPER'S AGREEMENT.
 - STORMWATER MANAGEMENT HAS BEEN PROVIDED FOR THIS SUBDIVISION. WOV AND REV FOR LOTS 3, 4 AND 5 IS PROVIDED BY RAINGARDENS. WOV AND REV FOR THE USE-IN-COMMON DRIVEWAY IS PROVIDED BY A SWALE. A DEVELOPER'S AGREEMENT WILL BE PROVIDED FOR THE RAINGARDENS.



LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
24		QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK	2 1/2"-3" Col.	B & B

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LANDSCAPE PLANTING SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

APPROVED, DEPARTMENT OF PLANNING AND ZONING

[Signature] 1/26/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 1/26/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

OWNER, LOT 6
James Selfe, Joe Builders
1405 GARDEN ST
GLENWOOD, MD 21738
Att: James Selfe

1/17-06
SIGNATURE OF OWNER
DATE

OWNER, LOTS 3-5 + PP.A
PLEASANT PROSPECT FARM, INC.
350 DORSEY HALL DRIVE
BELLCASTLE, MARYLAND
2042-7819
Att: Don Reuter

LARRY J. THOMPSON
DNR QUALIFIED PROFESSIONAL

SUPPLEMENTAL INFORMATION, AND FOREST CONSERVATION PLAN
ANTONIS PROPERTY
LOTS 3-6 AND NON-BUILDABLE PRESERVATION PARCEL 'A'

TAX MAP 10 GRID 4
PARCEL: 271 DEED REF.: L.726 F.340
3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: LJT
DRAWN BY: LJT
CHECKED BY: RHV
DATE: FEBRUARY 2005
SCALE: 1"=50'
W.O. NO.: 03-32

1 SHEET 1 OF