

GENERAL NOTES

- Subject property zoned "R-ED" per 02/02/04 Comprehensive Zoning Plan.
- The property is located within the Metropolitan District.
- Public water and Public sewer (Constructed under Contr. # 34-4275-D) will be used within this site.
- Public Sewer shall be Extended from Trotter Road (Contract No. 30-3096-D, Middle Patuxent Drainage Area). Public Water shall be extended from Trotter Road near Summer Sunrise Drive. (Contract No. 34-3296-D, Middle Patuxent Drainage Area)
- Soils Map No. 23
- Gross Area of Site: 6.948 Acres
- Net Area of Site: 4.881 Acres(1.115 ac. Steep Slopes and 0.952 ac. Floodplain)
- Open Space Tabulation
Open Space Required (25% of Gross): 1.737 Acres
Open Space Provided: 3.926 Acres
- Density Tabulation
Gross Area of Tract: 6.948 Acres
Existing Floodplain: 0.952 Acres
Existing Steep Slopes (outside Floodplain): 1.115 Acres
Net Area of Tract: 4.881 Acres
No. of Units Allowed (2 D.U. per net Acre): 9
No. of Units Proposed: 9
- Area of Proposed Buildable Lots: 2,800 Acres²
- Area of Proposed Public Right-of-Way: 0.222 ac.²
- The Contractor shall notify the following utility companies or agencies at least five(5) working days before starting work shown on these plans:
State Highway Administration 410.531.5533
BGE(Contractor Services) 410.850.4629
BGE(Underground Damage Control) 410.787.9068
Miss Utility 1.800.257.7777
Colonial Pipeline Company 410.795.1990
Howard County, Dept. of Public Works, Bureau of Utilities 410.315.4900
Howard County Health Department 410.313.2640
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior the start of work.
- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
- The project is in conformance with the latest Howard County Standards unless waivers have been approved.
- No clearing, grading or construction is permitted within the wetlands, streams or their required buffers, unless approved by Howard County.
- Traffic control devices, markings and signs shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt. All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (14 gauge), inserted into a 2-1/2" galvanized steel, perforated square tube sleeve (12 gauge)-3' long. A galvanized steel pole cap shall be mounted on top of each post.
- All HDPE pipe specification and installation shall meet AASHTO M-252 Type S, M-294 Type S and ASTM D2321, respectively.
- Soil compaction specifications, requirements, methods and materials are to be in accordance with the recommendations of the project Geotechnical Engineer. Geotechnical Engineer to confirm acceptability of proposed paving section, based on soil test, prior to construction.
- The Geotechnical Engineer for this project was prepared by Hillis Carnes on January 16, 2001 and was approved on July 26, 2001.
- For bearings and distances of Forest Conservation Easements and Wetland Limits see Record Plat recorded in the Land Records of Howard County for this project.
- Previous Howard County file number HP-01-84 approved on March 8, 2001 and SP-01-04.
- SWFI will be achieved through the use of the proposed Sand Filter Facility for MGV and CPV. The Facility will be privately owned and maintained by H.O.A.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate System. Howard County Monument Nos. 35DA and 35DB were used for this project.
- There are no historical structures or cemeteries on site.
- This plan is grandfathered to the Fourth Edition of the Subdivision and Land Development Regulations since the sketch plan was submitted prior to 11/15/01. Development or construction on these lots must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition, or building and grading permits.
- For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right-of-way line.
- Financial surety for the required landscaping must be posted as part of the Developer's Agreement in the amount of \$22,950.00 based on 26 shade trees @ \$300.00 each, 48 evergreen trees @ \$150.00 each, 26 Private Access Place street trees @ \$300.00 each and 5 trash pad shrubs @ \$30.00 each.
- Two Foot Interval Topographic Aerial Mapping by 3DI, LLC., in March, 1999. Boundary Survey and Control for Aerial Topography was provided by Design Tech Associates, Inc. Boundary confirmed by FSH Associates.
- Wetland Delineation was completed by Campbell and Nolan Associates, Inc. in July 8, 1999.
- Forest Stand Delineation was completed by Campbell and Nolan Associates, Inc. in July, 1999.
- The Floodplain study for this project was prepared by Kantzer & Associates on January 10, 2001 and was approved on July 26, 2001 under SP-01-04.
- The Traffic study for this project was prepared by Lee Cunningham & Associates on March, 2000 and was approved by DPZ on May 8, 2001 under SP-01-04.
- A determination was made by DPZ based on justification from the developer that the Private Access Place for this project is considered an essential disturbance to the 50' stream buffer and 25% steep slope area in accordance with Section 16.116(c) of the Subdivision Regulations.
- Steep slope lots include contiguous off-site areas.
- Street lights will be required in this development in accordance with the Design Manual. Street light placement and the type of fixture and pole selected shall be in accordance with the latest Howard County Design Manual, Volume III (1993) and as modified by "Guidelines for Street Lights in Residential Developments (June 1993)". The June 1993 policy includes guidelines for lateral and longitudinal placement. A minimum spacing of 20' shall be maintained between any street light and any tree.
- Existing utilities are based on Field Run location and Howard County sewer contract plan 30-3046-D.
- The 5'x15' concrete pad for for the refuse and recycle collection pad located within open space Lot II will be maintained by HOA pursuant to a Declaration of Right of access and maintenance obligation recorded among the Howard County Land Records Office.
- The existing well and septic system will be removed/ abandoned prior to any mass grading and demolition.
- This plan is subject to a waiver from Section 5.2.6.D.1 of the Howard County Design Manual, Volume One to eliminate the required 12' level area around the stormwater management facility for maintenance. This waiver was approved on January 05, 2005.

FINAL ROAD CONSTRUCTION PLAN

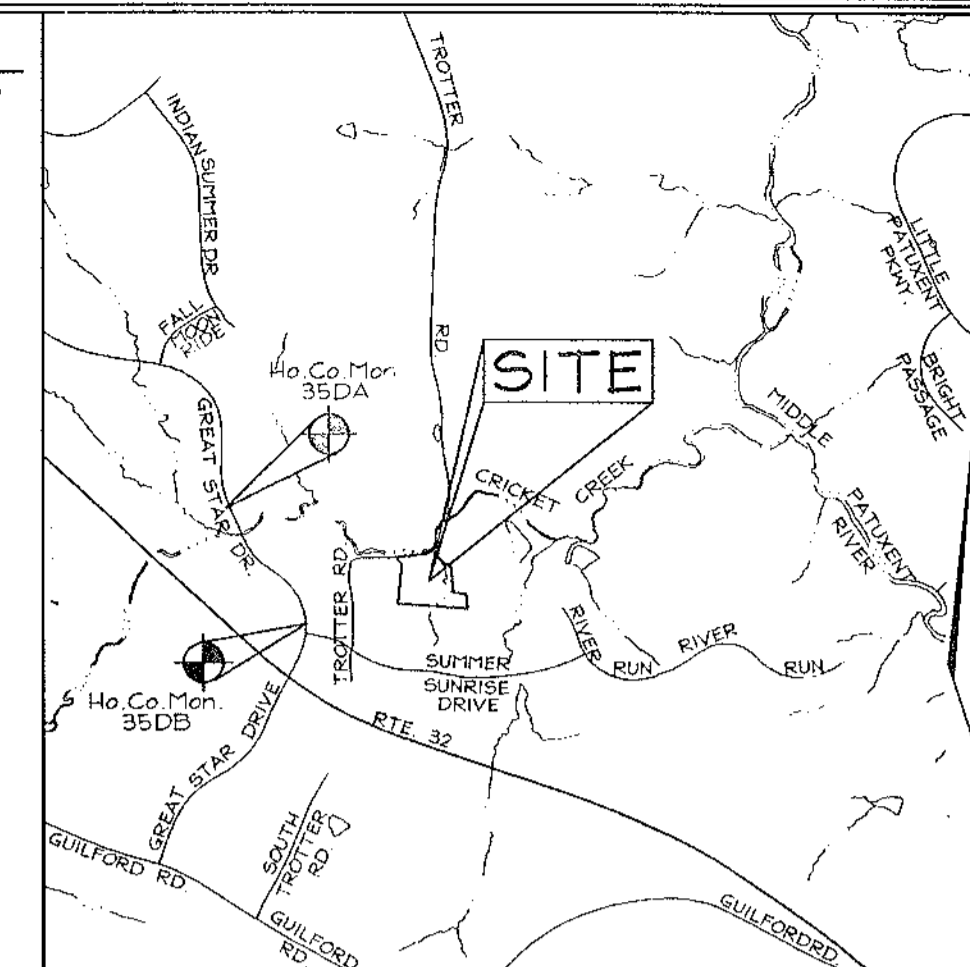
CRICKET CREEK

LOTS 1 THRU 9 & OPEN SPACE LOTS 10 & 11

HOWARD COUNTY, MD

LEGEND

- Existing Contour
- Proposed Contour
- Direction of Flow
- Existing Spot Elevation
- Proposed Spot Elevation
- Existing Trees to Remain
- 15-24.9% Slopes
- 25-50% Slopes
- Wetlands
- Use-In-Common Access Easement



VICINITY MAP
SCALE: 1"=200'

BENCHMARKS

Sta. 35DA	N 170,358.7421	E 406,341.0695	EI: 107.1628 (meters)
	N 658,918.639	E 1,333,137.325	EI: 351.583 (feet)
Sta. 35DB	N 169,986.1310	E 406,596.2654	EI: 122.4289 (meters)
	N 557,696.164	E 1,333,474.580	EI: 401.668 (feet)

SHEET INDEX

COVER SHEET	DESCRIPTION	SHEET No.
Cover Sheet		1 of 9
Road Plan and Profile		2 of 9
Sediment & Erosion Control & Grading Plan		3 of 9
Sediment & Erosion Control & Misc. Notes & Details		4 of 9
Traffic Control Plan, Storm Drain Drainage Area Map & Profile		5 of 9
Stormwater Management Plan & Details		6 of 9
Stormwater Management Profiles		7 of 9
Landscape Plan, Notes & Details		8 of 9
Final Forest Conservation Plan		9 of 9

CENTERLINE ROAD CURVE DATA

CURVE No.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	50.00'	73.38'	84°05'13"	S 57°39'14" E	66.97'
C2	50.00'	45.13'	49°25'28"	N 75°03'12" W	41.51'
C3	50.00'	52.36'	60°00'00"	N 20°20'28" W	50.00'
C4	50.00'	37.80'	43°18'53"	N 31°18'58" E	36.91'

ROAD CLASSIFICATION

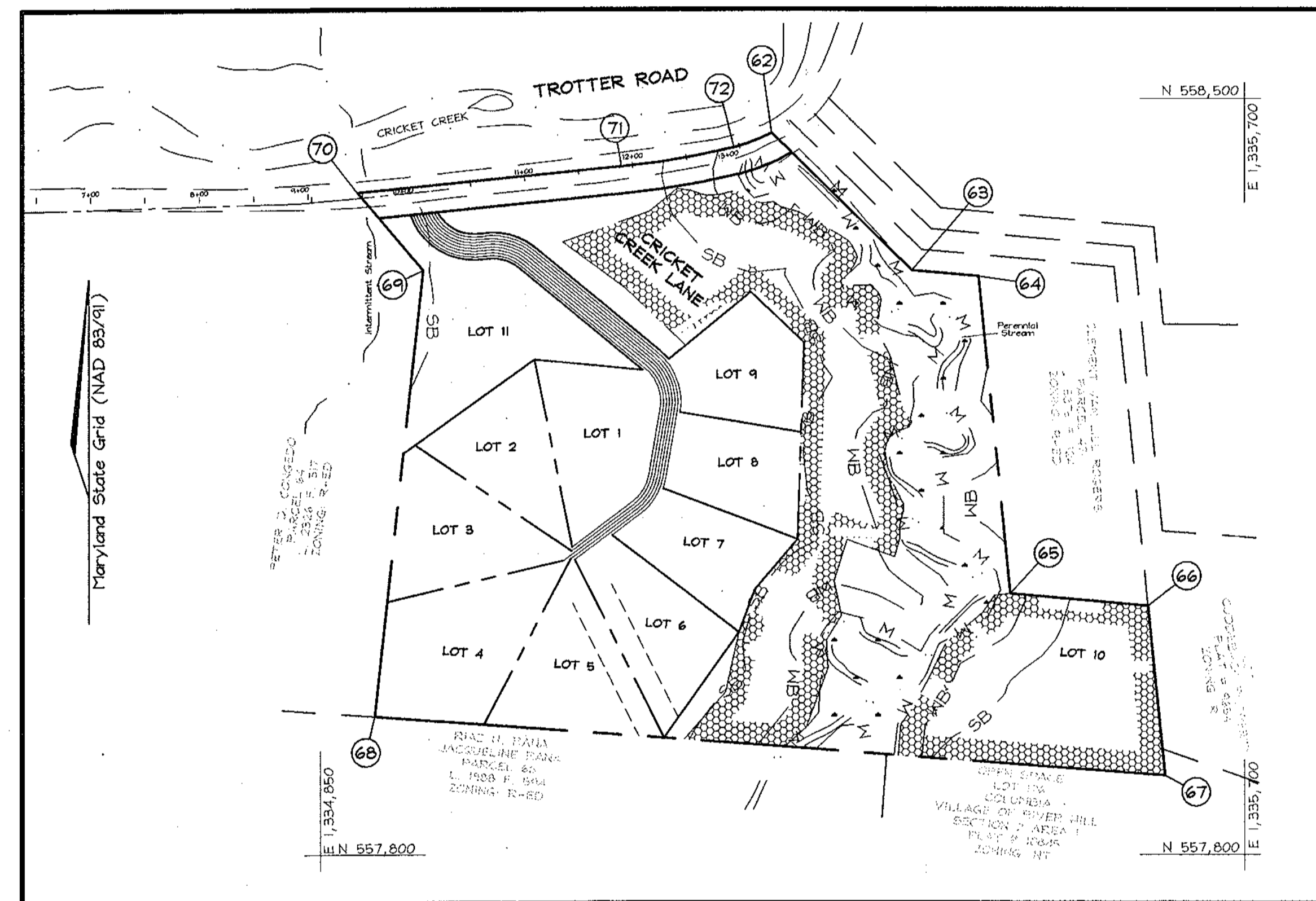
ROAD NAME	CLASSIFICATION	R/W
Cricket Creek Lane	Private Access Place 0+00 - 5+10.10	*

STREET LIGHT TABLE

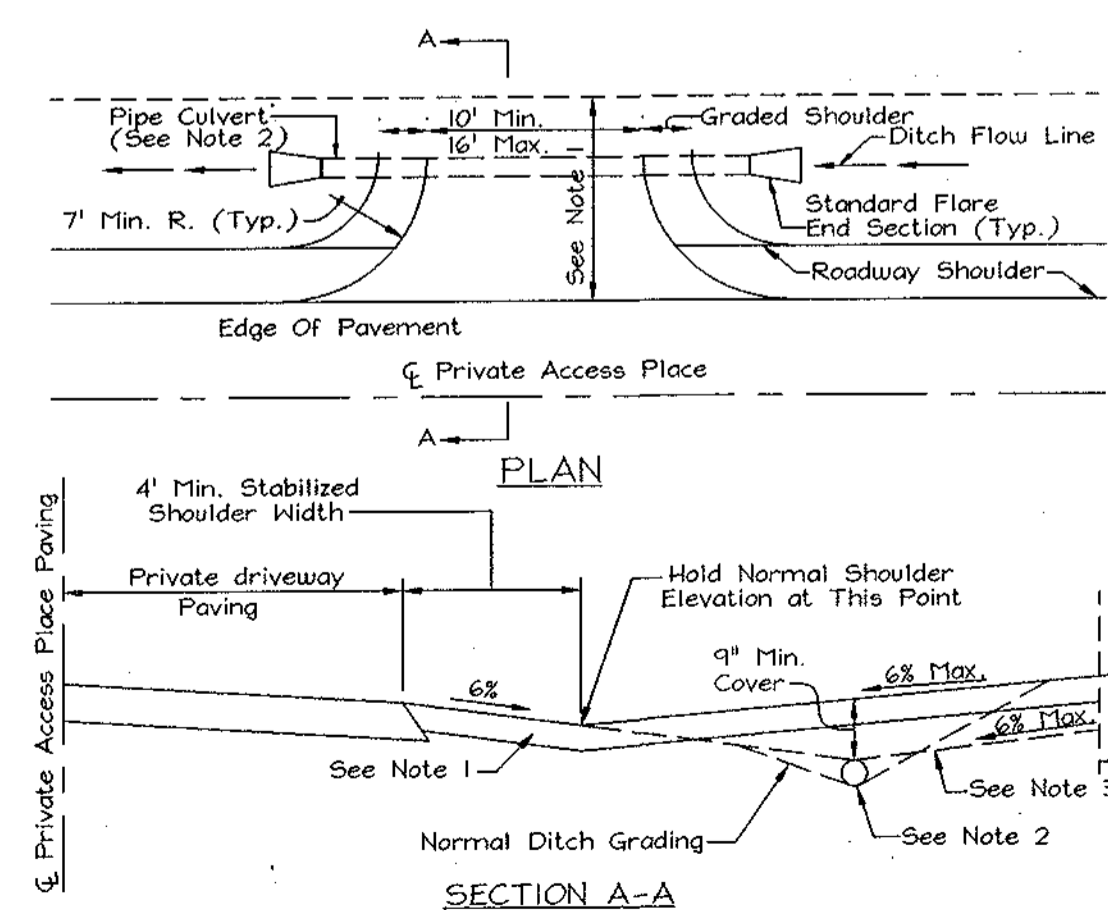
ROAD NAME	STATION	OFFSET	FIXTURE
Cricket Creek Lane	0+21.62	12.10' Right	100-watt HPS vapor "Premier" post top fixture mounted on a 14' black fiberglass pole

MINIMUM LOT SIZE CHART

LOT NUMBER	GROSS AREA (sf)	PIPESTEM AREA (sf)	MINIMUM LOT SIZE
1	14,114.02±	713.35±	13,400.67±
2	12,461.15±	1,258.03±	11,203.12±
3	14,259.85±	1,272.44±	12,987.41±
4	17,989.88±	1,293.24±	16,696.64±
5	14,772.56±	1,292.20±	13,480.36±
6	13,787.74±	1,191.40±	12,596.34±
7	11,730.45±	1,027.22±	10,703.23±
8	11,192.05±	836.11±	10,355.94±
9	11,648.23±	699.70±	10,948.53±



LOCATION MAP
SCALE: 1"=100'

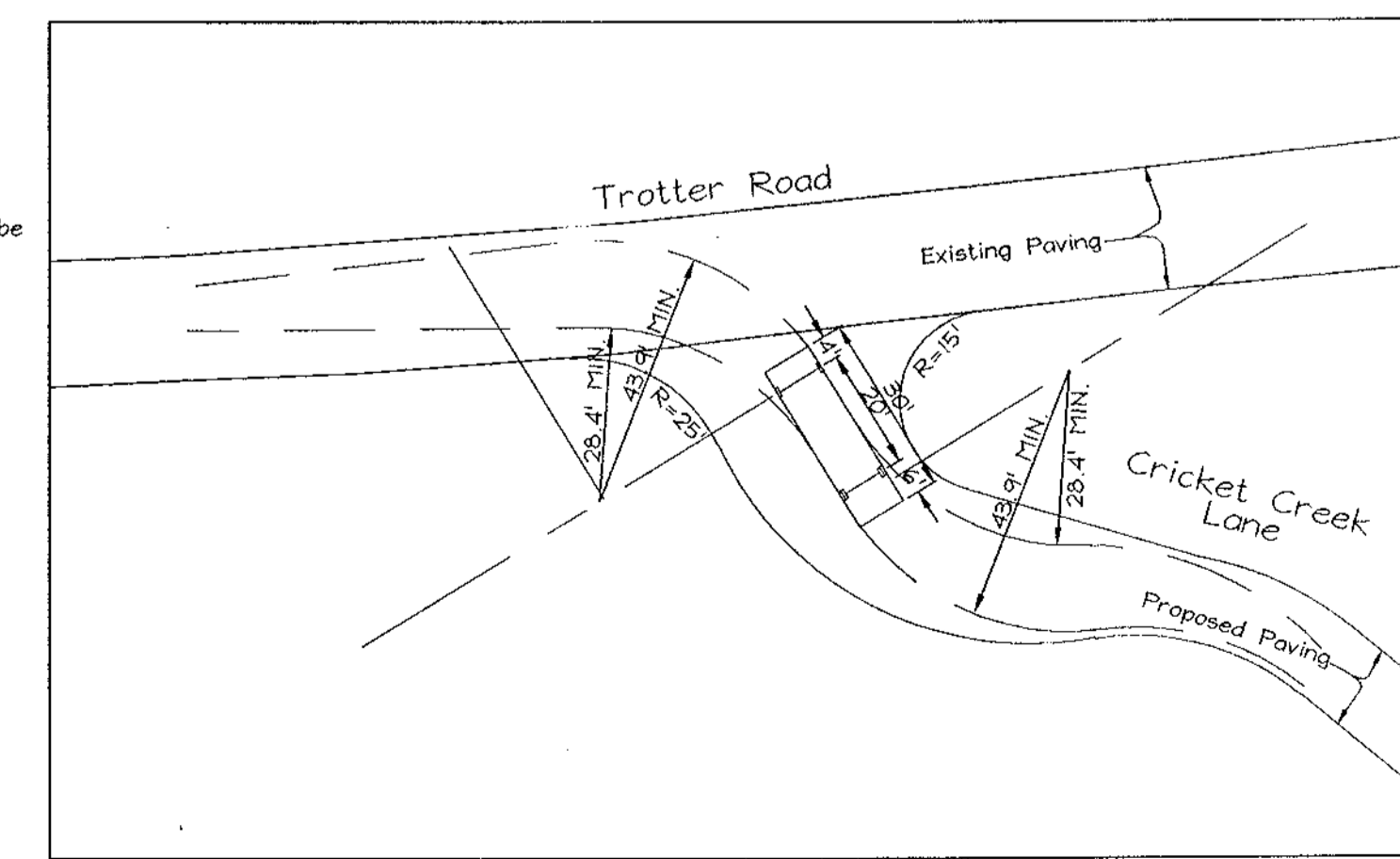


- NOTES:**
- Driveway must be paved using standard paving section P-1 as shown on St'd. No. or alternate section equal to or better than P-1, as approved by D.P.W.
 - Drainage culvert shall be sized for a 10 year frequency storm and the minimum size shall be 12" dia. round or 14" x 9" arch pipe if larger pipe is required, ditch invert shall be lowered to provide min. ditch gradient of 0.5% and clearance shown.
 - Swale flow may be provided over driveway located at or near the crest of vertical curves on the public road where quantity of flow is small, as approved by D.P.W.
 - Tie-in grade of private driveway shall not exceed 14%.

DRIVEWAY CULVERT REQUIREMENTS
Lots 1, 2 and 6 thru 9: 12" CMP or equivalent

Private Driveway Grade Varies (Recommended Max. Grade 14%)

RESIDENTIAL DRIVEWAY ENTRANCE
NOT TO SCALE



MINIMUM TURNING PATH FOR SUV DESIGN VEHICLES
NOT TO SCALE

OWNER/DEVELOPER

WILLIAMSBURG BUILDERS
5485 HARPERS FARM RD #200
COLUMBIA, MARYLAND 21044-3934
Telephone: (410) 997-8800
Fax: (410) 997-4358

COVER SHEET

CRICKET CREEK
LOTS 1 THRU 9 &
OPEN SPACE LOTS 10 & 11

TAX MAP 35 GRID 14 5TH ELECTION DISTRICT PARCEL 65 HOWARD COUNTY, MARYLAND

DESIGN BY: PS
DRAWN BY: AY
CHECKED BY: ZYF
SCALE: As Shown
DATE: June 13, 2005
W.O. No.: 3091
SHEET No.: 1 OF 9

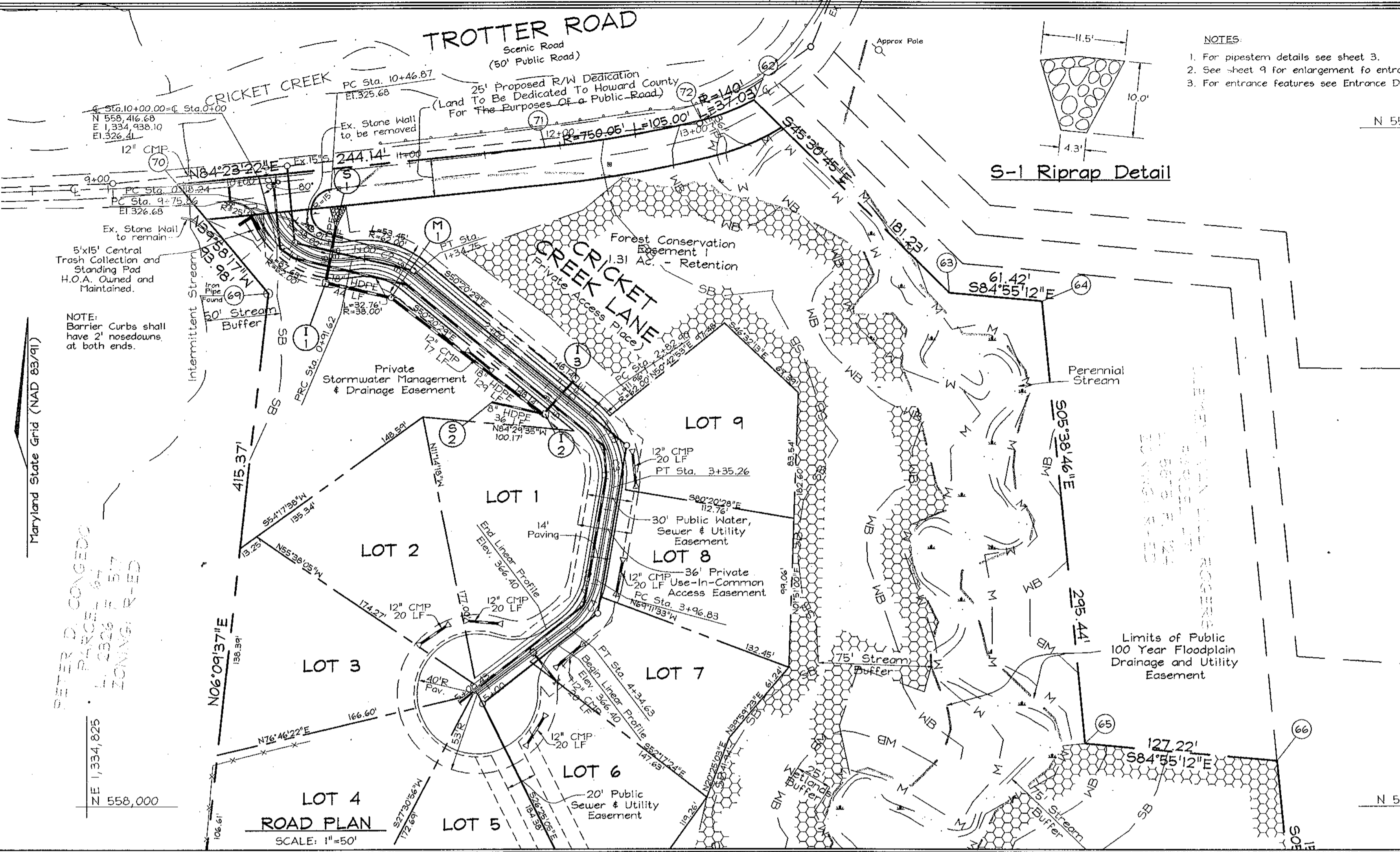
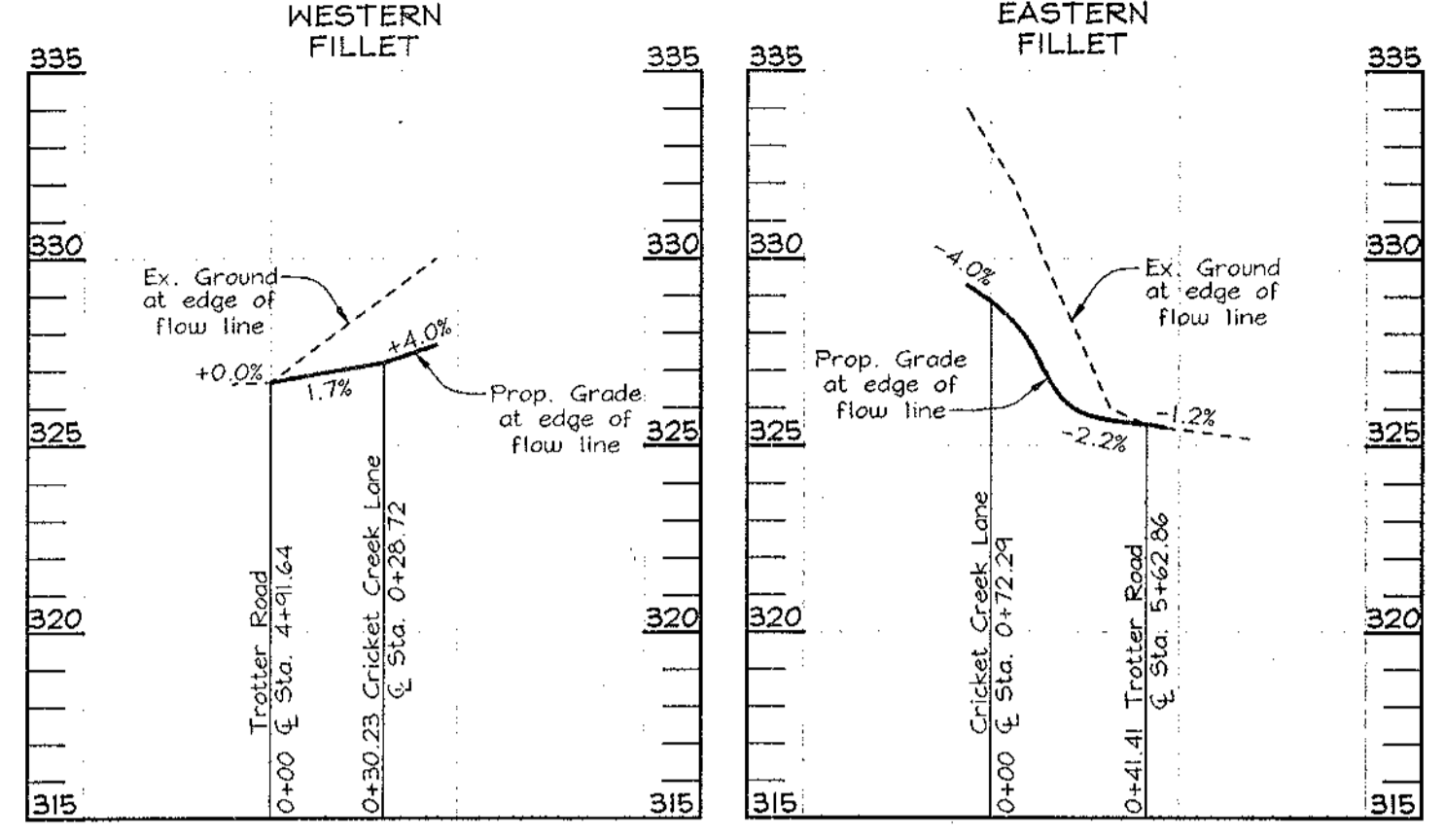
FSH Associates
Engineers Planners Surveyors
8318 Forest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsha.biz

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cindy Hamilton 6/21/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

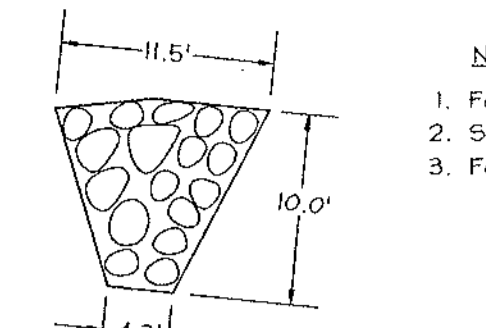
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
William J. Vukobrat 6-21-05
CHIEF, BUREAU OF HIGHWAYS DATE

CRICKET CREEK LANE
(intersection with Trotter Road)

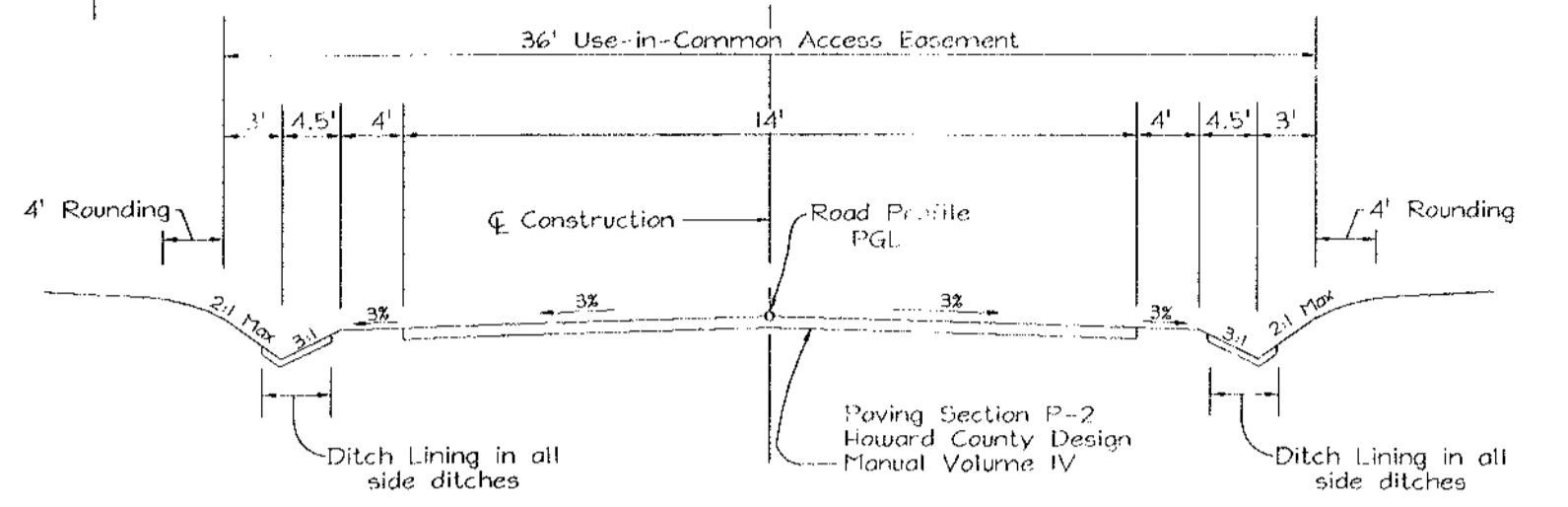
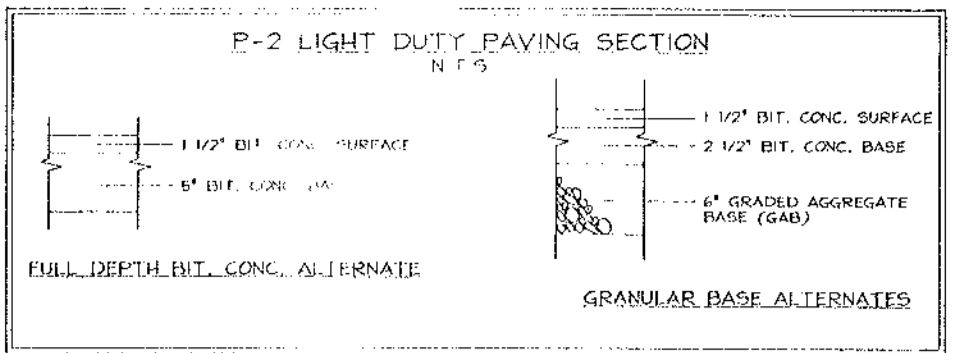
CRICKET CREEK LANE
(intersection with Trotter Road)



S-1 Riprap Detail



- NOTES:**
1. For pipestem details see sheet 3.
 2. See sheet 4 for enlargement for entrance.
 3. For entrance features see Entrance Detail Sheet 4.



OWNER/DEVELOPER
WILLIAMSBURG BUILDERS
5485 HARRIS FARM RD #2000
COLUMBIA, MARYLAND 21044-3834
Telephone: (410) 997-8800
Fax: (410) 997-4358

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
Walter R. ... 6-21-05
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cindy ... 6/29/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 6/29/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

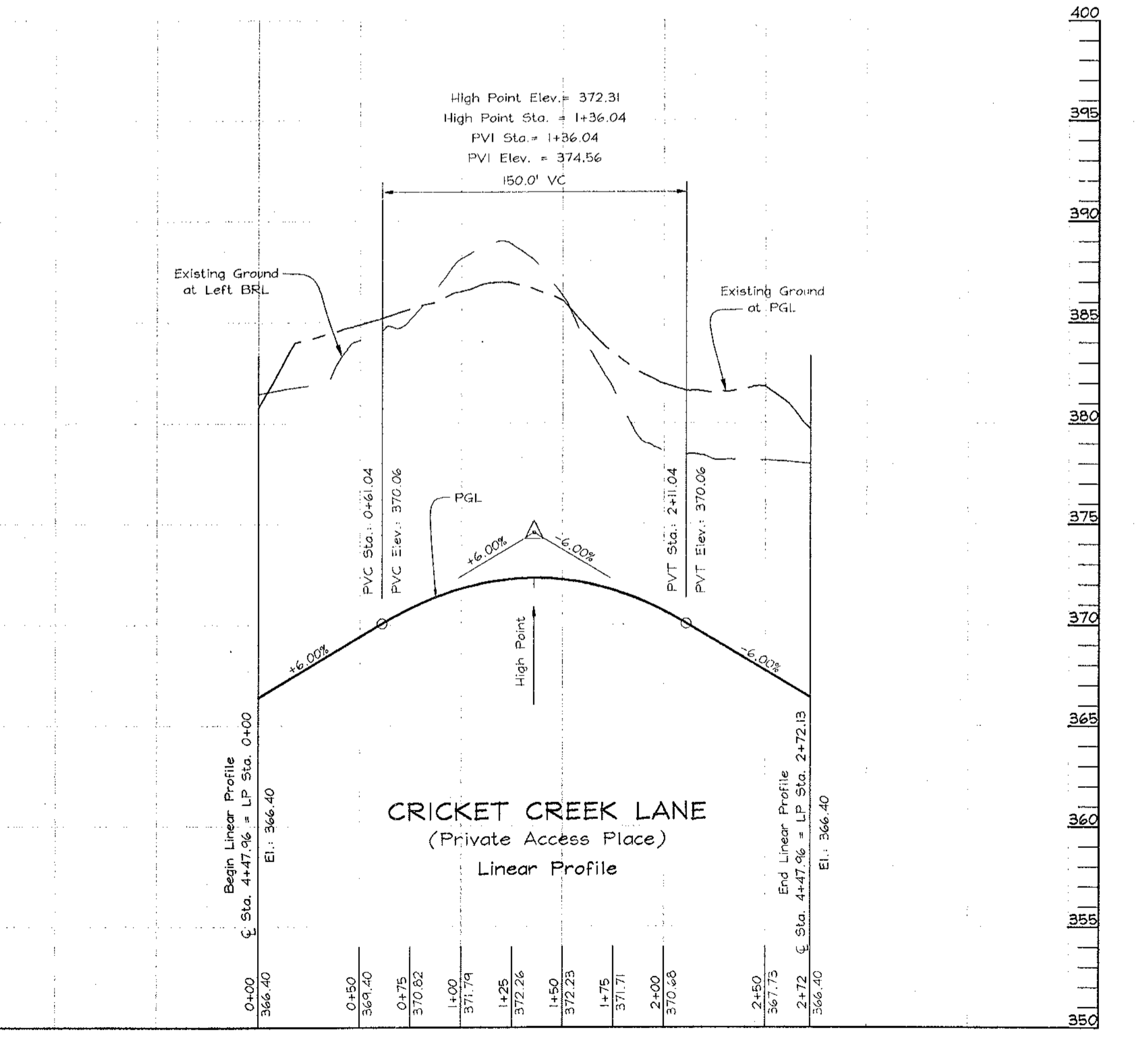
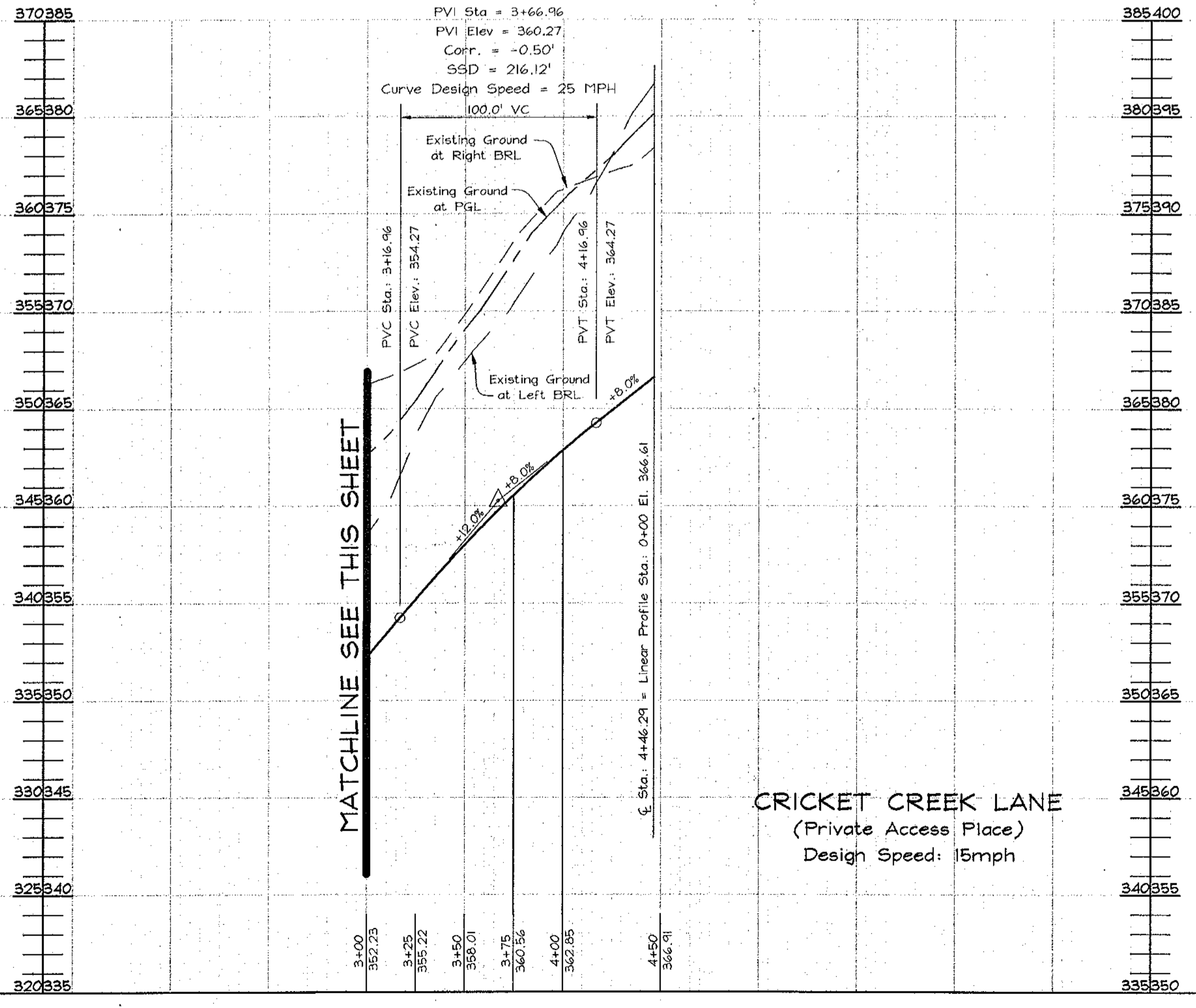
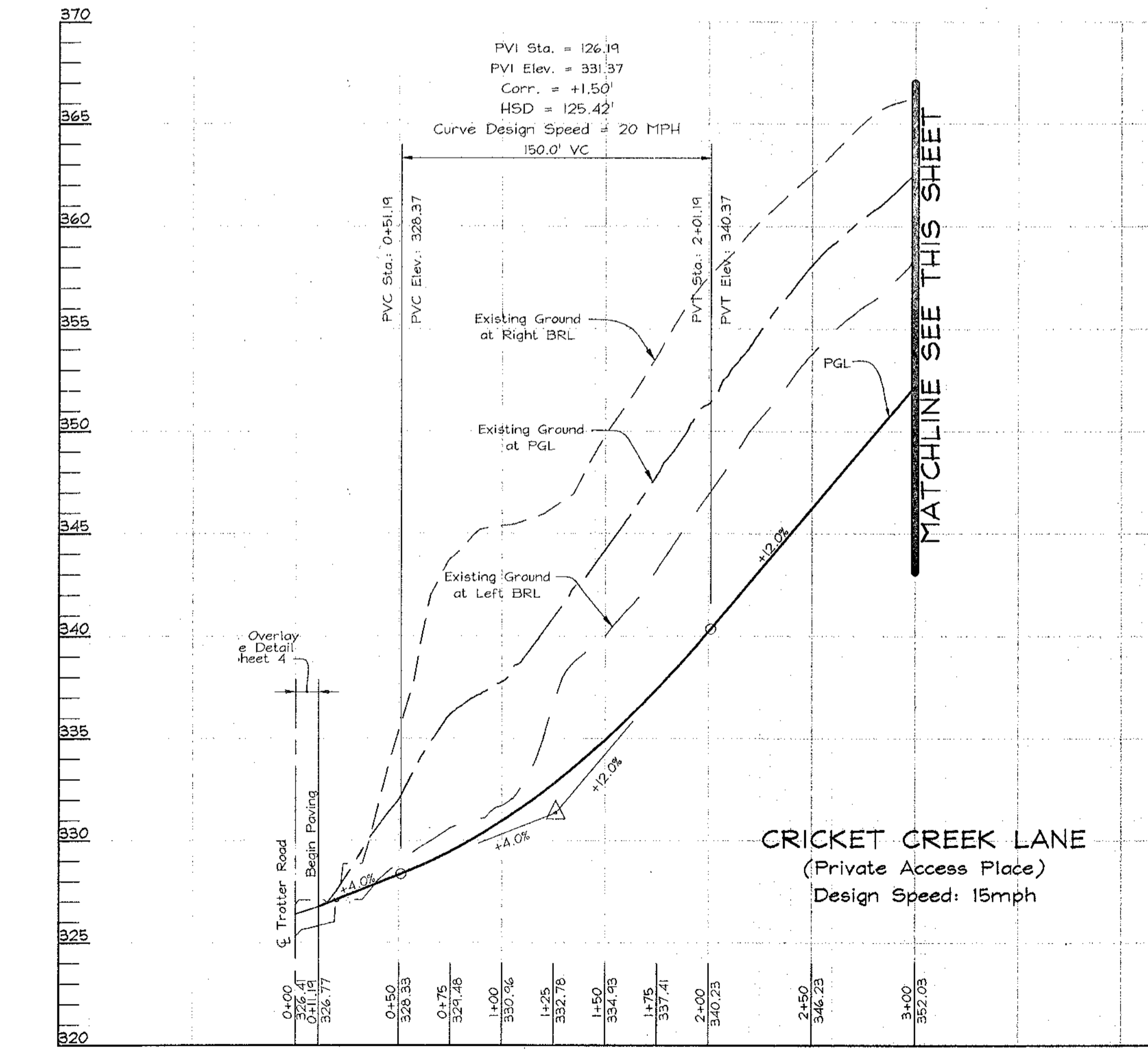
ROAD PLAN AND PROFILE
CRICKET CREEK LANE
CRICKET CREEK
LOTS 1 THRU 9 &
OPEN SPACE LOTS 10 & 11

TAX MAP 35 GRID 14
5TH ELECTION DISTRICT

PARCEL 65
HOWARD COUNTY, MARYLAND

FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsha.biz

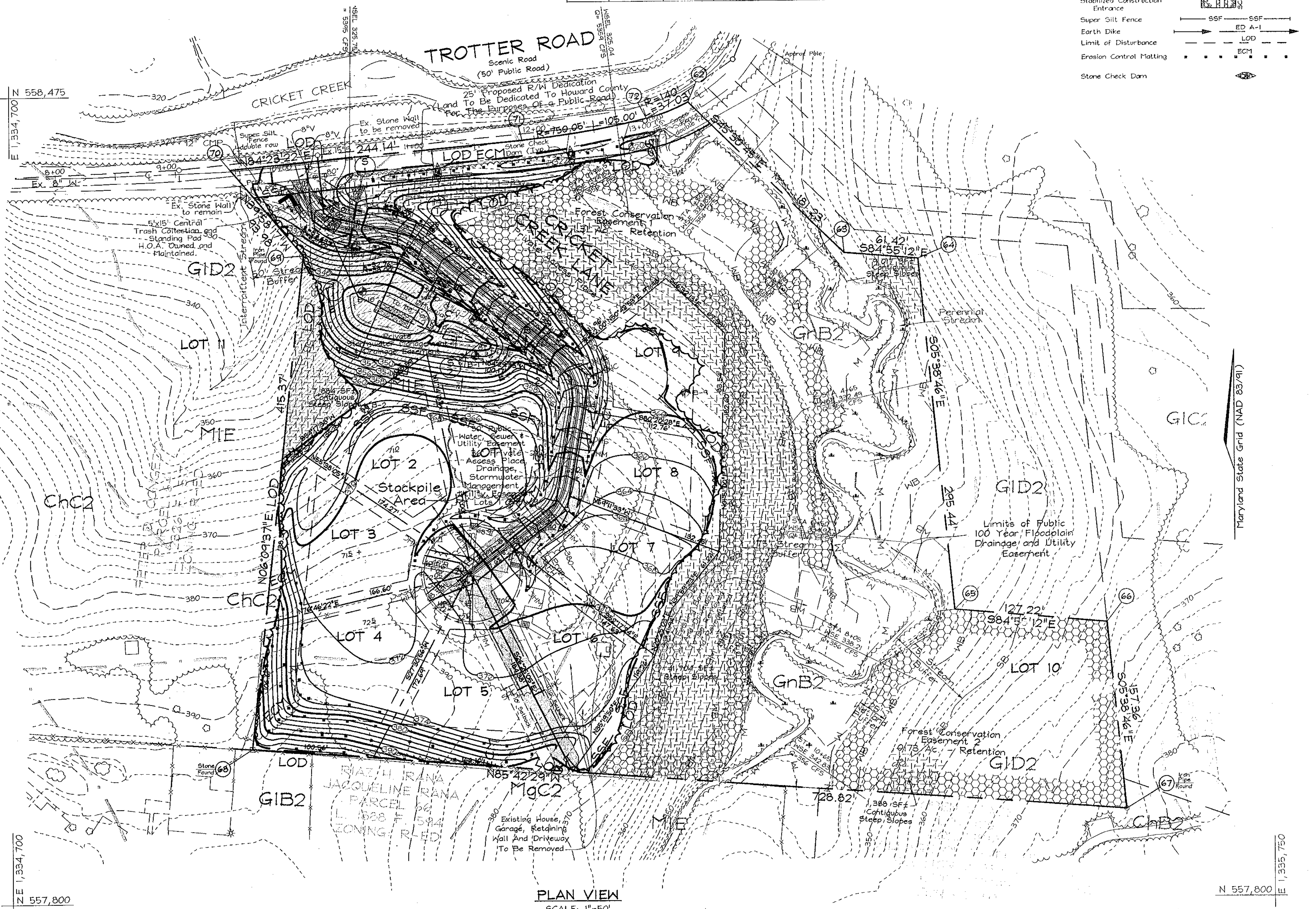
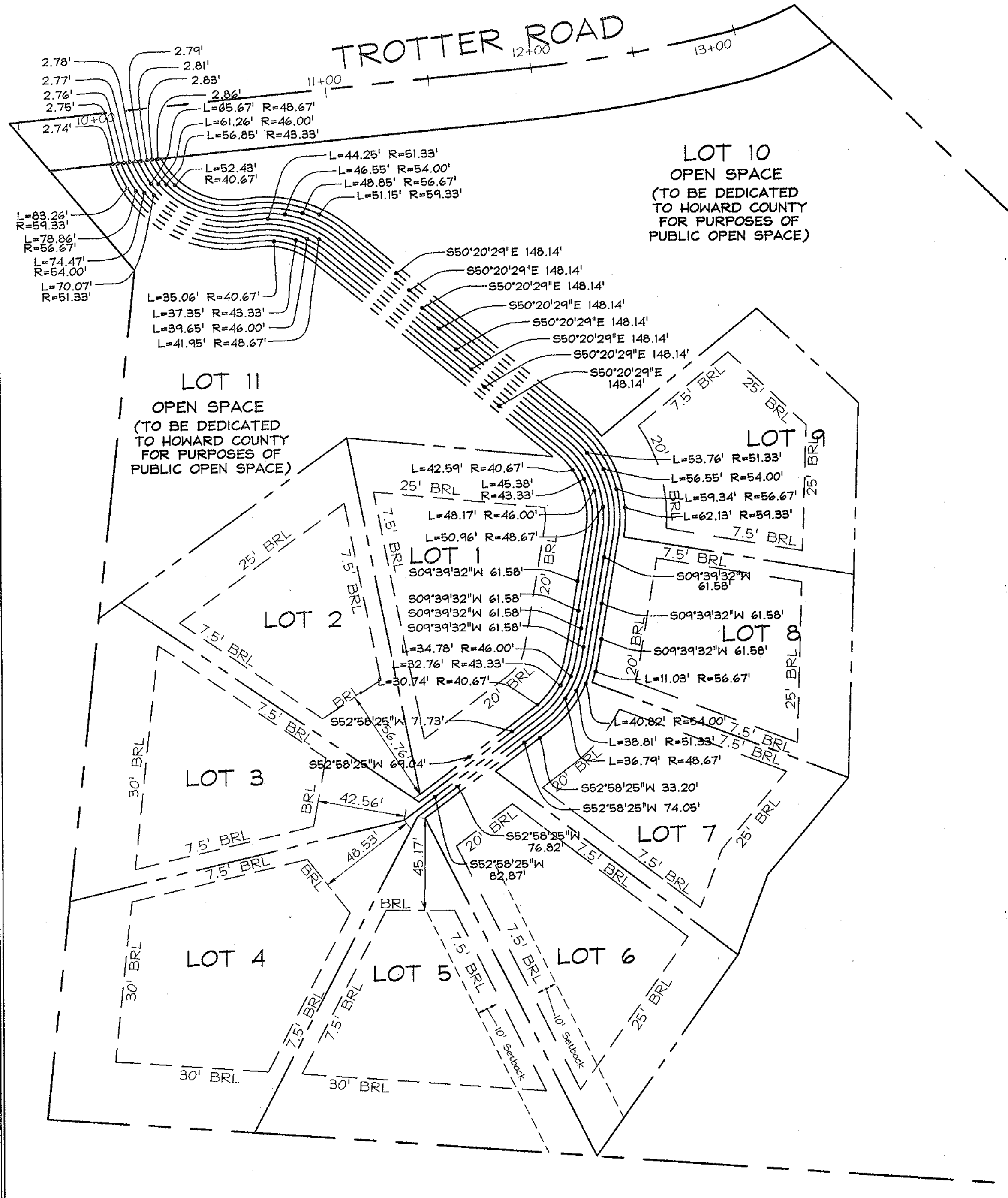
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DRAWN BY: GS
CHECKED BY: ZTF
SCALE: As Shown
DATE: June 13, 2005
W.O. No.: 3091
SHEET No.: 2 OF 3



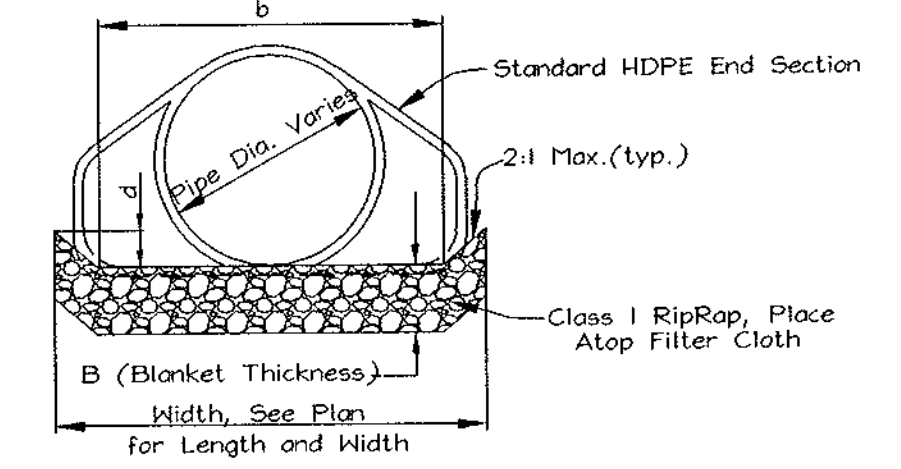
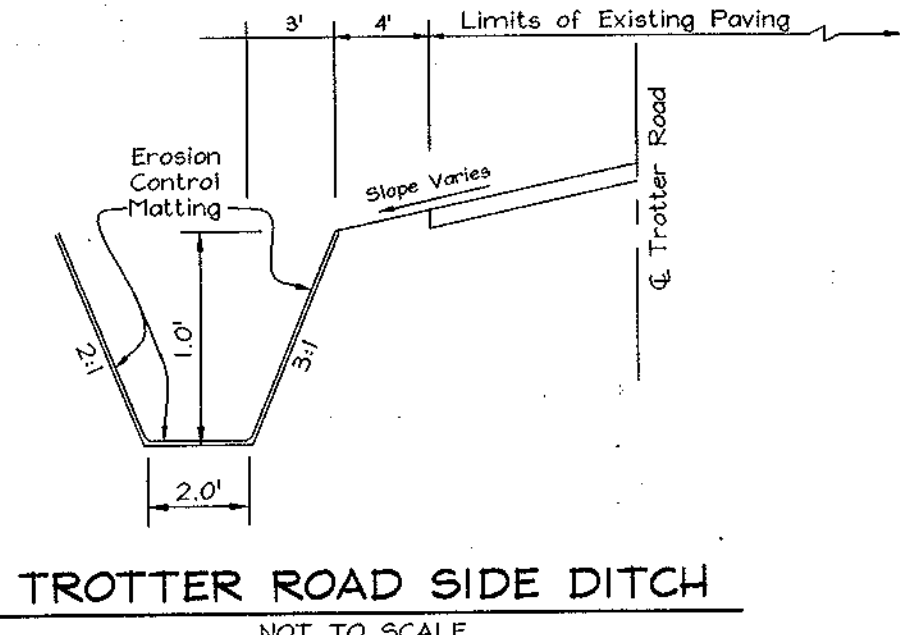
NOTE: No Hoody Zone is located between edge of Cricket Creek Lane and SHM Facility Dam.
 NOTE: Proposed Super Silt Fence shall be double row in all locations.

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	SOIL GROUP
ChC2	Chester silt loam, 8 to 15 percent slopes, moderately eroded	B
GIB2	Glenelig loam, 3 to 8 percent slopes, moderately eroded	B
GIC2	Glenelig loam, 8 to 15 percent slopes, moderately eroded	B
GID2	Glenelig loam, 15 to 25 percent slopes, moderately eroded	B
GnB2	Glenville silt loam, 3 to 8 percent slopes, moderately eroded	C
MgC2	Manor gravelly loam, 8 to 15 percent slopes, moderately eroded	B
MIE	Manor loam, 25 to 45 percent slopes	B

LEGEND	
Existing Contour	--- 352
Spot Elevation	+0252
Direction of Flow	→
Existing Trees to Remain	
Stabilized Construction Entrance	
Super Silt Fence	--- 89F --- 89F
Earth Dike	--- ED A-1 ---
Limit of Disturbance	--- LOD ---
Erosion Control Matting	--- EC1 ---
Stone Check Dam	



PIPESTEM AND BUILDING RESTRICTION LINE DETAIL
 SCALE: 1"=40'



Structure	Q (c.f.s.)	S	n	b	d	d ₅₀	d ₈₅	B (Blanket Thickness)
S-1	4.49 c.f.s.	0.5%	0.04	4.3'	0.28'	15"	9.5"	19"
S-2*	2.00 c.f.s.	N/A	0.04	N/A	N/A	15"	9.5"	19"

* See plan views and profiles for rip-rap layout and size.

OWNER/DEVELOPER
 WILLIAMSBURG BUILDERS
 5485 HARPERS FARM RD #200
 COLUMBIA, MARYLAND 21044-3634
 Tel: (410) 947-8800
 Fax: (410) 947-4358

SEDIMENT AND EROSION CONTROL AND GRADING PLAN
 CRICKET CREEK
 LOTS 1 THRU 9 &
 OPEN SPACE LOTS 10 & 11
 TAX MAP 35 GRID M
 5TH ELECTION DISTRICT
 PARCEL 65
 HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/29/05

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

 CHIEF, BUREAU OF HIGHWAYS
 DATE: 6-21-05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

 U.S. NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 6/16/05

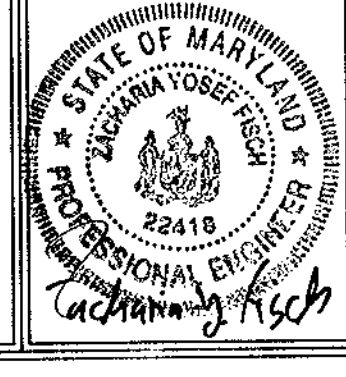
 HOWARD SCD
 DATE

ENGINEERS CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

 SIGNATURE OF ENGINEER
 ZACHARIA Y. FISCH
 DATE: 6/13/05

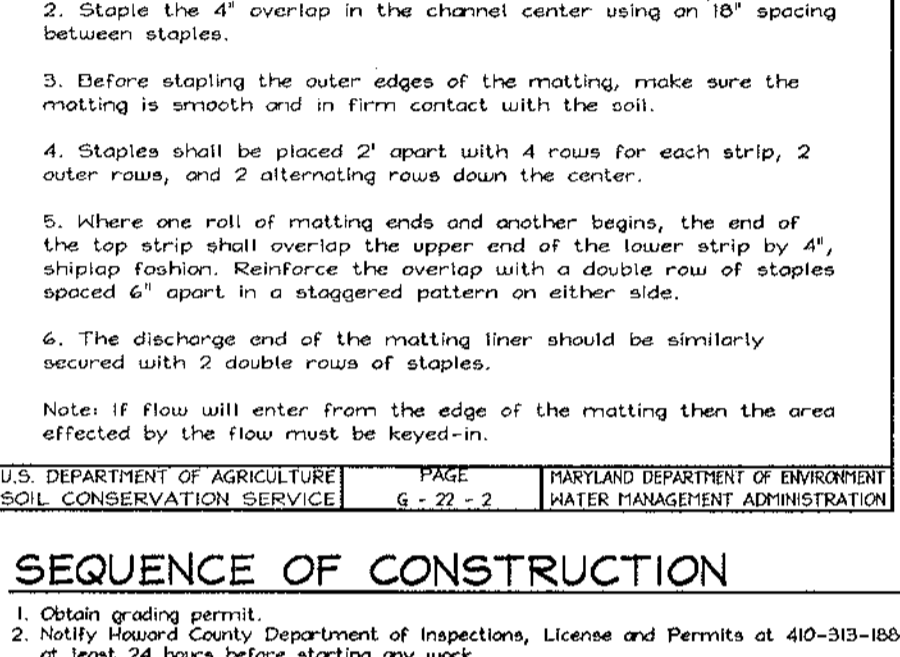
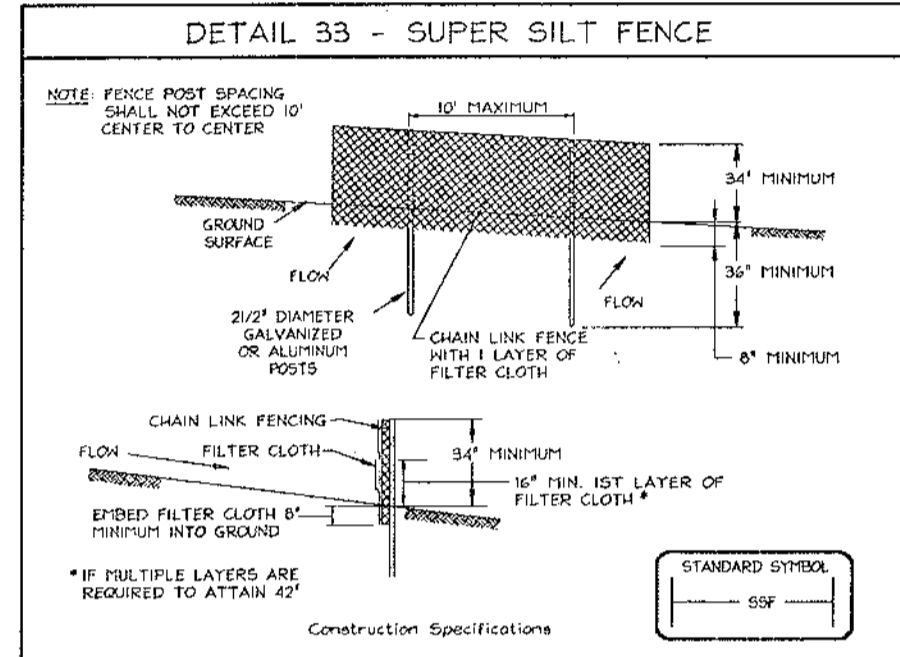
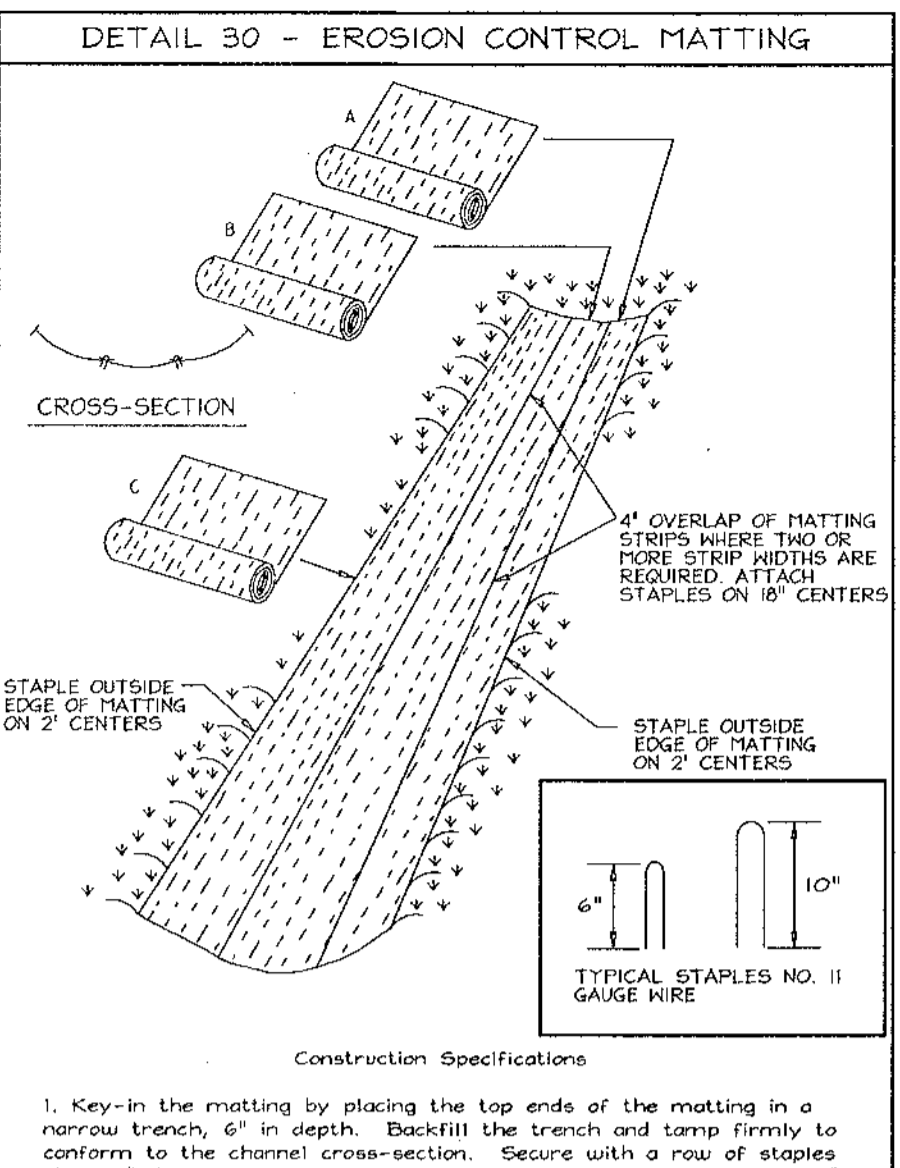
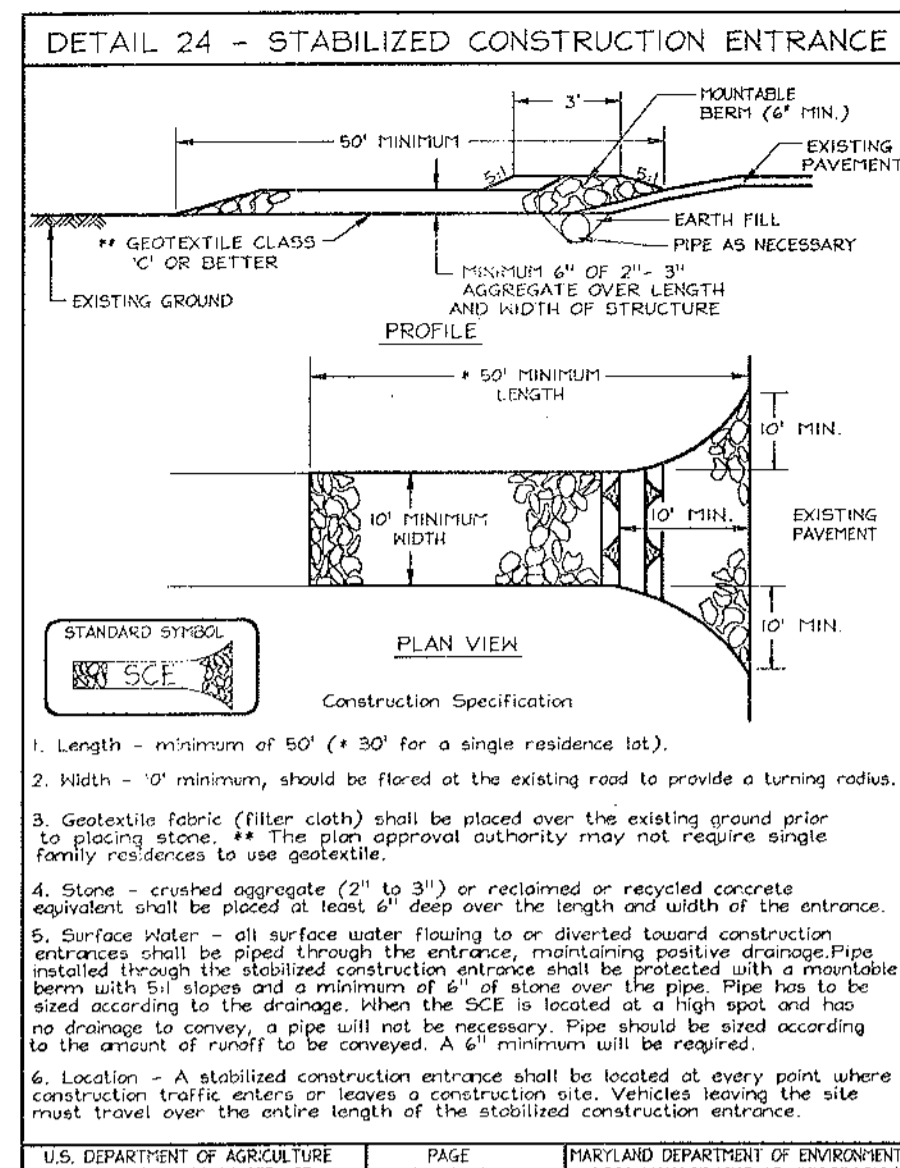
DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

 SIGNATURE OF DEVELOPER
 DATE: 6-13-05



FSH Associates
 Engineers Planners Surveyors
 8318 Forrest Street Ellicott City, MD 21043
 Tel: 410-759-2251 Fax: 410-759-7359
 E-mail: info@fsa.biz

DESIGN BY: PS
 DRAWN BY: AY
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: June 13, 2005
 P.L. No.: 3091
 SHEET No. 3 OF 9



SEQUENCE OF CONSTRUCTION

1. Obtain grading permit.
2. Notify all relevant departments of inspections, license and permits at 40-303-1800 at least 24 hours before starting any work.
3. Install Stabilized Construction Entrance and Super Silt Fence. (1 week)
4. Grade road side channel along Trotter Road and install sand, EC2 and stone check dams where shown. (1 week)
5. Begin rough grading.
6. Construct use-in-common driveway and stone check dams where shown. (2 weeks)
7. Construct sand filter and temporary silt fence from entering from I-2. (2 weeks)
8. Control inspection, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)
9. Lots 1 and 2.
10. Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)
11. Unblock storm drain at I-2 to allow flows into sand filter.
12. Maintenance shall be performed as needed and all bulders removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
13. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for geotextile Class F:
14. Filter cloth shall be embedded a minimum of 8" into the ground.
15. When two sections of filter cloth adjoin each other, they shall be overlapped by 4" and folded.
16. Maintenance shall be performed as needed and all bulders removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
17. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for geotextile Class F:

US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B-2-2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SEQUENCE OF CONSTRUCTION

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US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B-2-2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (303-1800).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and one to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, ditches, perimeter slopes, and all slopes greater than 3:1, (b) 14 days for all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, soil, temporary seeding, and mulching. Temporary stabilization with mulch alone shall be done only when recommended seeding rates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and one to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area	6.95 Acres
Area Disturbed	3.20 Acres
Area to be seeded or paved	0.20 Acres
Area to be vegetatively stabilized	3.20 Acres
Total Cut	126,700 cu. yd.
Total Fill	160 cu. yd.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading approvals may not be authorized until this initial approval by the inspection agency is made.
11. The need for the construction of an area is to be in three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
12. Earthwork quantities are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
13. To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B-2-3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (303-1800).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and one to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, ditches, perimeter slopes, and all slopes greater than 3:1, (b) 14 days for all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, soil, temporary seeding, and mulching. Temporary stabilization with mulch alone shall be done only when recommended seeding rates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and one to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area	6.95 Acres
Area Disturbed	3.20 Acres
Area to be seeded or paved	0.20 Acres
Area to be vegetatively stabilized	3.20 Acres
Total Cut	126,700 cu. yd.
Total Fill	160 cu. yd.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading approvals may not be authorized until this initial approval by the inspection agency is made.
11. The need for the construction of an area is to be in three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
12. Earthwork quantities are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
13. To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

US. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B-2-3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

1. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with lime is not feasible.
2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization.

Construction and Material Specifications

1. Topsoil subsoil from the existing soil may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be advanced for a given soil type can be found in the "Soil Survey Manual" published by the U.S. Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
2. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - a. Topsoil shall be a loamy, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand, or silty clay loam.
 - b. Topsoil shall be free of rocks, stones, or other debris and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of topsoil, sticks, roots, trash, or other materials larger than 1/2" and 1/2" in diameter.
 - c. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, johnsongrass, nutgrass, poison ivy, thistle, or other noxious weeds.
 - d. Where the subsoil is either highly acidic or composed of heavy clays, 500-600 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures:
 - i. For sites having disturbed areas under 5 acres:
 1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 2. For sites having disturbed areas over 5 acres:
 1. On soil meeting topsoil specifications, obtain test results indicating cation and lime requirements required to bring the soil into compliance with the following:
 - a. pH of 6.0 or higher shall be maintained.
 - b. Sufficient soil shall be determined to raise the pH to 6.5 or higher.
 - c. Organic nitrogen shall not be less than 1.5 percent by weight.
 - d. Topsoil shall be placed under conditions which have been treated with soil sterilants or chemicals used for weed control. Sufficient lime has elapsed (14 days min.) to permit dissipation of P-2.
 2. Apply topsoil to the disturbed area.
 3. For sites having disturbed areas over 5 acres:
 1. On soil meeting topsoil specifications, obtain test results indicating cation and lime requirements required to bring the soil into compliance with the following:
 - a. pH of 6.0 or higher shall be maintained.
 - b. Sufficient soil shall be determined to raise the pH to 6.5 or higher.
 - c. Organic nitrogen shall not be less than 1.5 percent by weight.
 - d. Topsoil shall be placed under conditions which have been treated with soil sterilants or chemicals used for weed control. Sufficient lime has elapsed (14 days min.) to permit dissipation of P-2.
 2. Apply topsoil to the disturbed area.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE UNDER A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. If not previously seeded, amend in lieu of soil test recommendations, use one of the following:

1. Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft.) and 400 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft.) before seeding. Harrow or disc, then apply three inches of soil. All the time of seeding, apply 400 lbs. per acre 30-0-0 ureiform fertilizer (4 lbs/1000 sq ft.).
2. Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft.) and 400 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft.) before seeding. Harrow or disc, then apply three inches of soil.

SEEDING: For periods March 1 thru April 30, and August 1 thru November 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq ft.) of Kentucky 31 Tall Fescue per acre and 2 lbs. per acre of annual ryegrass. For periods May 1 thru August 1, seed with 3 lbs. per acre of ureiform fertilizer (4 lbs/1000 sq ft.) of annual ryegrass. For periods November 1 thru February 28, protect site by Oxydon (1) 2 tons per acre urea anchored straw mulch and 2 lbs. per acre of annual ryegrass. For periods March 1 thru August 1, seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft.) of unrotted small grain straw immediately after seeding. Another mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 340 gallons per acre (6 gal/1000 sq ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDING PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. If not previously seeded, amend in lieu of soil test recommendations, use one of the following:

1. Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft.) and 400 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft.) before seeding. Harrow or disc, then apply three inches of soil. All the time of seeding, apply 400 lbs. per acre 30-0-0 ureiform fertilizer (4 lbs/1000 sq ft.).
2. Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft.) and 400 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft.) before seeding. Harrow or disc, then apply three inches of soil.

SEEDING: For periods March 1 thru April 30, and August 1 thru November 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq ft.) of Kentucky 31 Tall Fescue per acre and 2 lbs. per acre of annual ryegrass. For periods May 1 thru August 1, seed with 3 lbs. per acre of ureiform fertilizer (4 lbs/1000 sq ft.) of annual ryegrass. For periods November 1 thru February 28, protect site by Oxydon (1) 2 tons per acre urea anchored straw mulch and 2 lbs. per acre of annual ryegrass. For periods March 1 thru August 1, seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft.) of unrotted small grain straw immediately after seeding. Another mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 340 gallons per acre (6 gal/1000 sq ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

MARYLAND 378 STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

Construction Specifications (For SWM Facility)

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Area designated for borrow area, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other obstructions shall be removed. Standing trees shall be removed. Areas to be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 50 feet of the toe of the embankment.

Area to be covered by the reservoir will be cleared of all trees, brush, logs, fence, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface. For stormwater management ponds, a 25-foot radius shall be maintained around the structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the pond and removed as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, logs, rubbish, stones greater than 4" from or other objectionable material. Fill material for the embankment of the pond, and cut-off trench shall conform to Unified Soil Classification Groups, SC, CL, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 3 inch thick (before compaction) layers which are to be compacted over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The final embankment shall be compacted with fill placement and not overlaid by the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one track tread of heavy equipment or compaction shall be provided by roller. The roller shall be of the type which will provide uniform compaction. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment. The fill material shall be compacted to a minimum of 95% of the maximum dry unit weight of the soil as determined by ASTM Method T-99 (Standard Proctor).

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment. The trench shall be excavated to the design depth and shall be compacted to the design depth for excavation with the minimum width being four feet. The depth shall be at least four feet below existing grade or below the design grade. The trench shall be 1:1 slope on both sides. The trench shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

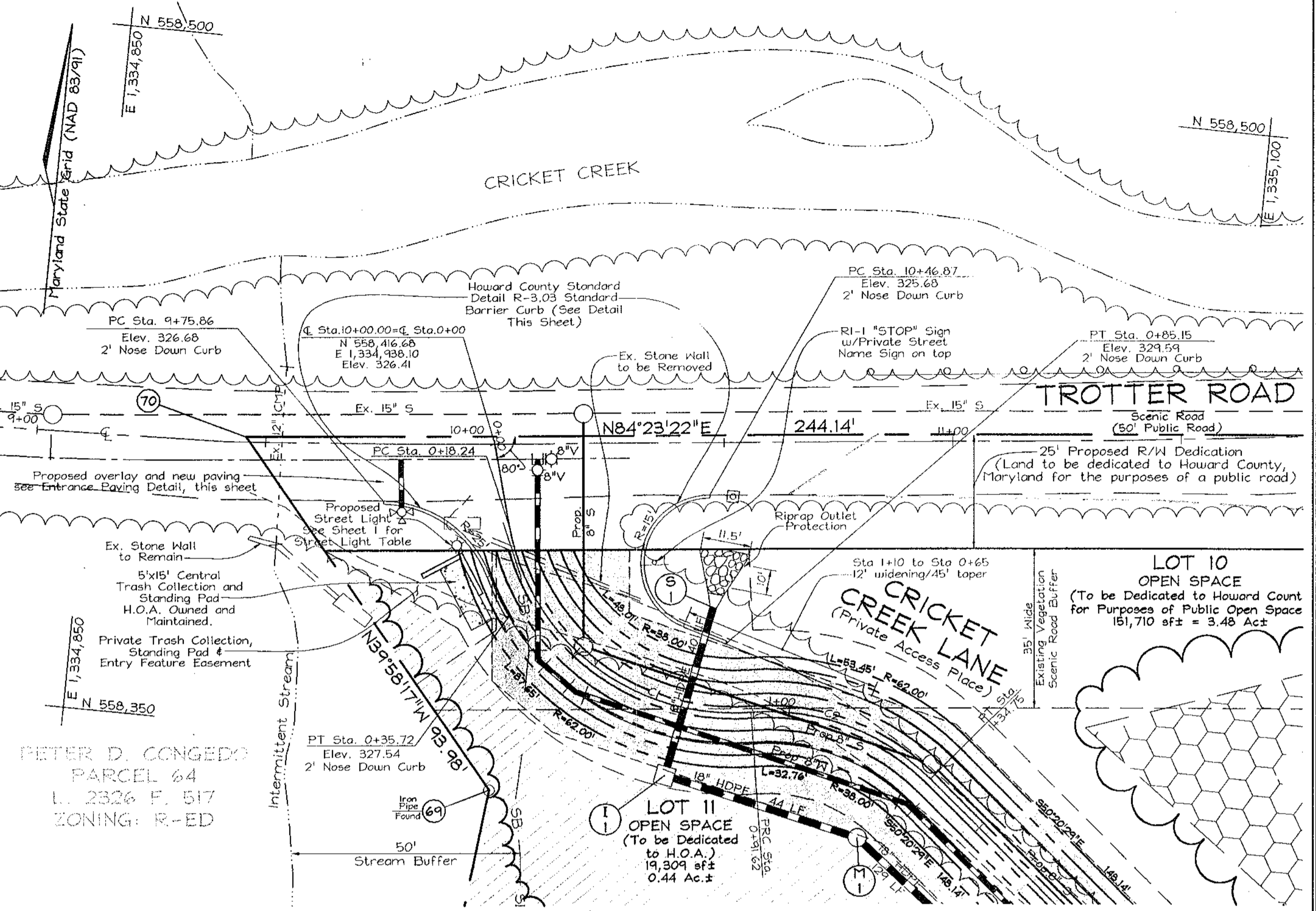
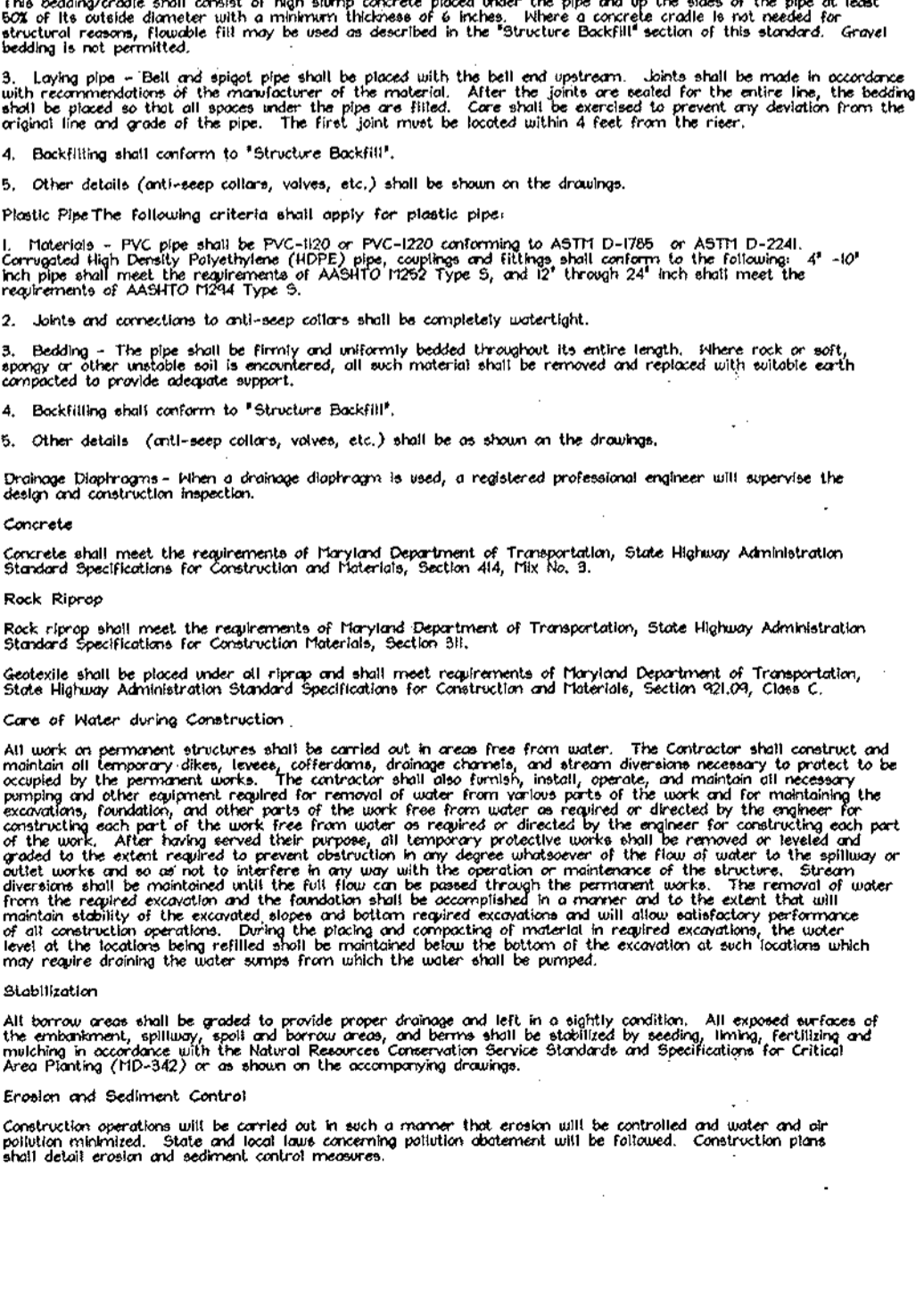
Embankment Core - The core shall be parallel to the centerline of the embankment on the plan. The top width of the core shall be not less than 10 feet. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining embankment. The backfill shall be placed in layers not exceeding 12 inches in thickness and compacted by hand tampers or other properly directed compaction equipment. The material to be used shall be completely all sand, gravel, or crushed stone. The backfill shall be placed in layers not exceeding 12 inches in thickness and compacted by hand tampers or other properly directed compaction equipment. The material to be used shall be completely all sand, gravel, or crushed stone. The backfill shall be placed in layers not exceeding 12 inches in thickness and compacted by hand tampers or other properly directed compaction equipment. The material to be used shall be completely all sand, gravel, or crushed stone.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SURFACE STORMWATER FILTRATION SYSTEMS (F-1, F-4, AND F-5)

1. The stormwater facility shall be inspected annually and after major storm.
2. The top and side slopes of the embankment shall be mowed a minimum of once per year, when vegetation reaches 18" in height, or as needed, to maintain a maximum grass height of less than 12 inches.
3. Filters that have a grass cover shall be mowed a minimum of three (3) times per growing season to maintain a maximum grass height of less than 12 inches.
4. Debris and litter shall be removed during regular mowing operations and as needed.
5. Visible signs of erosion in the facility shall be repaired as soon as it is noticed.
6. Remove silt when it exceeds four (4) inches deep in the forebay.
7. When water ponds on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be replaced with fresh material. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
8. A log book shall be maintained to determine the rate at which the facility drains.
9. The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
10. Once the performance characteristics of the infiltration system have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Cathy Krametz 6/29/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John P. ... 6/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

William J. ... 6-21-05
CHIEF, BUREAU OF HIGHWAYS DATE

REVIEWED FOR HOWARD SOIL AND MEETS TECHNICAL REQUIREMENTS

Jim Mullen 6/16/05
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

John R. ... 6/16/05
HOWARD SCD DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON THE PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT THE PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Zachary Y. Fisch 6/13/05
SIGNATURE OF ENGINEER DATE

Zachary Y. Fisch 6-13-05
SIGNATURE OF DEVELOPER DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Zachary Y. Fisch 6-13-05
SIGNATURE OF DEVELOPER DATE

SEDIMENT & EROSION CONTROL AND MISCELLANEOUS NOTES & DETAILS

CRICKET CREEK

LOTS 1 THRU 9 & OPEN SPACE LOTS 10 & 11

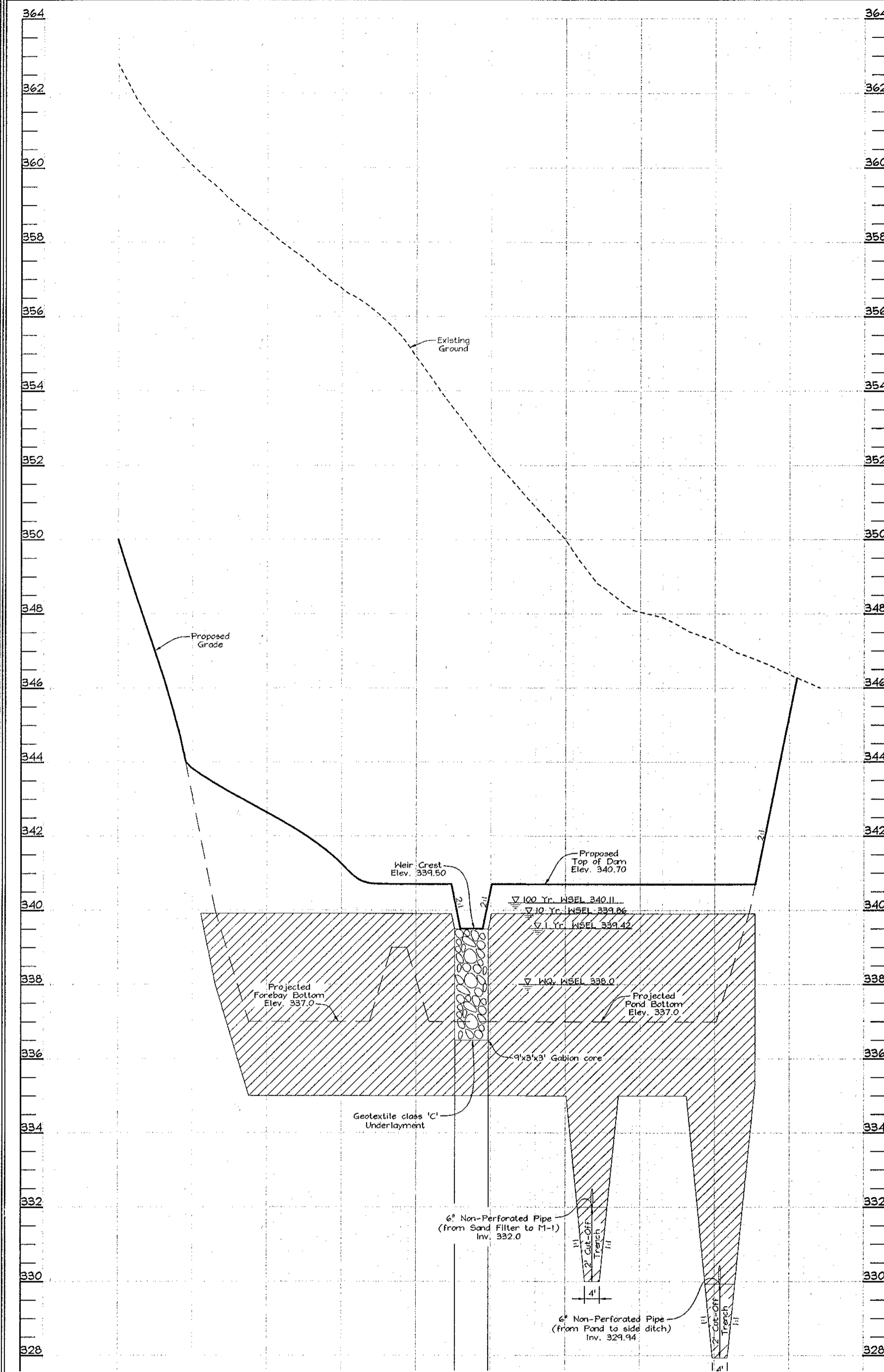
TAX MAP 35 GRID 14 5TH ELECTION DISTRICT

PARCEL 65 MARYLAND

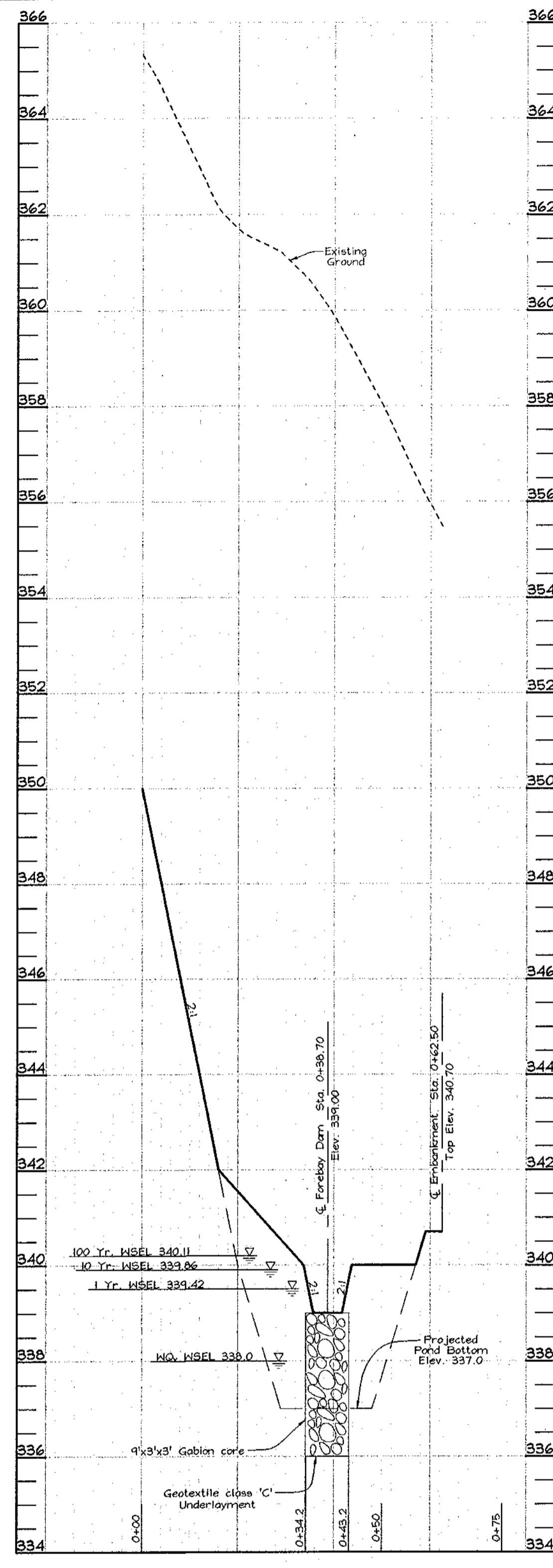
OWNER/DEVELOPER
WILLIAMSBURG BUILDERS
5485 HARRERS FARM RD #200
COLUMBIA, MARYLAND 21044-3834
Telephone: (410) 997-0800
Fax: (410) 997-4958

DESIGN BY: PS
DRAWN BY: GS
CHECKED BY: ZTF
SCALE: As Shown
DATE: June 13, 2005
W.O. No.: 3091
SHEET No.: 4 OF 9

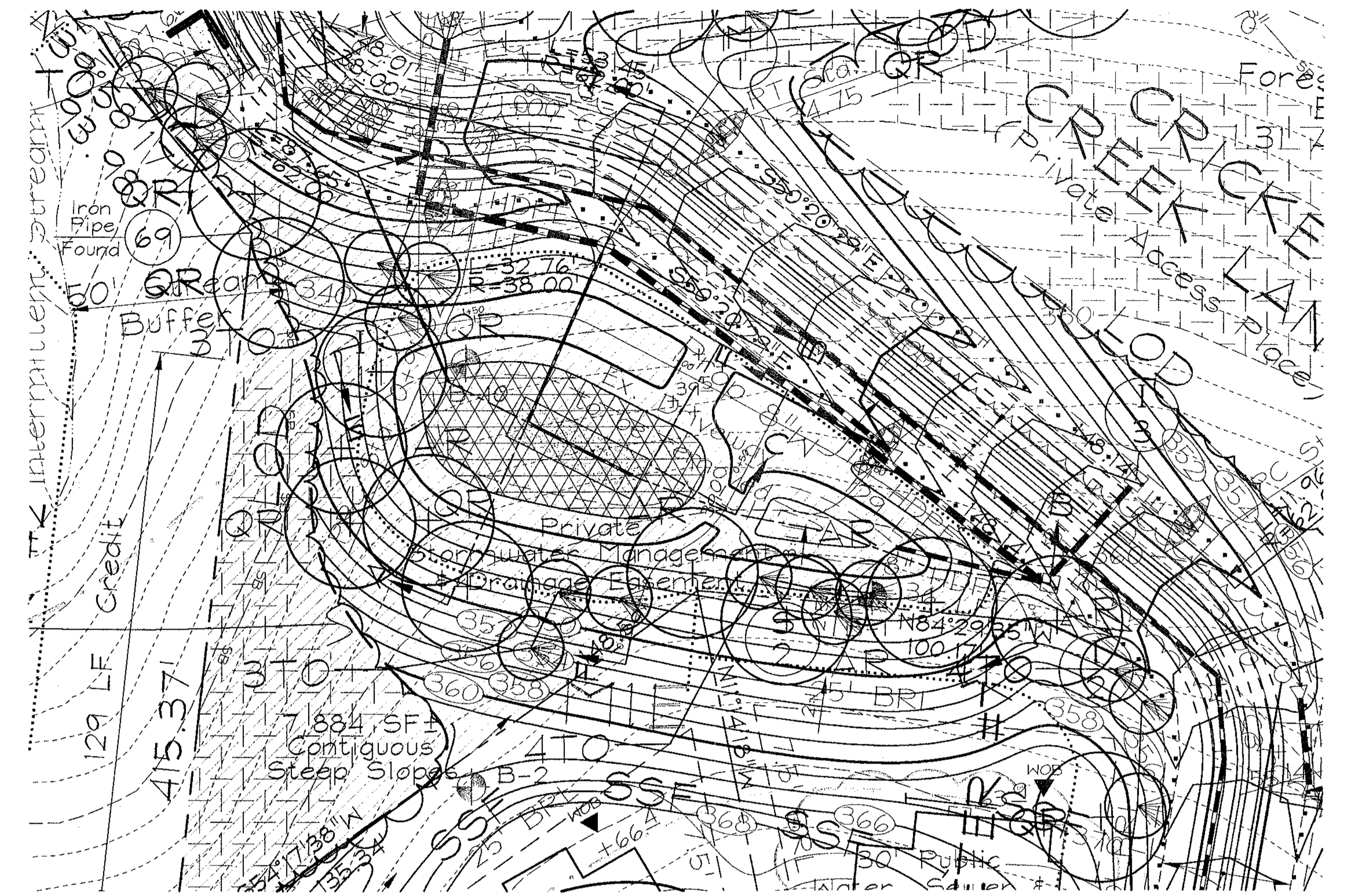
FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Elkton MD 21423
Tel: 410-750-2251 Fax: 410-750-2251
E-mail: info@fsh.biz



SECTION E-E
(Thru Embankment)
SCALE: Hor.: 1"=20'
Vert.: 1"=2'



SECTION F-F
(Thru Forebay Dam)
SCALE: Hor.: 1"=20'
Vert.: 1"=2'

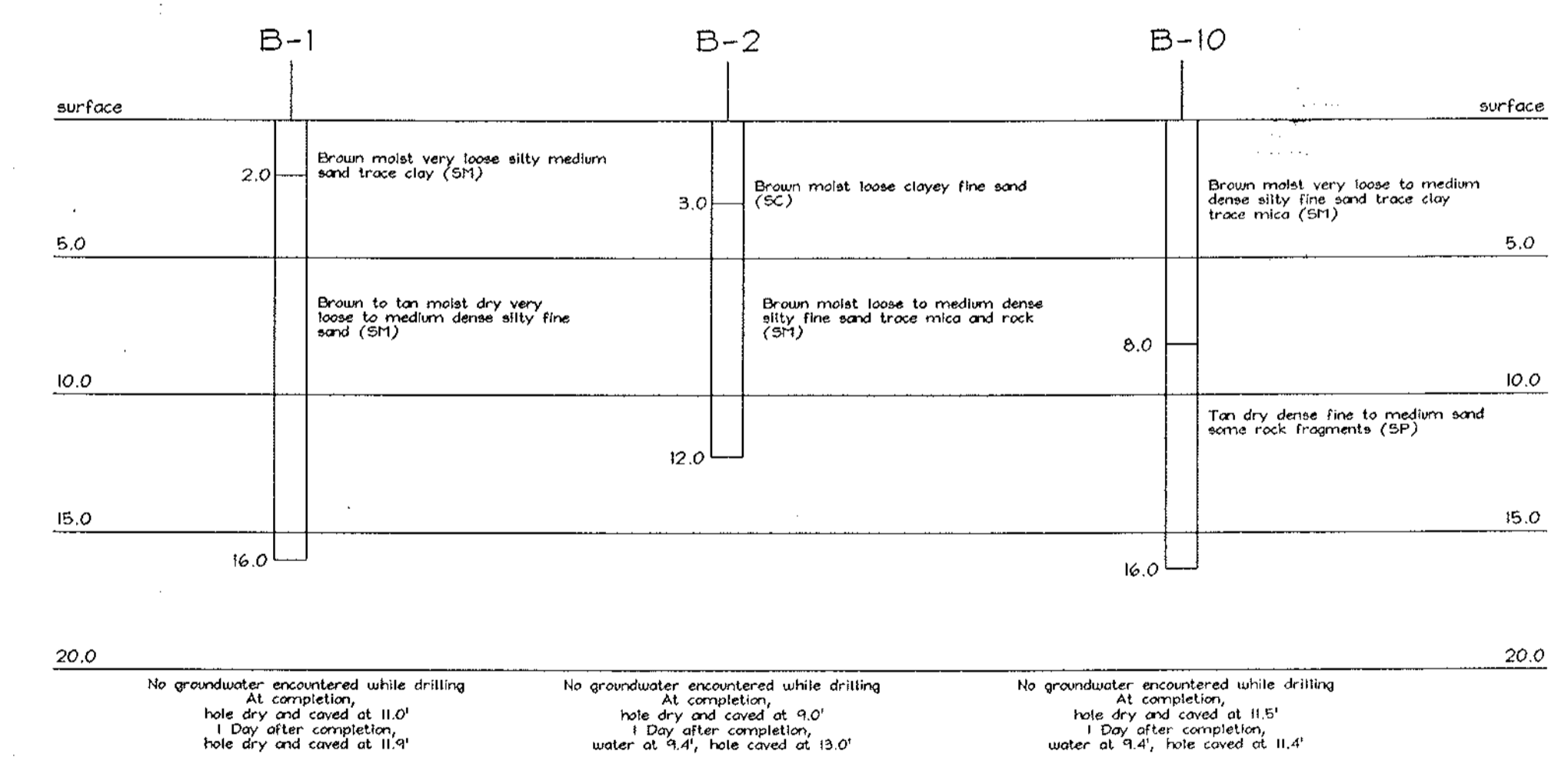


SWM FACILITY DETAIL
SCALE: 1"=20'

SWM Planting Notes

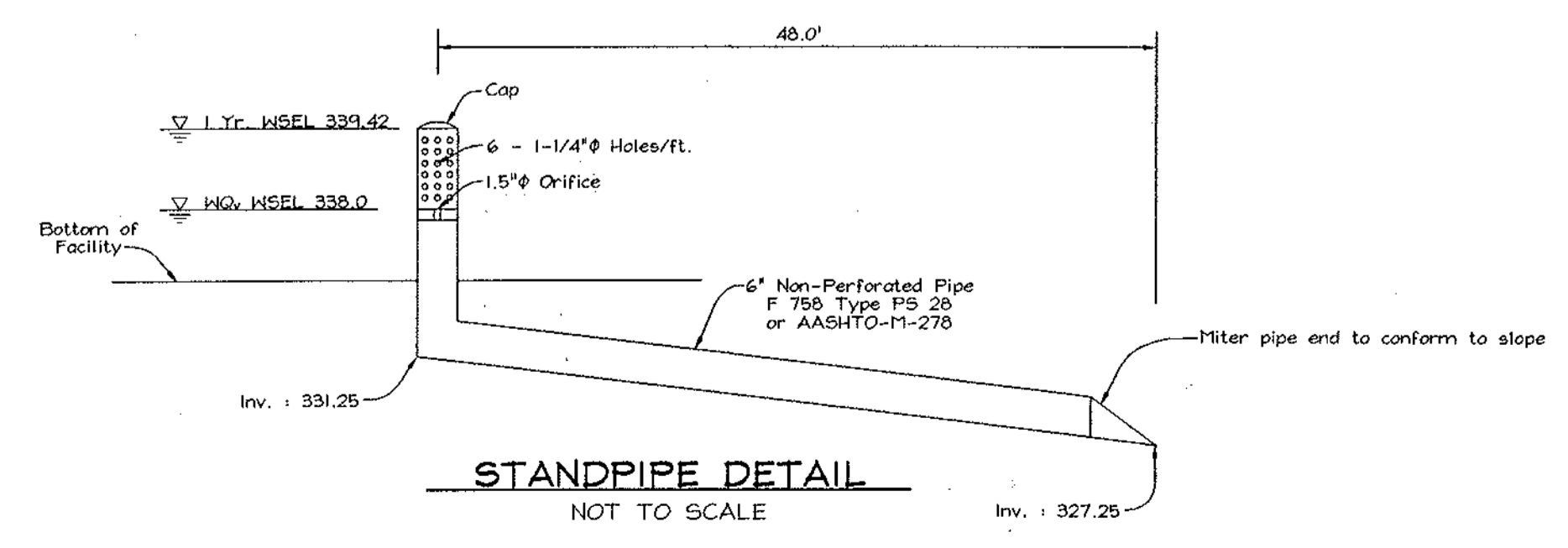
Within Facility - Bottom to 338.0 - 1700 s.f.
To be planted with Red Top (*Agrostis alba*) at 5 lbs / 1000 s.f.

Remaining area around the stormwater management facility will be stabilized as per the permanent seeding notes, Sheet 4 of 9, and vegetated as per the landscape buffer requirements.



S.W.M. BORING PROFILES
NOT TO SCALE

OWNER/DEVELOPER
WILLIAMSBURG BUILDERS
5485 HARPERS FARM RD #200
COLUMBIA, MARYLAND 21044-3834
Telephone: (410) 997-8800
Fax: (410) 997-4358



STANDPIPE DETAIL
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cindy Hamrick 6/29/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

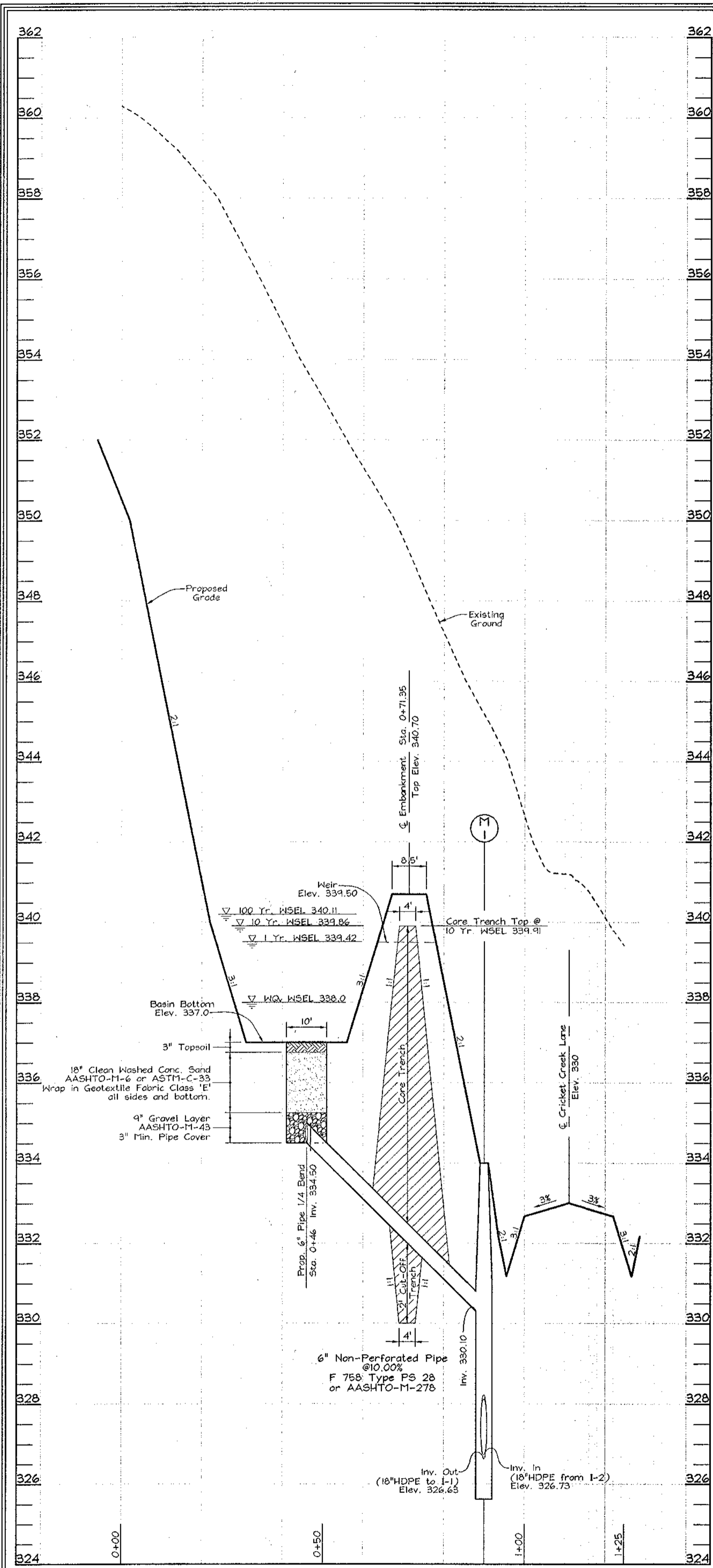
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
William J. ... 6-21-05
CHIEF, BUREAU OF HIGHWAYS DATE

STORMWATER MANAGEMENT DETAILS AND PROFILES
CRICKET CREEK
LOTS 1 THRU 9 & OPEN SPACE LOTS 10 & 11

TAX MAP 35 GRID 14 PARCEL 65
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

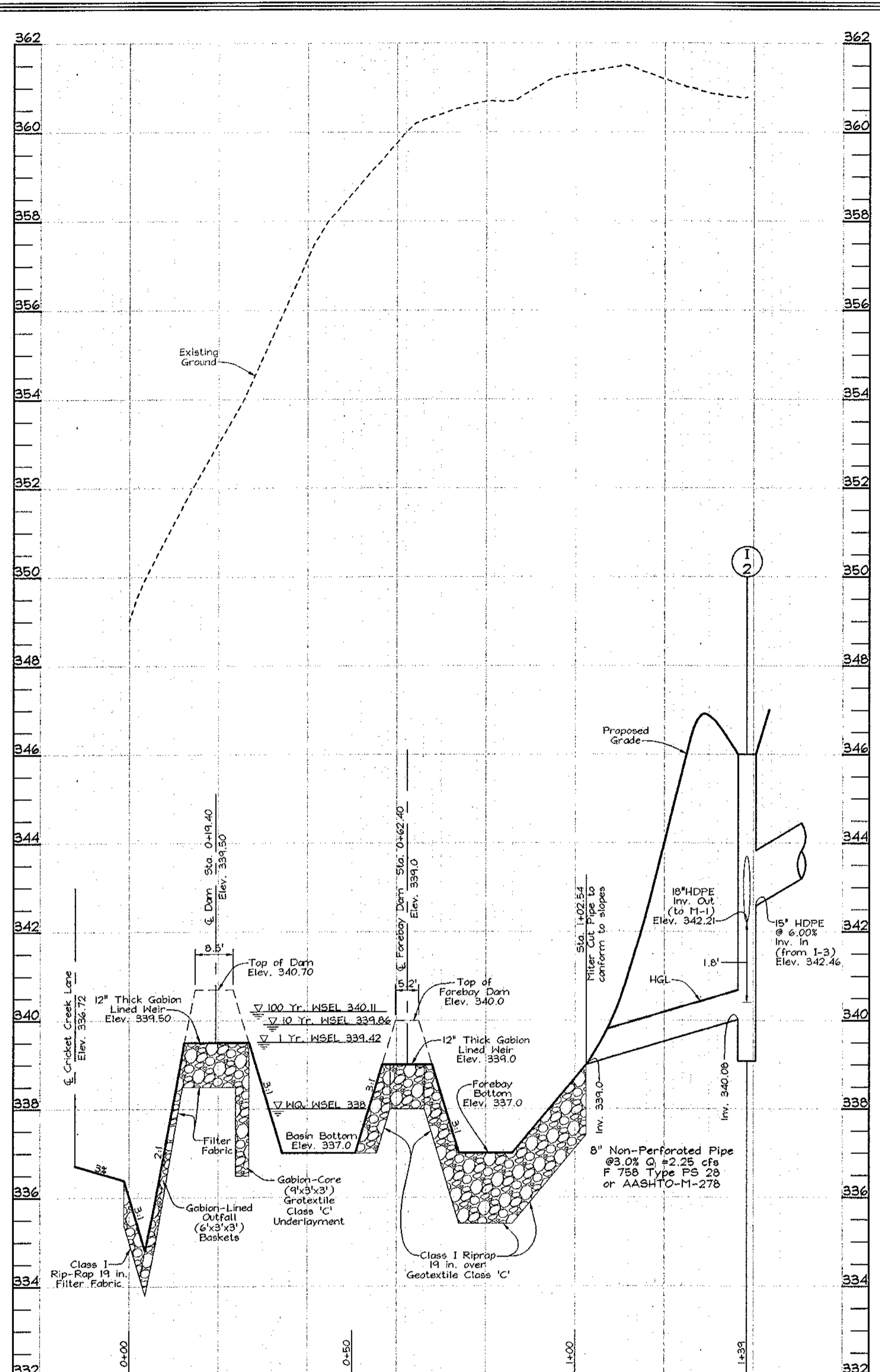
FSH Associates
Engineers Planners Surveyors
8318 Forrest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsha.biz

DESIGN BY: PS
DRAWN BY: AY
CHECKED BY: ZYF
SCALE: As Shown
DATE: June 13, 2005
W.O. No.: 3091
SHEET No.: 6 OF 9



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cinda Roman 6/23/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William F. Smith 6-21-05
 CHIEF, BUREAU OF HIGHWAYS DATE



*** I-2 INLET DETAIL**
Scale: 1"=2'

Reinforcing: 2 Layers of 4x4-W40xN40 Welded Wire Fabric

Bottom Elev. 340.00

Invert 342.21

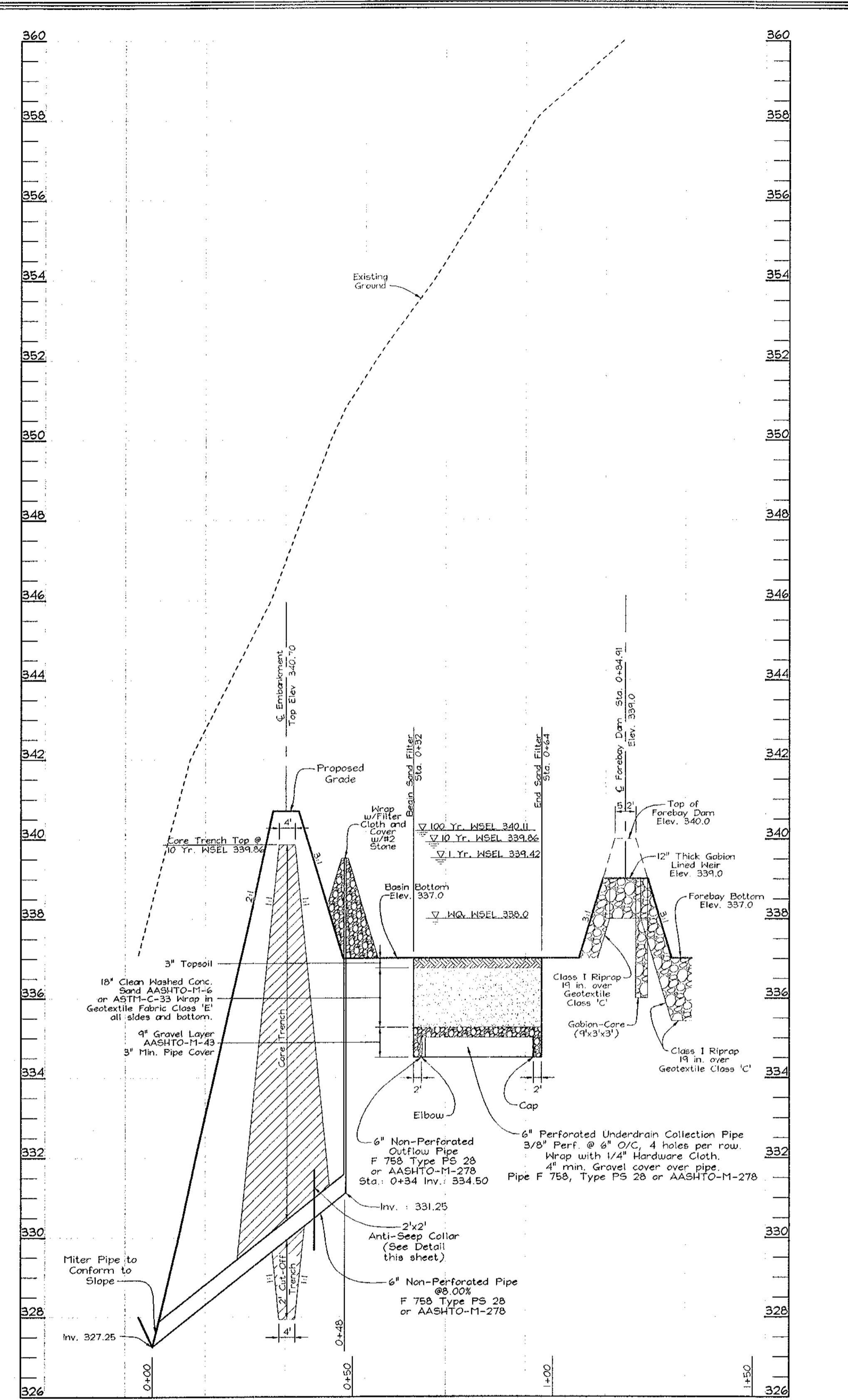
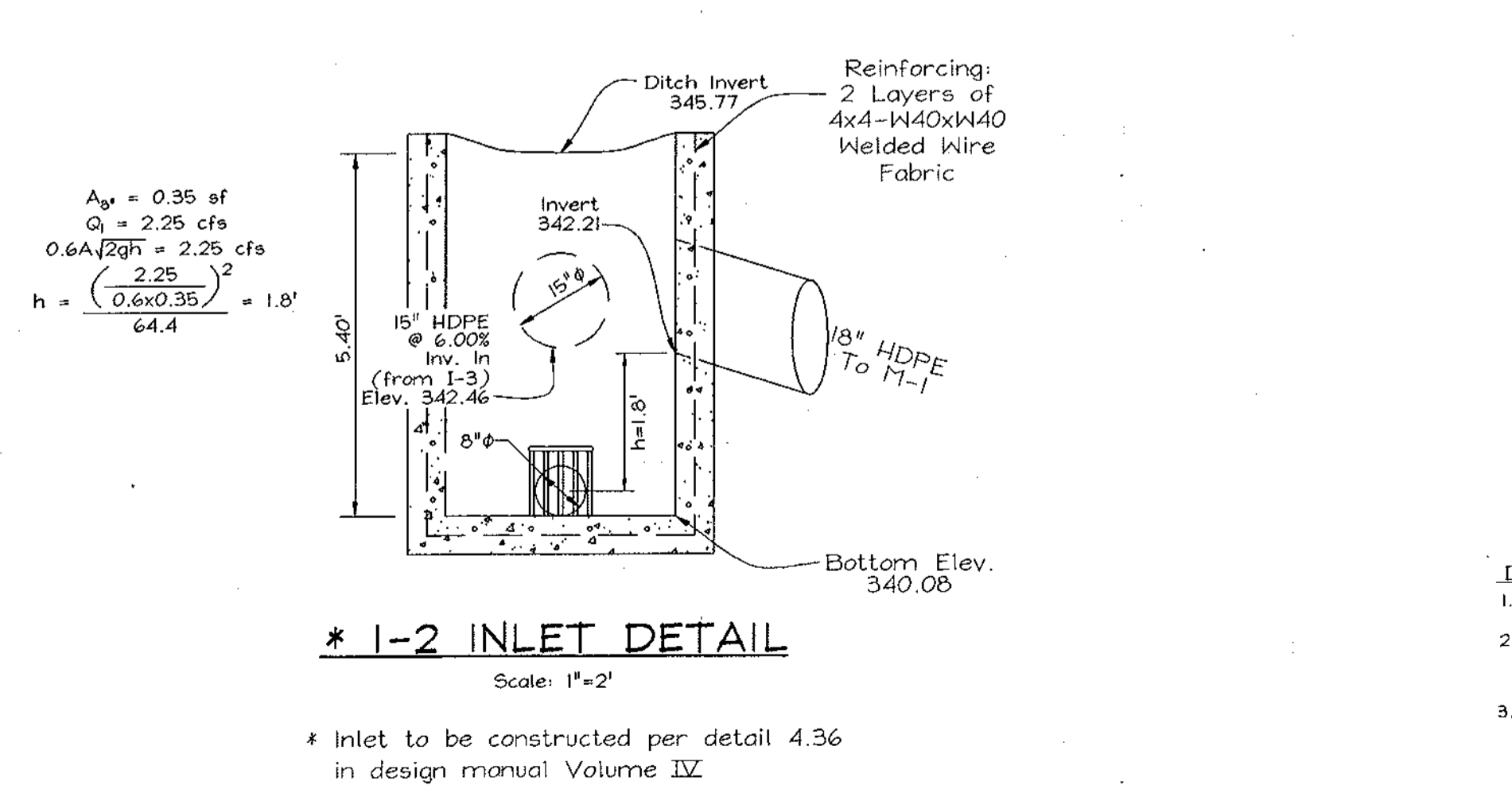
15" HDPE @ 6.00% Inv. In (from I-3) Elev. 342.46

8" HDPE To M-1

Ditch Invert 345.77

h = $\frac{0.6 \times (2.25)^2}{64.4} = 1.8'$

$A_p = 0.35$ of $Q_1 = 2.25$ cfs
 $0.6A(2.25)^2 = 2.25$ cfs
 $2.25 = \frac{2.25 \times 2}{64.4}$



OWNER/DEVELOPER
 WILLIAMSBURG BUILDERS
 4485 HARPERS FARM RD #200
 COLUMBIA, MARYLAND 21044-3834
 Telephone: (410) 997-8800
 Fax: (410) 997-4958

STORMWATER MANAGEMENT DETAILS AND PROFILES
CRICKET CREEK
 LOTS 1 THRU 9 &
 OPEN SPACE LOTS 10 & 11

TAX MAP 35 GRID 14
 5TH ELECTION DISTRICT

PARCEL 65
 HOWARD COUNTY, MARYLAND

DESIGN BY: PS
 DRAWN BY: AY
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: June 13, 2005
 P.L.O. No.: 3091
 SHEET No.: 7 OF 9

FSH Associates
 Engineers Planners Surveyors
 8318 Forrest Street
 Columbia, MD 21043
 Tel: 410-750-2251 Fax: 410-750-7350
 E-mail: info@fsh.biz

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 22418

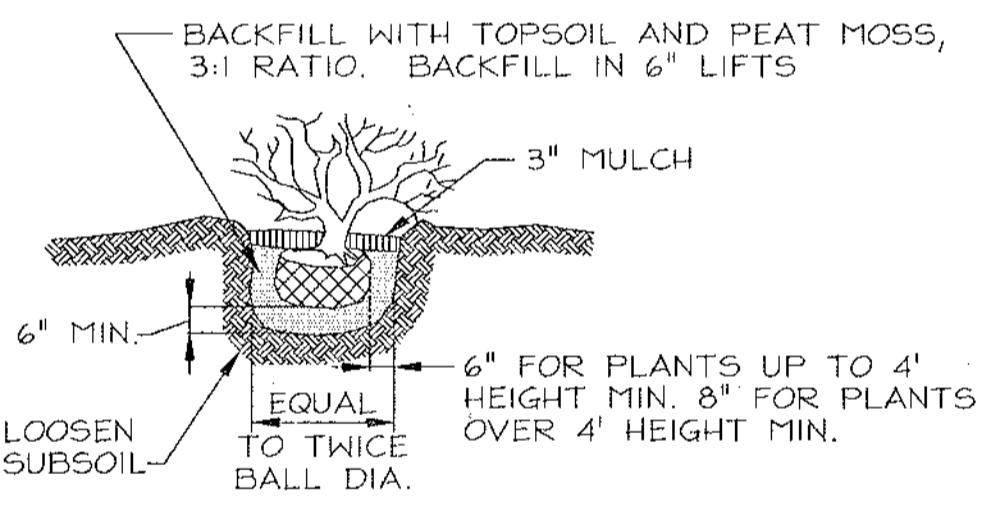
STREET TREE CHART			
STREET NAME	LF REQUIRED	REQUIRED	PROVIDED
Cricket Creek Lane	1,020'	26	26

SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING	
Linear Feet of Perimeter	327 LF
Credit for Existing Vegetation (No, Yes and Linear Feet)	No
Credit for other Landscaping (No, Yes and X)	No
Number of Trees Required	7 Shade Trees 9 Evergreen Trees
Number of Trees Provided	7 Shade Trees 9 Evergreen Trees 0 Trees(0 Substitution)

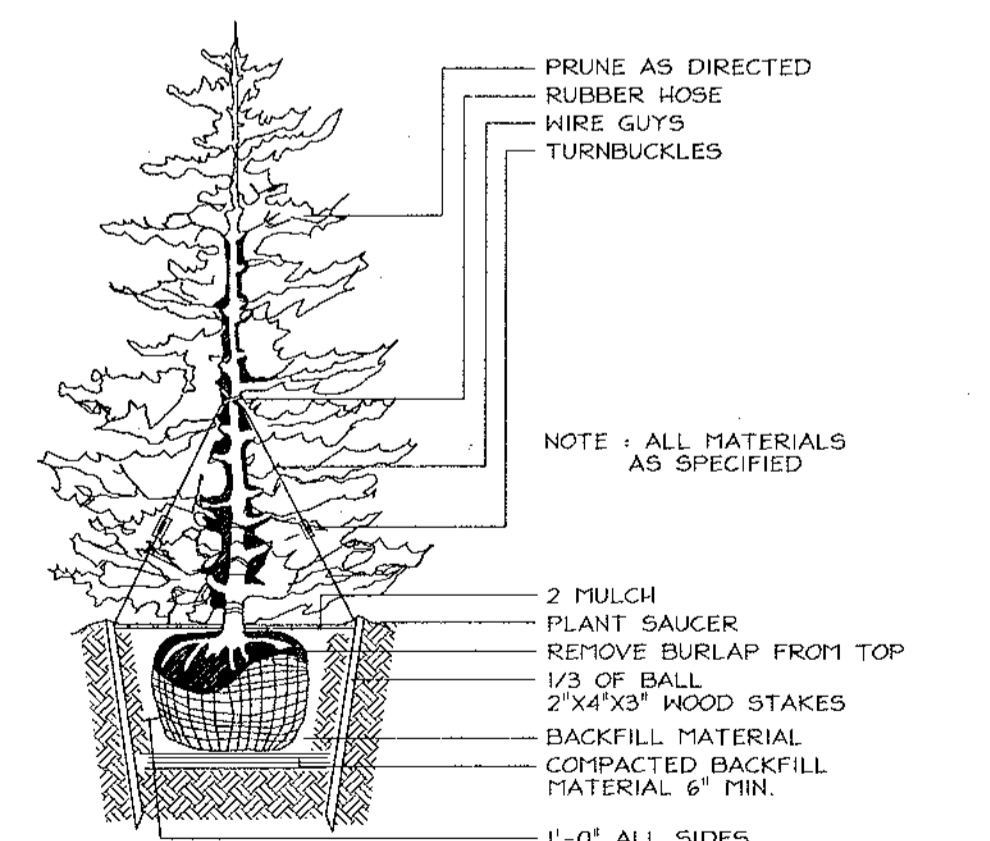
SCHEDULE A PERIMETER LANDSCAPE EDGE													
CATEGORY	ADJACENT TO ROADWAYS			ADJACENT TO PERIMETER PROPERTIES									
	B	C	D	A	B	C	D	E	F	G	H		
Perimeter/Frontage Designation	B	B	B	A	C	C	A	A	A	A	A	A	
Linear Feet of Roadway	387'	210'	222'	222'	257'	302'	427'	427'	797'	797'	797'	797'	
Credit for Existing Vegetation (Yes, No, Linear Feet)	Yes*	No	Yes*	No	No	No	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	
Remaining Perimeter Length	(65')	(119')	(93')	(257')	(302')	(0')	(0')	(0')	(0')	(0')	(0')	(0')	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	No	No	No	No	No	No	No	No	No	No	No	No	
Remaining Perimeter Length	1:50	4	1:50	4	1:60	2	1:40	6	1:40	8	1:60	0	
Number of Plants Required	Shade Trees	1:50	4	1:50	4	1:60	2	1:40	6	1:40	8	1:60	0
Number of Plants Provided	Shade Trees	4	4	2	4	5	0	0	0	0	0	0	
Evergreen Trees	6	5	1	1	13	15	0	0	0	0	0	0	
Other Trees (2:1 Substitution)	-	-	-	-	4	6	-	-	-	-	-	-	
Shrubs (10:1 Substitution)	-	-	-	-	-	-	-	-	-	-	-	-	
(Describe Plant Substitution Credits Below if needed)	-	-	-	-	-	-	-	-	-	-	-	-	

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	NOTE
AR	26	Acer rubrum, Shade Trees (Street Trees)	2 1/2"-3" Cal.	B & B
AR	4	Acer rubrum, Shade Trees (Shade Trees)	2 1/2"-3" Cal.	B & B
GR	22	Quercus rubra (Shade Trees)	2 1/2"-3" Cal.	B & B
TO	48	Thuja occidentalis 'Eastern Arborvitae' (Evergreen)	5'-6" Ht.	B & B
AC	10	Amelanchier canadensis (Shadblow Serviceberry) (Ornamental)	8'-10' Ht.	B & B
IC	5*	Ilex crenata 'Steed's Upright' (Shrub)	3'-4' Ht.	B & B

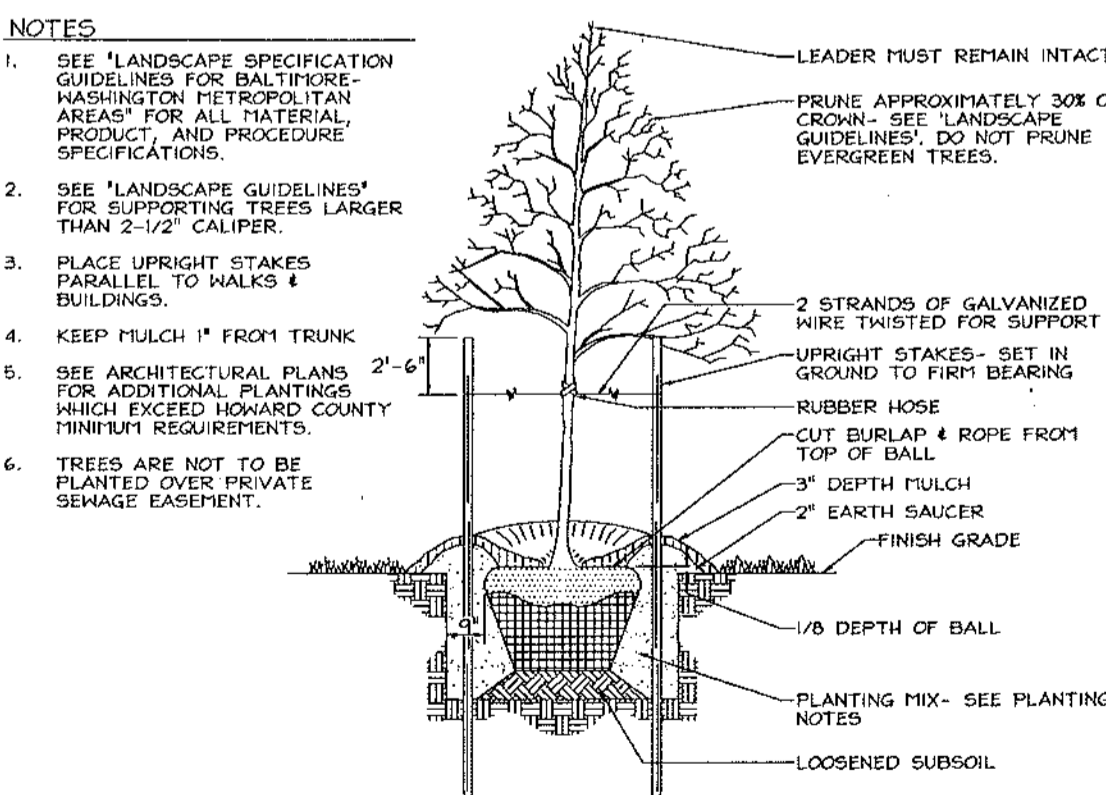
* The proposed shrubs are provided to screen the 5'x15' refuse and recycle concrete pad.



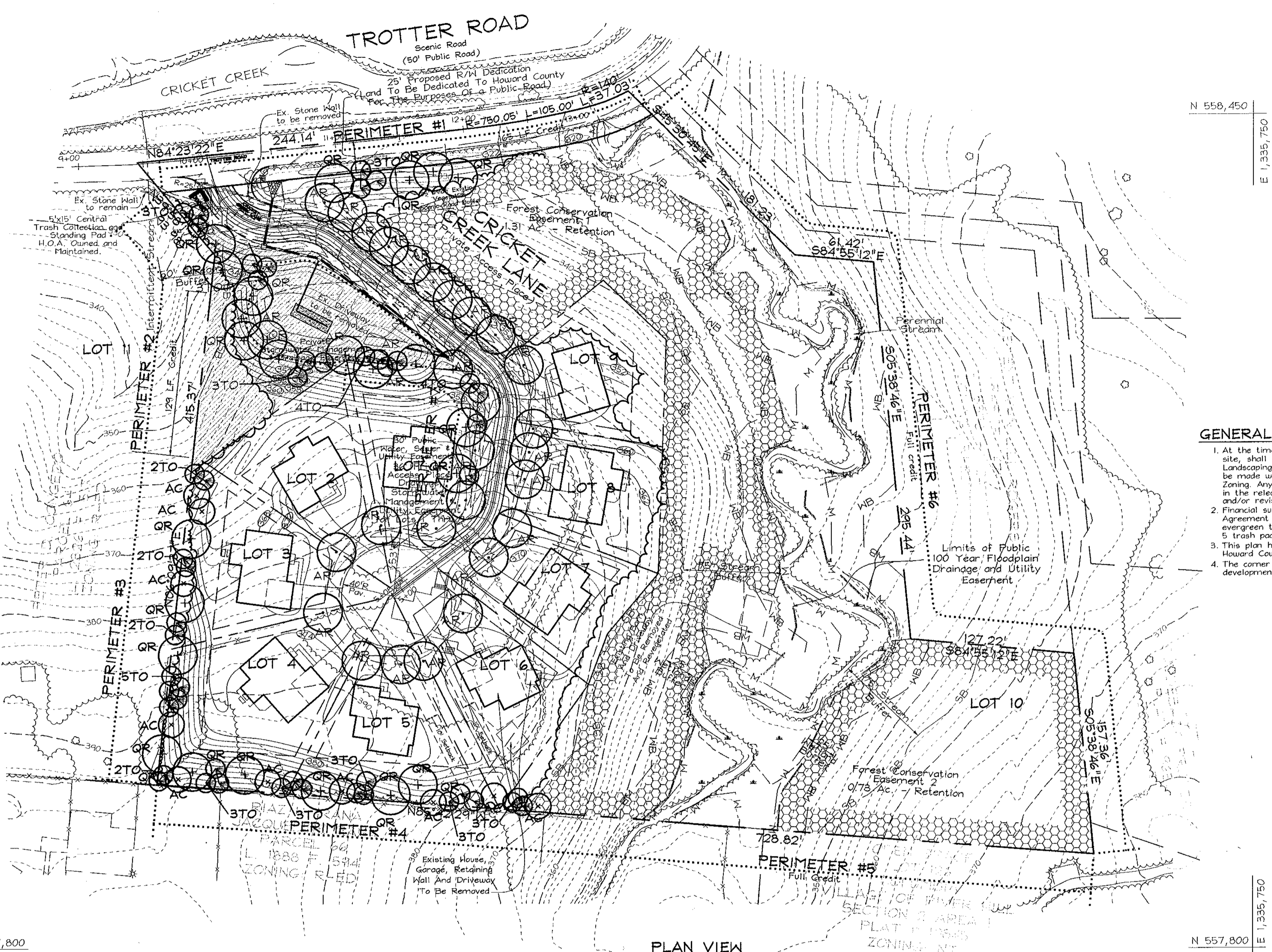
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



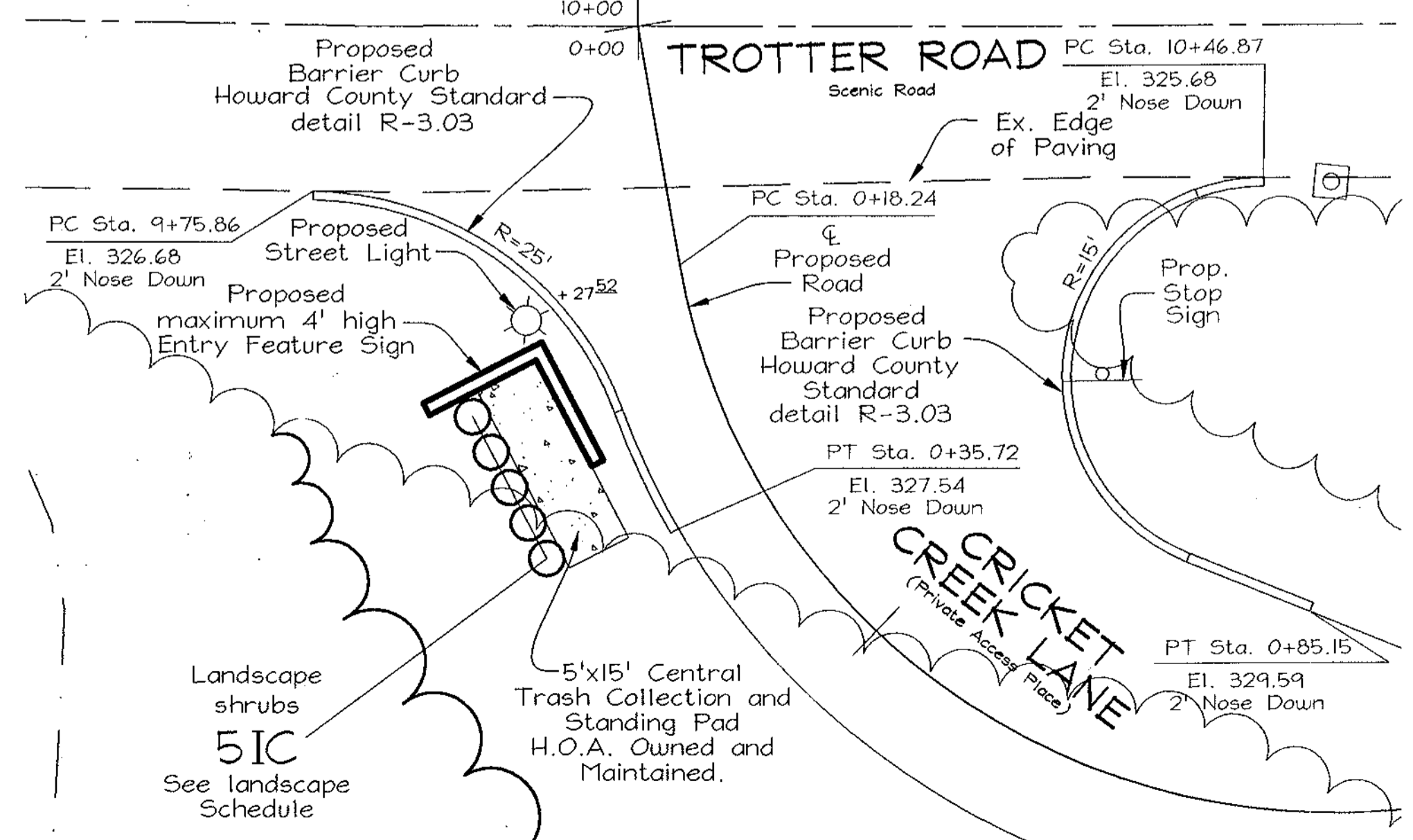
TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2\"/>



PLAN VIEW
SCALE: 1"=50'



ENTRANCE SIGN DETAIL
SCALE: 1"=10'

LEGEND	
Existing Contour	--- -- --
Proposed Contour	--- -- --
Existing Spot Elevation	362.2
Proposed Spot Elevation	+82.53
Direction of Flow	→
Existing Trees to Remain	(Tree symbol)
Walk Out Basement	(Symbol)
Shade Tree	(Tree symbol)
Street Tree	(Tree symbol)
Evergreen Tree	(Tree symbol)
Landscape Perimeter	(Dotted line)
Ornamental Tree	(Tree symbol)
Shrub	(Tree symbol)

- GENERAL NOTES**
- At the time of installment, all trees/evergreens/shrubs listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certifications.
 - Financial surety for the required landscaping must be posted as part of the Developer's Agreement in the amount of \$22,450.00 based on 26 shade trees @ \$300.00 each, 48 evergreen trees @ \$150.00 each, 26 Private Access Place street trees @ \$300.00 each and 5 trash pad shrubs @ \$30.00 each.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
 - The corner landscaping and surety for Lot 1 along perimeter 7 will be deferred until site development plan submission.

OWNER/DEVELOPER
WILLIAMSBURG BUILDERS
5485 HARPERS FARM RD #200
COLUMBIA, MARYLAND 21044-3834
Telephone: (410) 947-8800
Fax: (410) 947-4958

LANDSCAPE PLAN, NOTES & DETAILS
CRICKET CREEK
LOTS 1 THRU 9 &
OPEN SPACE LOTS 10 & 11
TAX MAP 35 GRID 14
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PARCEL 65



FSH Associates
Engineers Planners Surveyors
8318 Forrest Street Elkoot City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsha.biz

DESIGN BY: PS
DRAWN BY: KO
CHECKED BY: ZYE
SCALE: As Shown
DATE: June 13, 2005
H.O. No.: 3091
SHEET No.: 8 OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Brumba 6/29/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chris Brumba 6/29/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
William F. Walsh 6-21-05
CHIEF, BUREAU OF HIGHWAYS DATE

DEVELOPER'S BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
[Signature] 6-13-05
SIGNATURE OF DEVELOPER DATE

