

**General Notes:**

- The Lots Shown Hereon Comply With The Minimum Ownership Width And Lot Area As Required By The Maryland State Department Of The Environment.
- Subject Property Zoned R-20 As Per The 10/18/93 Comprehensive Zoning Plan.
- Coordinates Based On NAD '83, Maryland Coordinate System As Projected By Howard County Geodetic Control Stations No. 36DB And No. 36DA.
- This Plat Is Based On Field Run Monumented Boundary Survey Performed On Or About May 1, 2003, By Fisher, Collins And Carter, Inc.
- B.R.L. Denotes Building Restriction Line.
- Denotes Iron Pin Set Capped "C.C. 106".
- Denotes Iron Pipe Or Iron Bar Found.
- Denotes Angular Change In Bearing Or Right-Of-Way.
- Denotes Concrete Monument Set With Aluminum Plate "C.C. 106".
- Denotes Concrete Monument Or Stone Found.
- For Flag Or Pipe Stem Lots, Refuse Collection, Snow Removal And Road Maintenance To Be Provided At The Junction Of Pipe/Flag Stem And The Right Of Way And Not Onto The Flag/Pipe Stem Driveway. Driveways Shall Be Provided Prior To Residential Occupancy To Ensure Safe Access For Fire And Emergency Vehicles Per The Following (Minimum) Requirements:
  - Width - 12 Feet Or Feet Serving More Than One Residence;
  - Surface - 5/8" (6") Inches Of Compacted Crusher Run Base With Tar And Chip Coating.
  - 1/2" Minimum;
  - Geometry - Maximum 15% Grade, Maximum 10% Grade Change And 45-Foot Turning Radius;
  - Structures (Culverts/Bridges) - Capable Of Supporting 25 Gross Tons (425-Load);
  - Drainage Elements - Capable Of Safely Passing 100 Year Flood With No More Than 1 Foot Depth Over Surface;
  - Structure Clearances - Minimum 12 Feet;
  - Maintenance - Sufficient To Ensure All Weather Use.
- All Lot Areas Are More Or Less (A).
- Distances Shown Are Based On Surface Measurement And Not Reduced To NAD '83 Grid Measurement.
- Water Quality Volume And Ground Water Recharge Volume For Lot 1 Are Addressed On Site By Roof-Top And Non-Roof Top Disconnection Credit As Depicted On The Supplemental Plan.
- No Cemeteries Exist On This Site Based On A Visual Site Visit & Based On An Examination Of The Howard County Cemetery Inventory Map.
- Forest Stand Delineation And Wetland Delineation Was Prepared By Eco-Science Professionals, Inc. Dated July 9, 2003.
- Landscaping For Lot 1 Is Provided In Accordance With A Certified Landscape Plan On File With This Plat In Accordance With Section 16.124 Of The Howard County Code And Landscape Manual. Landscaping For Lot 2 Is Fulfilled By On-Site Credit For Existing Vegetation. Lot 2 Is Exempt From The Perimeter Landscaping Requirements Of The Howard County Code And Landscape Manual Because Lot 2 Contains An Existing Dwelling Which Is To Remain. Therefore A Landscape Surety Is Not Required For This Subdivision.
- This Plat Is In Compliance With The Fifth Edition Of The Subdivision And Land Development Regulations. This Area Designates A Private Temporary Easement For Driveway Construction. All Rights Acquired By The State Highway Administration Shall Terminate At The End Of Construction. See State Highway Administration Plat #52526.
- The 65 dBA Noise Contour Line Drawn On This Subdivision Plan Is Advisory As Required By The Howard County Design Manual, Chapter 5, Revised February, 1992 And Cannot Be Considered To Exactly Locate The 65 dBA Noise Exposure. The 65 dBA Noise Line Was Established By Howard County To Alert Developers, Residents And Future Residents That Areas Beyond This Threshold May Exceed Generally Accepted Noise Levels Established By The U.S. Department Of Housing And Urban Development.
- There Is An Existing Dwelling/Structure Located On Lot #2 To Remain. No New Buildings, Extensions Or Additions To The Existing Dwelling Are To Be Constructed At A Distance Less Than The Zoning Regulations Require.
- Water And Sewer Services To These Lots Will Be Granted Under The Provisions Of Section 18.122B Of The Howard County Code. Existing Public Water And Public Sewer Services Are Provided Under Contract #24-4036.
- Public Water And Sewerage Allocations Will Be Granted At Time Of Issuance Of The Building Permit If Capacity Is Available At That Time.
- No Public 100-Year Flood Exists On Lots 1 Or 2 Of This Subdivision.
- Lot 1 Requires The Submission And Approval Of A Site Development Plan In Accordance With Section 16.159A(2)(iii) Of The Subdivision Regulations.
- Lot 2 Is Privately Owned And Maintained And Retains The Right To Be Further Subdivided In Accordance With The Regulations In Section 10B Of The Howard County Zoning Regulations. The Resubdivision Of Lot 2 Will Be Subject To Testing For Housing Allocations And Adequate Schools At The Time Of Subdivision.
- The Existing House On Lot 2 Is Presently Served By Private Septic And Private Well. The Existing Private Well And Septic System Can Remain In Service No Longer Than One Year After Plat Recordation. At That Time, The Existing Well Will Be Disconnected From The House As A Potable Supply And Allowed Continued Use As A Non-potable Supply.
- Forest Conservation Obligation For This Property Has Been Made With A Fee-In-Lieu Payment Of \$3,675.60 For The Required Forest Afforestation To The Forest Conservation Fund Based On The Following Calculations: (20X X 36,756 Square Feet = 7,351.2 Square Feet) (7,351.2 Square Feet X \$0.50 Per Square Feet = \$3,675.60)
- Open Space Tabulation**  
 Open Space Required = (2.069 Acres X 63) = 0.124 Acres  
 Open Space Provided = 0.000 Acres  
 A Fee-In-Lieu Of Open Space Has Been Paid In The Amount Of \$1,500.00 For Lot #1. Lot 2 Is Exempt From Open Space Obligations Due To The Existing House Which Is To Remain.
- A Waiver To Section 6.3.b.3.b) Of Volume II Of The Howard County Design Manual Requiring Gravity Sewer Service To The Basement Or Lowest Floor Level Of Each Structure Was Granted On June 26, 2003. Lot #1 Shall Have Gravity Sewer Service To The First Floor Only. Basement Sewer Service To Be Provided By Private On-Site Pump System.
- There Are No Prior Department Of Planning And Zoning File Numbers For This Property.
- No Grading, Removal Of Vegetative Cover Or Trees, Or Placement Of Structures Is Permitted Within The Limits Of Wetlands, Streambed, Or Their Buffers And Conservation Easement Areas.
- Both Water Quality Volume And Groundwater Recharge Volume Have Been Provided For This Project By Rooftop And Non-Rooftop Disconnection Credit Per Sections 5.2 And 5.3 Of The 2000 Maryland Stormwater Management Design Manual, Volumes I And II. Channel Protection Volume Is Not Required Since The Rate Of Runoff From The 1-Year Storm Is Less Than 2.0 cfs.

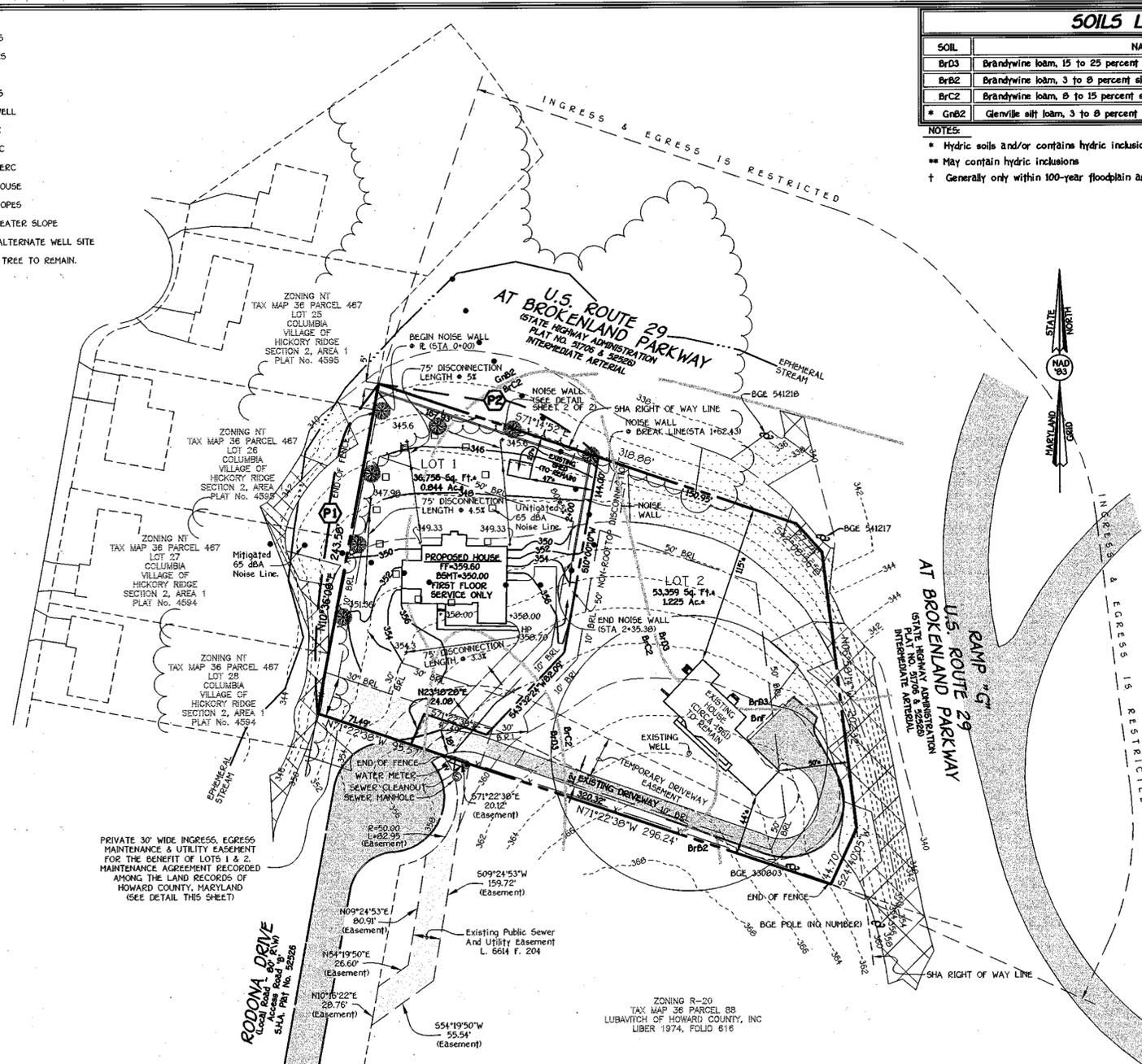
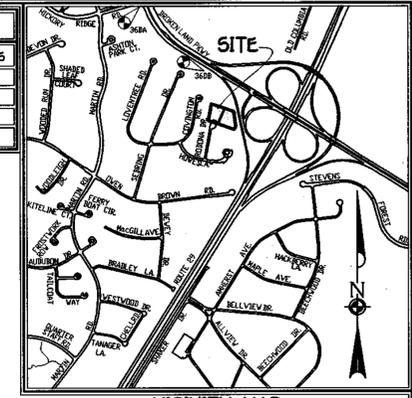
**LEGEND**

- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING TREE LINE
- SOIL LINES AND TYPES
- ⊙ DENOTES PROPOSED WELL
- ⊙ DENOTES FAILED PERC
- ⊙ DENOTES PASSED PERC
- ⊙ DENOTES PROPOSED PERC
- ⊙ DENOTES PROPOSED HOUSE
- ⊙ DENOTES 15%-24.9% SLOPES
- ⊙ DENOTES 25% AND GREATER SLOPE
- ⊙ DENOTES 1500 Sq.Ft. ALTERNATE WELL SITE
- ⊙ DENOTES EXISTING 6" TREE TO REMAIN.

**SOILS LEGEND**

SOIL	NAME	CLASS
BrD3	Brandywine loam, 15 to 25 percent slopes, severely eroded	C
BrB2	Brandywine loam, 3 to 8 percent slopes, moderately eroded	C
BrC2	Brandywine loam, 8 to 15 percent slopes, moderately eroded	C
GnB2	Glenville silt loam, 3 to 8 percent slopes, moderately eroded	C

- NOTES:**
- \* Hydric soils and/or contains hydric inclusions
  - \*\* May contain hydric inclusions
  - † Generally only within 100-year floodplain areas

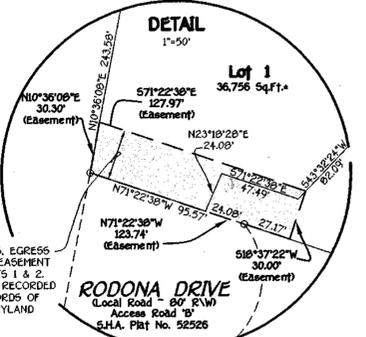


**SCHEDULE A - PERIMETER LANDSCAPE EDGE**

PERIMETER CATEGORY	P-1 ADJACENT TO PERIMETER PROPERTIES	P-2 ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A	A
LINEAR FEET OF PERIMETER	243.56	167.93
NUMBER OF PLANTS REQUIRED	4	3
SHADE TREES		
CREDIT FOR EXISTING VEGETATION (30' BUFFER AREA)	100% (BUFFER AREA)	100% (BUFFER AREA)
SHADE TREES SMALL/MEDIUM DECIDUOUS TREES (21 SUBSTITUTION)		
NUMBER OF PLANTS PROVIDED	0	0
SHADE TREES		

**Developer's/Builder's Certificate**  
 I/We Certify That The Landscaping Shown On This Plan Will Be Done According To Section 16.124 Of The Howard County Code And The Howard County Landscape Manual. I/We Further Certify That Upon Completion Of Certification Of Landscape Installation Accompanied By An Executed One Year Guarantee Of Plant Materials Will Be Submitted To The Department Of Planning And Zoning.  
 James H. Schuchardt and Jane A. Schuchardt  
 11/20/03  
 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 11/4/03  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 12/4/03  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



**AREA TABULATION FOR SHEET**

Total Number Of Lots And/Or Parcels To Be Recorded:	2
Buildable:	0
Non-Buildable:	0
Open Space:	0
Preservation Parcels:	0
Total Area Of Lots And/Or Parcels:	2.069 Aca
Buildable:	0.000 Aca
Non-Buildable:	0.000 Aca
Open Space:	0.000 Aca
Preservation Parcels:	0.000 Aca
Total Area Of Roadway To Be Recorded Including Widening Strips:	0.000 Aca
Total Area Of Subdivision To Be Recorded:	2.069 Aca



**OWNER/DEVELOPER**  
 James H. Schuchardt  
 Jane A. Schuchardt  
 10151 Rodona Drive  
 Columbia, Md 21044-3921

SUPPLEMENTAL PLAN  
 SCHUCHARDT PROPERTY  
 LANDSCAPE, TOPOGRAPHIC & SOILS  
 LIBER 351, FOLIO 337  
 TAX MAP 36 GRID 7 PARCEL 53  
 FIFTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 ZONING R-20  
 SCALE: 1" = 50' DATE: OCTOBER 9, 2003  
 W.O. 30784  
 CONTOURS SHOWN ARE FROM HOWARD COUNTY TOPOGRAPHY, AND ARE SHOWN AT A 2 FOOT ELEVATION INTERVAL.  
 SHEET 1 OF 2

**PLYWALL SOUND BARRIER SPECIFICATIONS**

**1. DESCRIPTION:** This work shall consist of the construction of sound barrier consisting of Plywall panels as manufactured by Hoover Treated Wood Products, Inc. supported by Parallam PSL posts as manufactured by True Joist MacMillan. Sound Barrier shall be designed to withstand a wind load of 25 psf, as specified by the Maryland State Highway Administration for noise barriers.

**2. MATERIALS:** Materials shall conform to the following:

**2.1 SOUND BARRIER PANELS:** Panels shall be fabricated as two-piece "Plywall" panels for the 8 ft. high barrier and three-piece "Plywall" panels for the 10 ft. and 12 ft. high barriers by 8ft. wide, as manufactured by Hoover Treated Wood Products, Inc. Panels design shall have been tested in accordance with ASTM E-90 and ASTM E-413 and shall result in a sound transmission class of 30 or better. Panels shall consist of a structurally sound frame of 2" by 4" (nominal) Southern Yellow Pine lumber, surfaced four sides, covered on both panel faces by ship-lap-jointed, APA-303 specialty siding, Southern Pine, exposure durability classification Exterior, Texture 1-11, 5-ply, 19/32" thick, grooves 8" o.c., wood patches. All wood used in panel construction shall be pressure preservative treated with CCA preservative to a minimum net retention of 0.60 pcf in accordance with American Wood Preservers Association C-2 and C-9. All plywood siding and 2" (nominal) lumber shall be kiln dried after treatment to a moisture content of 19 percent or less. All panel sections shall be fabricated prior to shipment. All panels shall have two nylon lifting webs, securely attached along the top.

**2.2 SUPPORT POSTS:** Posts shall be 4" x 4" x 8' long (from wind load/height chart), Parallam PSL Southern Pine Paralle Strand Lumber, 2.0 E, as manufactured by True Joist MacMillan. Minimum net retention of preservation shall be 0.60 pcf of CCA. Posts shall be bundled so that each layer is separated by wood spacers to allow air drying after treatment.

**2.3 CLEATS:** Vertical cleats for attaching panels to posts shall be 4" x 4" (nominal) Southern Pine timbers, surfaced four sides. Minimum net retention shall be 0.60 pcf of CCA preservative.

**2.4 FASTENERS:** All nails or spikes shall be hot dip galvanized zinc coated per ASTM A-153.

**2.5 SOURCING:** All Wood Sound Barrier System Materials, including posts, panels and cleats shall be treated and fabricated at one location. The following is a list of known suppliers: Hoover Treated Wood Products, Inc., 1-800-531-5556.

**3. CONSTRUCTION:**

**3.1 MATERIAL UNLOADING AND STORAGE:** Contractor shall provide suitable unloading equipment and storage space for Sound Barrier Materials. Sound Barrier Materials shall be kept off the ground and shall be protected from mud, splattering, staining, vandalism or physical damage.

**3.2 POST HOLES:** Post holes shall be augered to the required diameter and depth, which shall be determined by the owner's engineer. Spacing shall allow clear spans equal to the panel width plus one inch tolerance. Posts may shrink slightly after erection. The contractor shall take all measures and precautions necessary to prevent collapse of the hole sides. Actual post width shall be checked at delivery because treatment may cause some swelling. Actual panel width shall also be verified at delivery.

**3.3 POST SETTING:** Posts shall be set plumb and in precise position to accept panels and shall be braced in such a manner as to remain plumb and in the required lateral position during backfilling. Post spacing shall allow clear spans between posts equal to the panel width plus a maximum one-inch tolerance. In no case shall the erection tolerance between posts exceed 1 inch.

**3.4 BACKFILLING:** Posts shall be set in concrete footings.

**3.5 ATTACHMENT OF REAR CLEATS:** Prior to setting panels, the rear cleats shall be fully attached to each post to support the Sound Barrier panels during placement. Cleats shall be placed at an elevation that will insure support of the panel over the entire height. The rear edge of the cleat shall be flush with the rear face of the post. The cleats shall be attached with hot dip galvanized zinc coated spikes as shown.

**3.6 SETTING PANELS:** Sound Barrier panels shall be lifted by the provided lift straps and seated firmly against the prefabricated rear cleats in a manner which maintains panel plumb and level while providing a maximum one inch tolerance between the posts. The panel will then be secured by attaching the front cleats to the posts along the unsecured panel face.

**3.7 PANEL BOTTOM EMBEDMENT:** Bottom of panels shall be backfilled with crushed stone to prevent the passage of sound and to provide drainage.

**3.8 FIELD TRIMMING OF POST TOPS:** After panels have been set, the post tops shall be rough trimmed with a square cut 3" above the top of the panel.

**3.9 DISPOSAL OF TREATED WOOD SCRAPS:** Do not burn scraps. Dispose of scraps as ordinary trash. Landfilling is acceptable for CCA treated wood.

**3.10 WOOD FINISH:** No finish is required.

**INSTALLATION INSTRUCTIONS FOR PLYWALL BARRIERS**

PLYWALL is a panelized post and panel barrier system that is very simple to install. All components are made of pressure treated wood and can be installed by non-specialized crews without heavy equipment.

**SHIPPING:** PLYWALL is panelized and ready to install when shipped. Shipment is by truck to the job site. Unloading requires a large forklift or a crane and slings. Bundles can weigh as much as 8,000 pounds. Panels are stacked flat in bundles 8 feet across, requiring long forks if a forklift is used. Posts are bundled in standard lumber bundles, about 3.5 feet across, which can be handled with standard 4-foot forks.

Shipping usually consists of posts on the first loads. Loads can be mixed with both posts and panels if desired. Staging of materials may be a problem on tight sites. Materials can be staged nearby at a lumberyard or other storage area and skuttled to the site as needed. This is helpful when space is limited at the site. It is important to store the bundles off the ground and to keep them clean.

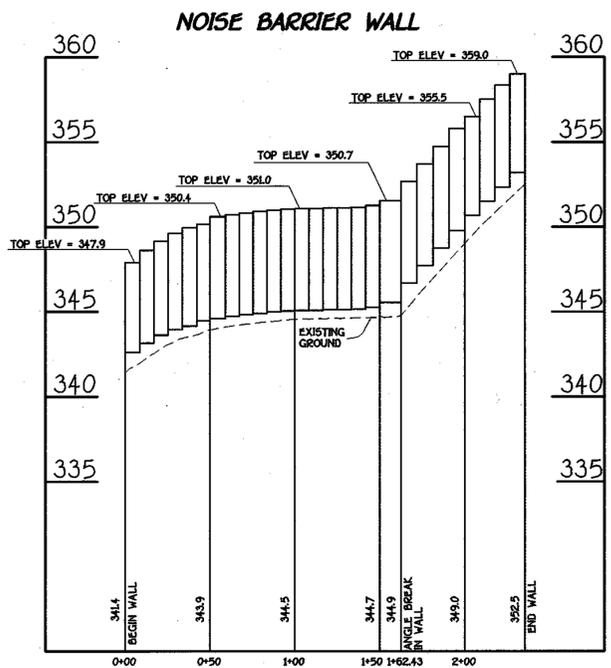
**INSTALLATION - POSTS:** Installation begins with laying out and boring the post holes. The Panel size will determine the depth and diameter of the footings. Recommendations are based on a minimum allowable soil load bearing capacity of 1500 psf and 1/2" to 3/4" clean and well graded stone backfill. Posts must be set accurately and plumb so that the panels will fit neatly between the posts with a construction allowance determined by the panel size (see drawing). Posts are supplied with one foot extra length so that they can be set without having to have the top at a precise elevation. They can be easily trimmed to the proper elevation later. Additional length can be supplied on request. At this site, posts shall be set in concrete footings.

**INSTALLATION - PANELS:** Panels are fabricated in modules that are a maximum of either 8 feet high or 8 feet wide. Two built-in nylon web lifting loops are provided at the top of each panel for lifting by crane with two hooks. Before lifting and positioning the panel between posts, attach the rear, pre-drilled, long 4x4 cleats vertically to each post, then swing the panel into position. When the panel is in position against the rear 4x4 cleats, splice or lag the front 4x4 cleats to the post through the pre-drilled holes in the 4x4's, "squeezing" the panel between the rear and front 4x4 attachment members. The panels are not nailed to the 4x4 attachment members or the posts, and they bear directly on earth at the bottom. After securing the panels, the lifting loops may be cut off with a sharp utility knife or folded and tacked to the top framing member for possible future use if the wall might need to be relocated.

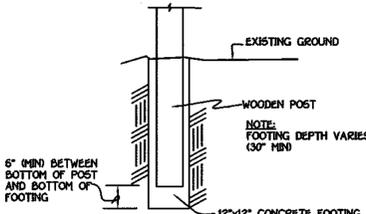
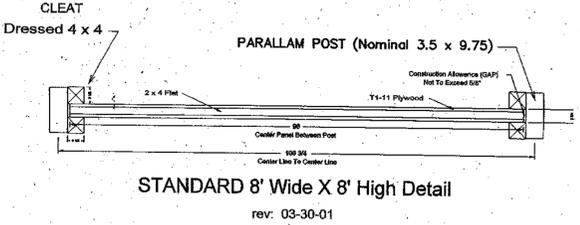
**INSTALLATION - STACKABLE PANELS:** Stacking panels between posts is accomplished by lowering the top panel down onto the lower panel, guiding the plywood edges over the protruding, beveled "tongue" formed by the lower panel's topmost framing member. It is not necessary to slide the panels all the way down from the top of the posts as would be the case with steel or concrete beams. After setting the panels, the lifting loops may be cut off with a sharp utility knife or folded and tacked to the top framing member for possible future use if the wall might need to be relocated. The horizontal panel joint is not designed for the plywood edges to meet due to the difficulty of assuring a perfect joint. A gap of about 1/4" is normal between the plywood butts.

Smaller panels are stacked on top to achieve the desired top elevation. The size and number of panels are determined in advance by the panel size.

To finish off the wall, trim the posts to the desired height, bevel, or slope with a chain saw after setting panels. Be sure to order extra post length if the normal one foot is determined inadequate for your desired post finishing method. No finishing or maintenance of the panels or posts is necessary.

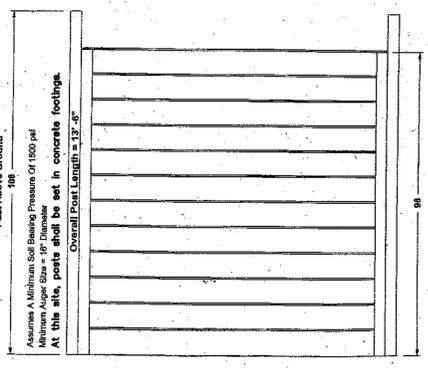


**PROFILE SCALE**  
HOR: 1"=50'  
VERT: 1"=9'

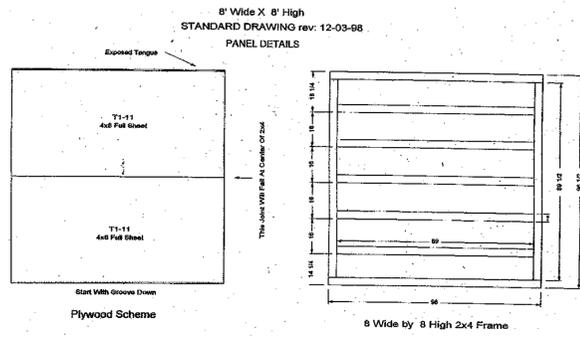


**FOOTING DETAIL**  
SCALE 1"=2'

NOTE: INGRESS AND EGRESS FOR LOTS 1 AND 2 SHALL BE RESTRICTED TO RODONA DRIVE ONLY. ACCESS CANNOT BE ACHIEVED FROM RAMP 12.



**STANDARD 8' Wide X 8' High rev: 03-30-01**



Height	20	25	28	30	33	35	40
6'	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75
8'	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75
10'	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75	3.5 x 9.75
12'	5.25 x 9.75	5.25 x 9.75	5.25 x 12				
14'	5.25 x 12	5.25 x 12	5.25 x 12	5.25 x 12	5.25 x 12	5.25 x 12	5.25 x 14
16'	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	7 x 14
18'	7 x 14	7 x 14	7 x 14	7 x 14	7 x 14	7 x 14	7 x 14
20'	7 x 14	7 x 14	7 x 14	7 x 14	7 x 14	7 x 14	7 x 16
22'	7 x 16	7 x 16	7 x 16	7 x 16	7 x 16	7 x 16	7 x 16
24'	11 x 12	11 x 12	11 x 14	11 x 14	11 x 14	11 x 14	11 x 16
26'	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16
28'	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16
30'	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16	11 x 16

The design for post heights 6' through 12' assumes embedment to soil or gravel. Posts 14' or greater in height are assumed to be embedded in concrete. Post embedment depth to be determined by local engineer. Panel width 8'.  
Note: At this site, posts shall be set in concrete footings.



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 16272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21117  
(410) 661-2255

**OWNER AND DEVELOPER**  
Mr. J. Patricia Weymouth  
C/O Land Design Development, Inc.  
6000 Main Street  
Ellicott City, Maryland

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*James A. Schuchardt* 12/4/03  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*James A. Schuchardt* 12/4/03  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

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*James A. Schuchardt*  
*Jane A. Schuchardt*  
 James H. Schuchardt and Jane A. Schuchardt  
 11/20/03  
 /DATE

**SUPPLEMENTAL PLAN**  
**SCHUCHARDT PROPERTY**  
 LIBER 35L FOLIO 337  
 TAX MAP 36 GRID 7 PARCEL 53  
 FIFTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 ZONING: R-20  
 SCALE: 1" = 50' DATE: AUGUST 6, 2003  
 W.O. 30764  
 CONTOURS SHOWN ARE FROM HOWARD COUNTY TOPOGRAPHY, AND ARE SHOWN AT A 2 FOOT ELEVATION INTERVAL.  
 SHEET 2 OF 2