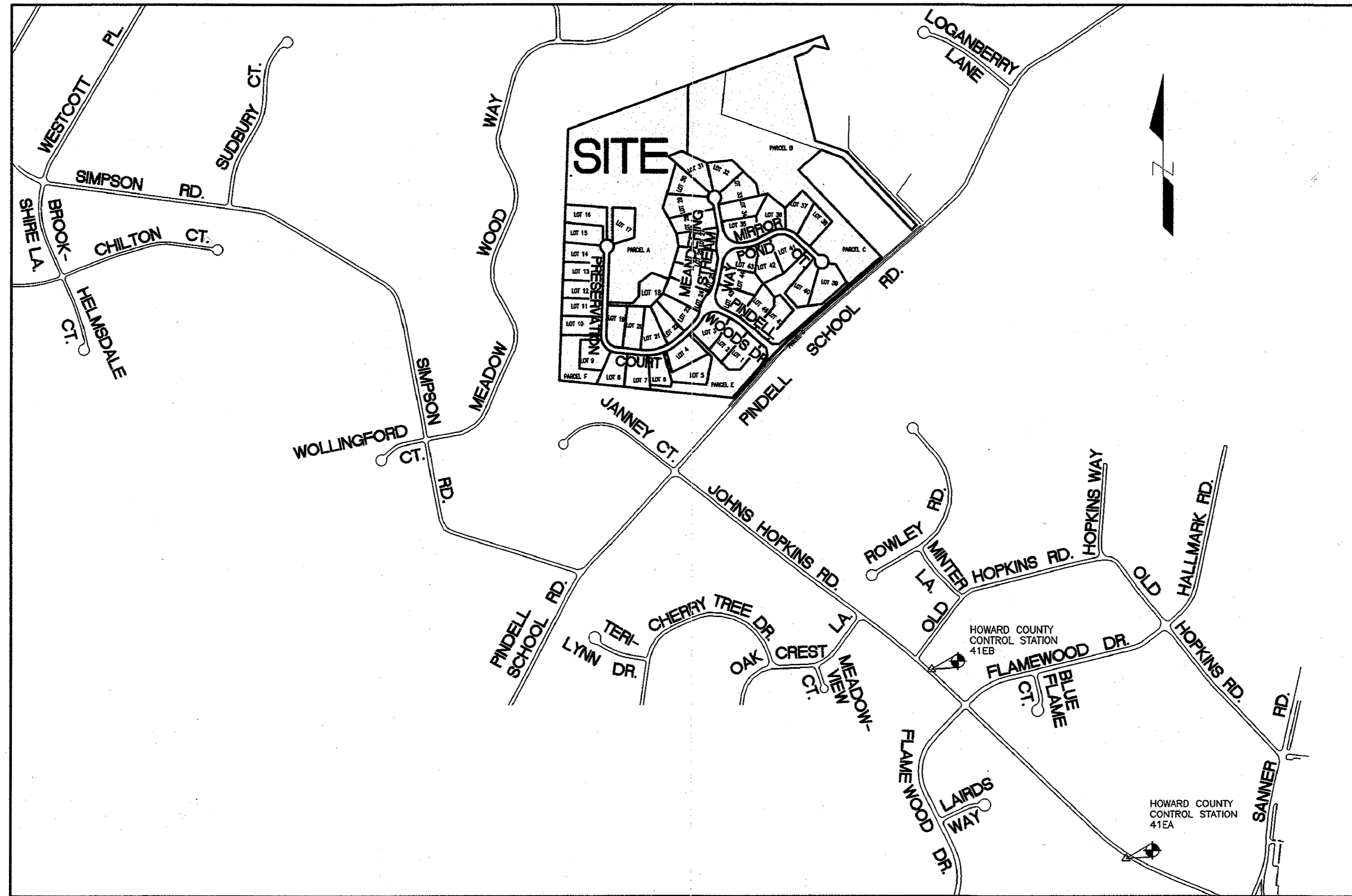


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 2 FOOT CONTOUR TOPOGRAPHY AND EXISTING CONDITIONS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED BY VOGEL & ASSOC. ON SEPTEMBER 26, 2000.
- BENCHMARKS USED FOR THIS PROJECT ARE: 1) HOWARD COUNTY MONUMENT #41EA WITH ELEVATION 407.599', A STANDARD STAMPED DISC SET ON TO CONCRETE (3" DEEP) COLUMN WITH COORDINATES N 544825.804 AND E 1339217.456. 2) HOWARD COUNTY MONUMENT #1EB WITH ELEVATION 464.502', A STANDARD STAMPED DISC SET ON TO CONCRETE (3" DEEP) COLUMN WITH COORDINATES N 546222.250 AND E 1337778.163. THE COORDINATES SHOWN HEREON ARE BASED UPON HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
- WATER IS PRIVATE.
- SEWER IS PRIVATE FOR LOTS 1-5,7-21 & 23-47 SHARED PRIVATE SYSTEM FOR LOTS 6& 22.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LEE CUNNINGHAM & ASSOC. (APPROVED UNDER S-00-15).
- BACKGROUND INFORMATION:
 - A. SUBDIVISION NAME: PINDELL WOODS
 - B. TAX MAP NO.: 41
 - C. PARCEL NOS.: 274, 275 (LOT 1), & 484 (LOT 1)
 - D. ZONING: RR-DEO
 - E. ELECTION DISTRICT: 5TH
 - F. TOTAL TRACT AREA: 97.89 AC.±
 - G. NO. OF BUILDABLE LOTS: 47 + 1 BUILDABLE PRESERVATION PARCEL
 - H. NO. OF PRESERVATION PARCELS (NON-BUILDABLE): 5
 - I. NO. OF OPEN SPACE LOTS: 0
 - J. PRELIMINARY PLAN APPROVAL DATE: NOVEMBER 20, 2000
 - K. PREVIOUS FILE NOS.: S-00-15 AND P-01-06 F-76-92, B.A. 358-C
 - L. TOTAL AREA OF OPEN SPACE REQUIRED: (97.89 AC. x 5%) = 4.89 AC.±
 - M. TOTAL AREA OF H.O.A. PRESERVATION PARCELS PROVIDED: 10.028 AC.± (H.O.A. PRESERVATION PARCELS)
- REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF THE PIPE / FLAG STEM AND THE ROAD R/W AND NOT ONTO THE PIPE / FLAG STEM DRIVEWAY.
- NO CEMETERIES EXIST ON THE PROPERTY.
- ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF ASTM D 1557 T-180, EXCEPT AS DETERMINED AS AN ESSENTIAL DISTURBANCE BY DPZ AND SOIL CONSERVATION DISTRICT FOR SWM POND #1
- THE WETLAND AND FOREST STAND DELINEATION WAS PREPARED BY WILLIAM T. BRIDGELAND, WILDLIFE BIOLOGIST ON MARCH 1, 2000 AND APPROVED UNDER APRIL 3, 2000.
- NOISE STUDY IS NOT APPLICABLE.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLAND S AND STREAM OR THEIR BUFFERS, IN ACCORDANCE WITH SECTION 16.116(c) OF THE SUBDIVISION REGULATIONS.
- STORMWATER MANAGEMENT FACILITIES:
 - EX. POND #1 ON PRESERVATION PARCEL A (BY RETENTION) PRIVATELY OWNED AND MAINTAINED
 - POND #2 ON PRESERVATION PARCEL C (BY RETENTION) PRIVATELY OWNED AND MAINTAINED
- MDE DAM SAFETY APPROVAL WAS GRANTED NOVEMBER 15, 2000, SEE FILE NO. 00-XP-0119
- FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 28.26 ACRES AND 2.54 ACRES OF REFORESTATION FOR A TOTAL FOREST CONSERVATION ESSENTIAL AREA OF 30.80 ACRES. THE TOTAL SURETY AMOUNT FOR RETENTION IS \$123,100.00 AND ON SITE REFORESTATION IS \$92,175.00 FOR A TOTAL SURETY AMOUNT OF \$215,275.00, WHICH WILL BE PART OF THE OWNER'S DPW, DEVELOPERS AGREEMENT.
- MDE HAS ISSUED A NONTIDAL WETLANDS AND WATERWAYS LETTER OF AUTHORIZATION AND WATER QUALITY CERTIFICATION ON NOVEMBER 27, 2000, FILE # 00-NI-0452/200160102, SEE SHEET 36 OF 37.
- MDE WATER APPROPRIATION PERMIT H0000012 (01) WAS ISSUED NOVEMBER 20, 2000.
- PRESERVATION PARCELS "A" AND "B" ARE PRIVATELY OWNED. EASEMENT HOLDERS ARE HOWARD COUNTY, MD. AND PINDELL WOODS H.O.A. PRESERVATION PARCELS "C" THRU "F" ARE PRIVATELY OWNED BY THE PINDELL WOODS H.O.A. EASEMENT HOLDERS ARE HOWARD COUNTY, MD.
- THE SURETY FOR STREET TREES IS 233 TREES WHICH WILL BE PART OF DEVELOPER'S AGREEMENT. THE SURETY AMOUNT FOR PERIMETER LANDSCAPING TREES IS 67 SHADE TREES x \$300 = \$20,100.00 AND 56 EVERGREEN x \$150 = \$8,400.00
- PROVIDE 150 WATT NPS VAPOR PENDANT, MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE WITH 12' ARM AT PINDELL WOODS DRIVE STA. 0+48, 28 FT. RIGHT, 100 WATT NPS VAPOR "TRADITIONAIRE" POST TOP FIXTURE MOUNTED ON A 14' BLACK FIBERGLASS POLE LOCATED AT PINDELL WOODS DRIVE STA. 5+93, 36 FT. RIGHT, STA. 5+95, 40 FT. LEFT, PRESERVATION COURT STA. 4+32, 16 FT. RIGHT, STA. 9+11, 13 FT. RIGHT, STA. 18+04, 19 FT. RIGHT, MEANDERING STREAM WAY STA. 4+15, 40 FT. RIGHT, STA. 4+84, 36 FT. LEFT, STA. 7+62, 18 FT. RIGHT, MIRROR POND COURT STA. 4+83, 13 FT. LEFT, AND STA. 7+82, 13 FT. RIGHT.
- DRIVEWAY CULVERT DESIGN IS SHOWN ON SHEET 11 OF 37. THE EXACT LOCATION OF DRIVEWAY WILL NOT BE KNOWN UNTIL HOUSEWARE SITED AS PART OF THE BUILDING PERMIT PROCESS.



LOCATION MAP
SCALE: 1" = 600'

INDEX OF SHEETS	
SHEET #	DESCRIPTION
1	FINAL PLAN - COVER SHEET
2	PINDELL WOODS DRIVE PLAN AND PROFILE
3	PRESERVATION COURT PLAN AND PROFILE (STA.0+00 TO 7+50)
4	PRESERVATION COURT PLAN AND PROFILE (STA.7+50 TO CDS)
5	MEANDERING STREAM WAY PLAN AND PROFILE
6	MIRROR POND COURT PLAN AND PROFILE
7	TRAFFIC CALMING DEVICES DETAILS
8	MISCELLANEOUS DETAILS
9	PINDELL SCHOOL ROAD PLAN AND PROFILE
10	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
11	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
12	PINDELL SCHOOL ROAD - ROAD CROSS SECTIONS
13	PINDELL SCHOOL ROAD - TRAFFIC CONTROL & STRIPING PLAN
14	STORM DRAIN PROFILES
15	STORM DRAIN PROFILES
16	STORM WATER MANAGEMENT POND #1 - PLAN AND DETAILS
17	STORM WATER MANAGEMENT POND #2 - PLAN AND DETAILS
18	STORM WATER MANAGEMENT POND SPECS. AND MISC. DETAILS
19	SWM - DRAINAGE AREA MAP (OFFSITE-EXISTING)
20	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (EXISTING)
21	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (EXISTING)
22	SWM - DRAINAGE AREA MAP (OFFSITE-DEVELOPED)
23	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (DEVELOPED)
24	STORM WATER MANAGEMENT - DRAINAGE AREA MAP (DEVELOPED)
25	STORM DRAIN - DRAINAGE AREA MAP
26	STORM DRAIN - DRAINAGE AREA MAP
27	STORM DRAIN - DRAINAGE AREA MAP
28	GRADING AND SEDIMENT CONTROL PLAN
29	GRADING AND SEDIMENT CONTROL PLAN
30	GRADING AND SEDIMENT CONTROL PLAN
31	GRADING AND SEDIMENT CONTROL NOTES
32	SEDIMENT CONTROL DETAILS AND BORING LOGS
33	LANDSCAPE PLAN
34	LANDSCAPE PLAN
35	FOREST CONSERVATION PLAN
36	FOREST CONSERVATION PLAN
37	FOREST CONSERVATION TABULATIONS AND DETAILS
38	LOT 32 SITE IMPROVEMENTS - STRUCTURAL

TRAFFIC CONTROL SIGNS				
STREET NAME	CL	OFFSET	POSTED SIGN	SIGN CODE
PINDELL WOODS DR.	0+65	25' LEFT	STOP	R1-1
PINDELL WOODS DR.	2+50	18' LEFT	STOP AHEAD	W3-10
PINDELL WOODS DR.	2+50	18' RIGHT	SPEED LIMIT 25MPH	R2-1
PINDELL WOODS DR.	5+73	30' RIGHT	STOP	R1-1
PRESERVATION CT.	0+68	29' RIGHT	YIELD	R1-2
PRESERVATION CT.	4+45	1' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	5+20	1' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	1+00	16' RIGHT	SPEED LIMIT 25MPH	R2-1
PRESERVATION CT.	12+80	0'	KEEP RIGHT	R4-7
PRESERVATION CT.	13+86	0'	KEEP RIGHT	R4-7
PRESERVATION CT.	2+76	16' RIGHT	SPEED LIMIT 25MPH	R2-1
PRESERVATION CT.	5+47	15' LEFT	KEEP RIGHT	R4-7
PRESERVATION CT.	7+86	15' RIGHT	SPEED LIMIT 20MPH	W1-1R
PRESERVATION CT.	11+25	15' LEFT	SPEED LIMIT 20MPH	W1-1L
MEANDERING STREAM WAY	0+67	28' RIGHT	YIELD	R1-2
MEANDERING STREAM WAY	3+83	28' LEFT	YIELD	R1-2
MEANDERING STREAM WAY	5+14	30' LEFT	YIELD	R1-2
MIRROR POND CT.	0+58	31' RIGHT	STOP	R1-1
MIRROR POND CT.	2+60	15' RIGHT	SPEED LIMIT 25MPH	R2-1

REVISED FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLANS

PINDELL WOODS

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274
TAX MAP # 41, GRID 2, 3, 8 AND 9

5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND.

▲ PURPOSE STATEMENT:
ADD RETAINING WALL, POOL WITH POOL DECK AND 3' X 8' DECK LANDING TO LOT 32.

I hereby certify that this document was prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Jose H. Escalante
JOSE H. ESCALANTE
License No: 13265
Expiration Date: Dec. 26, 2012
12-29-2010

No "AS-BUILT" information is required for this sheet.

Jose H. Escalante
JOSE H. ESCALANTE
License No: 13265
Expiration Date: Dec. 26, 2012
12-29-2010

ROAD CLASSIFICATION		
ROAD NAME	CLASSIFICATION	WIDTH
PINDELL WOODS DR.	ACCESS STREET	40-50 FEET
PRESERVATION CT.	ACCESS PLACE	40 FEET
MEANDERING STREAM WAY	ACCESS PLACE	40 FEET
MIRROR POND CT.	ACCESS PLACE	40 FEET

*50 FT. R/W AT MONUMENTAL ENTRANCE

MINIMUM LOT SIZE CHART			
LOT No.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
5	45,235 S.F.	3,211 S.F.	42,024 S.F.
16	43,079 S.F.	2,091 S.F.	40,988 S.F.
18	43,719 S.F.	3,719 S.F.	40,000 S.F.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Dwyer 5-1-01
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamilton 5/16/01
CHIEF, DIVISION OF LAND DEVELOPMENT

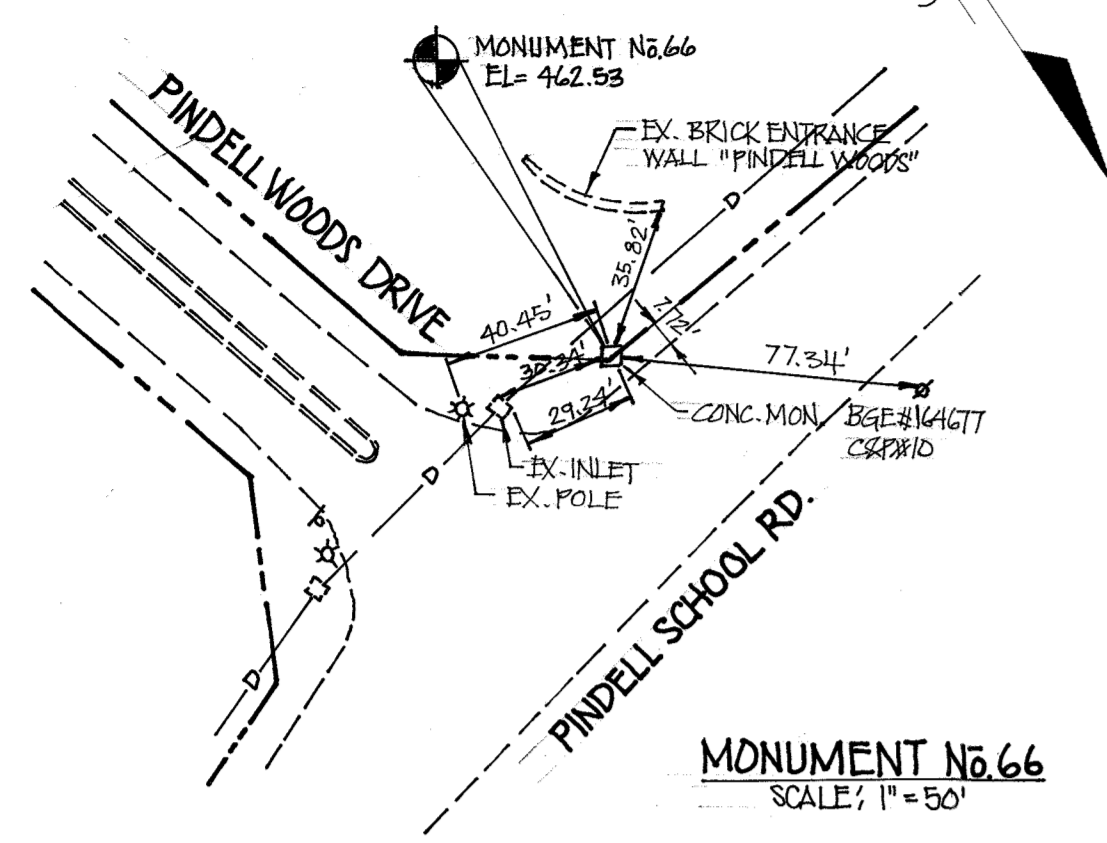
Jose H. Escalante 5/11/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION

1	08/05/20	Added Sheet 38 & Added Lot 32 Site Improvements - Sheet 30 to include retaining wall, pool with pool deck, and 3'x8' deck landing
NO. DATE REVISIONS		
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE COVER SHEET	OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	DEVELOPER: MOUNT VIEW, LLC. 6258 CAPITAL LA. COLUMBIA, MD. 21044
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21788 TEL. (410) 465-7903 FAX. (410) 465-3845	DES.: JL/DCW/AVG	JOB:
DRW.: AVG/DTA/JNC	PROJ.:	SCALE: AS SHOWN
CHK.: D.C.W.	DATE: 03/04/01	SHEET 1 OF 38

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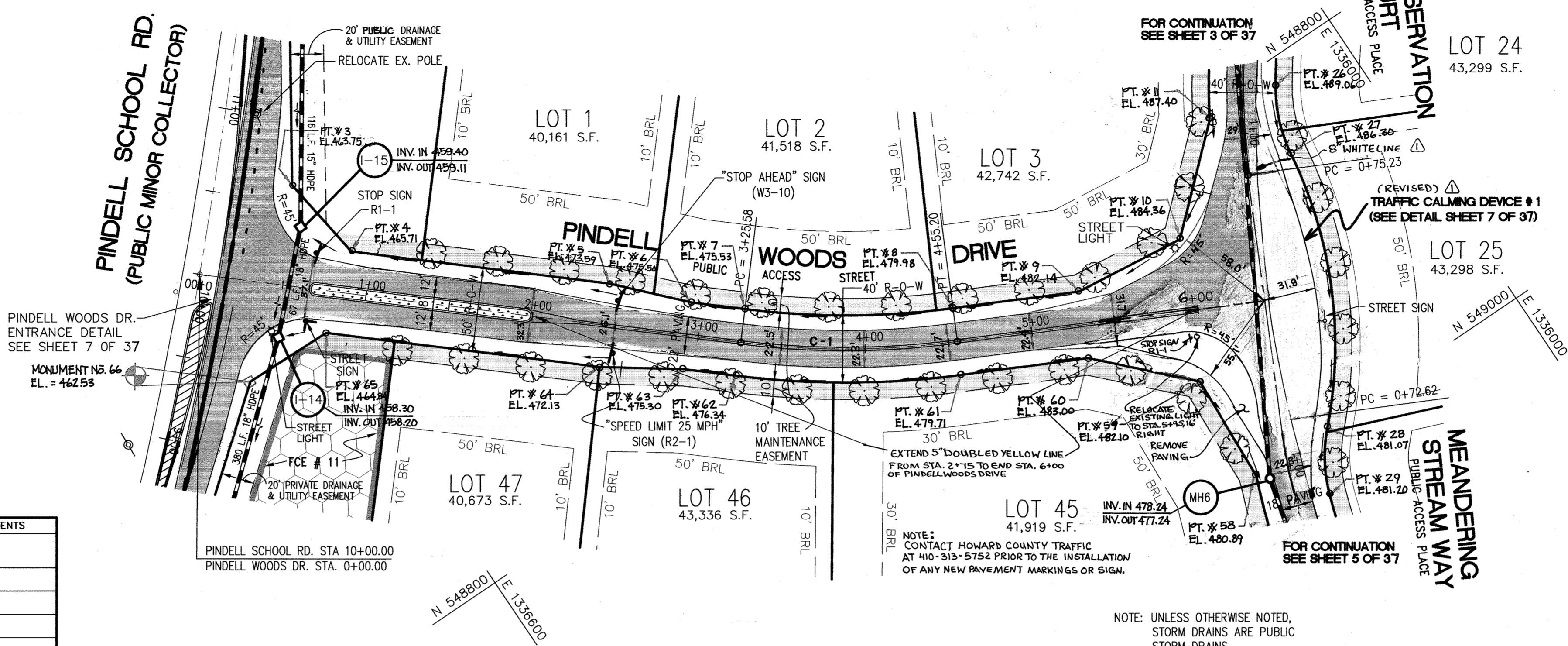


FOR REVISIONS SUBMITTED BY DALE THOMPSON
 BUILDERS, INC. APPROVED BY HOWARD COUNTY,
 MARYLAND, AUGUST 15, 2008.



MONUMENT No. 66
 SCALE: 1" = 50'

DWG. NO.	STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE	COMMENTS
2	PINDELL WOODS DRIVE	0+48	28' R	150 WATT HPS VAPOR PENDANT (CUTOFF) MOUNTED AT 30' IN A BRONZE FIBERGLASS POLE USING 12' ARM.	
2	PINDELL WOODS DRIVE	5+93	36' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
2	PINDELL WOODS DRIVE	5+95	40' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
3	PRESERVATION COURT	4+32	16' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
4	PRESERVATION COURT	9+11	13' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
4	PRESERVATION COURT	16+04	19' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	4+15	40' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	4+85	36' L	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
5	MEANDERING STREAM WAY	7+62	18' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
6	MIRROR POND COURT	4+83	13' L	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	
6	MIRROR POND COURT	7+82	13' R	100 WATT HPS VAPOR PREMIER POST-TOP MOUNTED AT 14' ON A BLACK FIBERGLASS POLE	



PLAN
 SCALE: 1" = 50'

CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-1	129.62	500.00	14°51'13"	65.18	129.26	N56°18'29"W

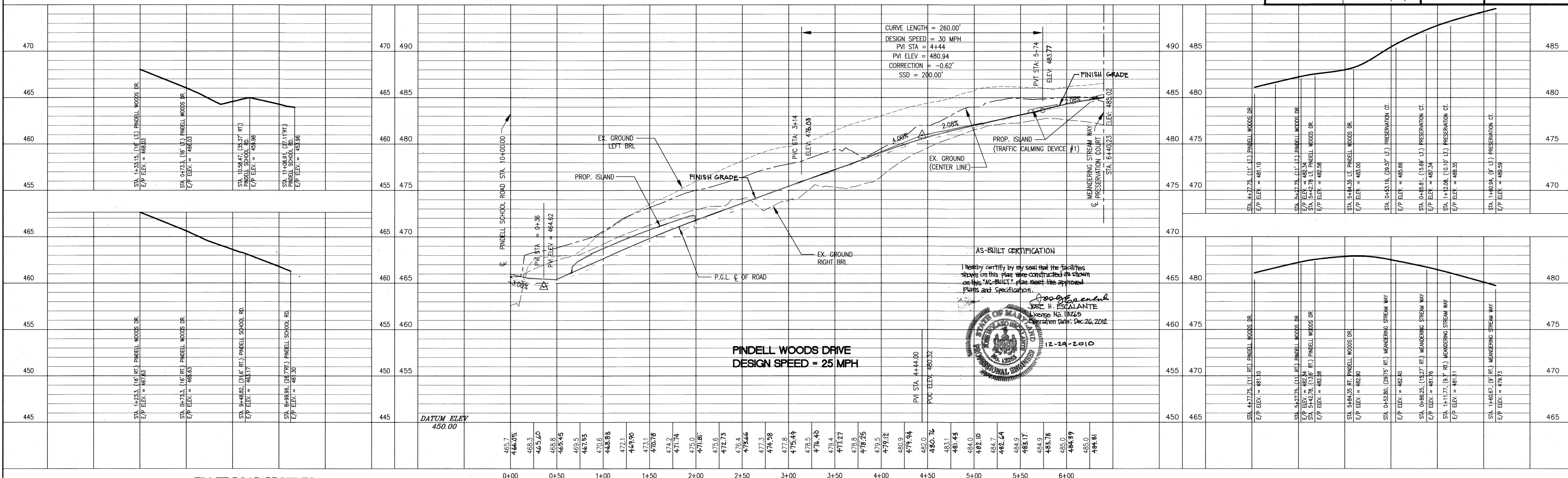
NOTE: UNLESS OTHERWISE NOTED, STORM DRAINS ARE PUBLIC STORM DRAINS.

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
(Symbol)	ACER RUBRUM	OCTOBER GLORY RED MAPLE	34	2-1/2" - 3" CAL.



APPROVED: DEPARTMENT OF PUBLIC WORKS <i>Andrew M. Daniels</i> CHIEF, BUREAU OF HIGHWAYS	5-1-01 DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Andrew M. Daniels</i> CHIEF, DIVISION OF LAND DEVELOPMENT	5/16/01 DATE
<i>Andrew M. Daniels</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	5/16/01 DATE

PROJECT NAME PINDELL WOODS		REVISIONS	
NO. DATE		REVISIONS	
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274			
TITLE ROAD PROFILE PINDELL WOODS DRIVE			
PREPARED BY: AMERICAN LAND DEVELOPEMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21153 TEL. (410) 465-7903 FAX (410) 465-3845		OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES. : JL/DCW/AVG	JOB :	SCALE : 1" = 50'	
DRW. : AVG/DTA/JNC	PROJ. :	SHEET 2 OF 3B	
CHK. : D.C.W.	DATE : 03/04/01		



FILLET ROAD PROFILES
 PINDELL SCHOOL RD AND PINDELL WOODS DR.

SCALE: 1" = 50' HOR.
 1" = 5' VER.

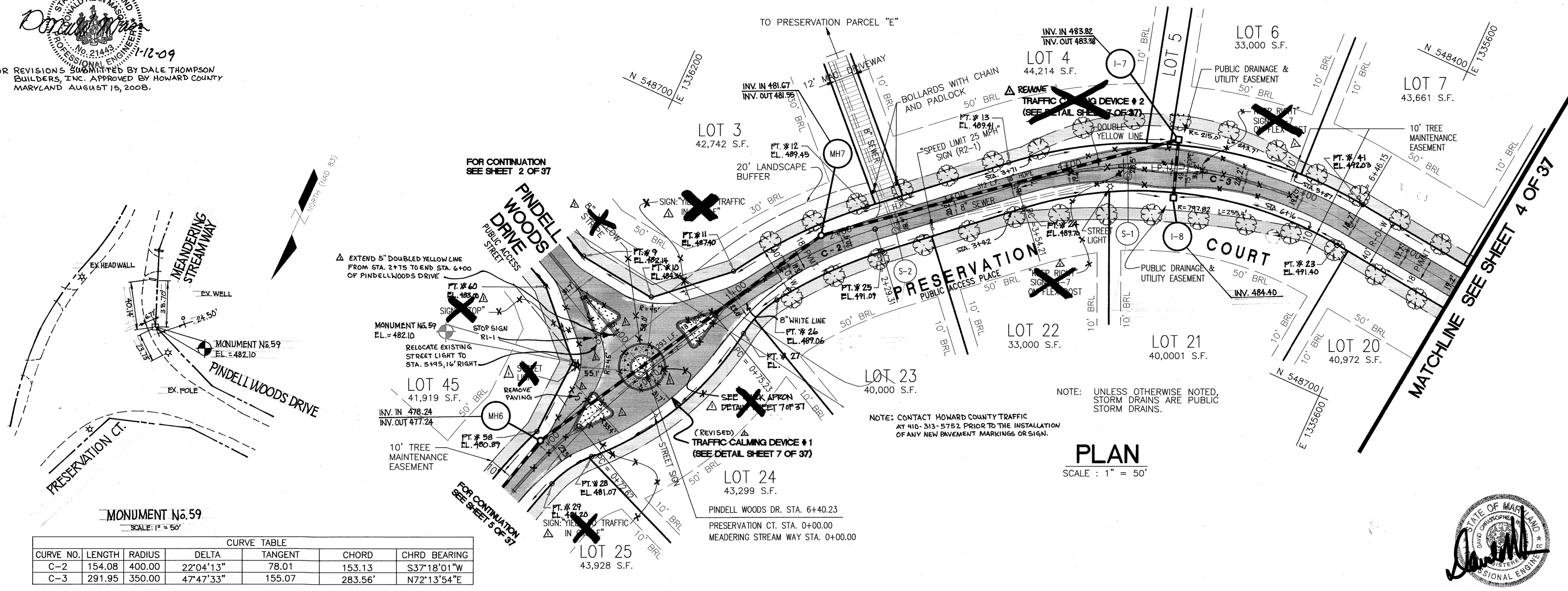
PROFILE
 SCALE: 1" = 50' HOR.
 1" = 5' VER.

FILLET ROAD PROFILES

SCALE: 1" = 50' HOR.
 1" = 5' VER.

STATE OF MARYLAND
 DEPARTMENT OF TRANSPORTATION
 PROJECT NO. 21433
 DATE 12-09
 FOR REVISIONS SUBMITTED BY DALE THOMPSON BUILDERS, INC. APPROVED BY HOWARD COUNTY MARYLAND AUGUST 15, 2008.

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	31	2-1/2" - 3" CAL.



CURVE TABLE						
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-2	154.08	400.00	22°04'13"	78.01	153.13	S37°18'01"W
C-3	291.95	350.00	47°47'33"	155.07	283.56'	N72°13'54"E

APPROVED: DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 DATE: 5-1-01

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 DATE: 5/6/01

Chief, Development Engineering Division
 DATE: 5/10/01

NO. 1-9-09 DATE 1-9-09 REVISIONS
 REMOVE TRAFFIC CALMING DEVICE 2 AND REVISE TRAFFIC CALMING DEVICE 1 SEE SHEET 7 FOR DETAILS.

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

TITLE: **ROAD PROFILE PRESERVATION COURT**

OWNERS: CLARENCE AND MARTHA CARVELL
 7106 PINDELL SCHOOL ROAD
 FULTON, MD. 20759

H Y REAL ESTATE JOINT VENTURE
 1821 ROCKVILLE PIKE, SUITE 300
 ROCKVILLE, MD. 20852

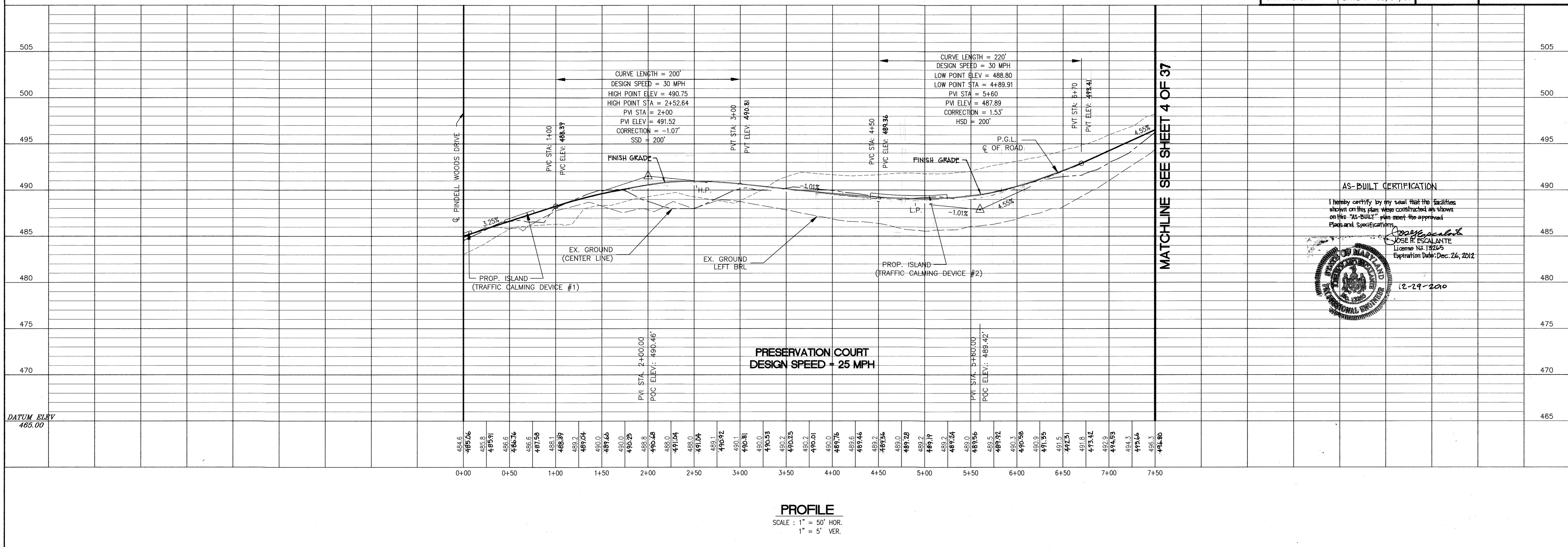
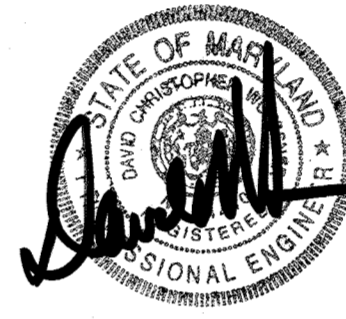
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD. 21153
 TEL. (410) 465-7903
 FAX. (410) 465-3845

DEVELOPER: MOUNT VIEW, L.L.C.
 6258 CARDINAL LA
 COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB: S-00-15 P-01-06 F-01-89

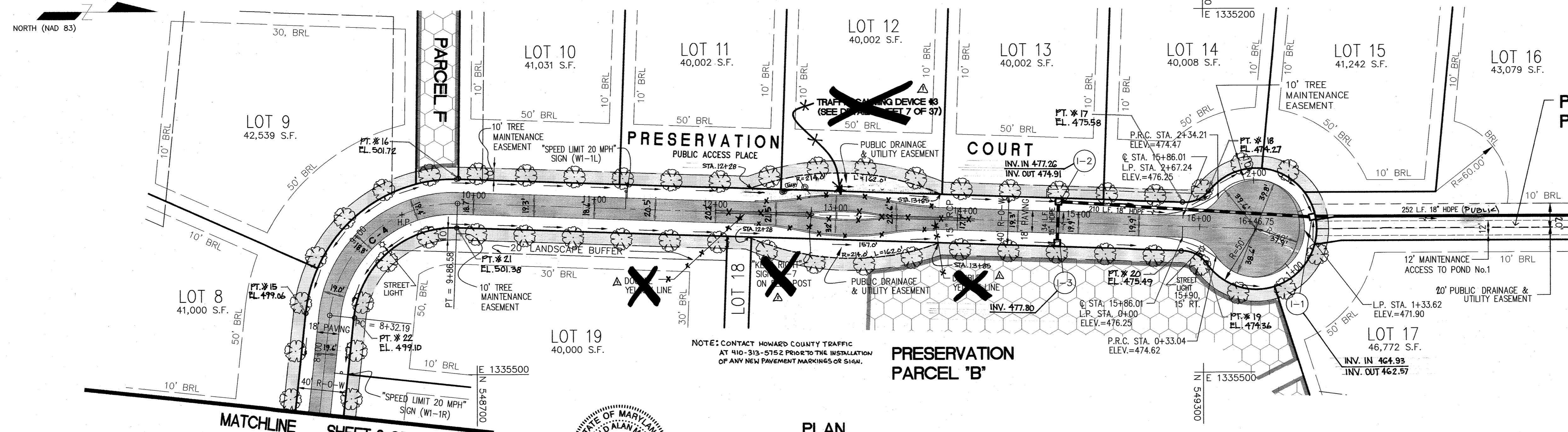
DRW.: AVG/DTA/JNC PROJ.: DATE: 03/04/01

CHK.: D.C.W. SCALE: 1" = 50' SHEET 3 OF 38



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STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	49	2-1/2" - 3" CAL.



APPROVED: DEPARTMENT OF PUBLIC WORKS
Richard M. Duple
 CHIEF, BUREAU OF HIGHWAYS 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Christy Thomas
 CHIEF, DIVISION OF LAND DEVELOPMENT 5/16/01 DATE

David Thompson
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 5/16/01 DATE

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHRD BEARING
C-4	154.39	103.00	85°52'57"	95.85	N40°B5'52"W

STATE OF MARYLAND
 DALE THOMPSON
 PROFESSIONAL ENGINEER
 LICENSE NO. 11-12-09
 FOR REVISIONS SUBMITTED BY DALE THOMPSON BUILDERS 2/14/09 APPROVED BY HOWARD COUNTY MARYLAND, AUGUST 15, 2008

PLAN
 SCALE: 1" = 50'

NOTE: UNLESS OTHERWISE NOTED, STORM DRAINS ARE PUBLIC STORM DRAINS



NO. 1-9-09 DATE REMOVE TRAFFIC CALMING DEVICE 3 AND REVISE CALMING DEVICE 1. SEE SHEET 7 FOR DETAILS REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME **PINDELL WOODS**

LOT 1 THRU 47 AND PRESERVATION PARCELS A THRU F
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
 HOWARD COUNTY, MARYLAND.

TITLE **ROAD PROFILE PRESERVATION COURT**

OWNERS: CLARENCE AND MARTHA CARVELL
 7106 PINDELL SCHOOL ROAD
 FULTON, MD. 20759

H Y REAL ESTATE JOINT VENTURE
 1821 ROCKVILLE PIKE, SUITE 300
 ROCKVILLE, MD. 20852

MARSHALL P. TULIN
 1821 ROCKVILLE PIKE, SUITE 300
 ROCKVILLE, MD. 20852

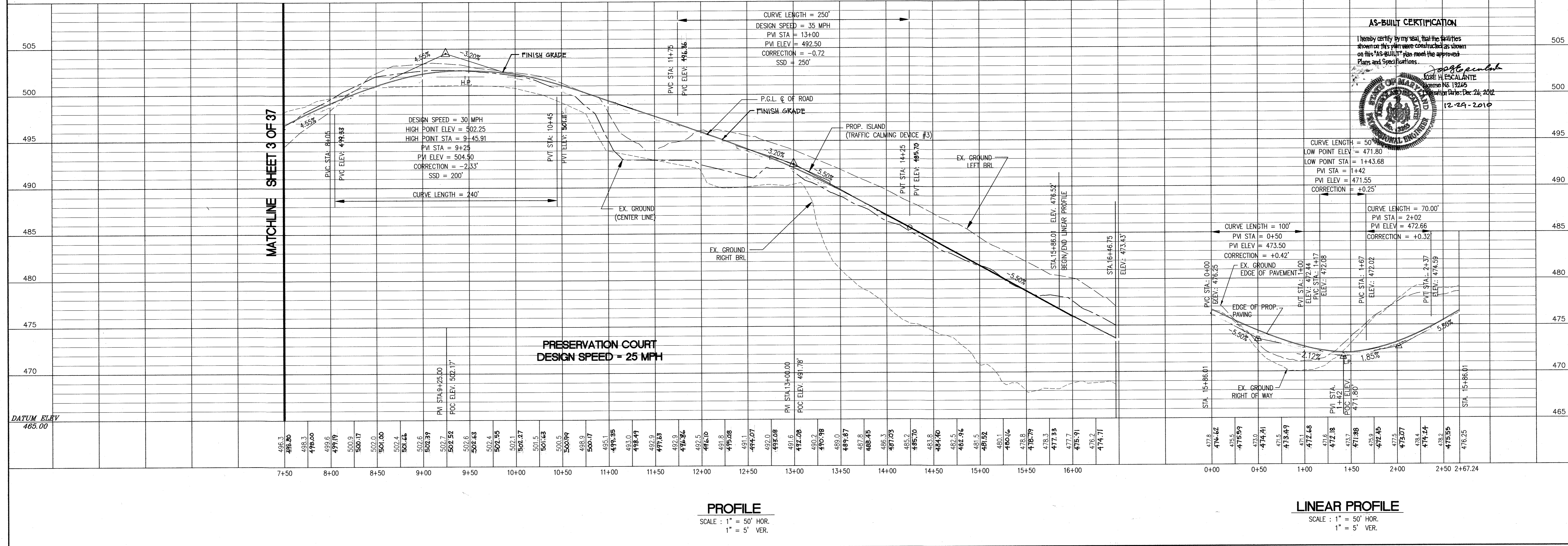
DEVELOPER: MOUNT VIEW, LLC
 6258 CARDINAL LA.
 COLUMBIA, MD. 21044

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD. 21158
 TEL. (410) 465-7903
 FAX (410) 465-3845

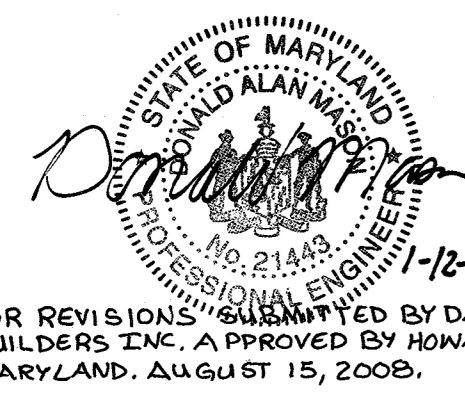
DES.: JL/DCW/AVG JOB: S-00-15 P-01-06 F-01-89

DRW.: AVG/DTA/UNC PROJ.: DATE: 03/04/01

CHK.: D.C.W. SCALE: 1" = 50' SHEET 4 OF 38

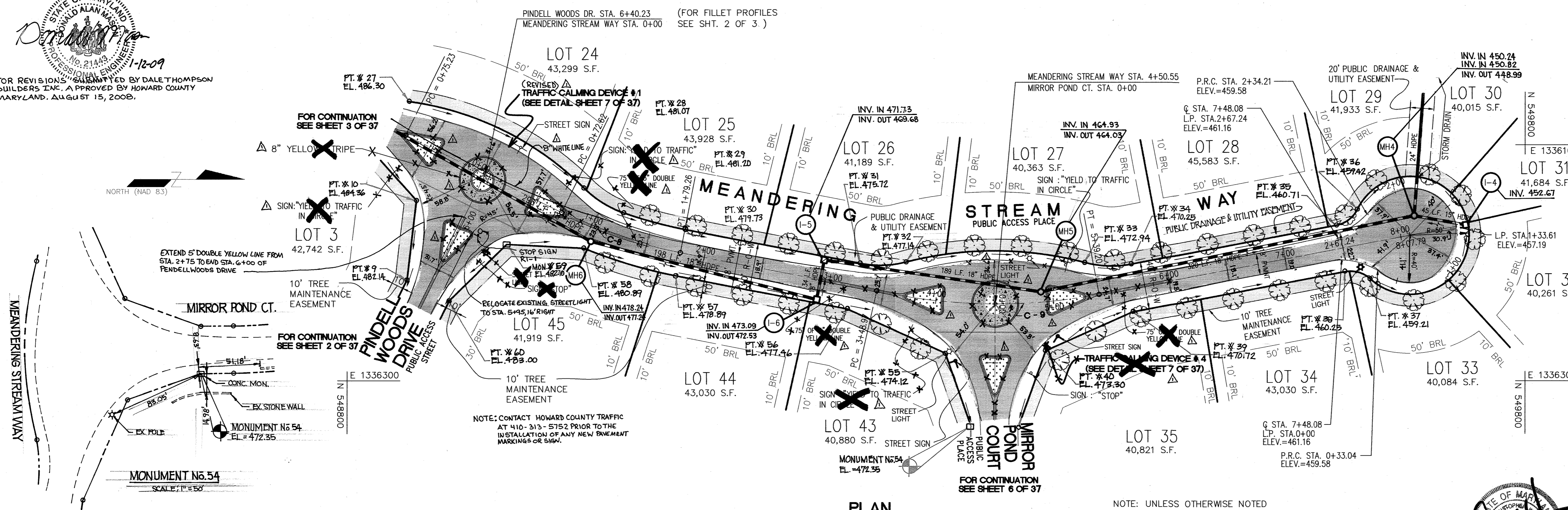


H:\01\pde11\FINAL\PLAN\PROFILE-2.dwg Mod Apr. 04. 15. 17. 11. 2001



FOR REVISIONS SUBMITTED BY DALE THOMPSON BUILDERS INC. APPROVED BY HOWARD COUNTY MARYLAND, AUGUST 15, 2008.

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	38	2-1/2" - 3" CAL.



CURVE TABLE						
CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-8	106.64	400.00	15°16'30"	53.64	106.32	N18°37'39"E
C-9	190.23	465.00	23°26'22"	96.46	188.91	N00°57'47"W

PLAN
SCALE: 1" = 50'

NOTE: UNLESS OTHERWISE NOTED STORM DRAINS ARE PUBLIC STORM DRAINS.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Andrew M. Dwyer
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 5-1-01

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Craig Handley
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/16/01

David M. Dwyer
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/16/01

NO. 1-9-09 DATE 09/15/09 REVISIONS REVISE TRAFFIC CALMING DEVICES AND REMOVE TRAFFIC CALMING DEVICE #4 SEE SHEET 7 FOR DETAILS.

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME **PINDELL WOODS**

TITLE **ROAD PROFILE MEANDERING STREAM WAY**

DATE: S-00-15 P-01-06 F-01-89

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD 21155
 TEL (410) 465-7903
 FAX (410) 465-8845

OWNERS: CLARENE AND MARTHA CARVELL
 7106 PINDELL SCHOOL ROAD
 FULTON, MD 20759
 H Y REAL ESTATE JOINT VENTURE
 1921 ROCKVILLE PKE, SUITE 300
 ROCKVILLE, MD 20852

DEVELOPER: MOUNT VIEW, L.L.C.
 6258 CARDINAL LA.
 COLUMBIA, MD 21044

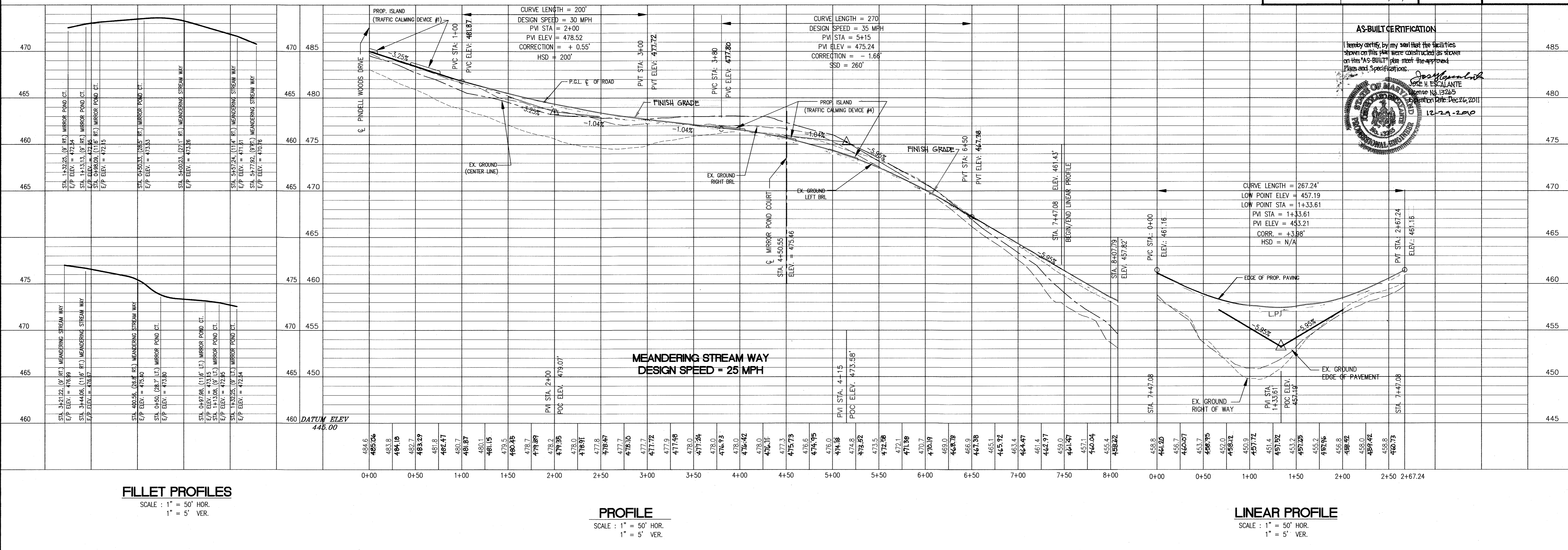
DES.: JL/DCW/AVG JOB: ROAD PROFILE
 DRW.: AVG/DTA/JNC PROJ.: MEANDERING STREAM WAY
 CHK.: D.C.W. DATE: 03/04/01

SCALE: 1" = 50'

SHEET 5 OF 38



H:\p10821\FINAL\PLAN\PROFILE-4.dwg Mod Apr 04 15:21:31 2001



FILLET PROFILES
SCALE: 1" = 50' HOR.
1" = 5' VER.

PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

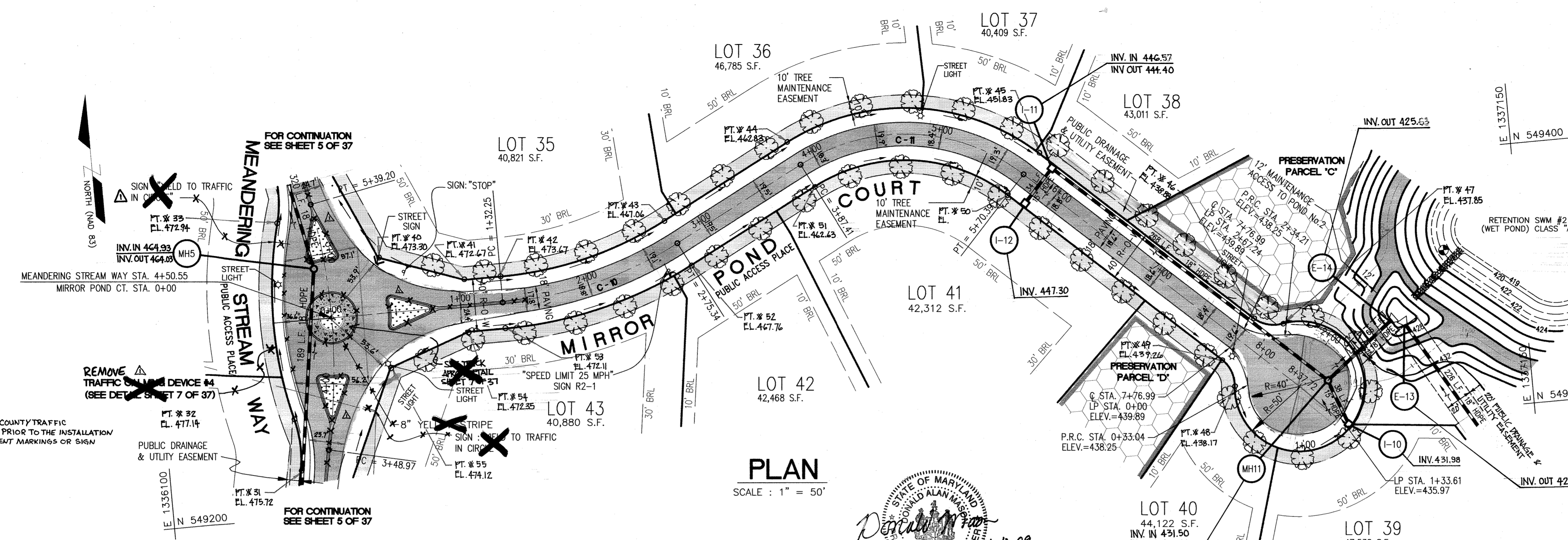
LINEAR PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

AS-BUILT CERTIFICATION

I hereby certify, by my seal that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved Plans and Specifications.

Jose H. Escalante
 License No. 13265
 Expiration Date: Dec 26, 2011
 12-29-2010

STREET TREES PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	44	2-1/2" - 5" CAL.



CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-10	143.09	300.00	27°19'41"	72.93	141.74	N76°30'11"E
C-11	182.98	150.00	69°53'31"	104.82	171.84	S82°12'54"E

FOR REVISIONS, NORMALISED BY DALE THOMPSON BUILDERS, INC. APPROVED BY HOWARD COUNTY, MARYLAND, AUGUST 15, 2008.

1-12-09

APPROVED: DEPARTMENT OF PUBLIC WORKS
Robert M. Dore
 CHIEF, BUREAU OF HIGHWAYS 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chris Gamba
 CHIEF, DIVISION OF LAND DEVELOPMENT 5/15/01 DATE

Mark Deane
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 5/11/01 DATE

NO. 1-9-09 DATE REMOVE TRAFFIC CALMING DEVICE 4. SEE SHEET 7 FOR DETAILS REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
 HOWARD COUNTY, MARYLAND.

TITLE **ROAD PROFILE MIRROR POND COURT**

OWNERS: CLARENCE AND MARTHA CARVELL
 7106 PINDELL SCHOOL ROAD
 FULTON, MD. 20759

H Y REAL ESTATE JOINT VENTURE
 1821 ROCKVILLE PKE, SUITE 300
 ROCKVILLE, MD. 20852

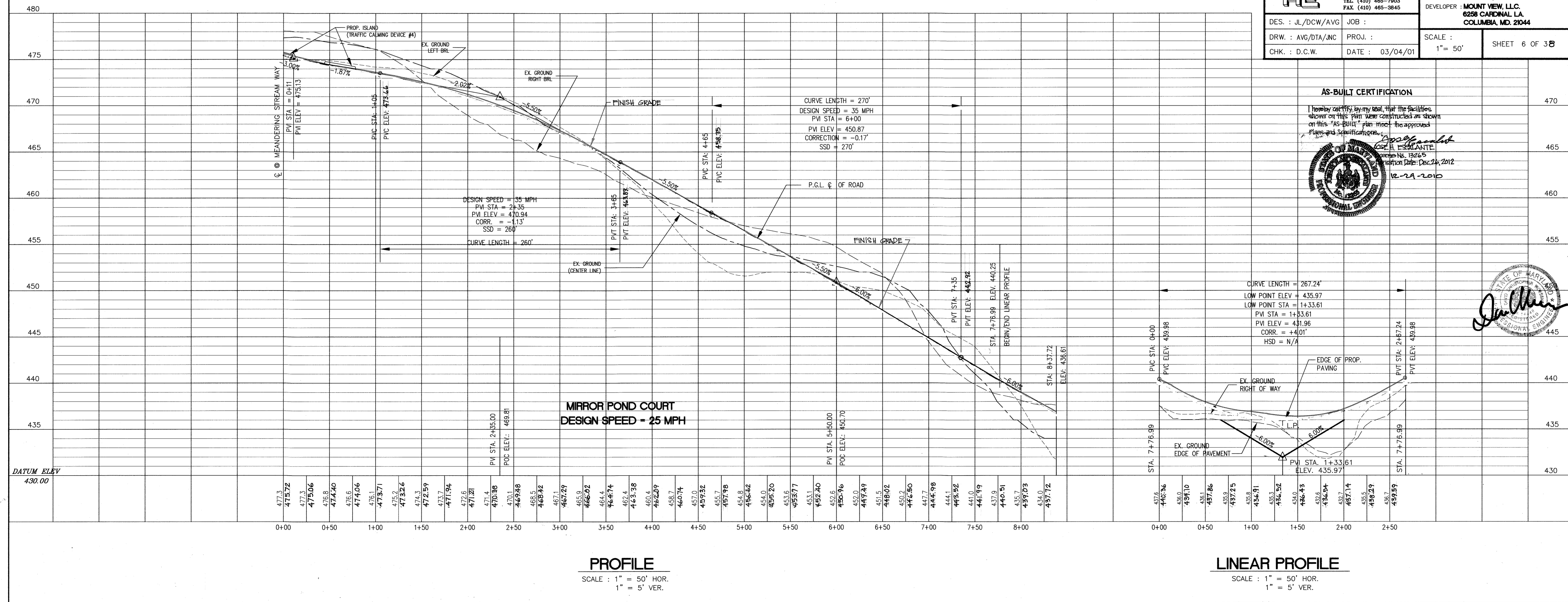
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD 21153
 TEL (410) 485-7903
 FAX (410) 485-3845

DEVELOPER: MOUNT VIEW, L.L.C.
 6258 CARDINAL LA.
 COLUMBIA, MD. 21044

DES.: J.L./DCW/AVG JOB: ROAD PROFILE
 DRW.: AVG/DTA/INC PROJ.: MIRROR POND COURT
 CHK.: D.C.W. DATE: 03/04/01

SCALE: 1" = 50'

SHEET 6 OF 38



AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan in accordance with the approved Plans and Specifications.

Joseph J. Schallante
 Joseph J. Schallante
 License No. 12265
 Expiration Date: Dec 24, 2012
 12-29-2010

J. Schallante

H:\pindel\1\FINAL\PLAN\PROFILE-5.dwg Wed Apr 11 14:06:10 2001

F-01-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A.—NATURAL RESOURCES CONSERVATION SERVICE DATE

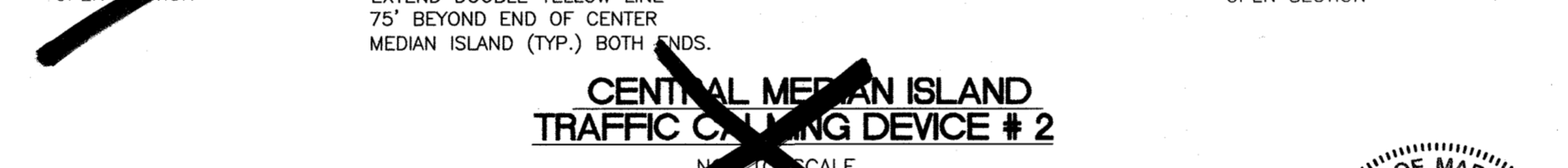
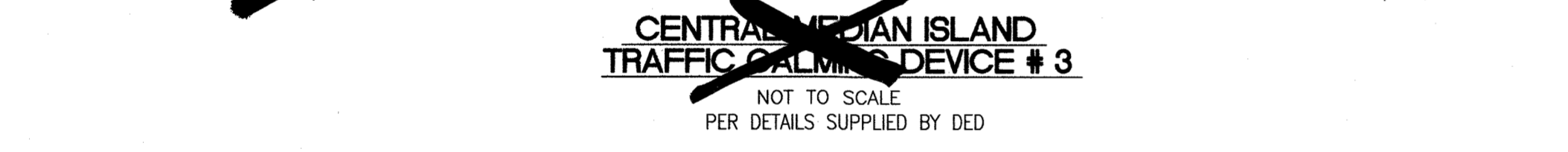
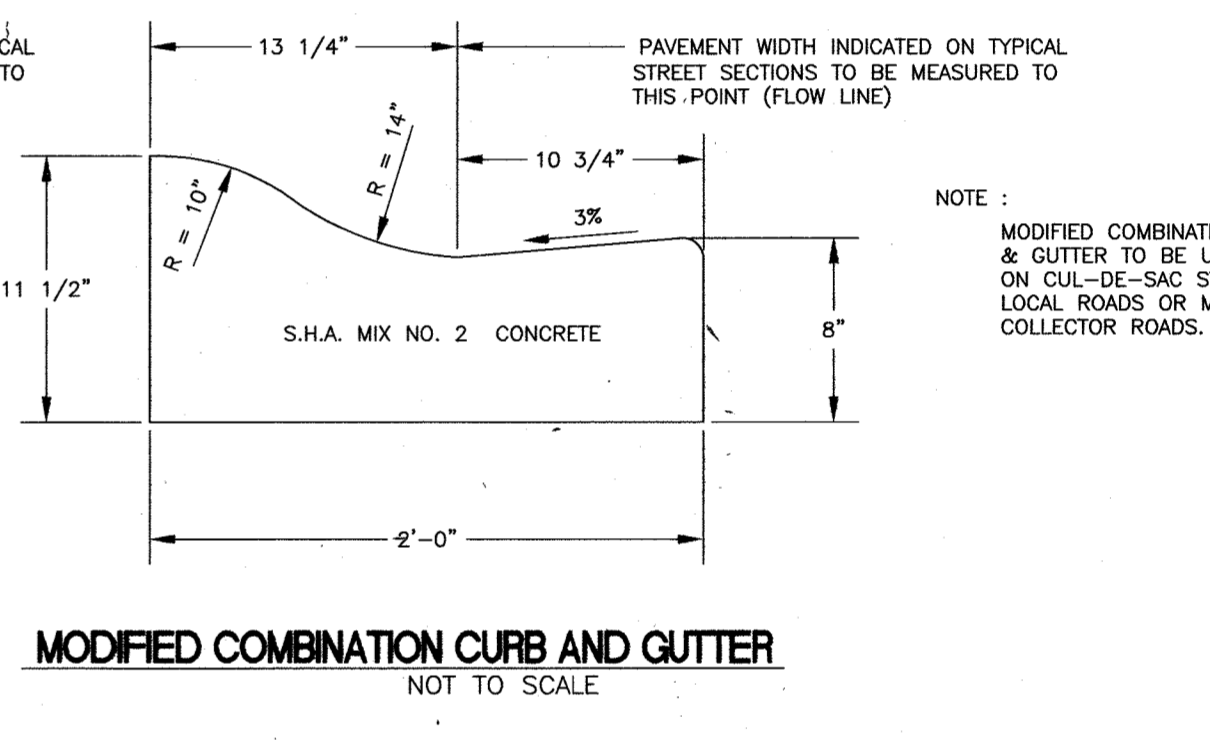
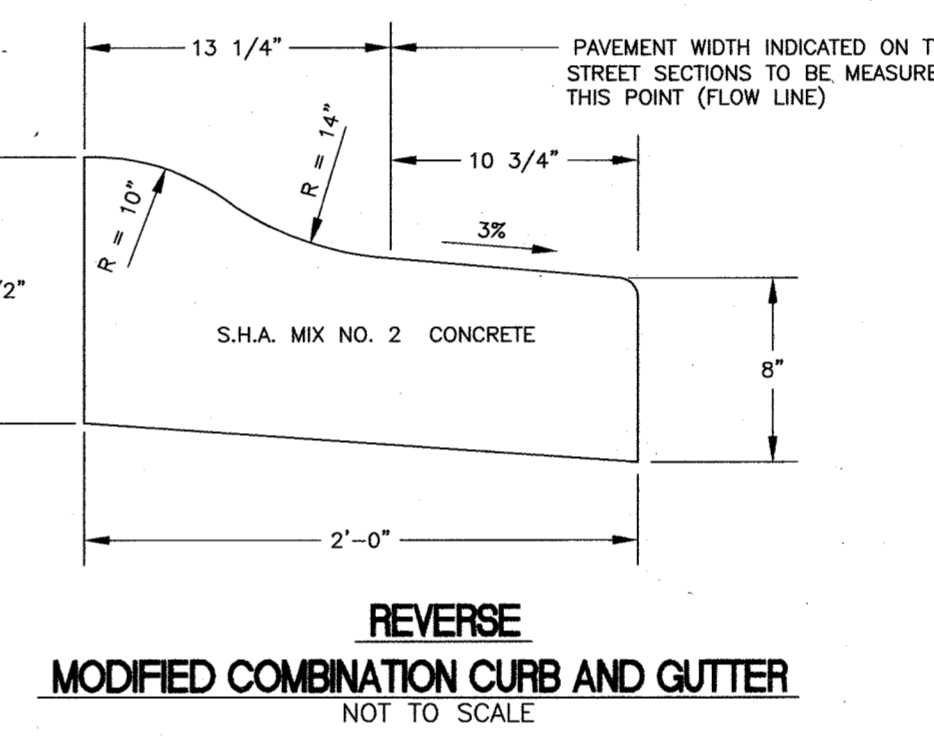
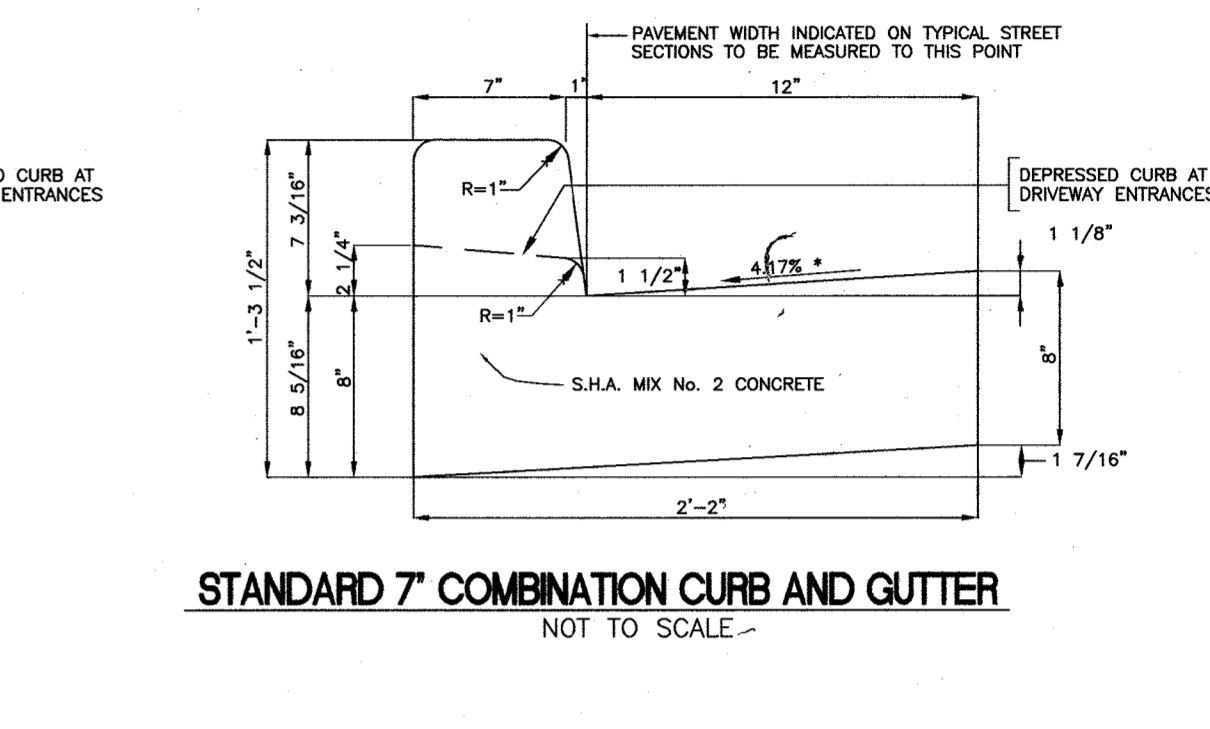
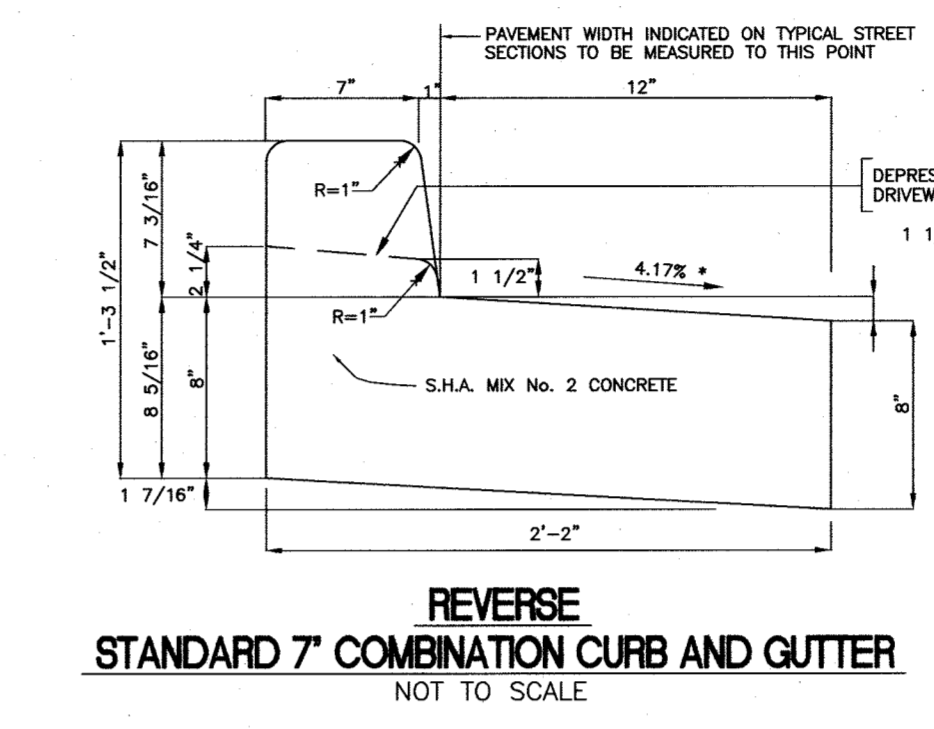
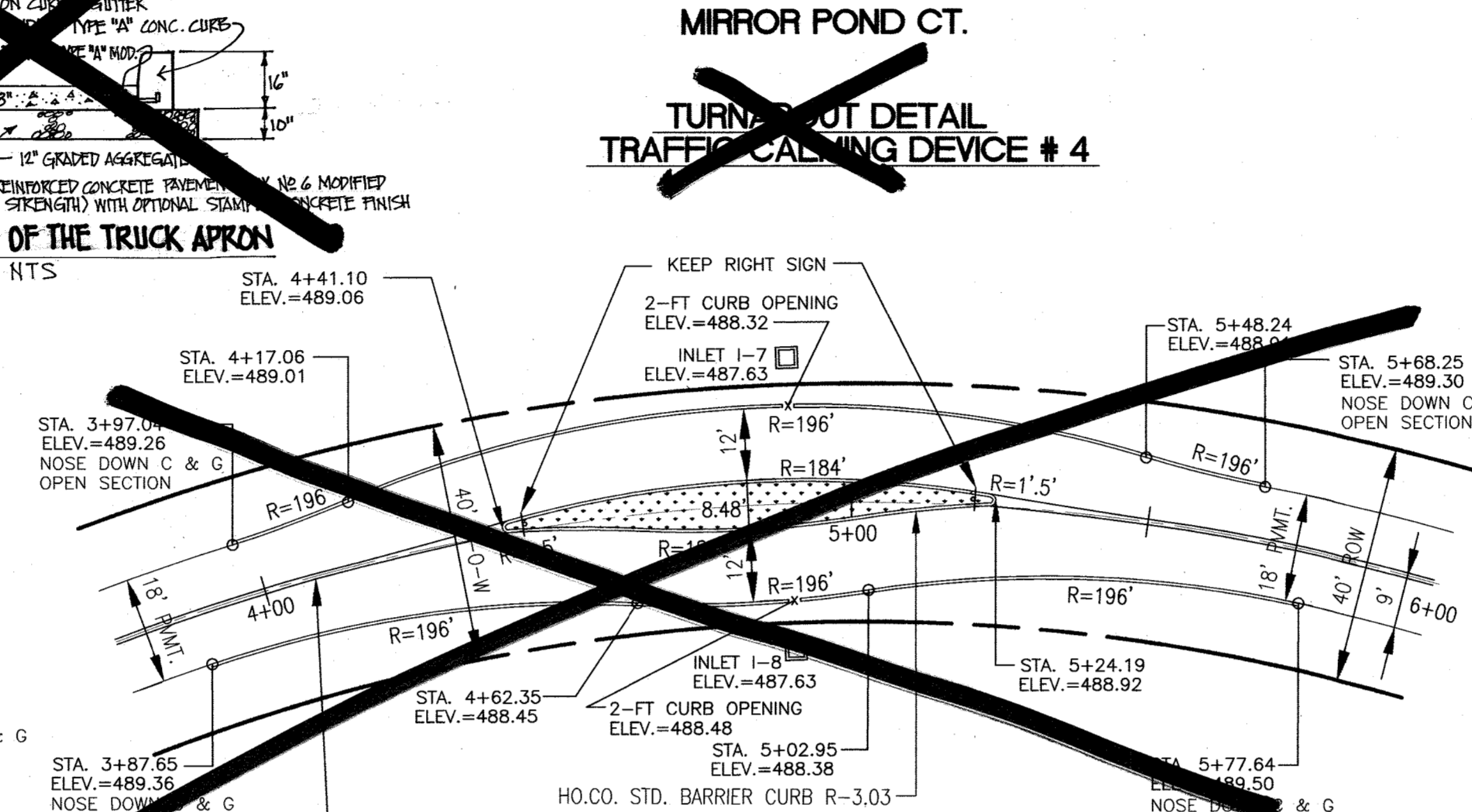
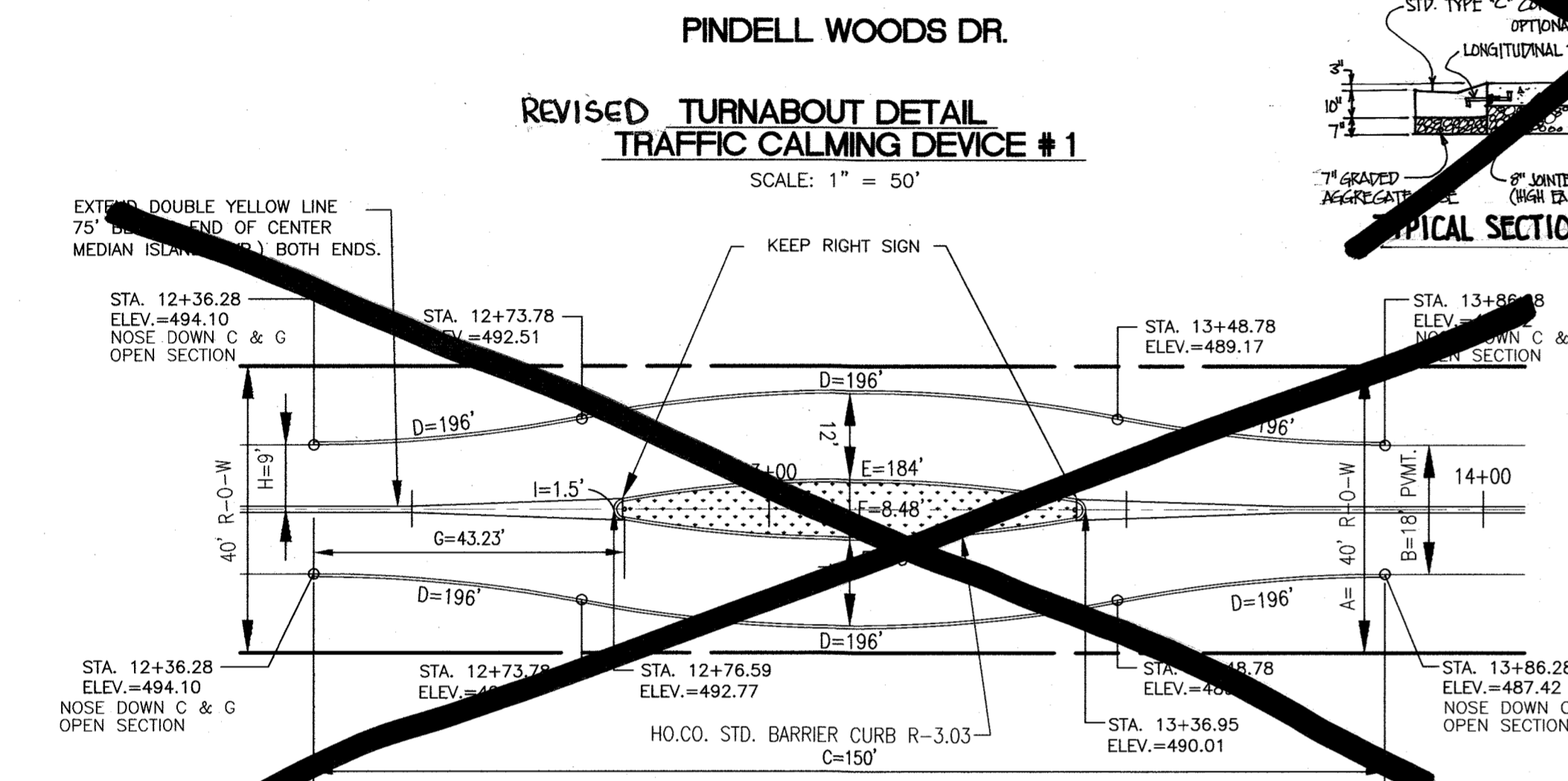
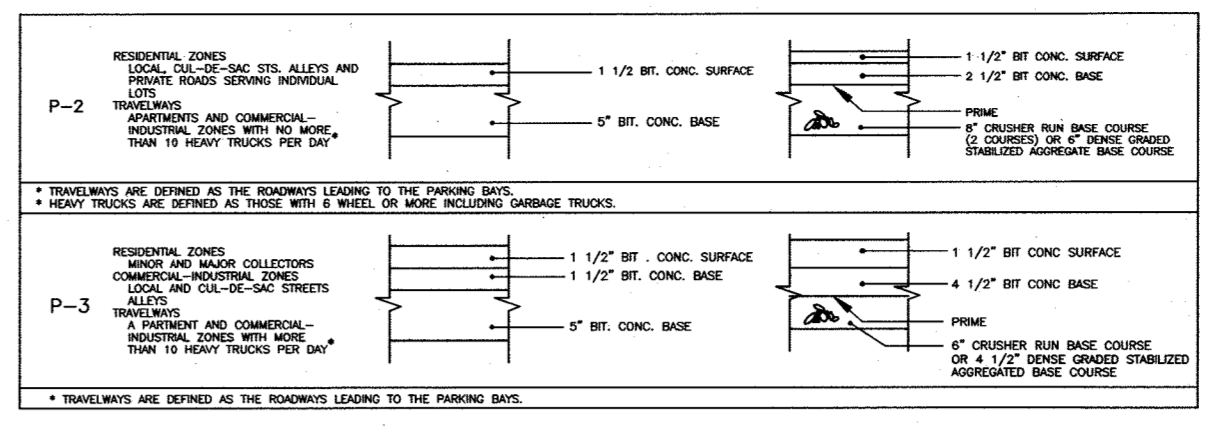
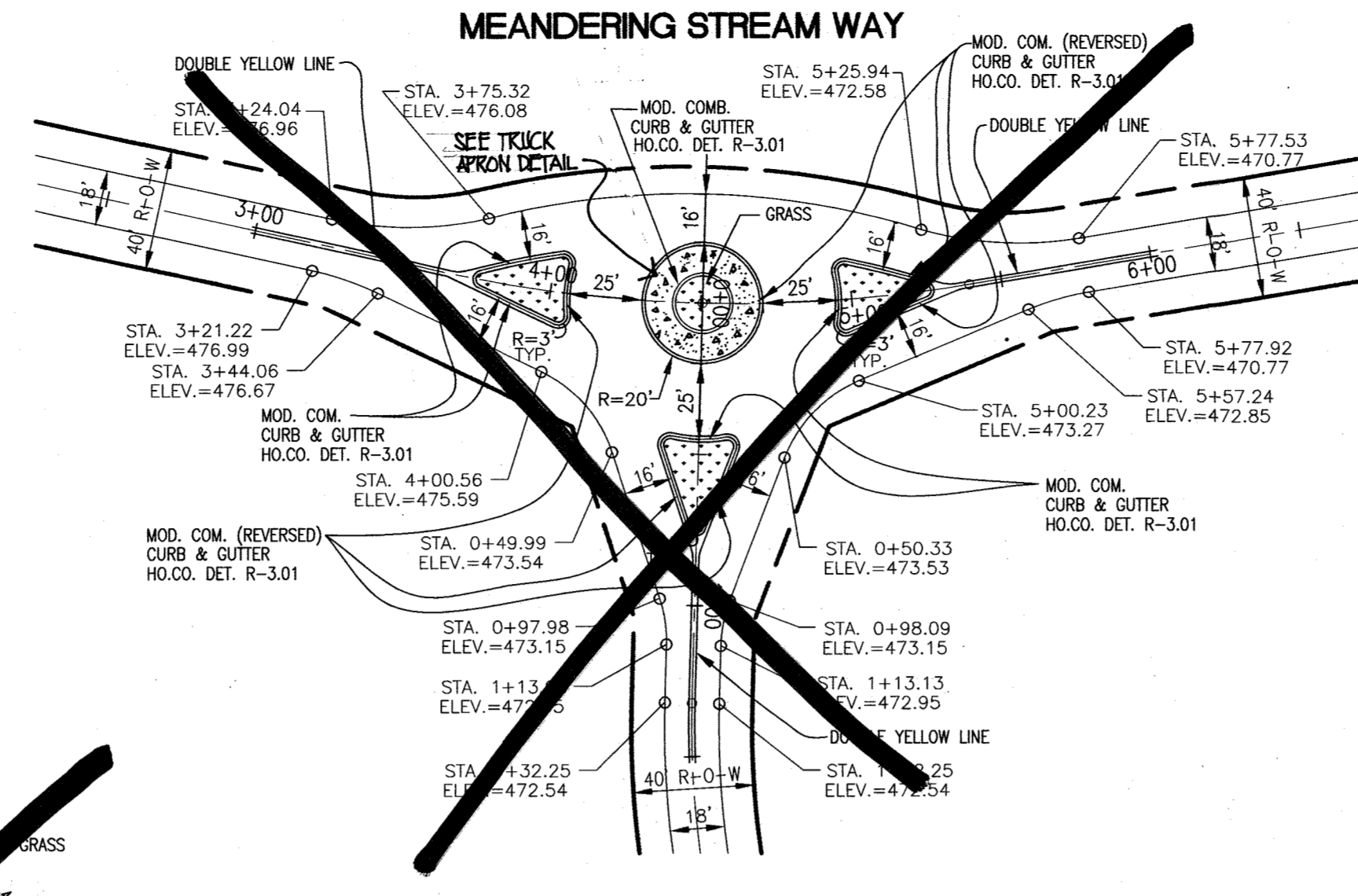
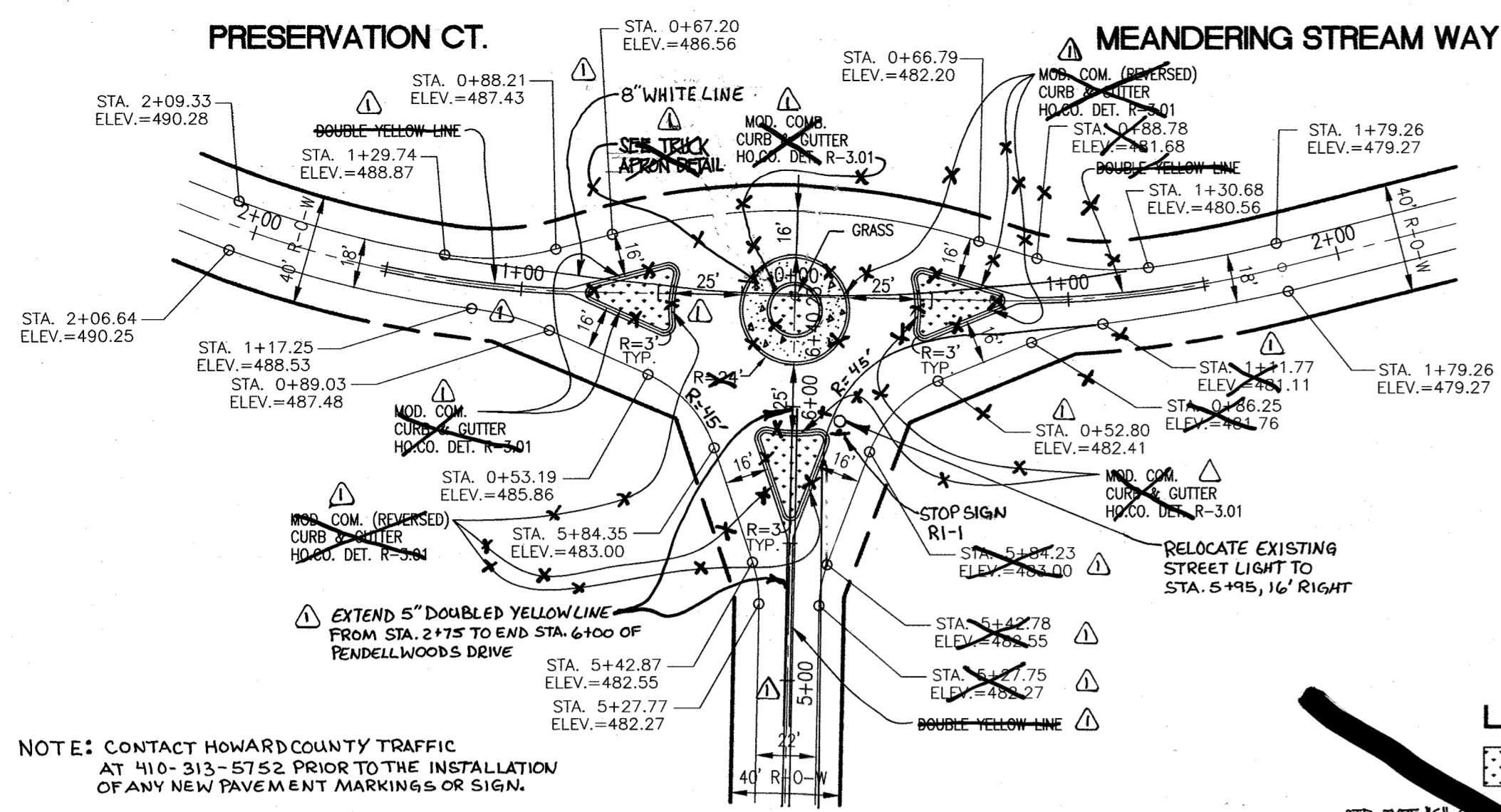
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST. DATE

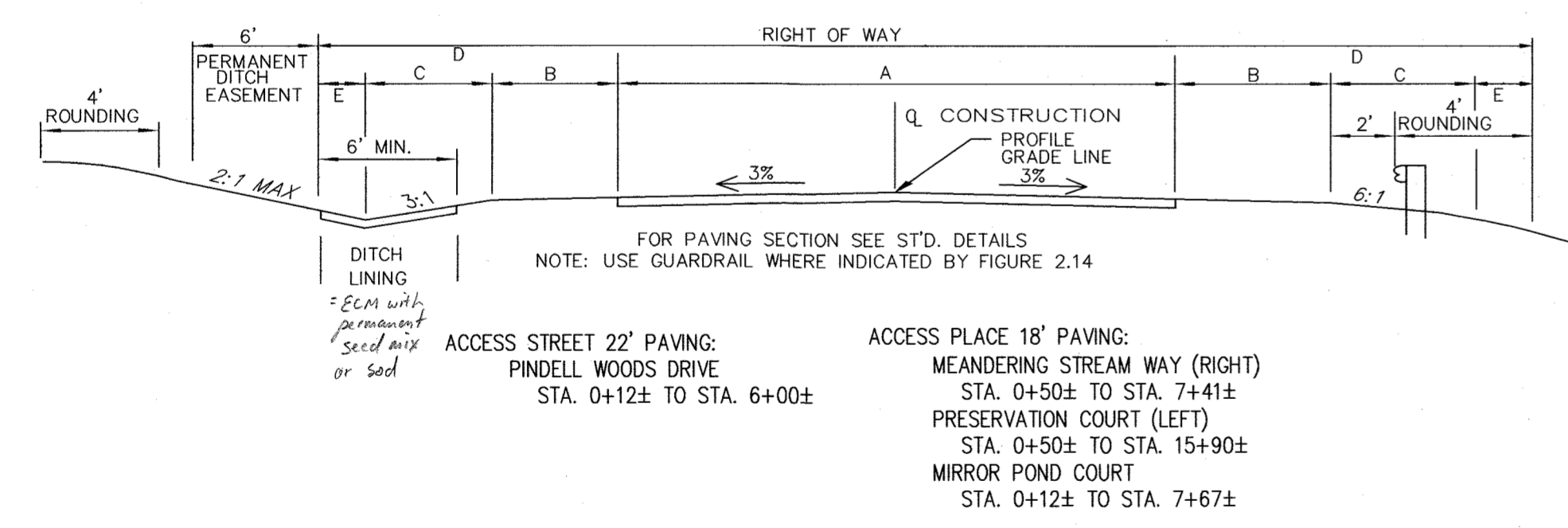
APPROVED: DEPARTMENT OF PUBLIC WORKS
Richard M. Hays 5/10/01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chris Hamilton 5/16/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

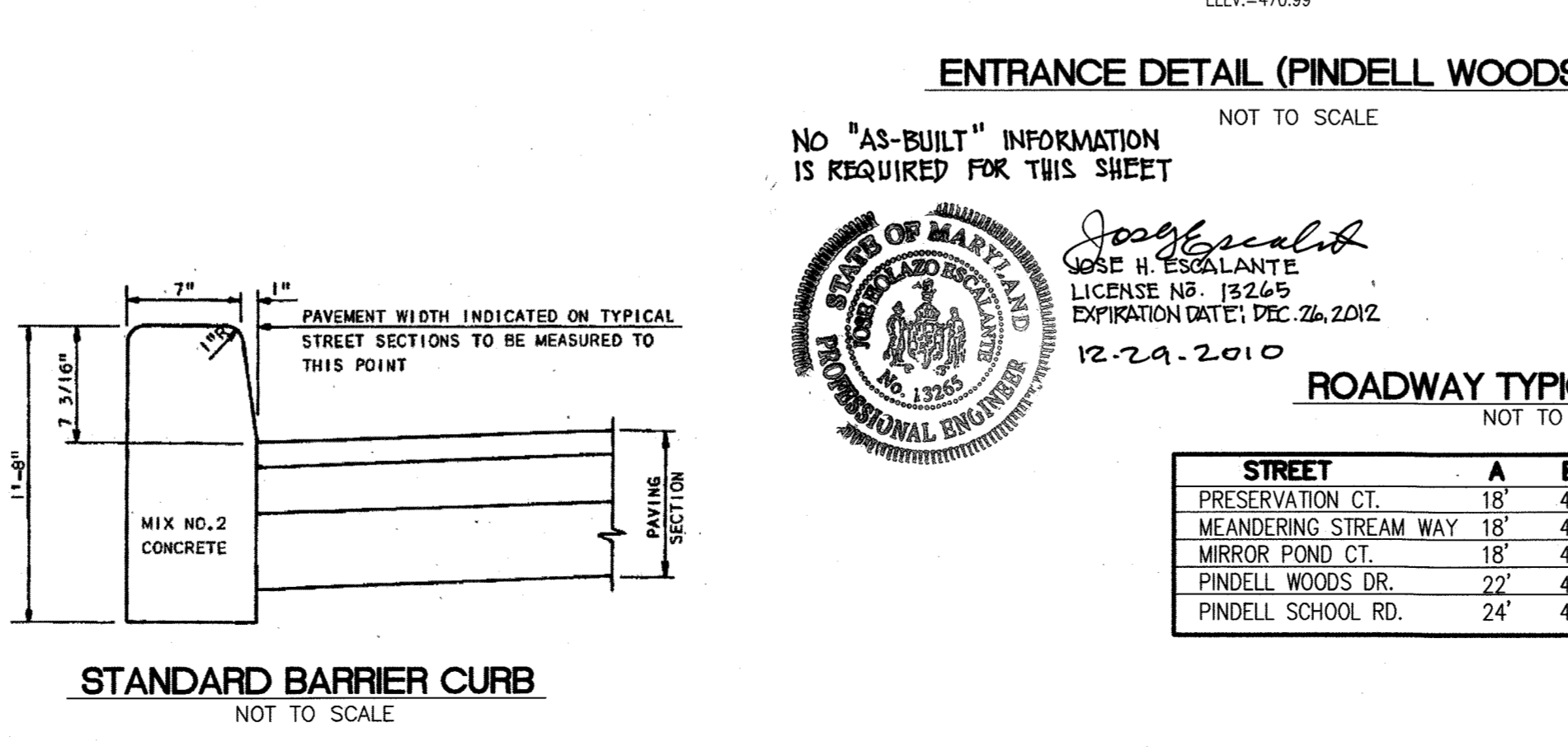
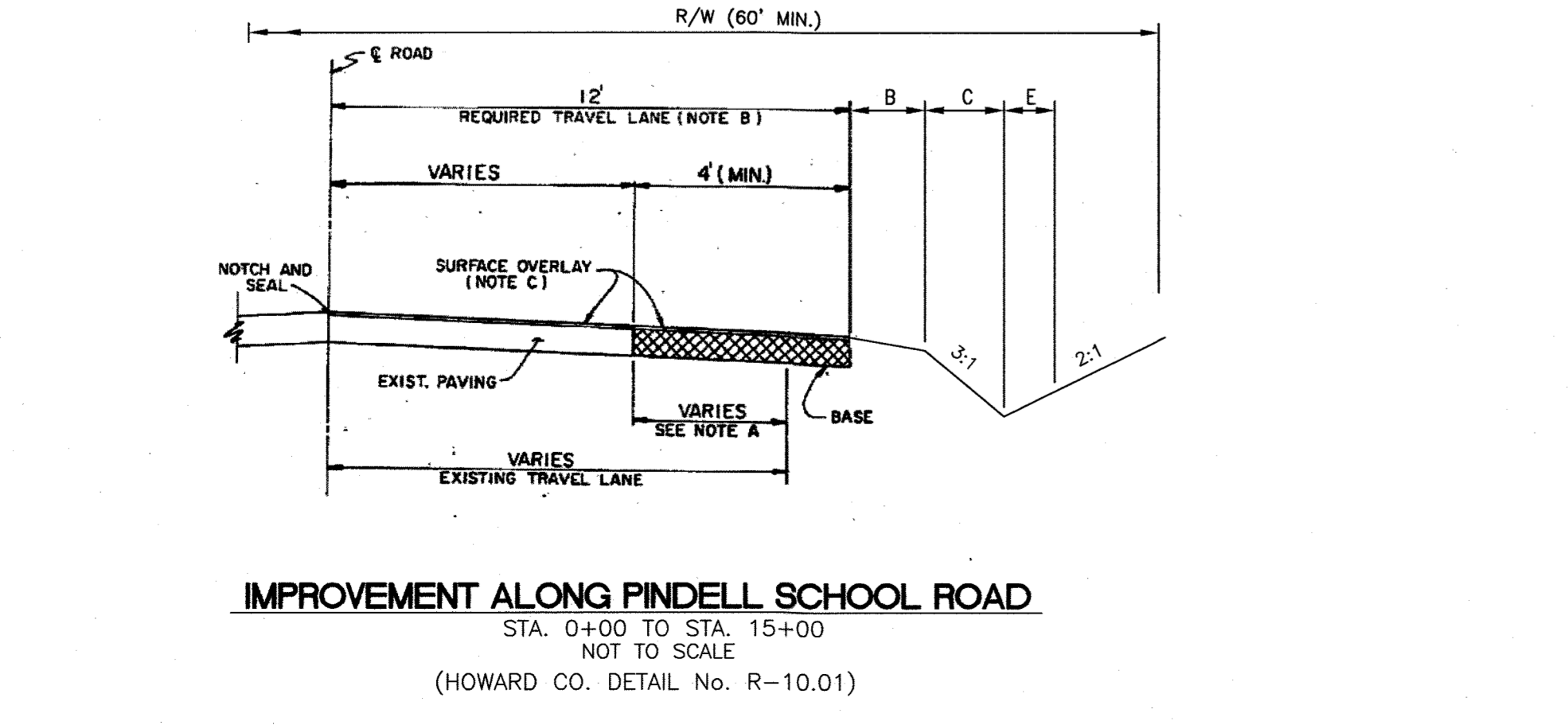
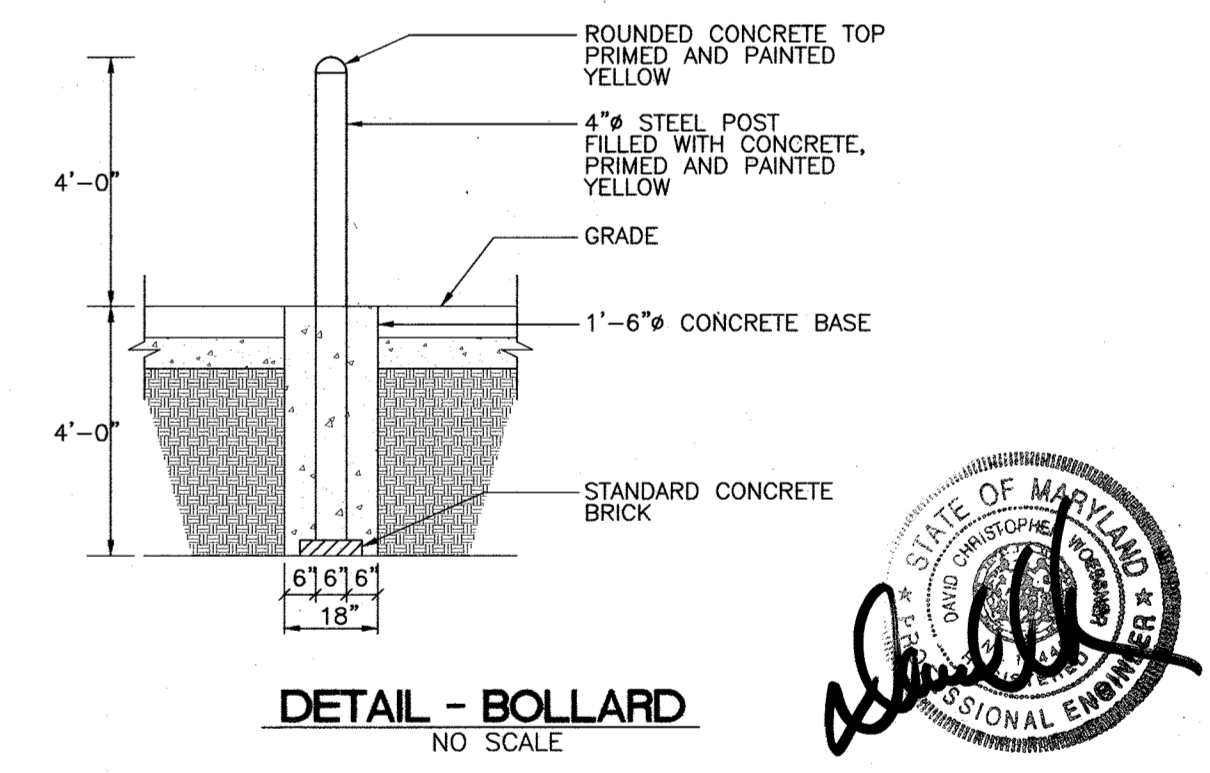
Walter 5/11/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



CENTER MEDIAN ISLAND DIMENSIONS										
CLASSIFICATION	DESIGN SPEED	SECTION TYPE	A	B	C	D	E	F	G	T
PUBLIC ACCESS PLACE	35	OPEN	40	18	150	186	184	8.48	43.23	90



FOR REVISIONS: SUZANNE ENGLISH, DALE THOMPSON, BUILDERS INC. APPROVED BY HOWARD COUNTY, MARYLAND, AUGUST 15, 2008



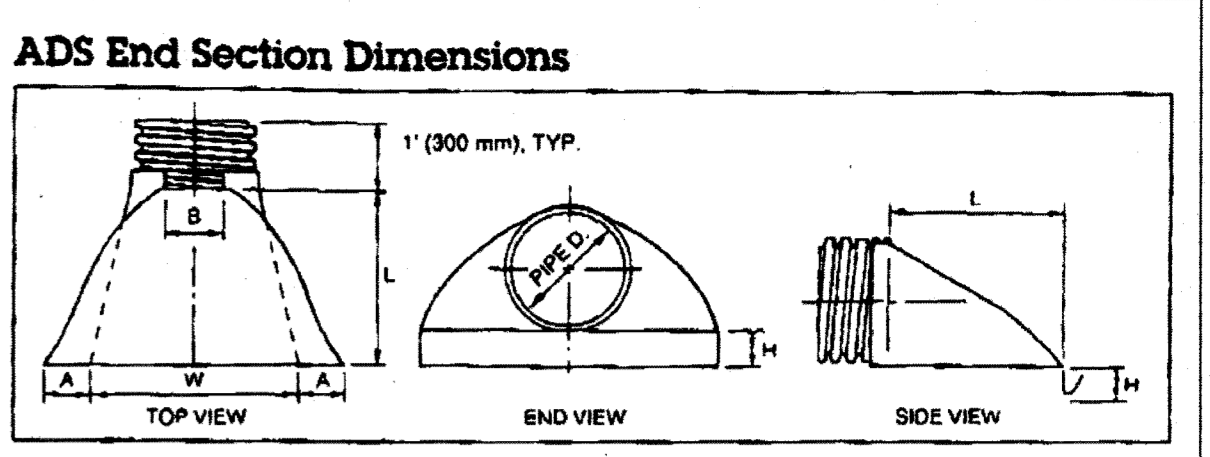
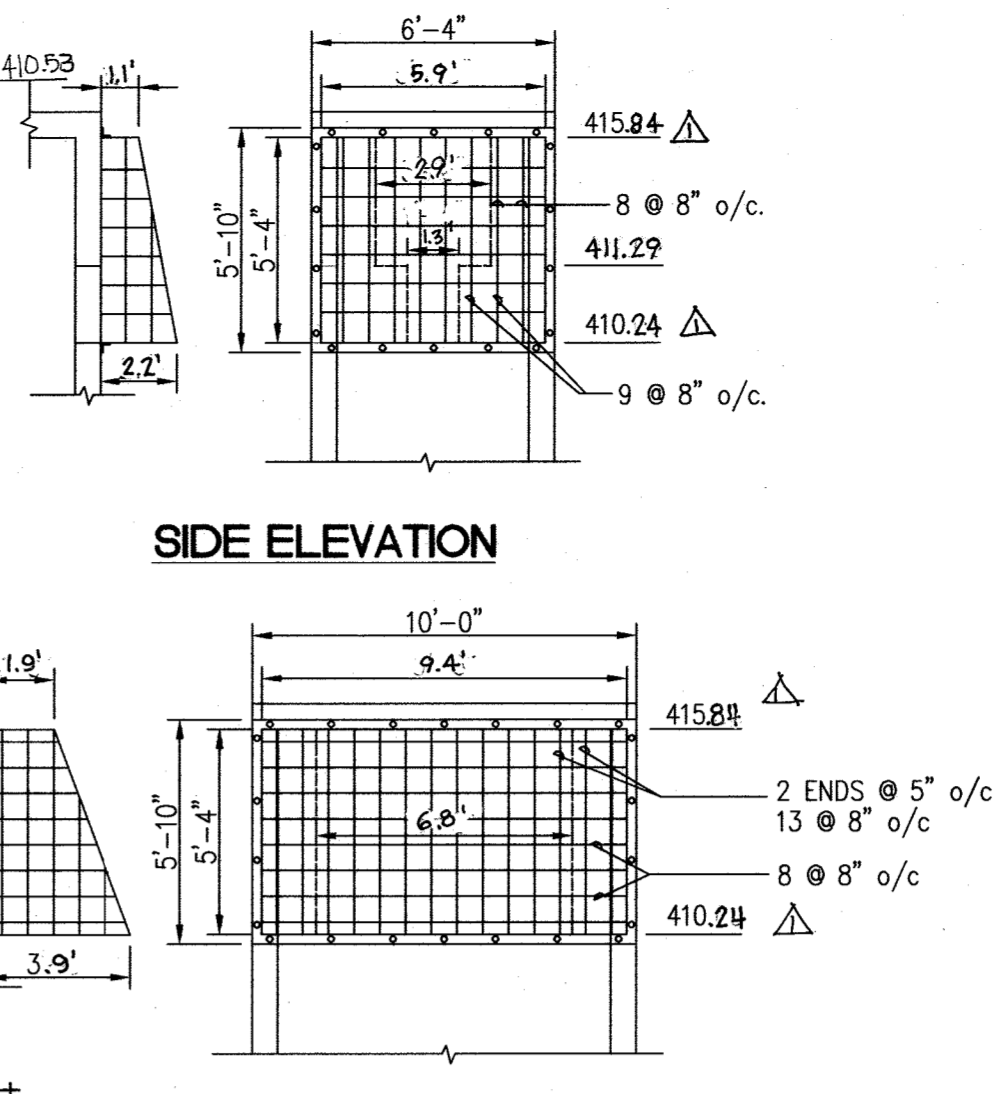
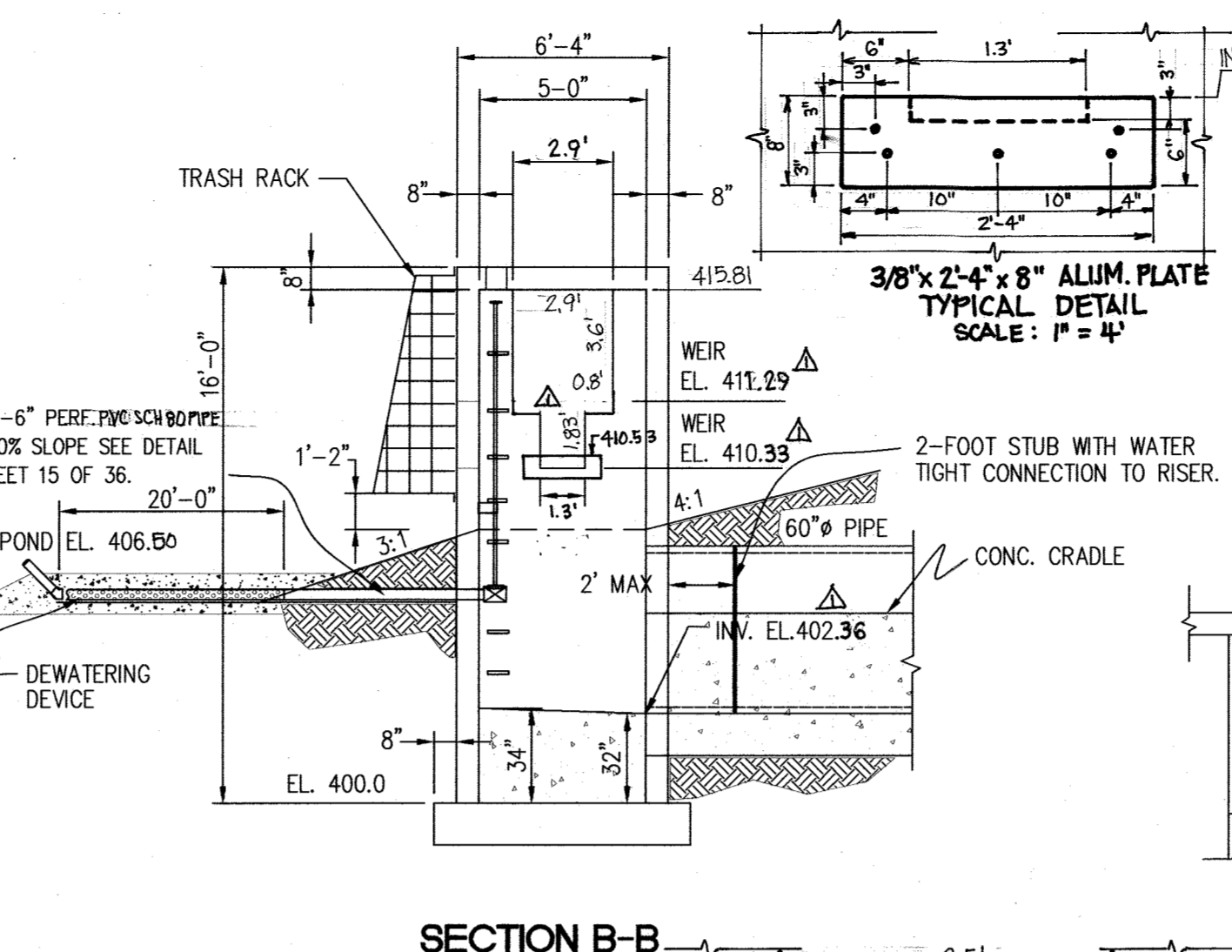
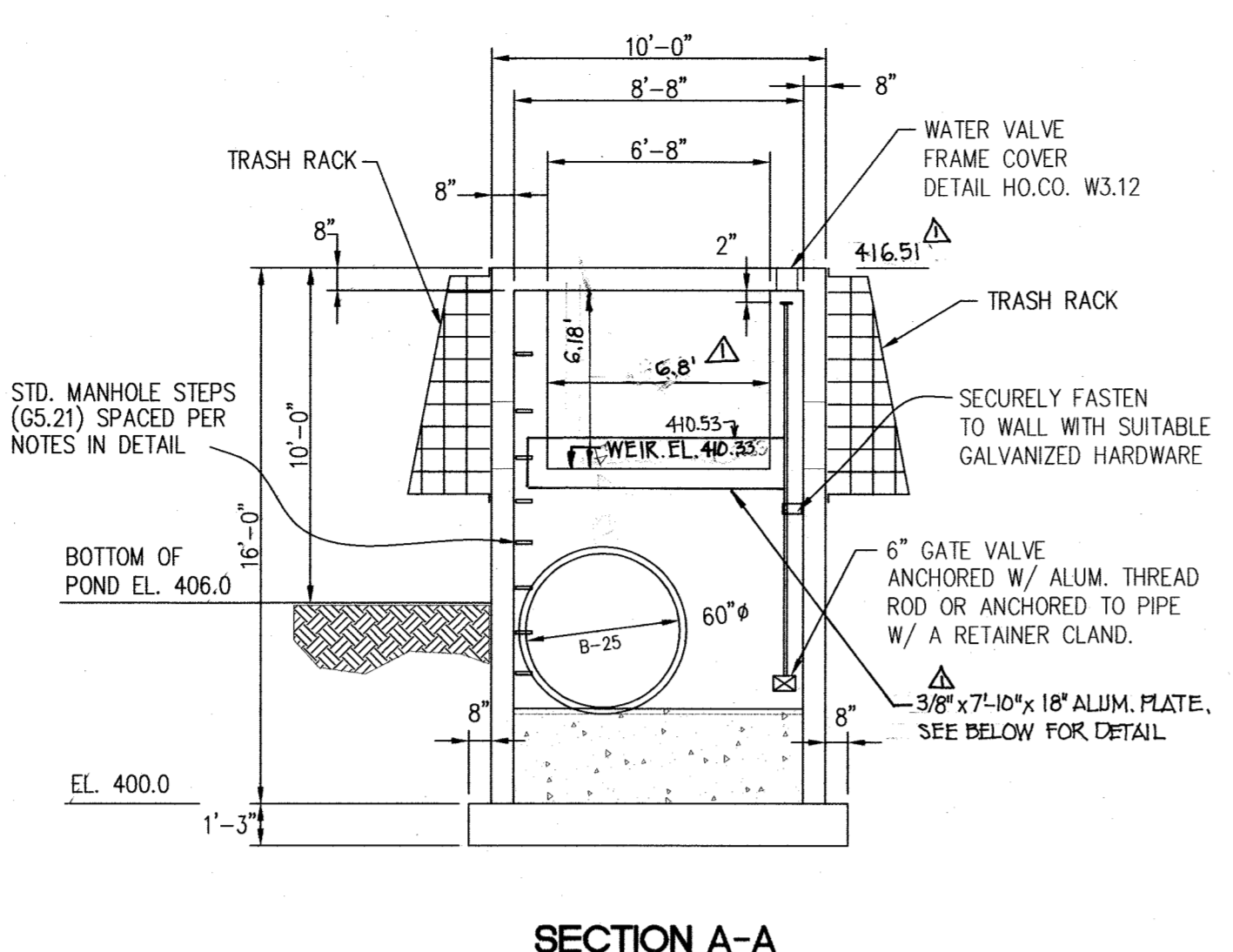
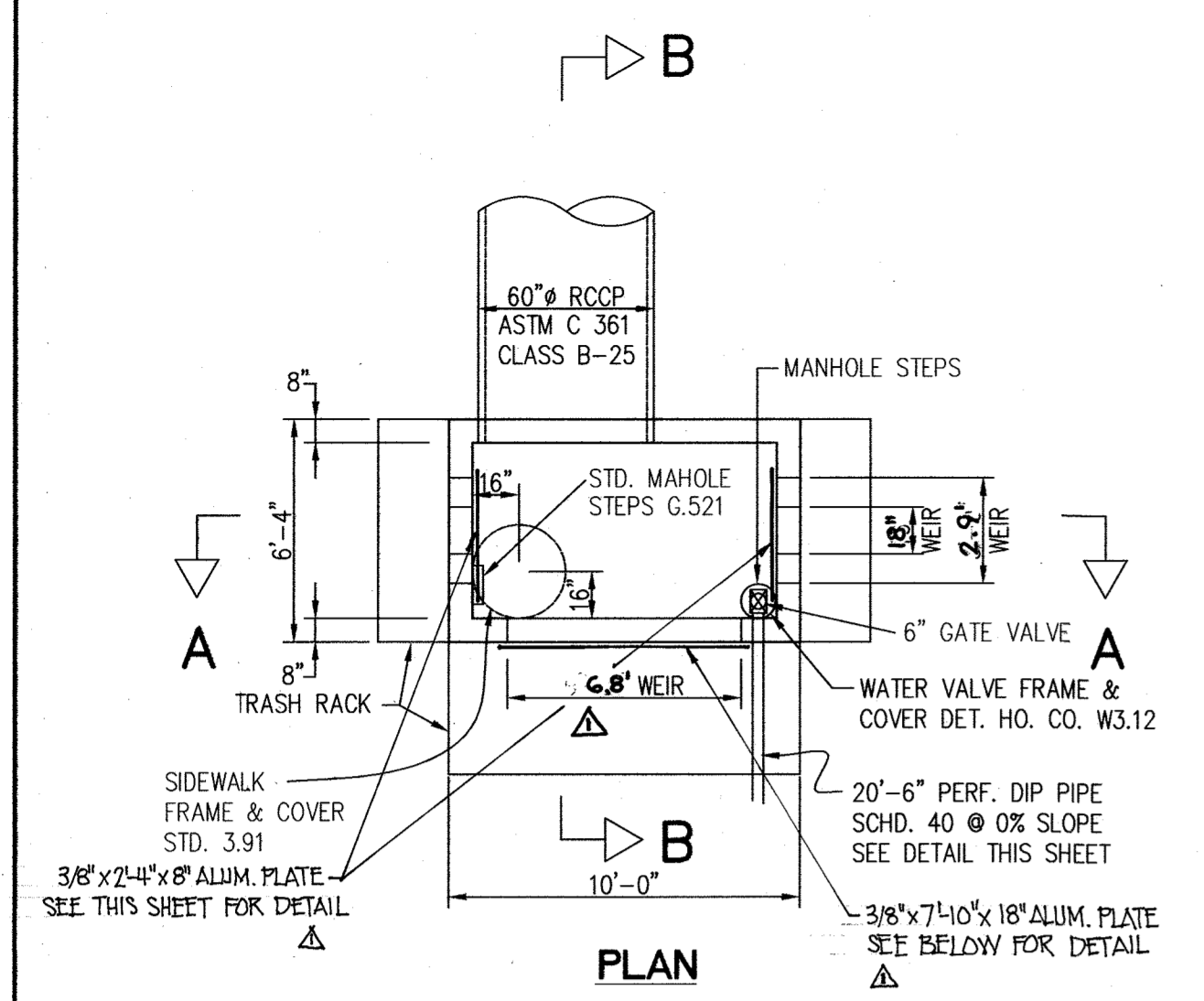
NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET

Joseph Escalante
 JOSE H. ESCALANTE
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-29-2010

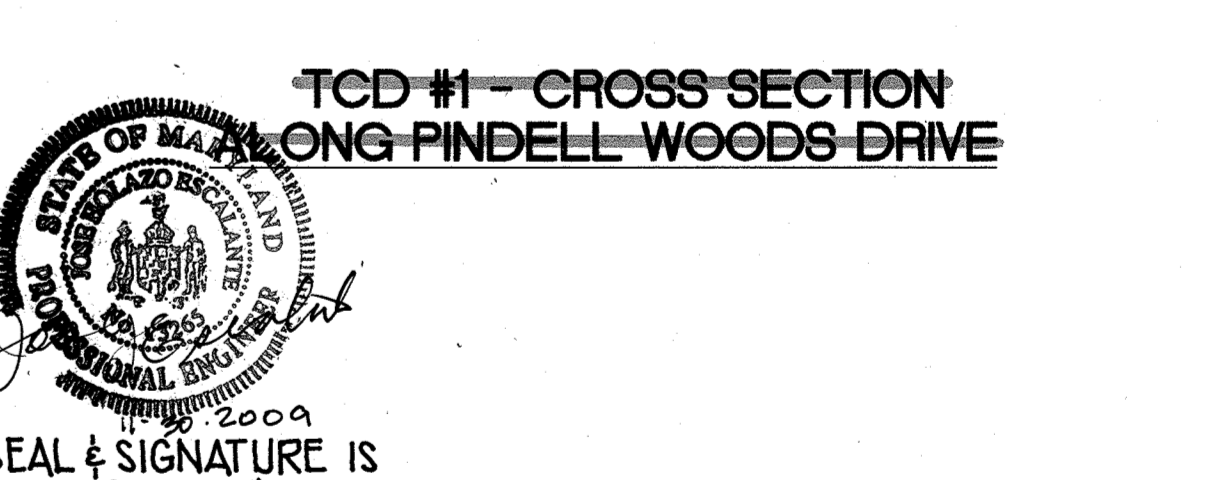
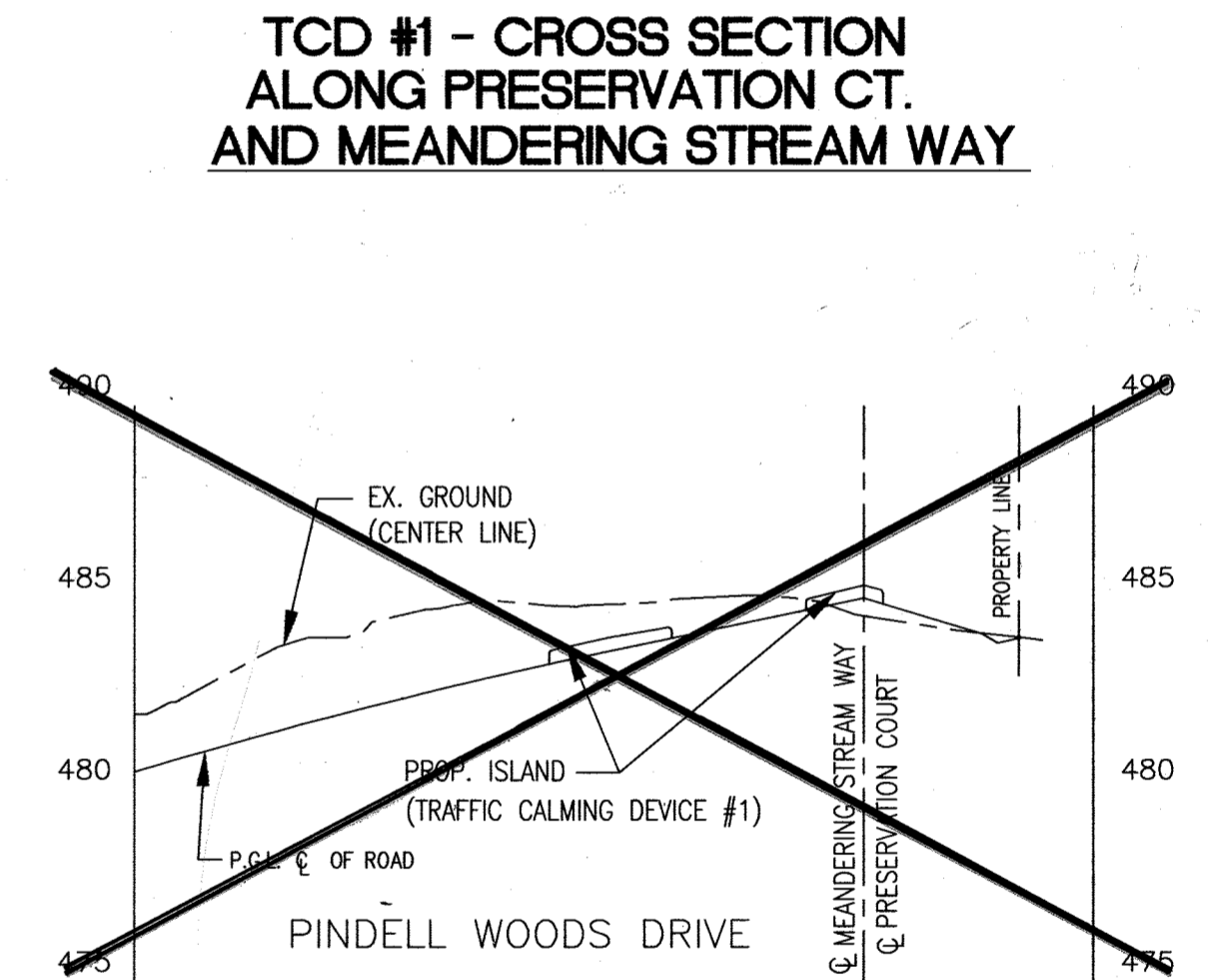
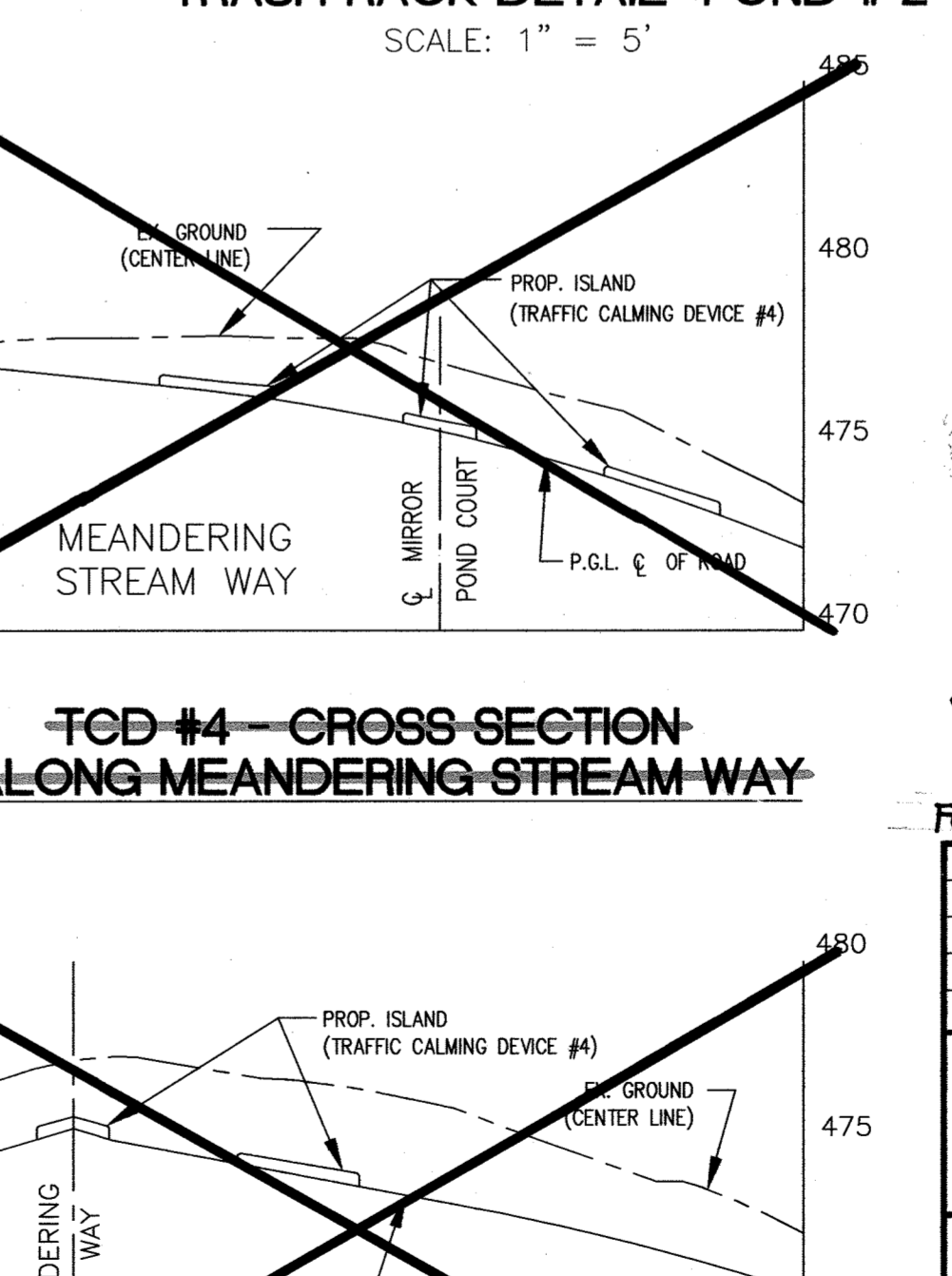
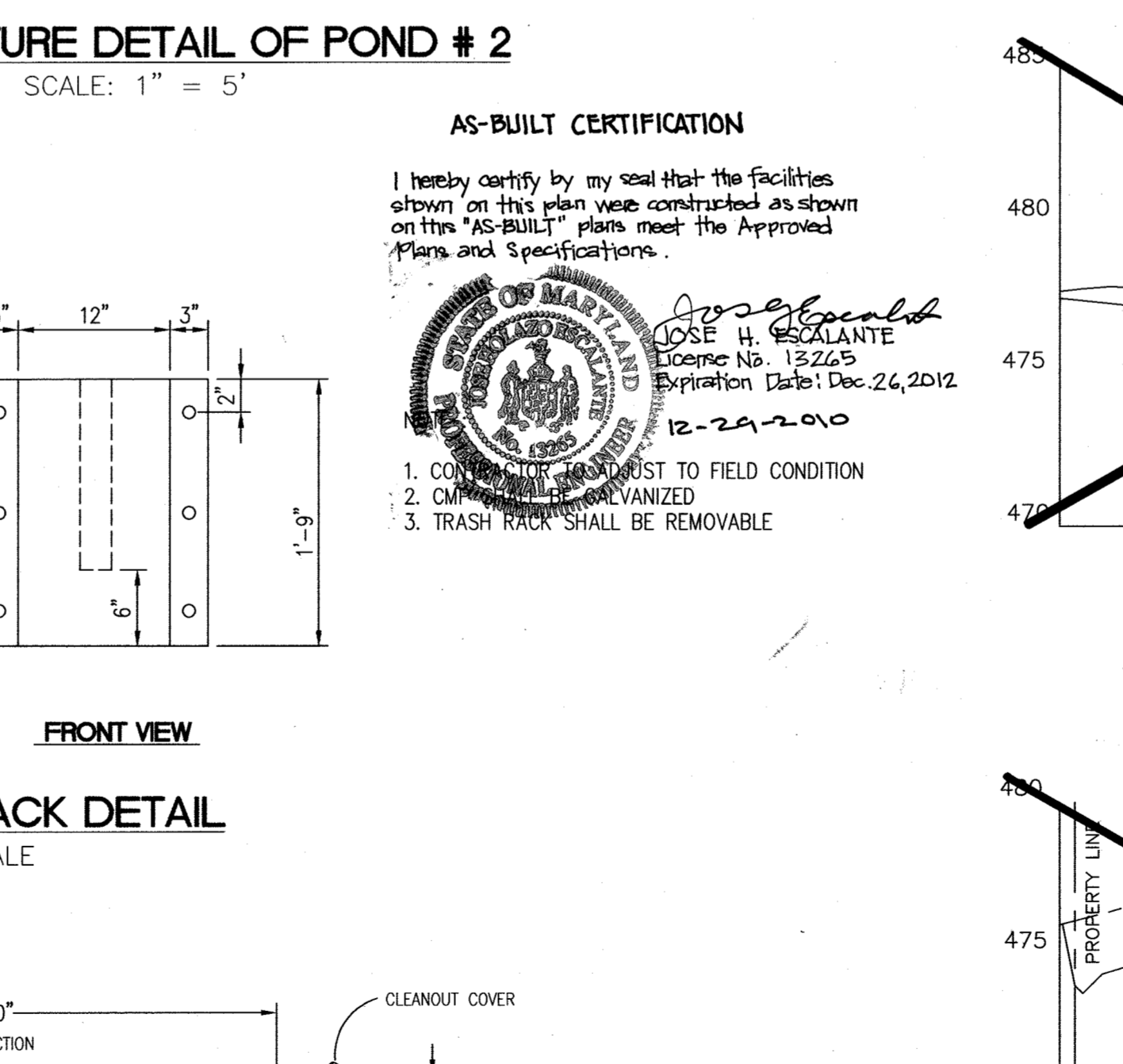
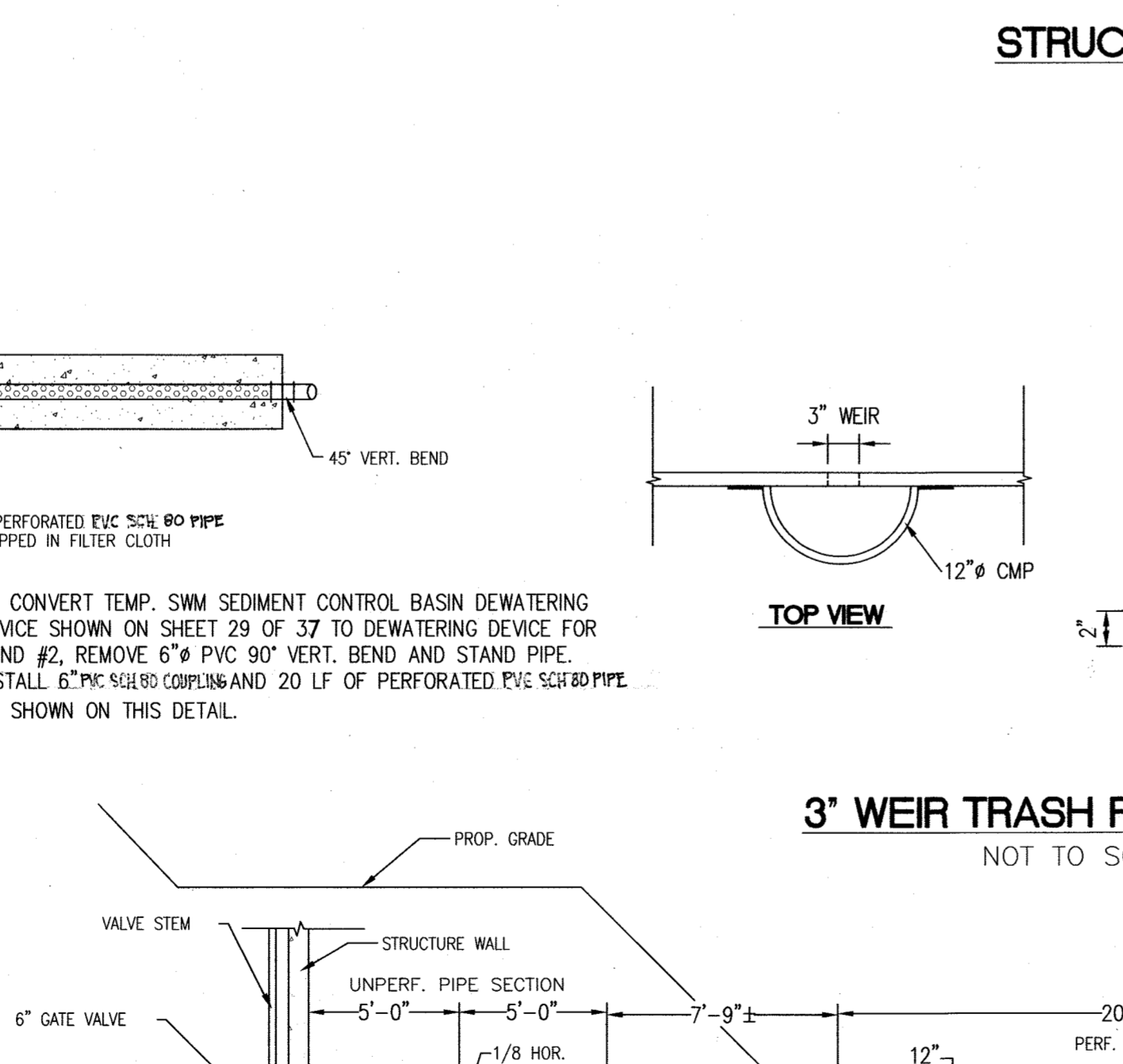
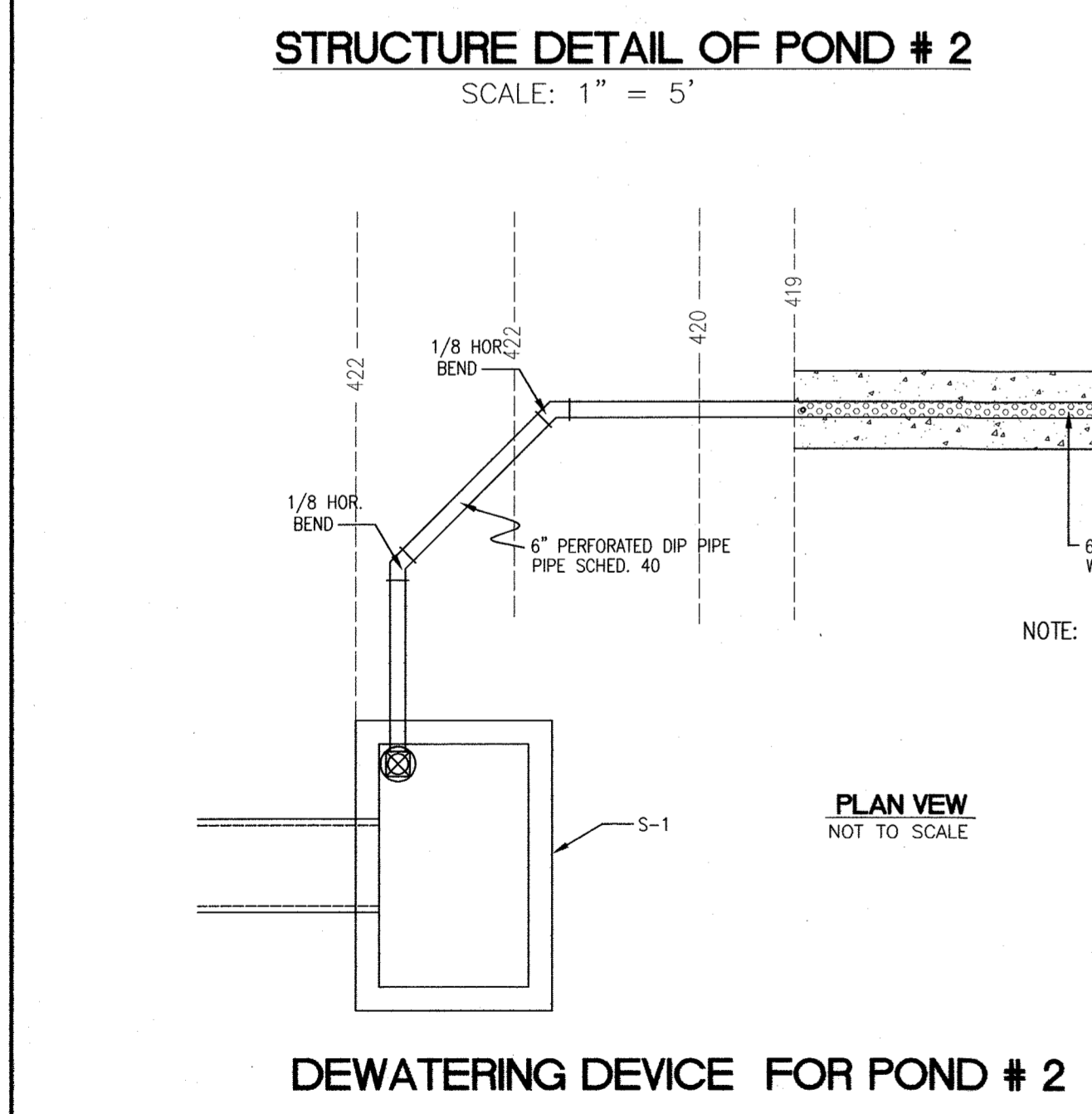
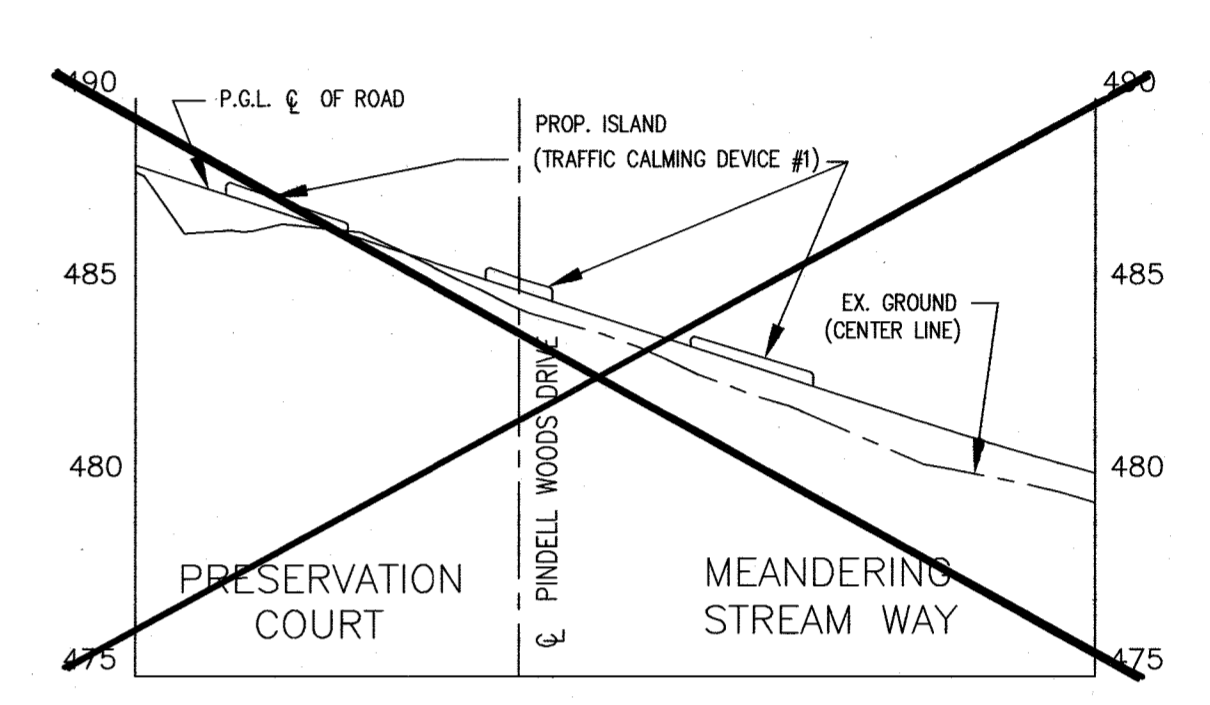
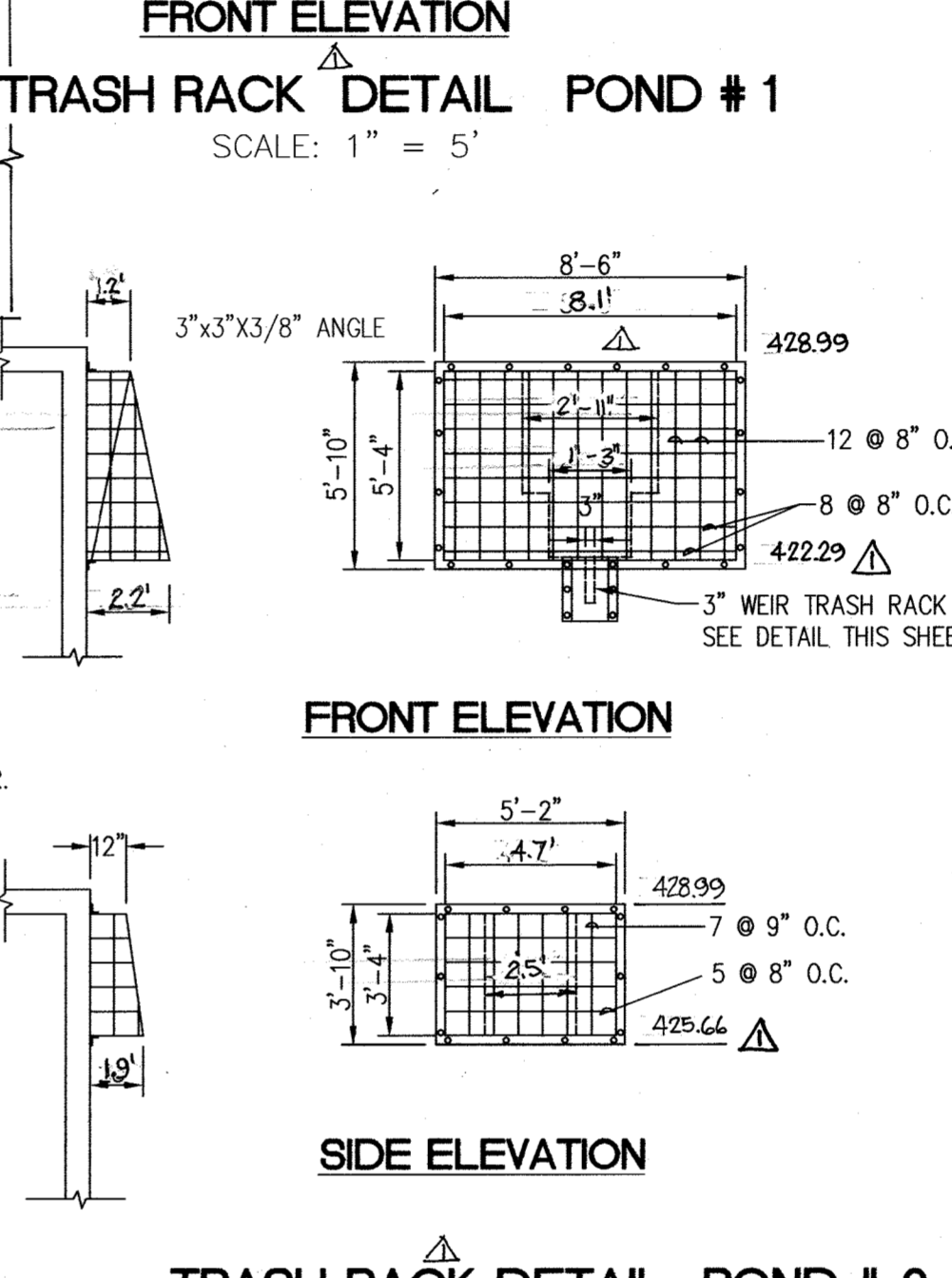
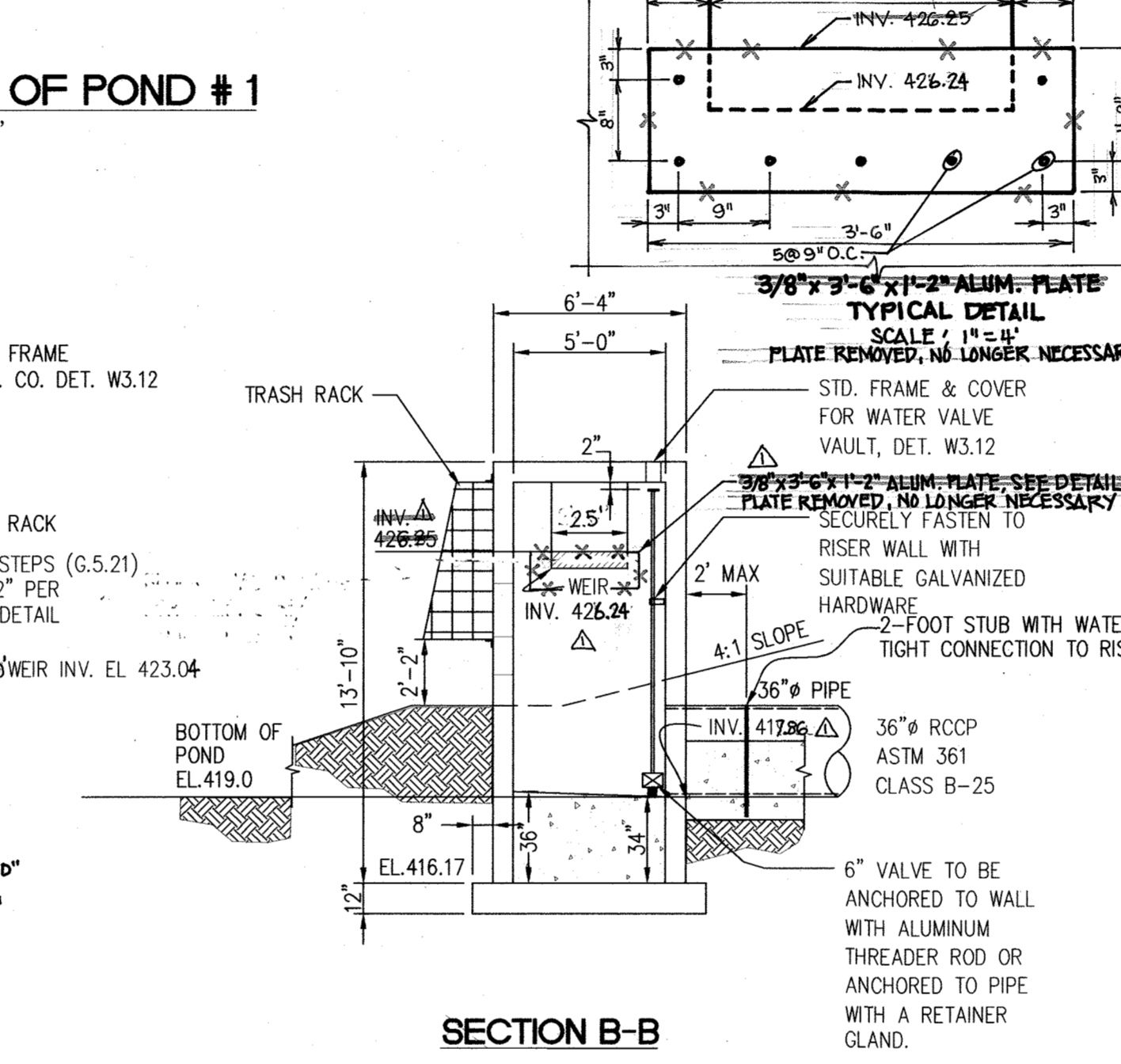
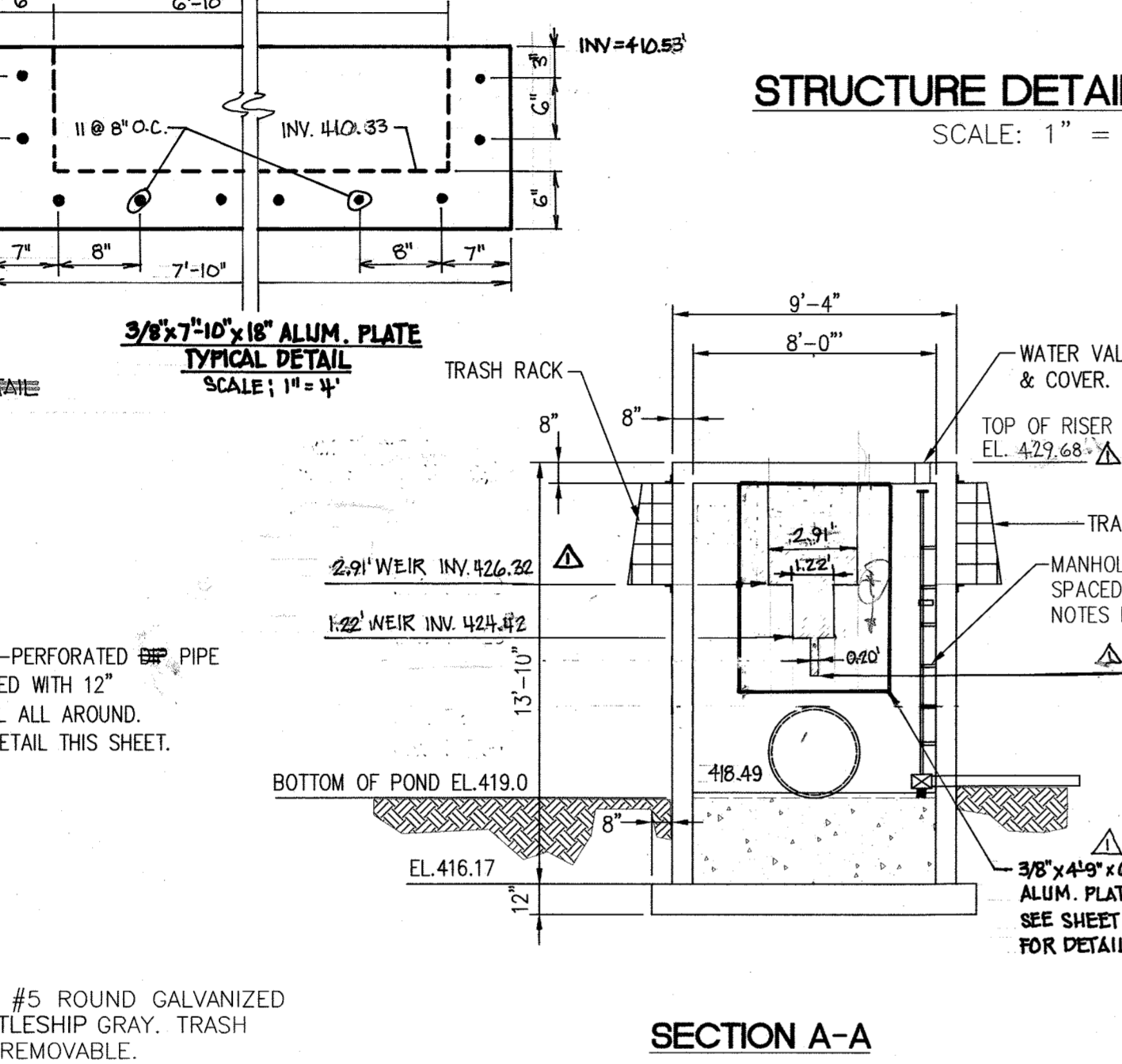
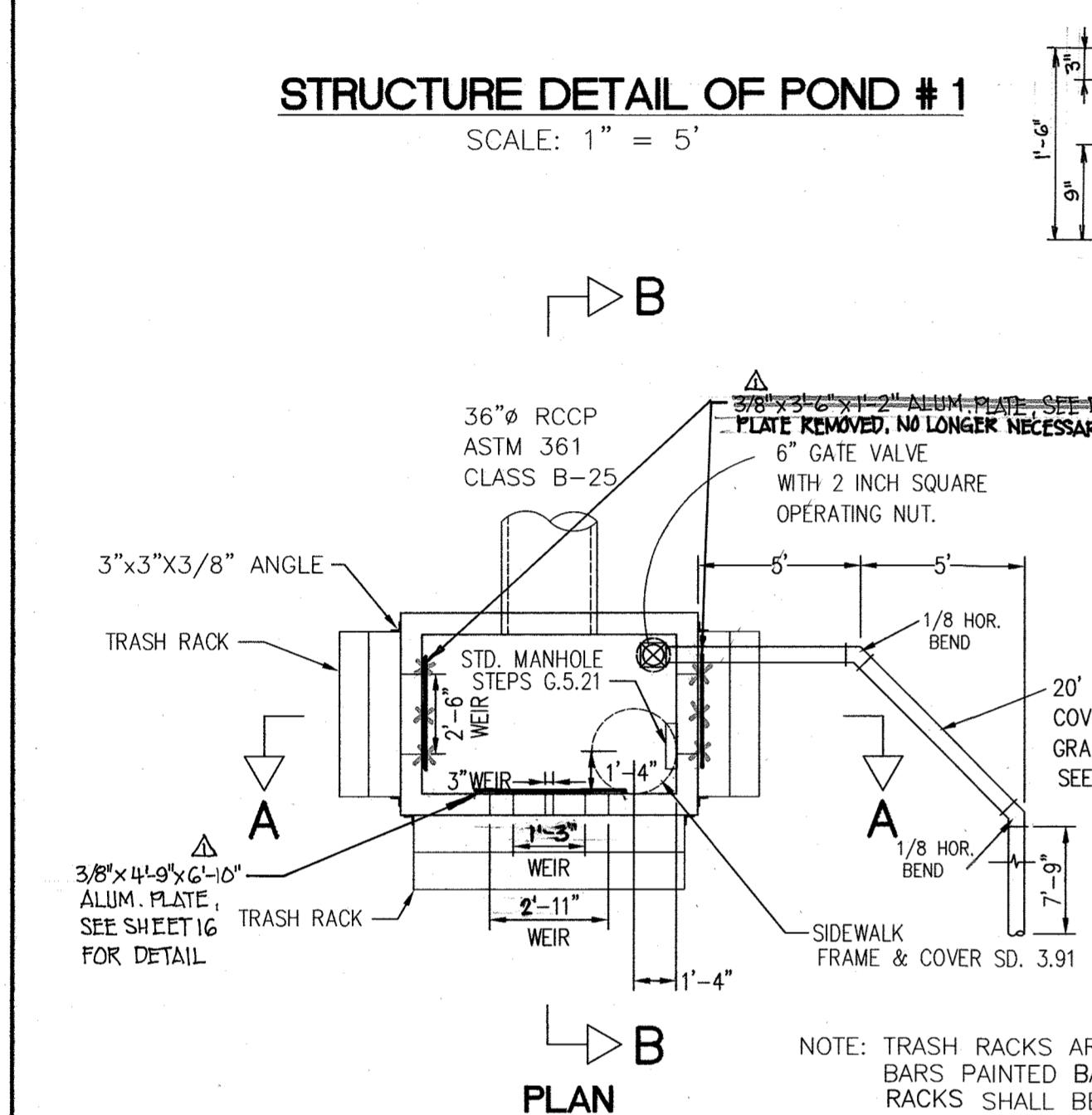
ROADWAY TYPICAL SECTIONS
NOT TO SCALE

STREET	A	B	C	D	E	R/W	PAVING SECTION
PRESERVATION CT.	18'	4'	4'	11'	3'	40'	P-2
MEANDERING STREAM WAY	18'	4'	4'	11'	3'	40'	P-2
MIRROR POND CT.	18'	4'	4'	11'	3'	40'	P-2
PINDELL WOODS DR.	22'	4'	4'	9'	3'	40'	P-2
PINDELL SCHOOL RD.	24'	4'	4'	13'	5'	60'	P-3

NO.	DATE	REVISIONS
1	1-9-09	REVISE TRAFFIC CALMING DEVICE, REMOVE CALMING DEVICE 2,3,4 DELETE LEGEND, TRUCK APRON DETAIL, MOD. CURB AND GUTTER
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: PINDELL WOODS		
TITLE: TRAFFIC CALMING DEVICES AND DETAILS		
OWNERS: CLARENCE AND MARTHA CARWELL, 706 PINDELL SCHOOL ROAD, FULTON, MD. 20759		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC., 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163, TEL. (410) 485-7903, FAX: (410) 465-3846		
DEVELOPER: MOUNT VIEW, LLC, 6258 CARDINAL LA, COLUMBIA, MD. 21044		
DES. : J.L./DCW/AVG	JOB :	SCALE :
DRW. : AVG/DTA/INC	PROJ. :	AS SHOWN
CHK. : D.C.W.	DATE : 03/04/01	SHEET 7 OF 38



Pipe Diameter	Part No.	Dimensions, inches (mm)				
		A, ±1 (25)	B MAX	H, ±1 (25)	L, ±1/2 (13)	W, ±2 (50)
12 (300, 375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (738)
18 (450)	1810 NP	7.5 (190)	15 (380)	6.5 (165)	32 (812)	38 (960)
24 (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	38 (960)	45 (1140)
30 (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)
36 (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)



AS-BUILT CERTIFICATION
I hereby certify by my seal that the facilities shown on this plan were constructed as shown on the "AS-BUILT" plans meet the Approved Plans and Specifications.

Jose H. Escalante
JOSE H. ESCALANTE
Engine No. 13265
Expiration Date: Dec 24, 2012
12-24-2010

- CONSTRUCTED TO FIELD CONDITION
- CMP SHALL BE GALVANIZED
- TRASH RACK SHALL BE REMOVABLE



APPROVED: DEPARTMENT OF PUBLIC WORKS
Robert M. Daniels
CHIEF, BUREAU OF HIGHWAYS
5/1/01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Rosentz
CHIEF, DIVISION OF LAND DEVELOPMENT
5/16/01 DATE

Michael J. ...
CHIEF, DEVELOPMENT ENGINEERING DIVISION
5/16/01 DATE

SEAL & SIGNATURE IS FOR REVISION ONLY

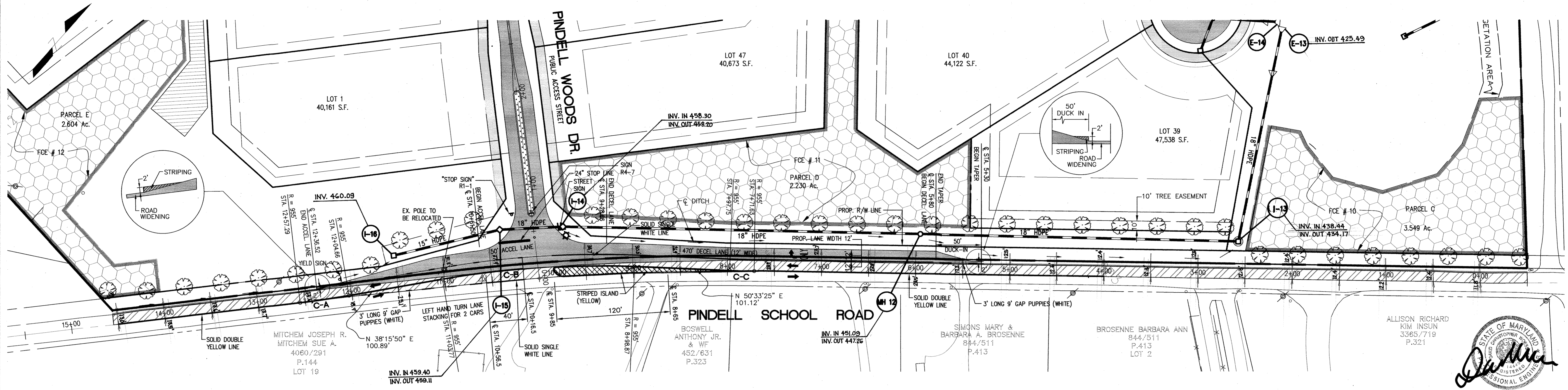
NO.	DATE	REVISIONS
1	11-30-09	INSTALL ALUMINUM PLATE SHOWN ON DETAILS TO CHANGE WEIR OPENING/INLETS ON POND #2 AND WEIR INVERTS FOR POND #1
2		REV. WEIR TRASH RACK INVERTS ELEV. BASED ON SURVEY DATA RECONFIGURE POND #2 WEIR OPENING

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND.

TITLE: MISCELLANEOUS DETAILS	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL. (410) 465-7903 FAX. (410) 465-3845	DEVELOPER: MOUNT VIEW LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: JL/DCW/AVG	JOB:
DRW.: AVG/DTA/INC	PROJ.:
CHK.: D.C.W.	DATE: 03/04/01

SCALE: AS SHOWN
SHEET 8 OF 38



STREET TREE PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	37	2-1/2" - 3" CAL.

CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C-A	52.63	955.00	03°09'28"	26.32	52.63	N39°50'34"E
C-B	204.90	955.00	12°17'36"	102.85	204.51	N44°24'38"E
C-C	26.12	955.00	01°34'01"	13.06	26.12	N49°46'25"E

PLAN

SCALE: 1" = 50'

NOTE: PROPOSED IMPROVEMENT TO PINDELL SCHOOL ROAD PER HOWARD COUNTY DETAIL No. R-10.01, PLEASE SEE SHEET 7 OF 37.

LEGEND:

- NEW PAVING
- RESURFACING

APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Sample 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE

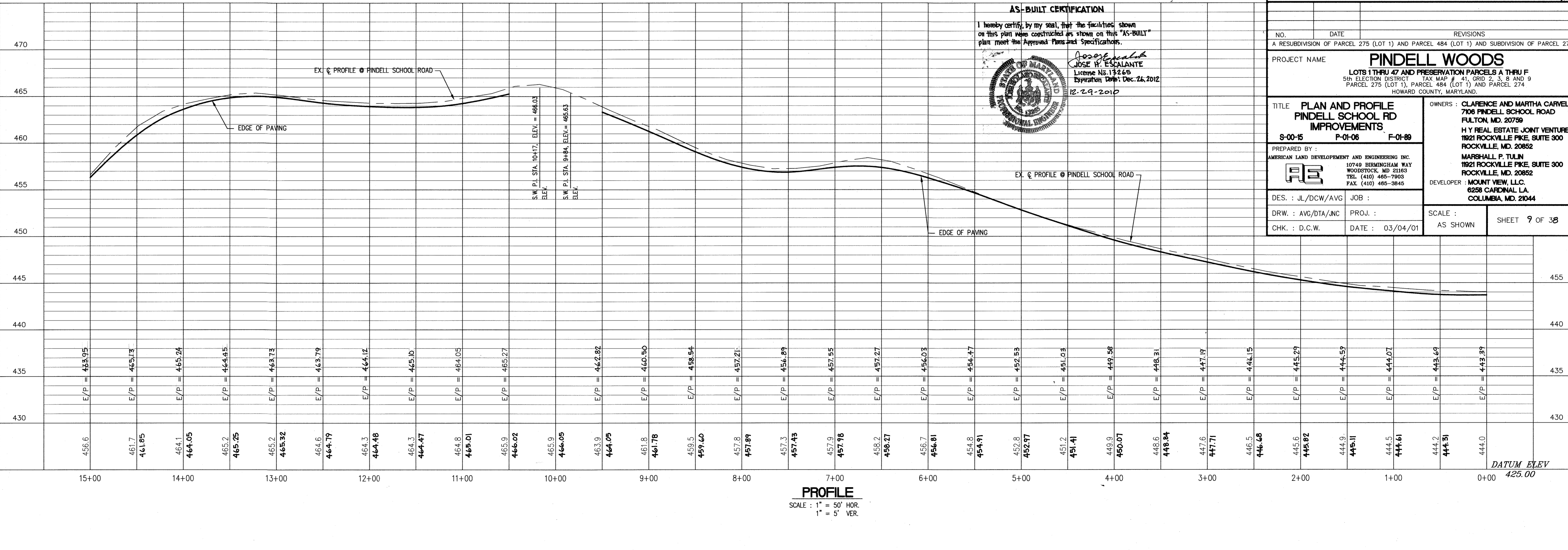
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Linda Hamilton 5/6/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

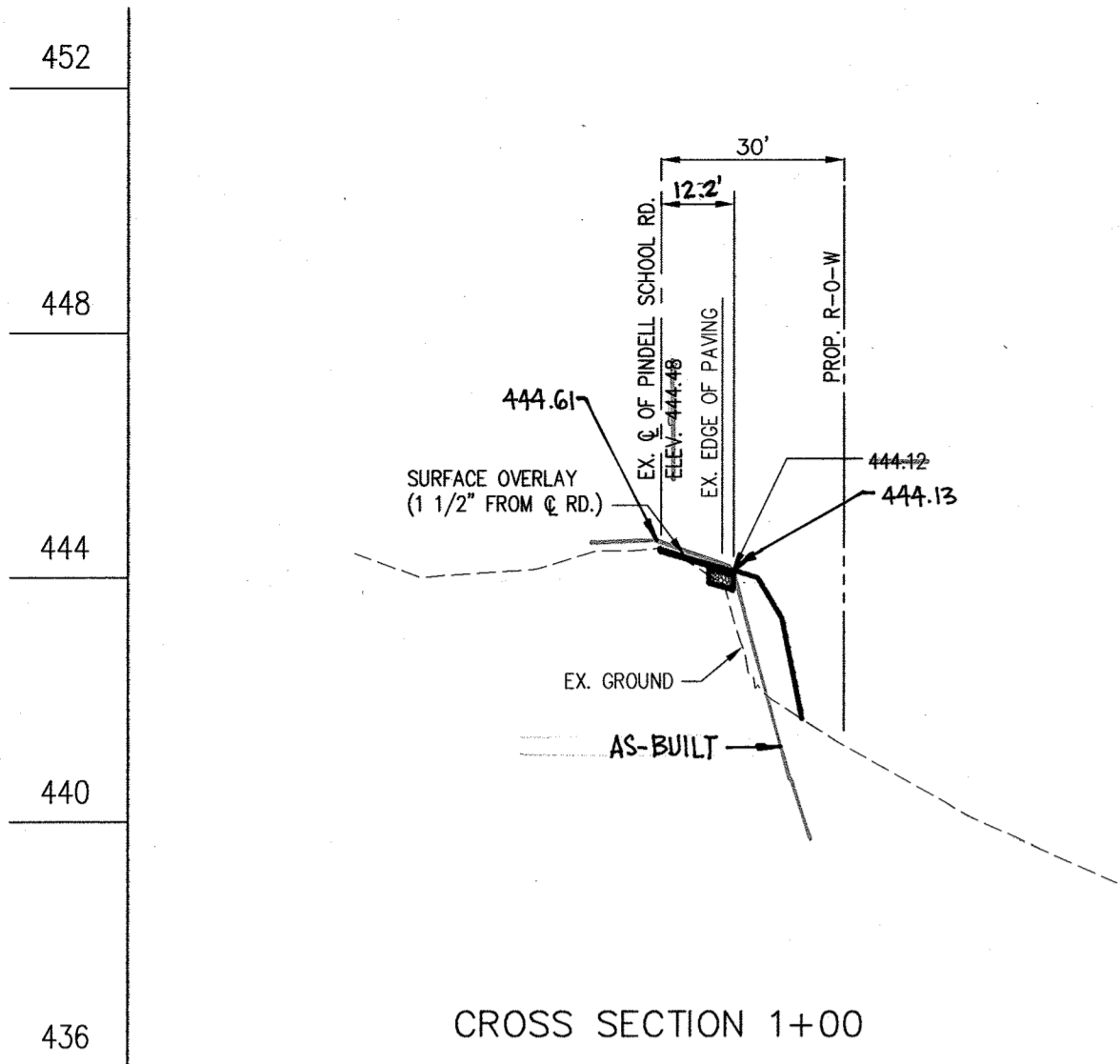
Michael... 5/11/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

AS-BUILT CERTIFICATION

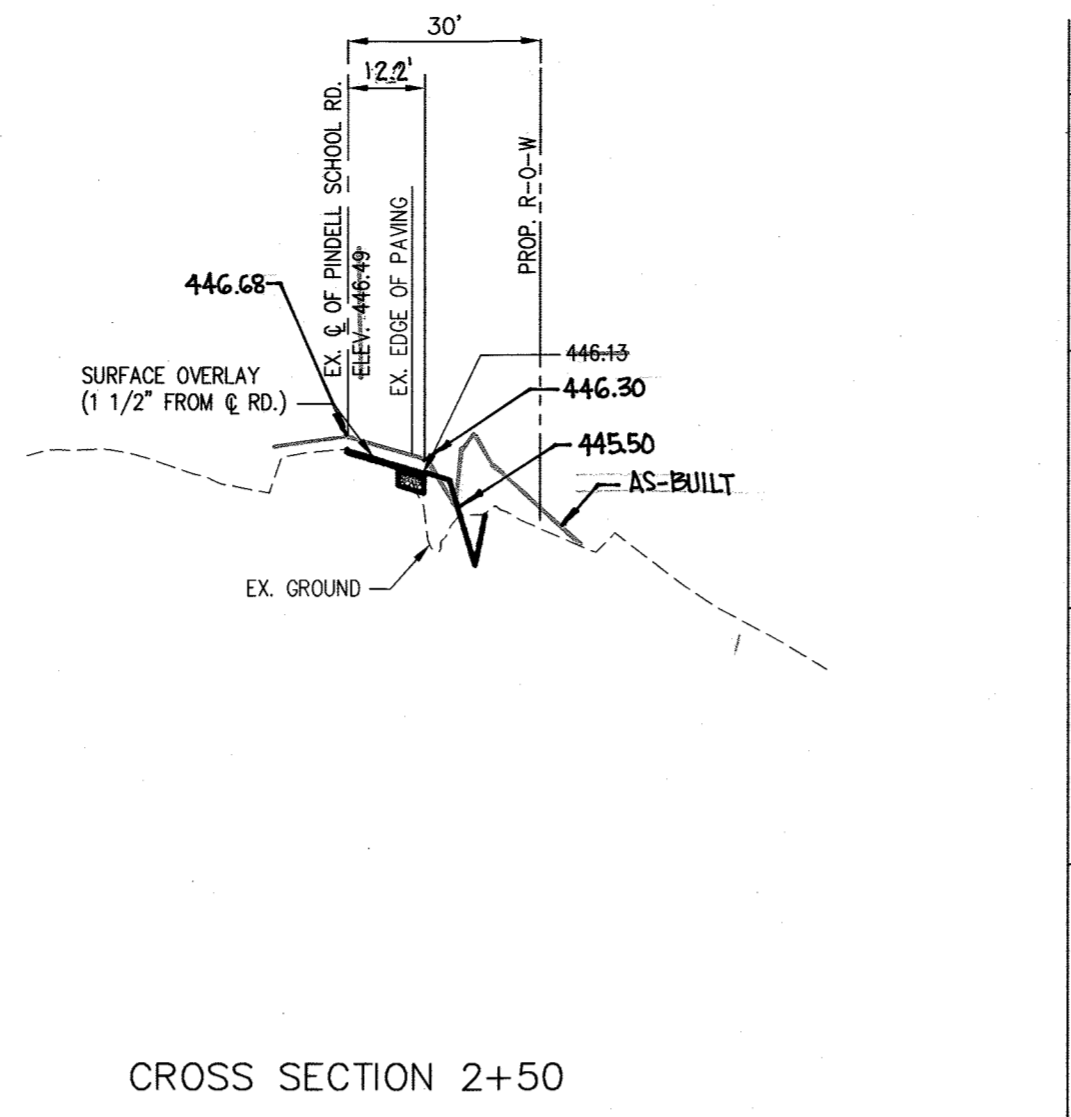
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.

Jose H. Escalante
 JOSE H. ESCALANTE
 License No. 13265
 Expiration Date: Dec. 24, 2012
 12-29-2010

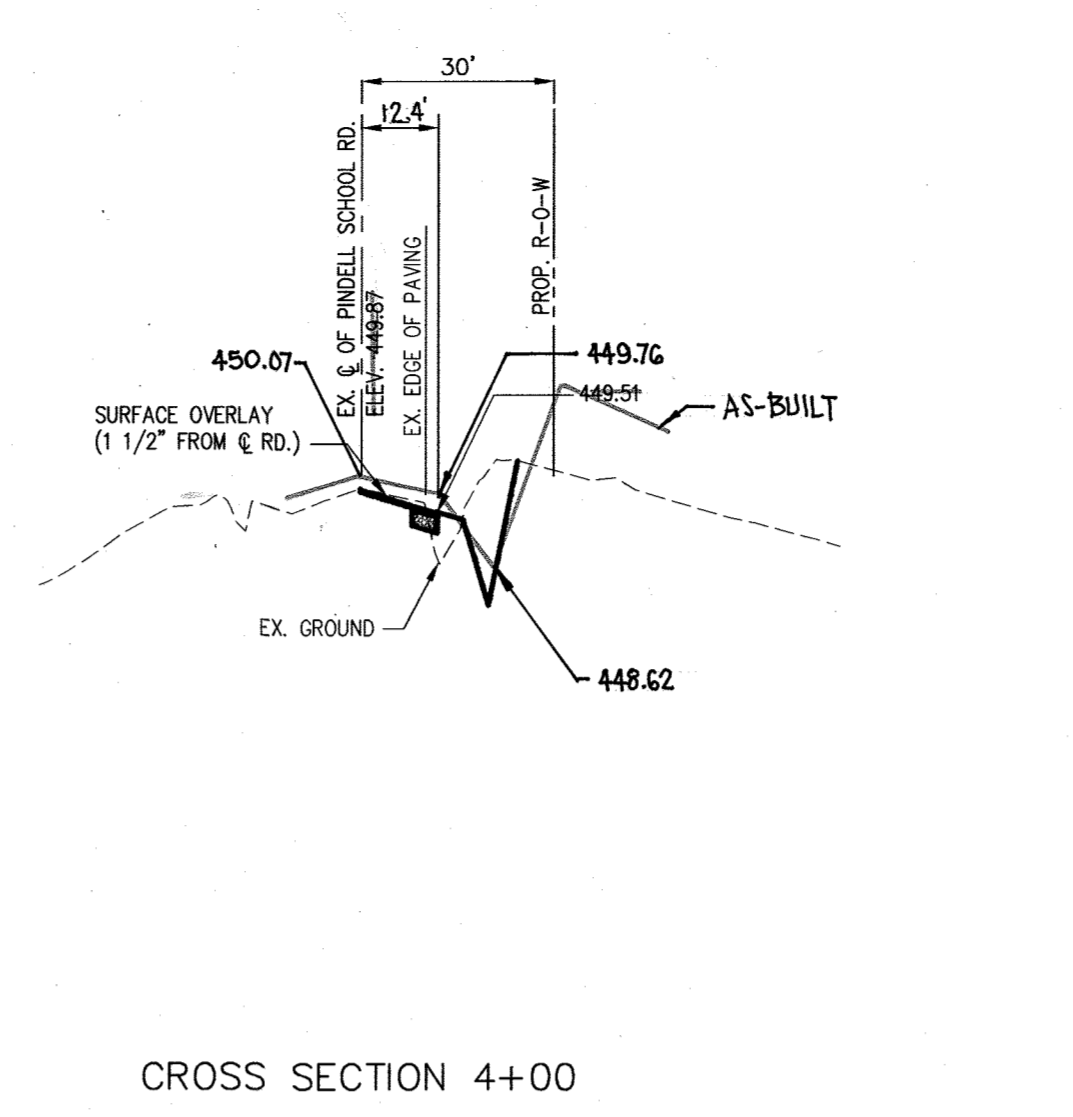




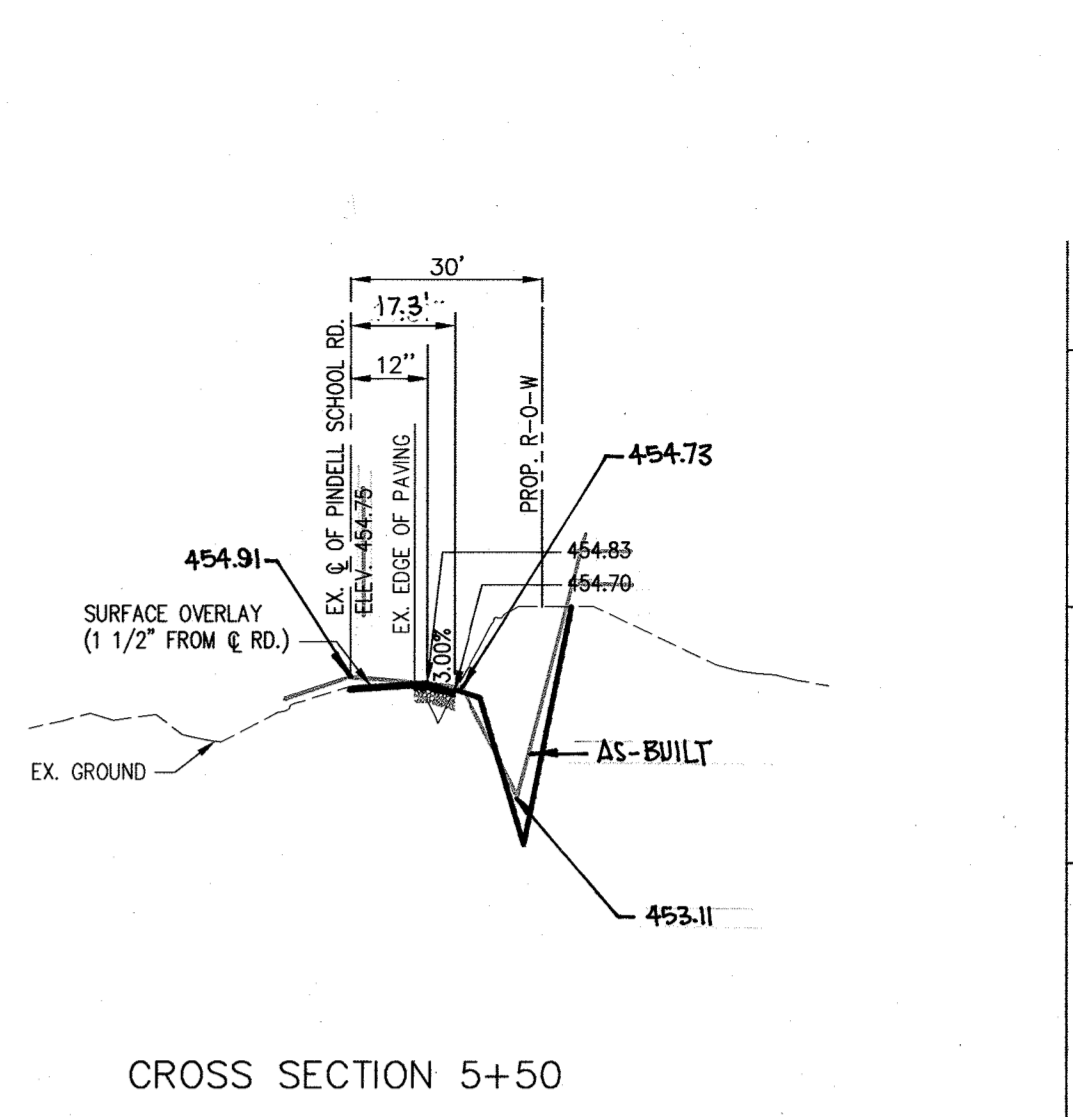
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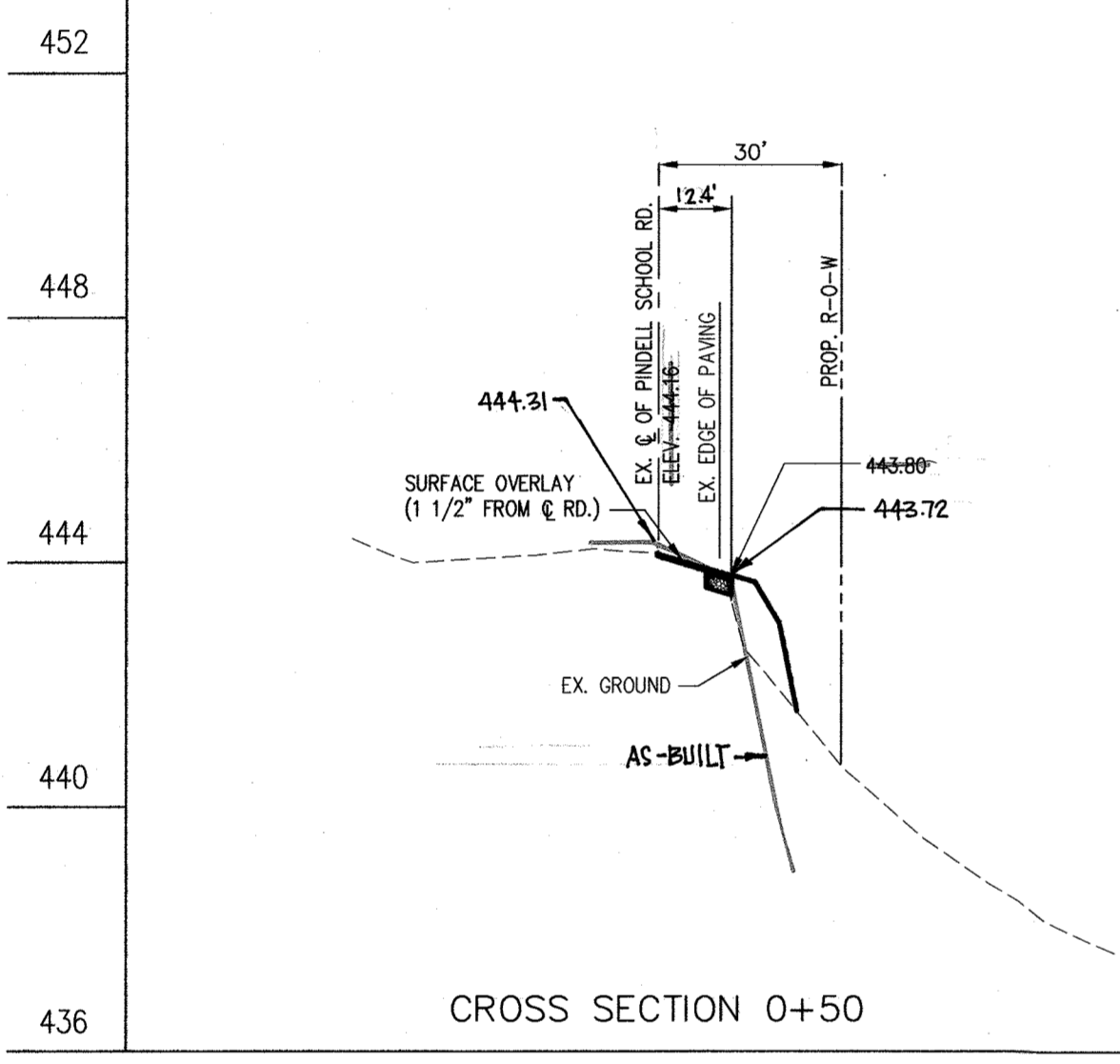
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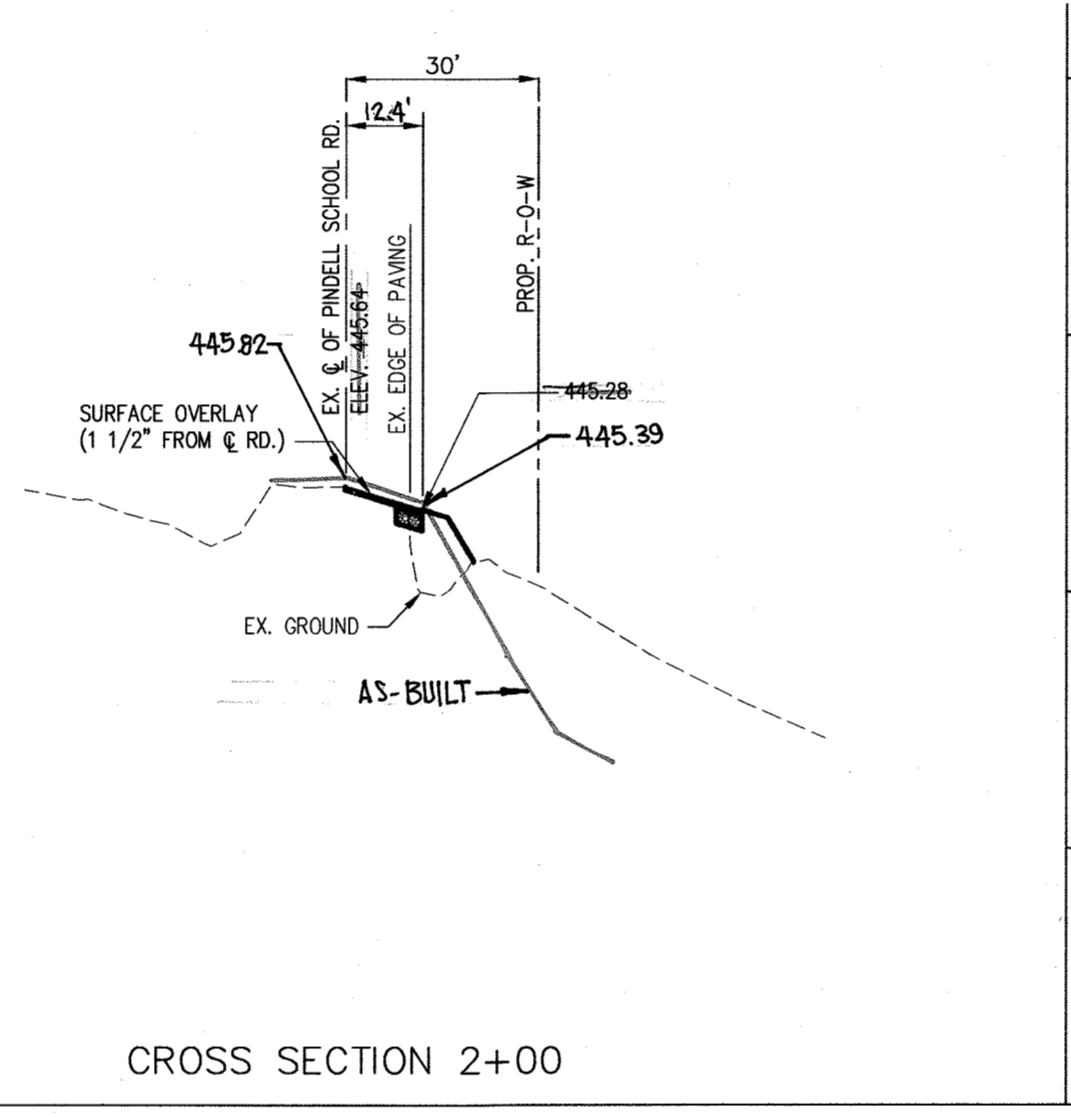
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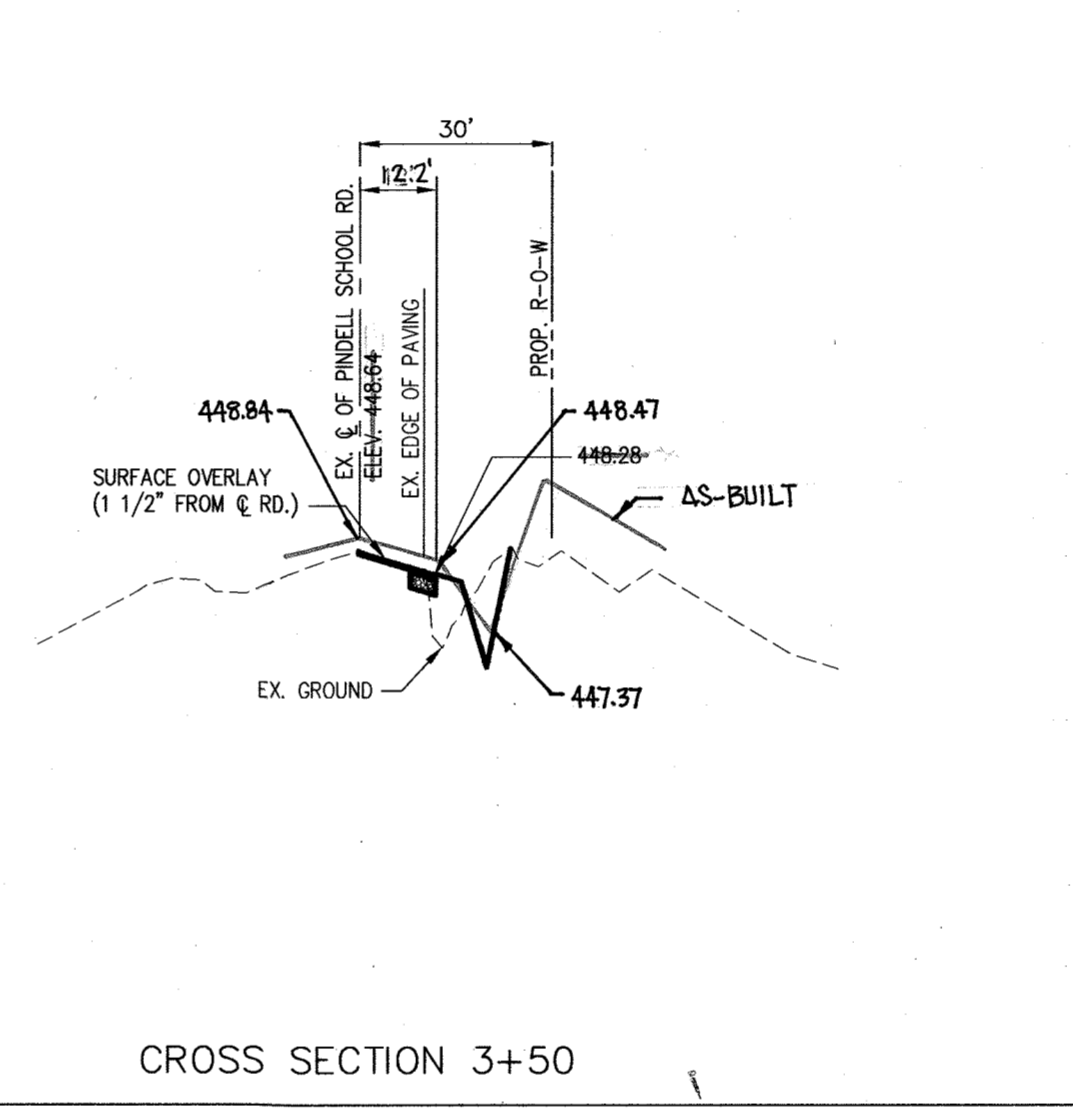
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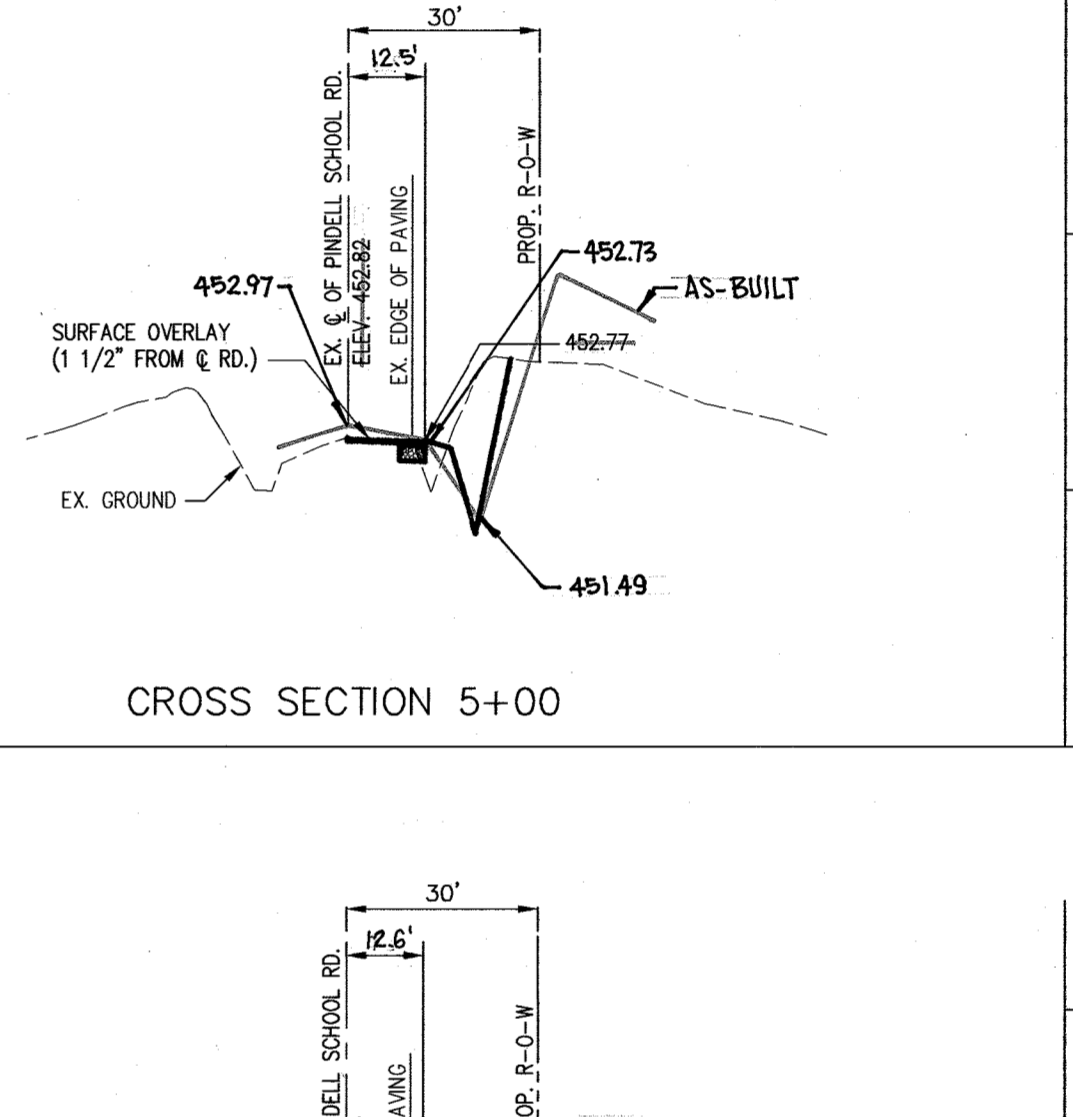
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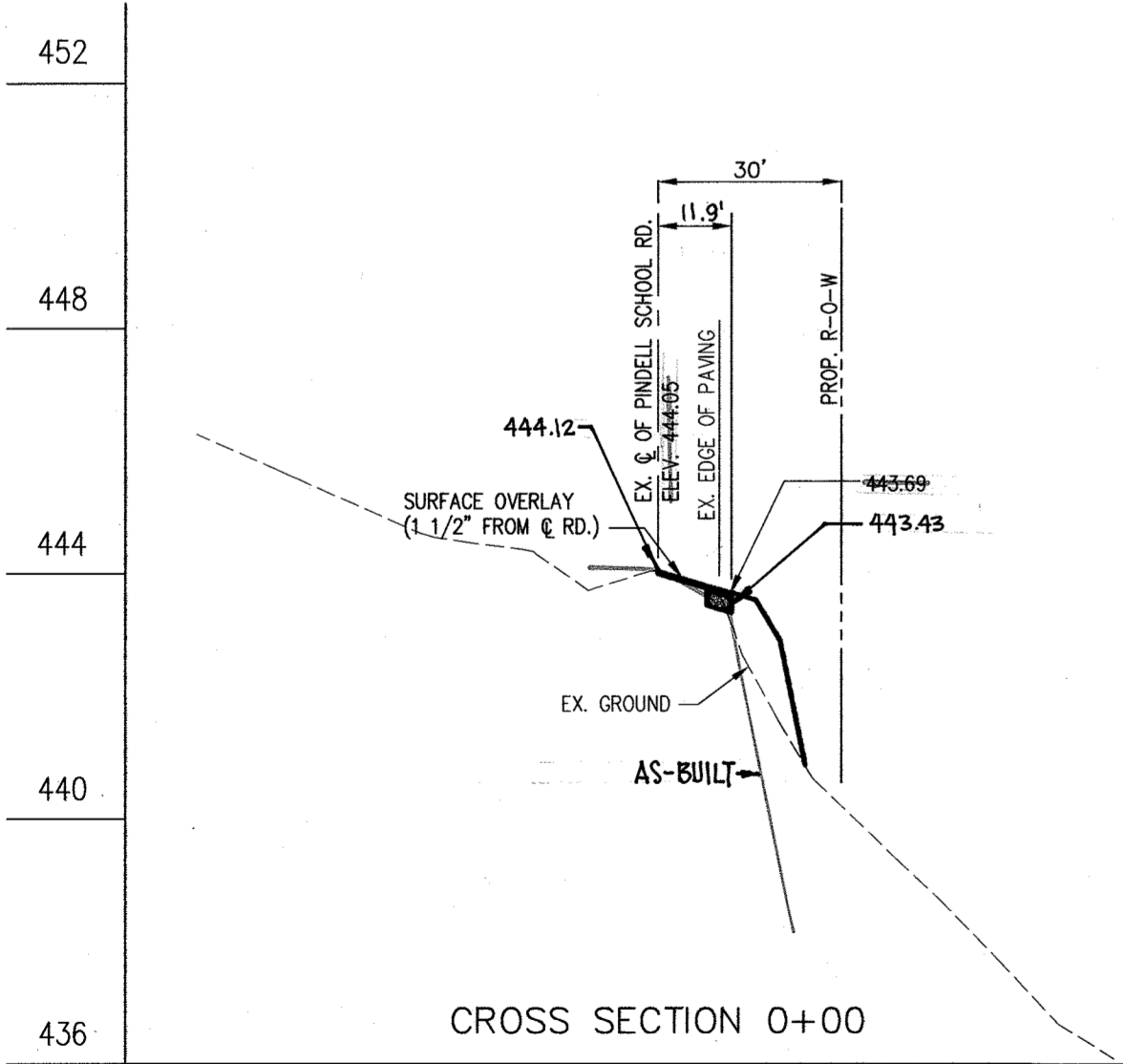
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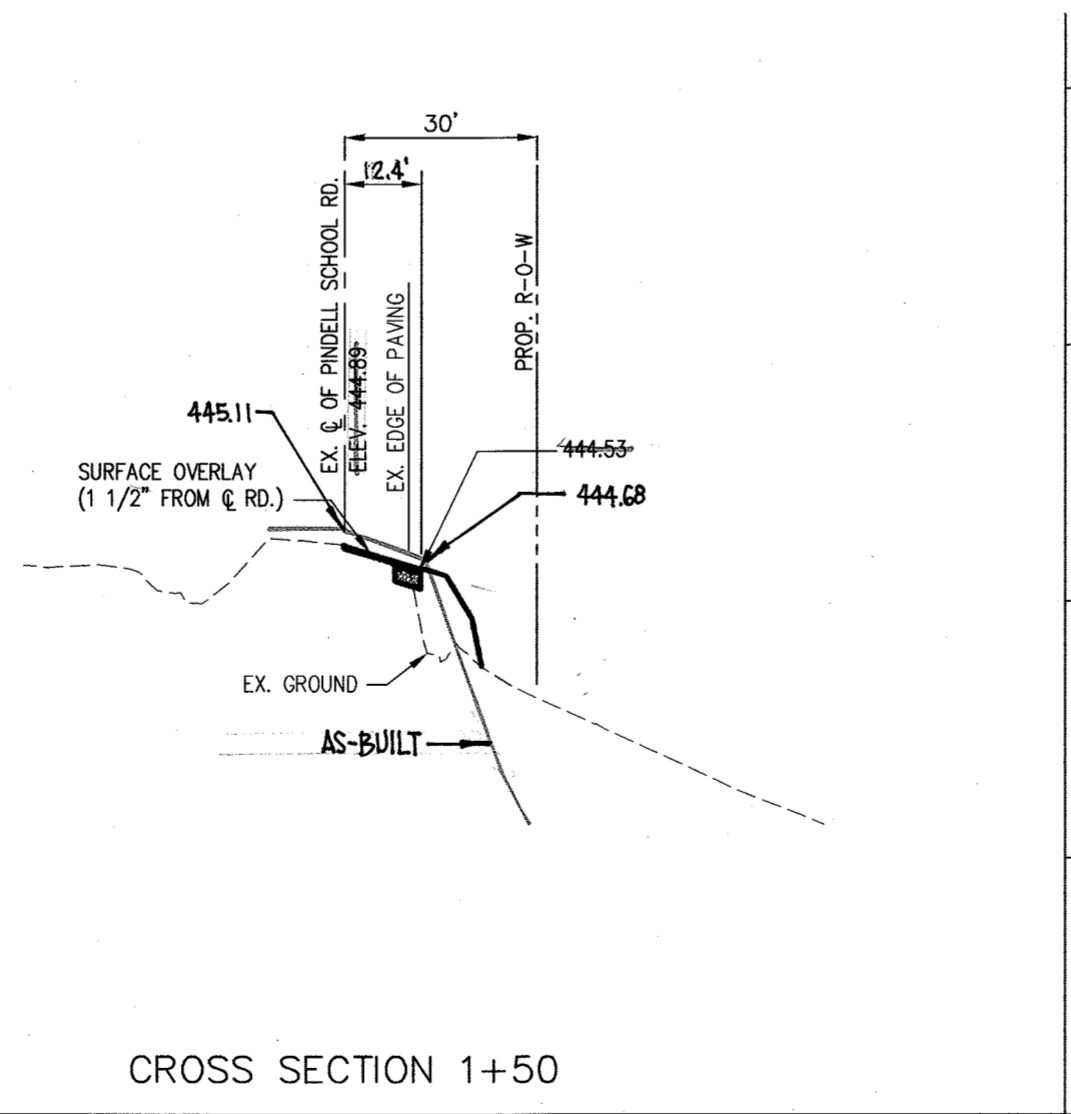
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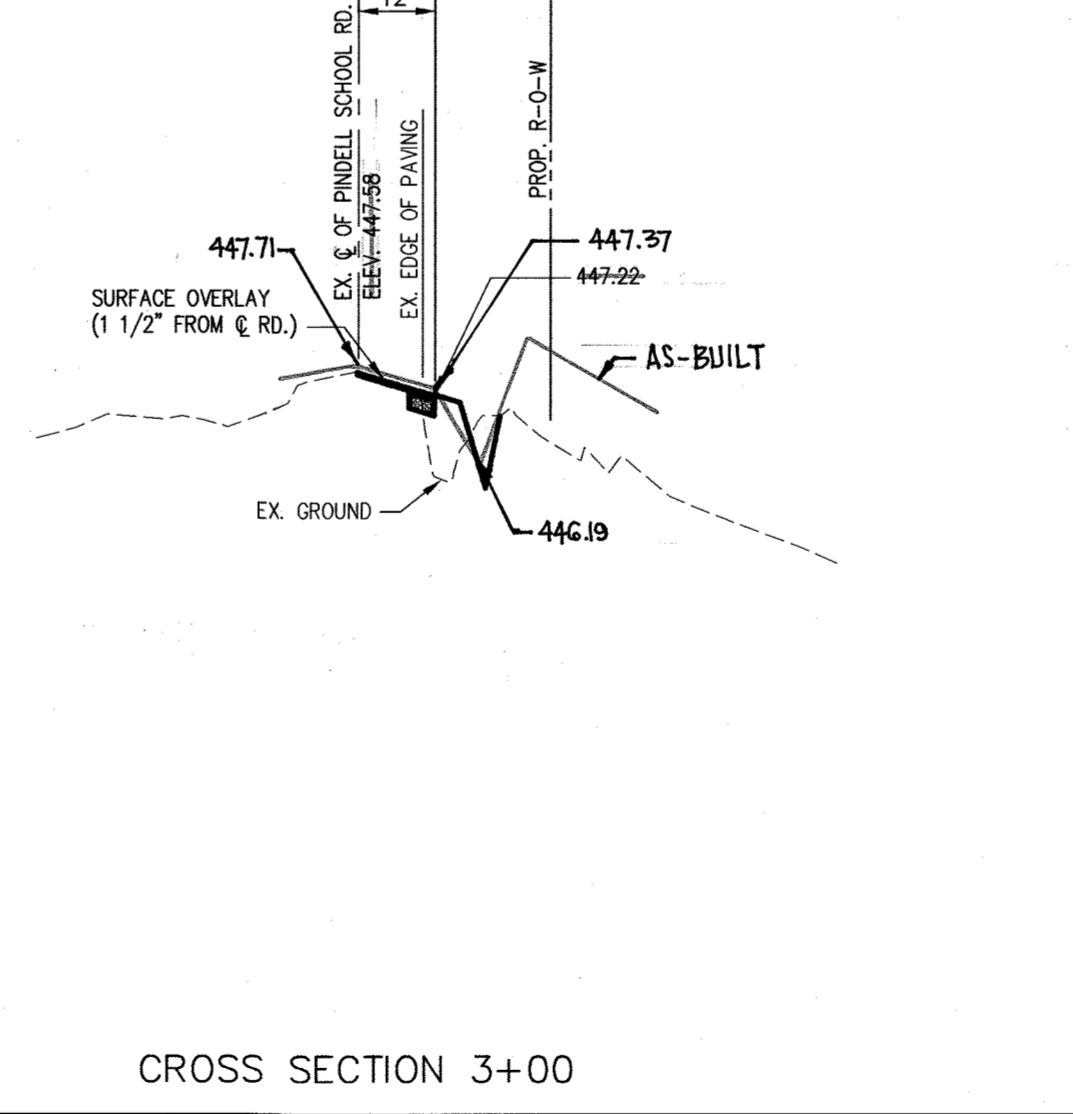
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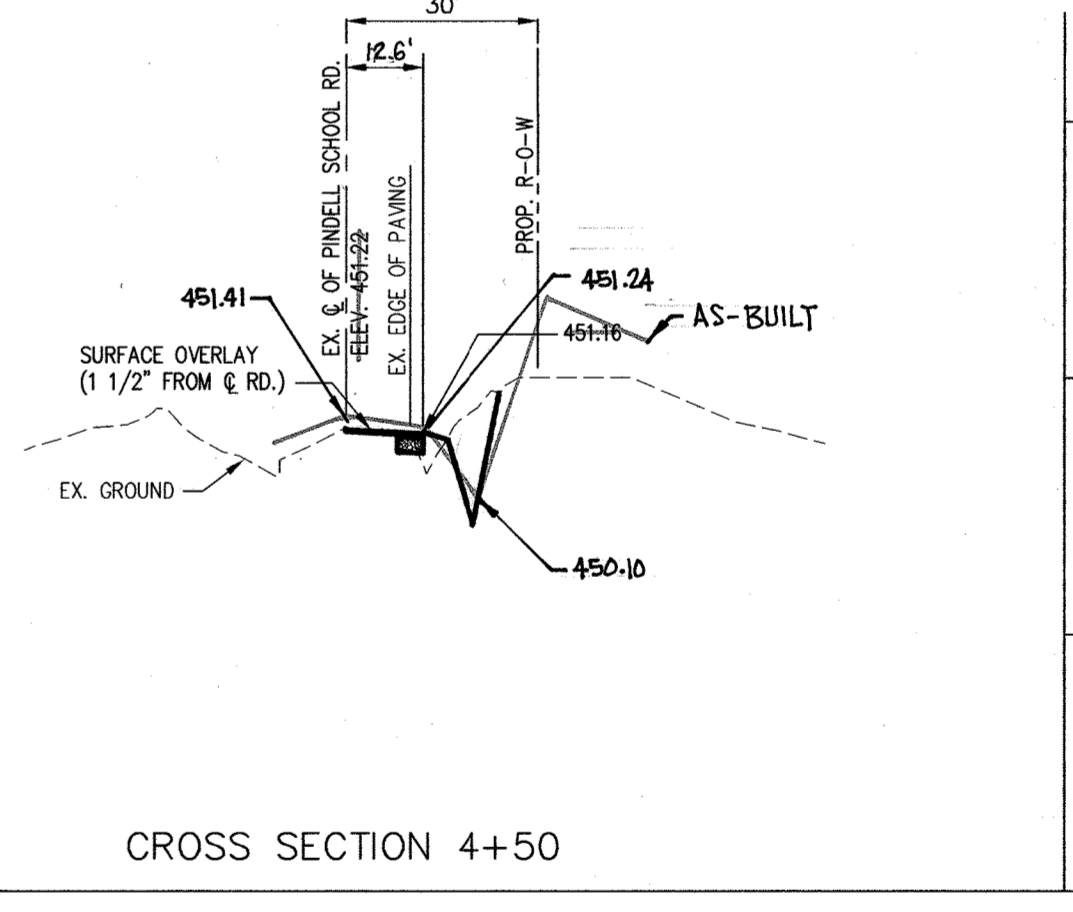
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436	436



452	452
448	448
444	444
440	440
436	436



456	456
452	452
448	448
444	444

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.

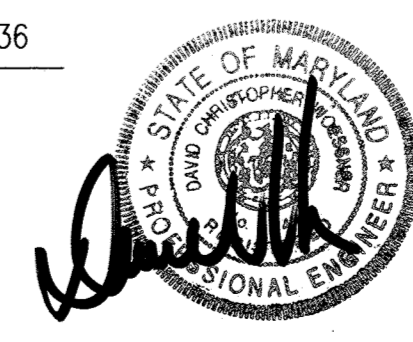
Jose Escalante
JOSE H. ESCALANTE
 License No. 13265
 Expiration Date: Dec. 26, 2012

SECTIONS

30' HORIZONTAL
 VERTICAL
 12-29-2010



NOTE:
 FOR STA. 2+50 TO STA. 5+50 USE
 STABILIZATION MATTING OR SOD
 DITCH LINING.



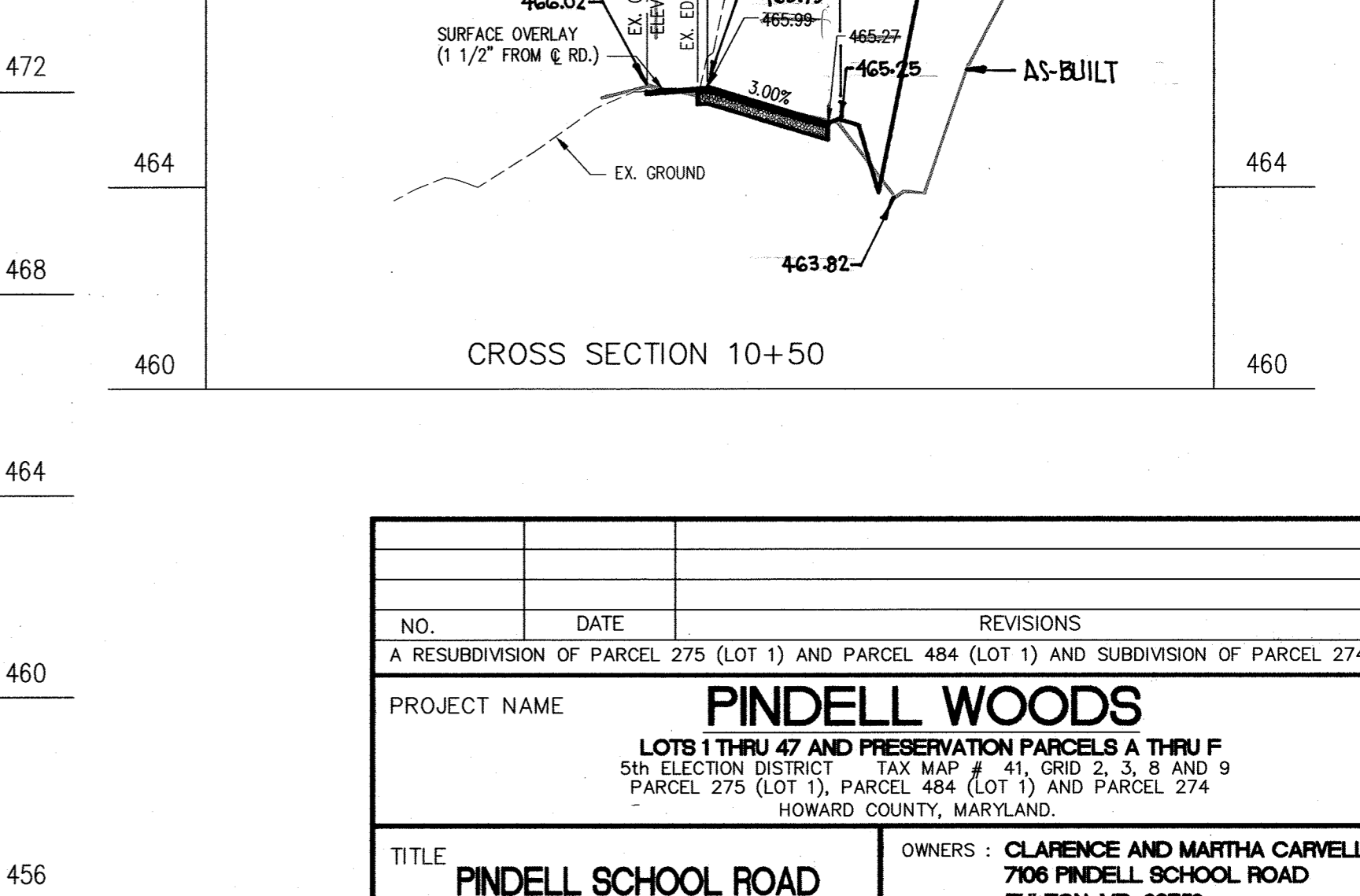
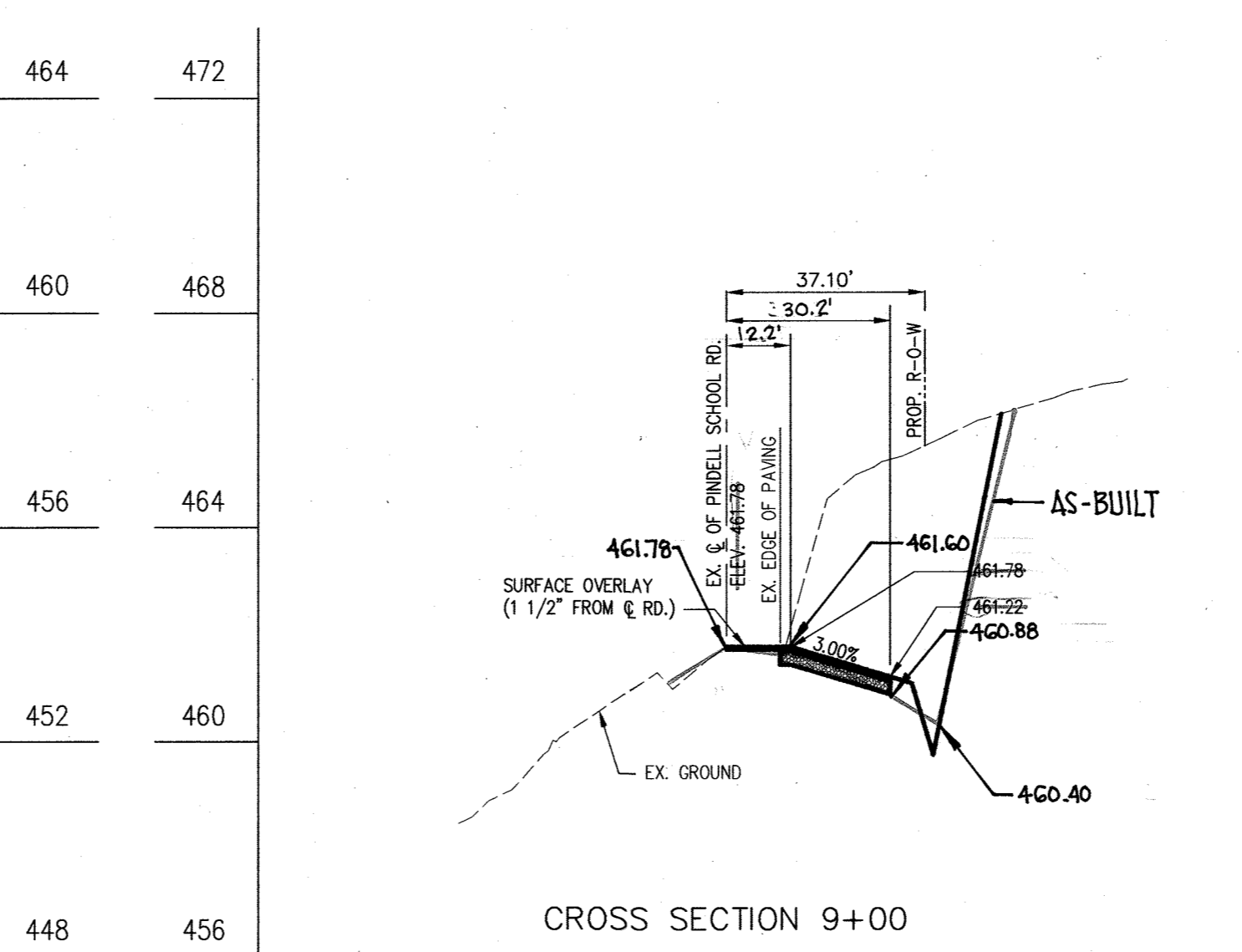
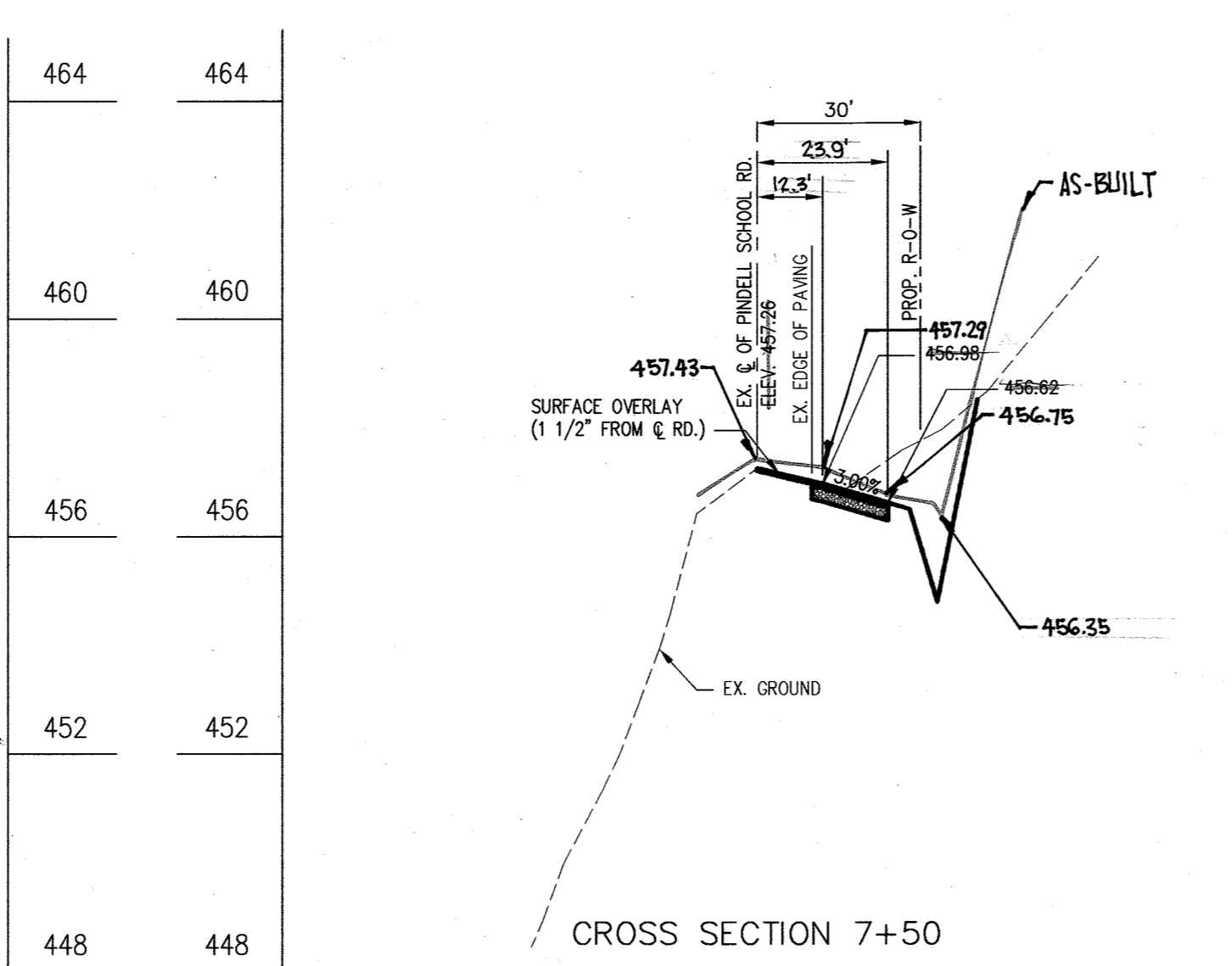
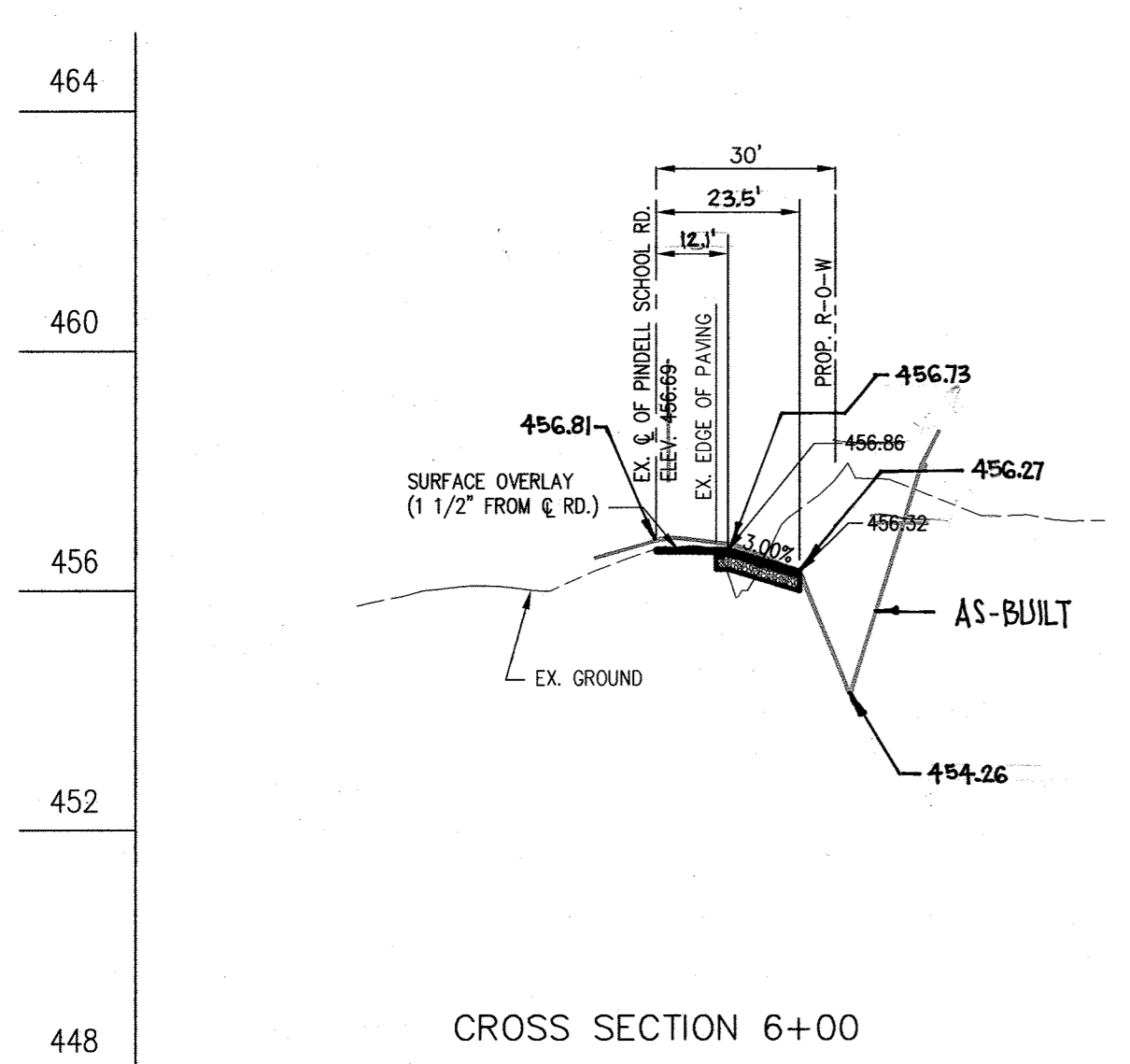
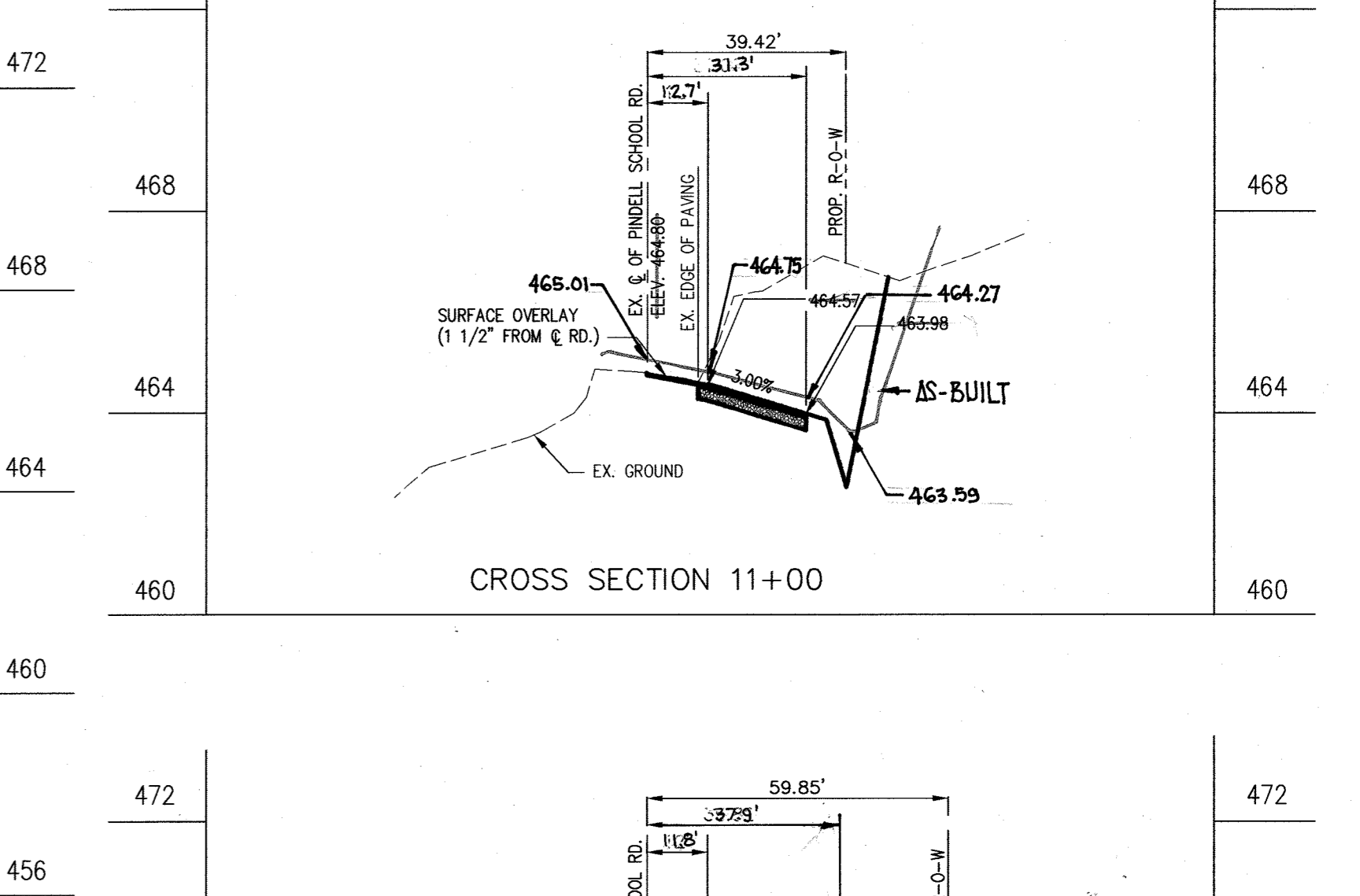
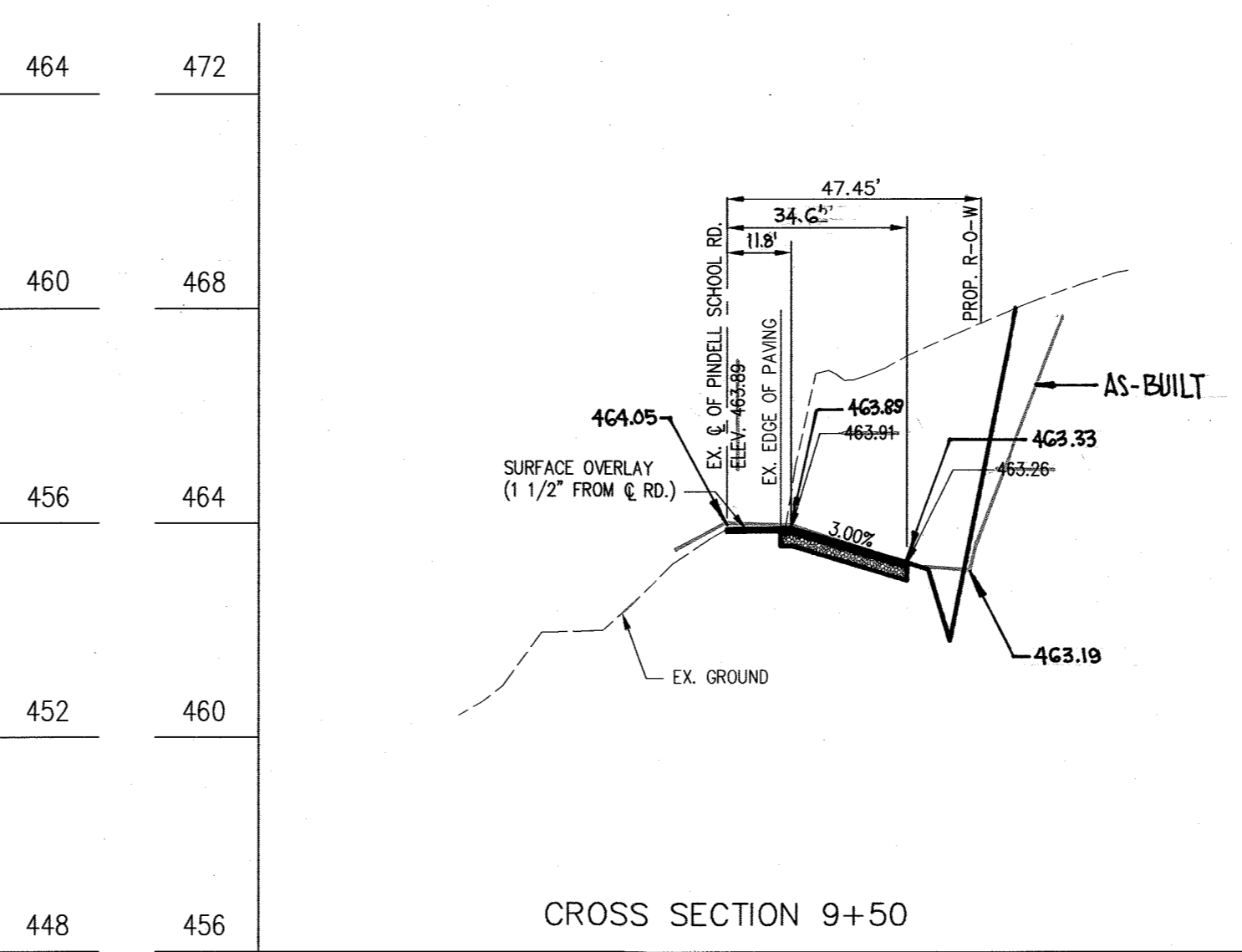
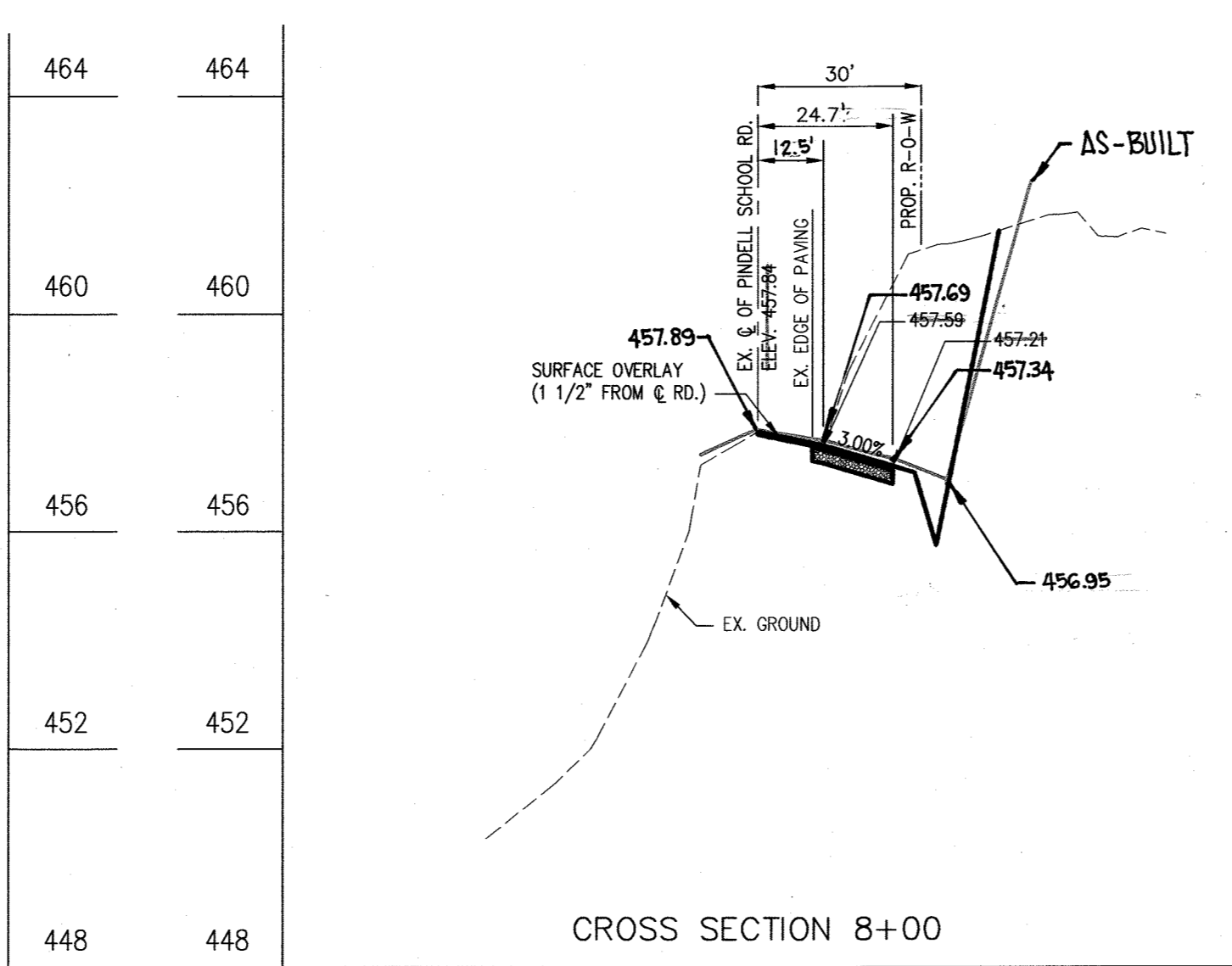
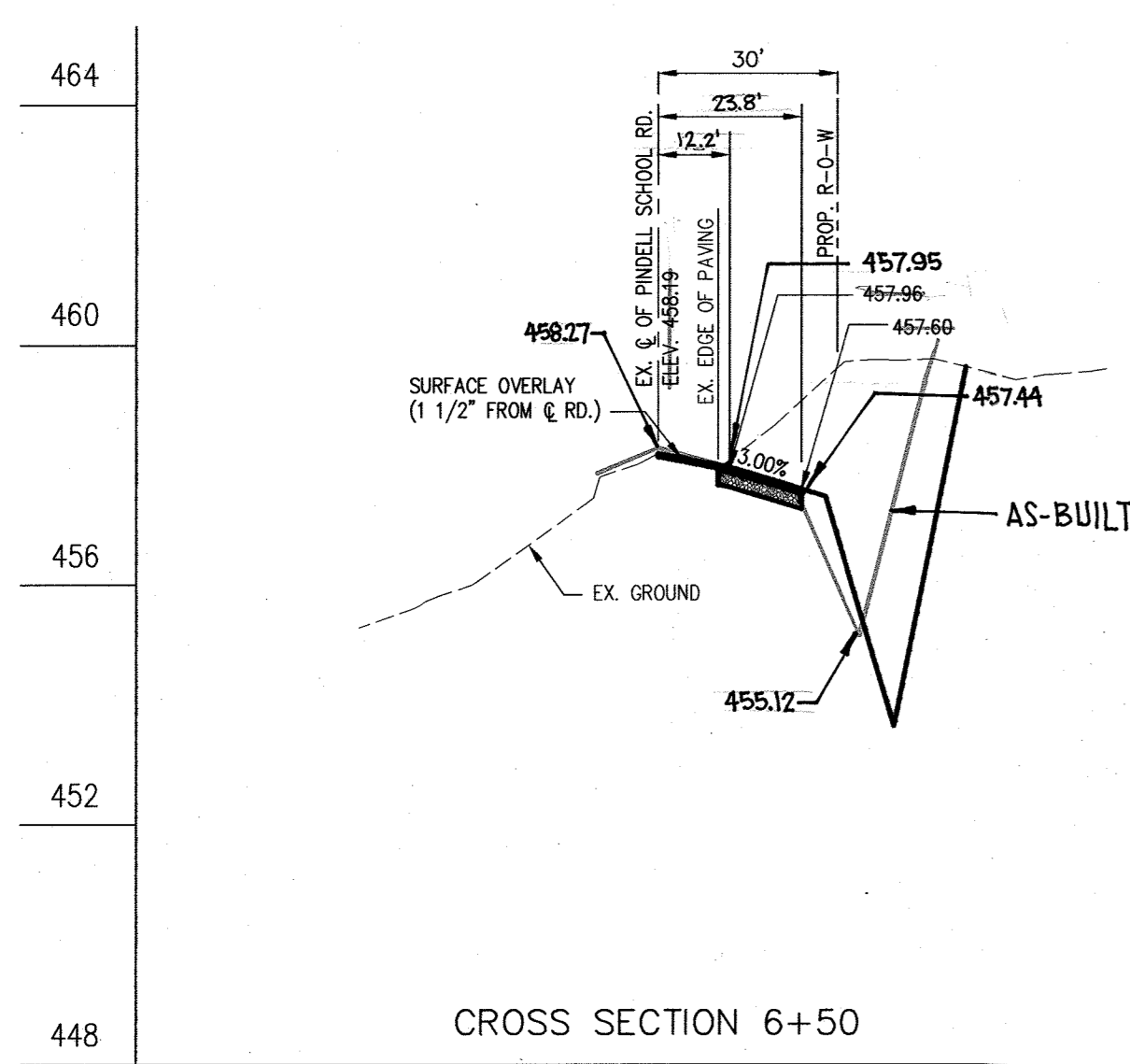
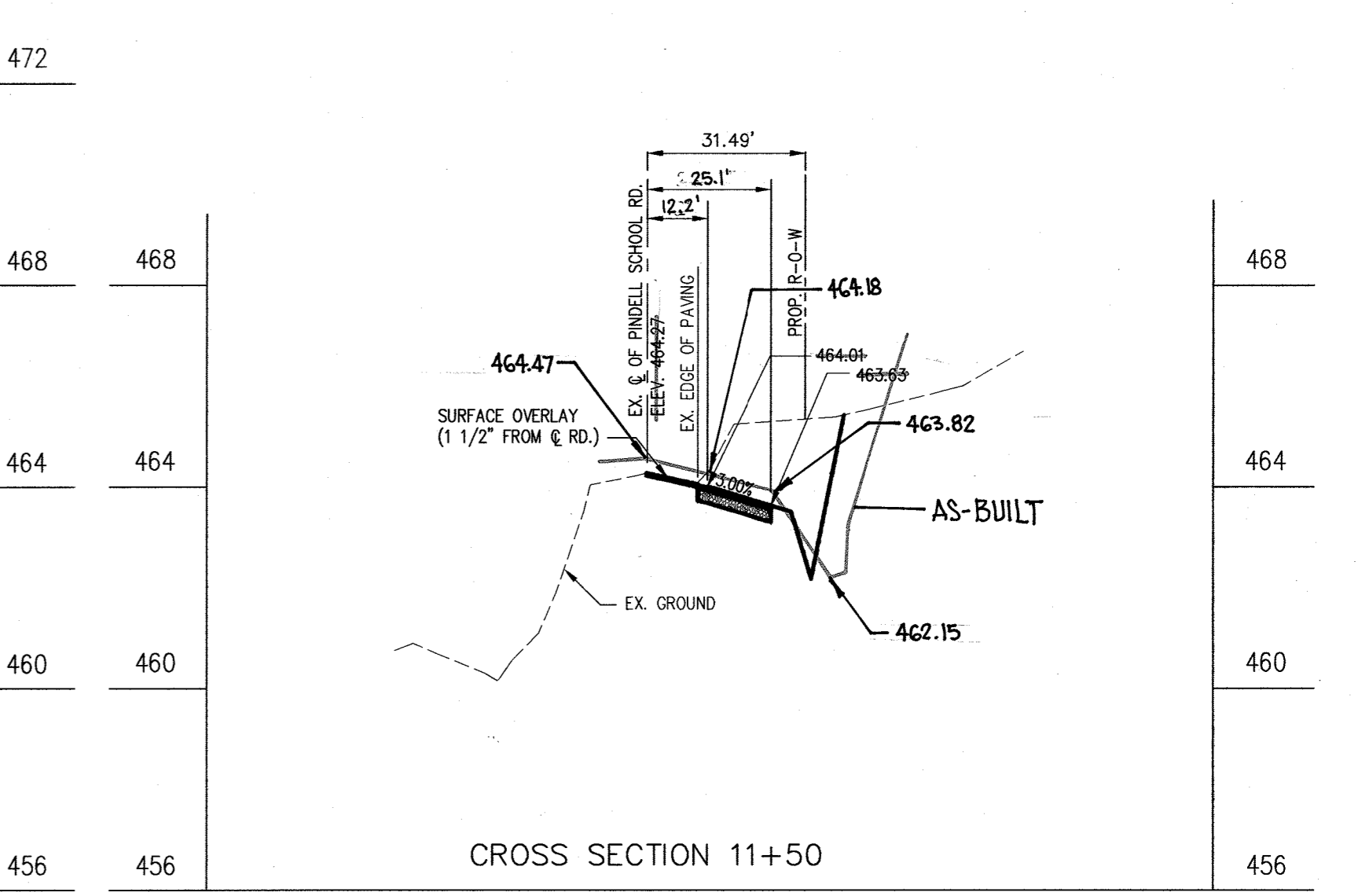
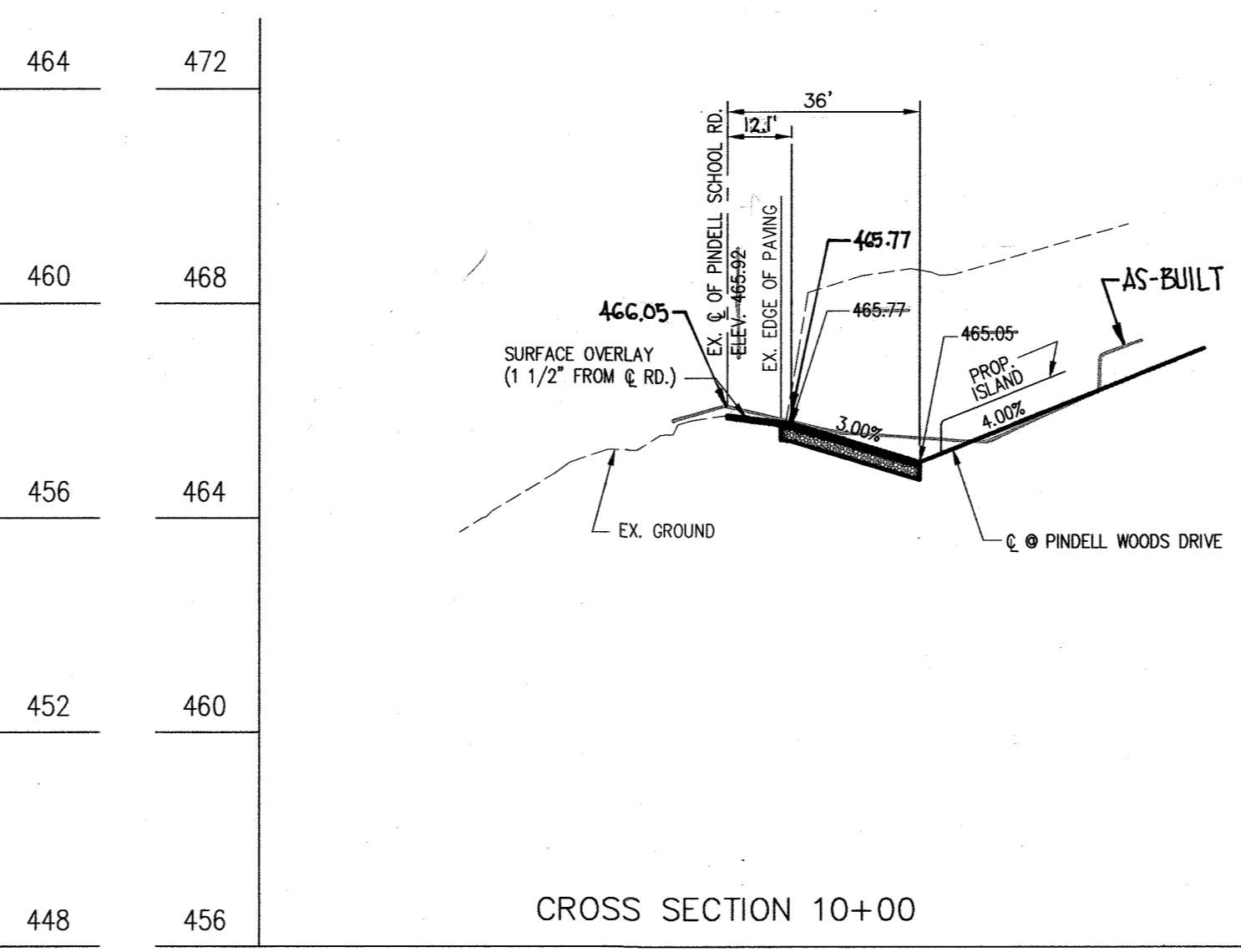
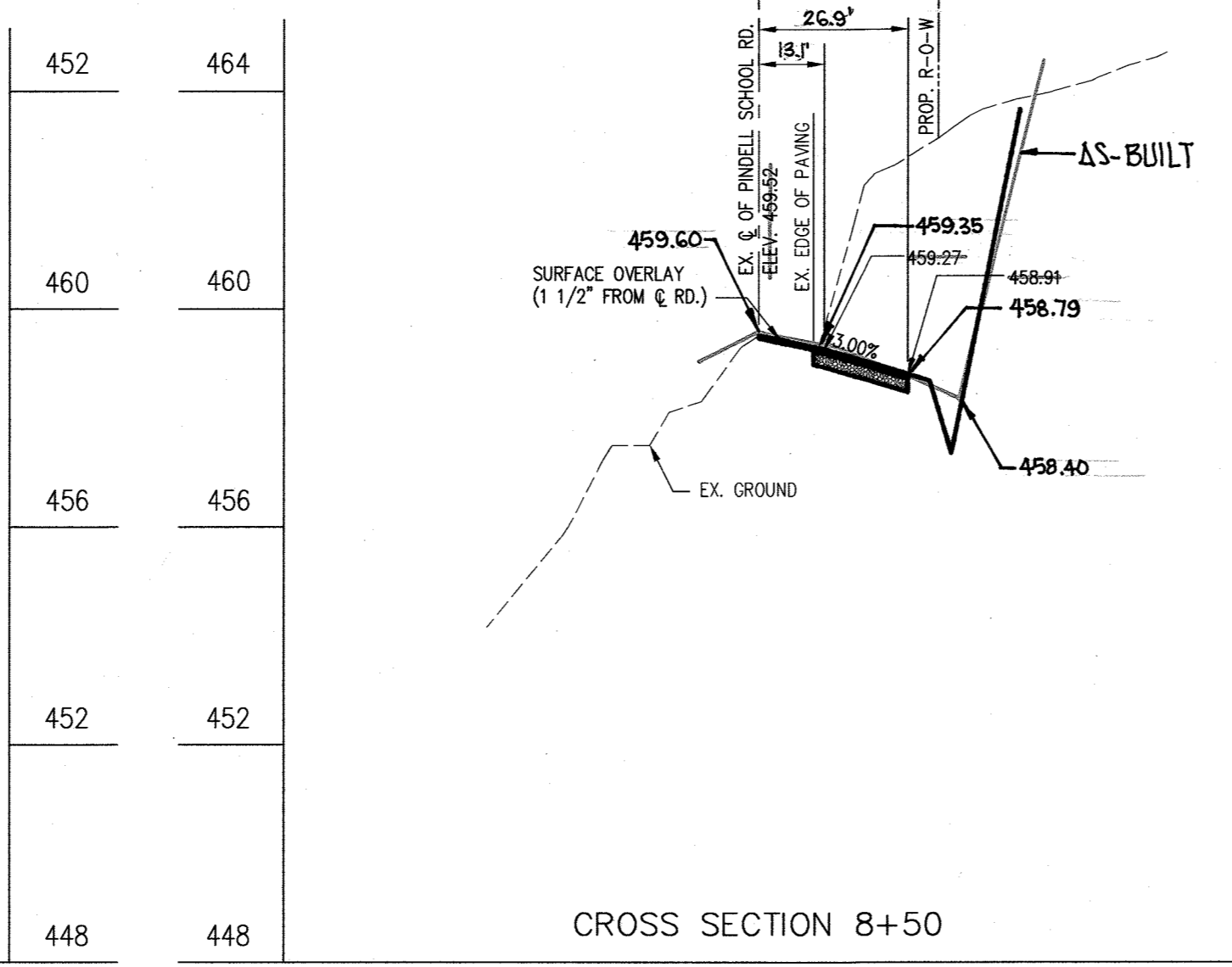
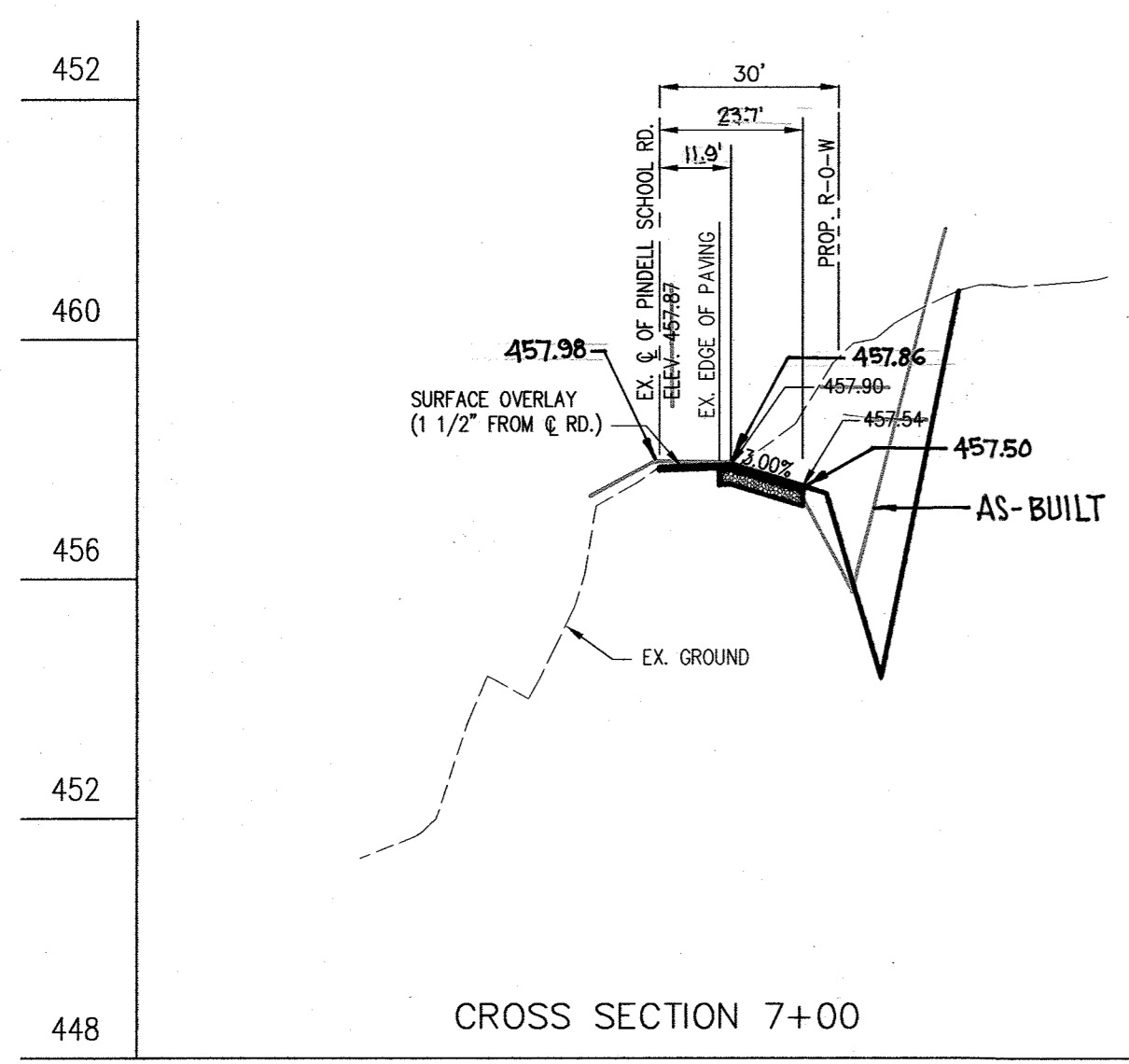
APPROVED: DEPARTMENT OF PUBLIC WORKS
Andrew M. Casella
Andrew M. Casella
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 5-7-09

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Kinnotta
Cindy Kinnotta
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/16/09

Chris...
Chris...
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/11/09

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME: PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE: PINDELL SCHOOL ROAD CROSS-SECTIONS	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 465-7903 FAX: (410) 465-3845	DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA COLUMBIA, MD. 21044	
DES.: JL/DCW/AVG	JOB:	SCALE:
DRW.: AVG/DTA/JNC	PROJ.:	AS SHOWN
CHK.: D.C.W.	DATE: 03/04/01	SHEET 10 OF 38

F-01-89



H:\p10611\TMAP\PLAN\ROADS\RECTY.dwg Wed Apr 04 16:05:32 2001

APPROVED: DEPARTMENT OF PUBLIC WORKS
Christopher M. Ouellet 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamaker 5/6/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William J. ... 5/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved Plans and Specifications.

Jose H. Escalante
 JOSE H. ESCALANTE
 License No. 13265
 Expiration Date: Dec. 26, 2012

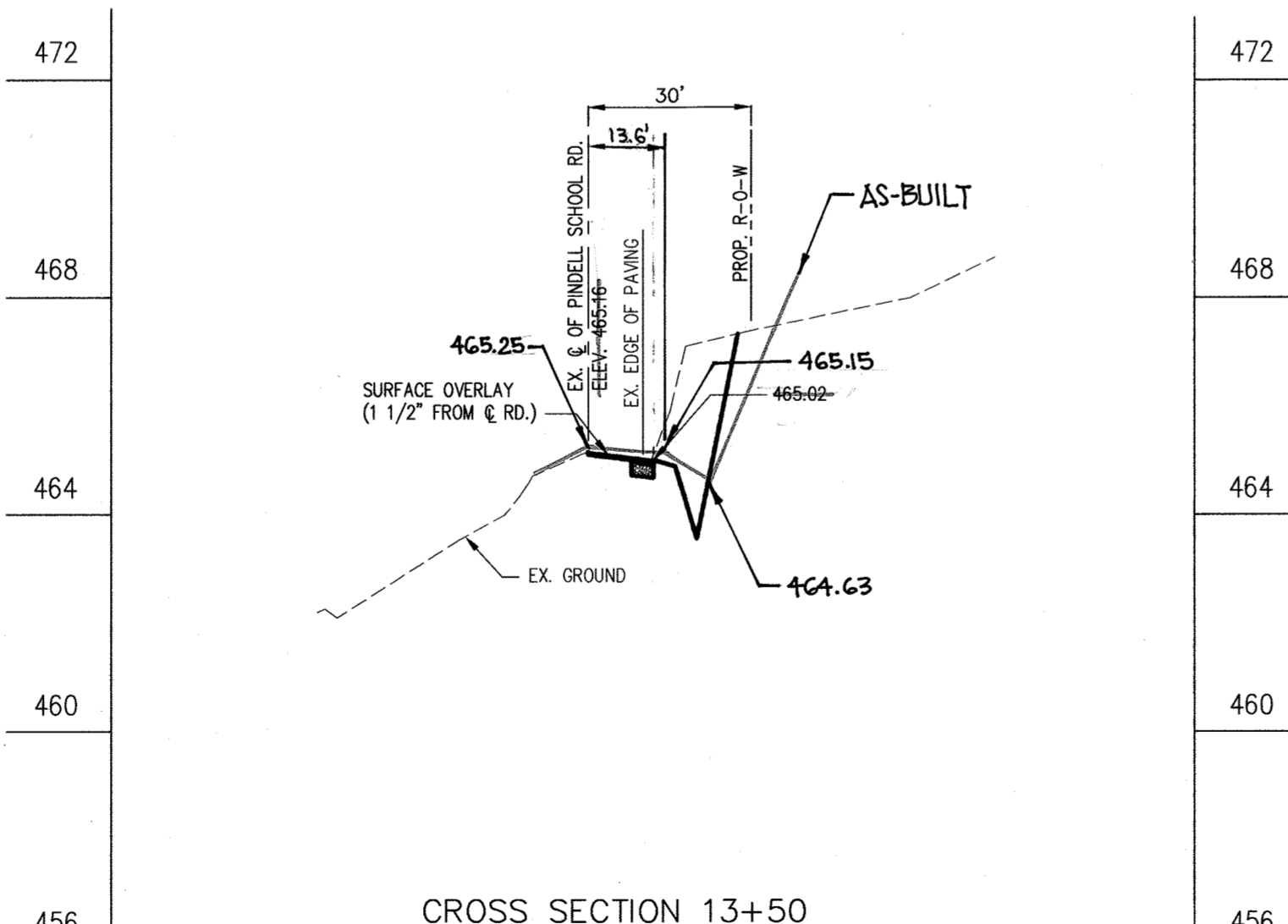
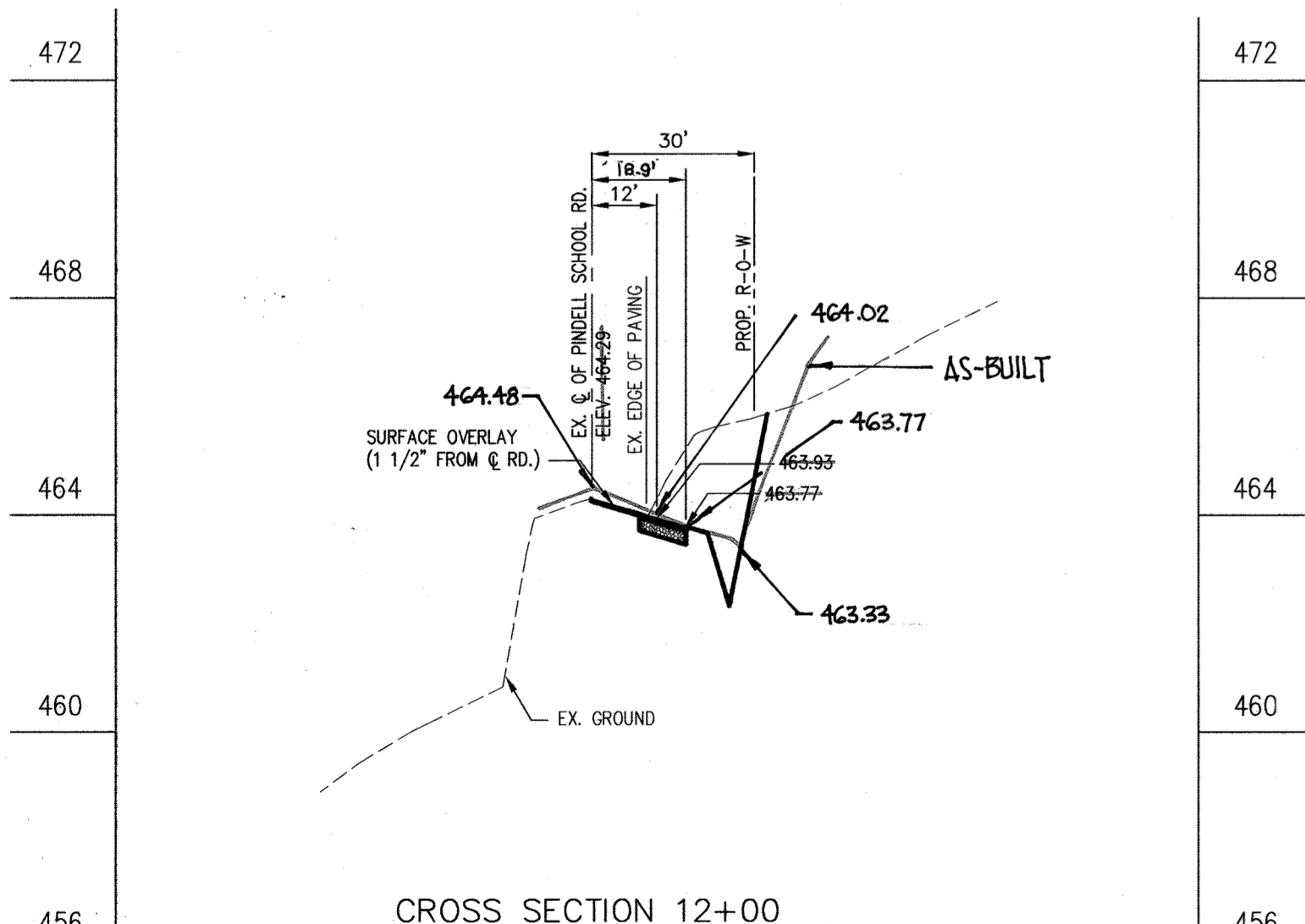
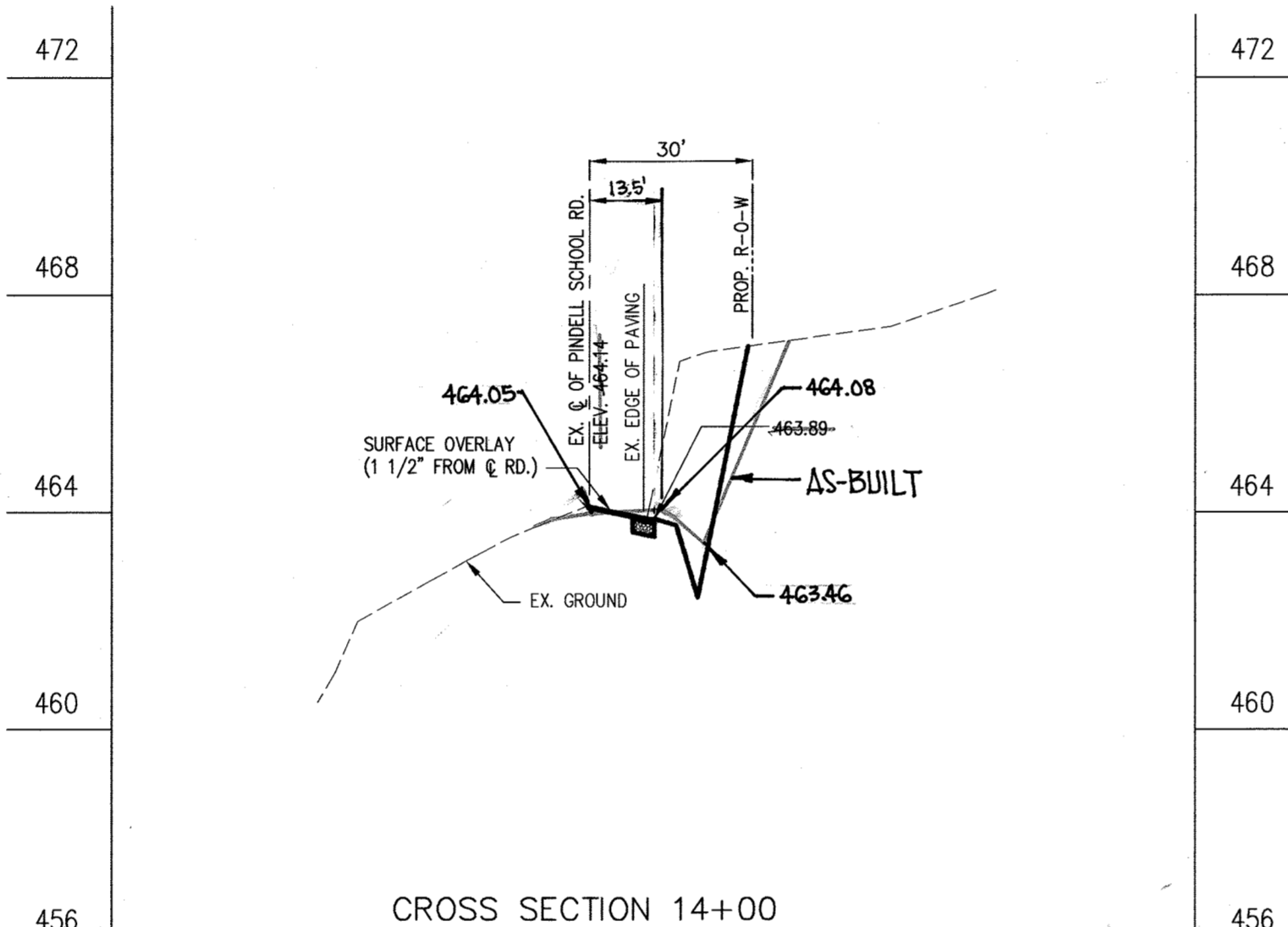
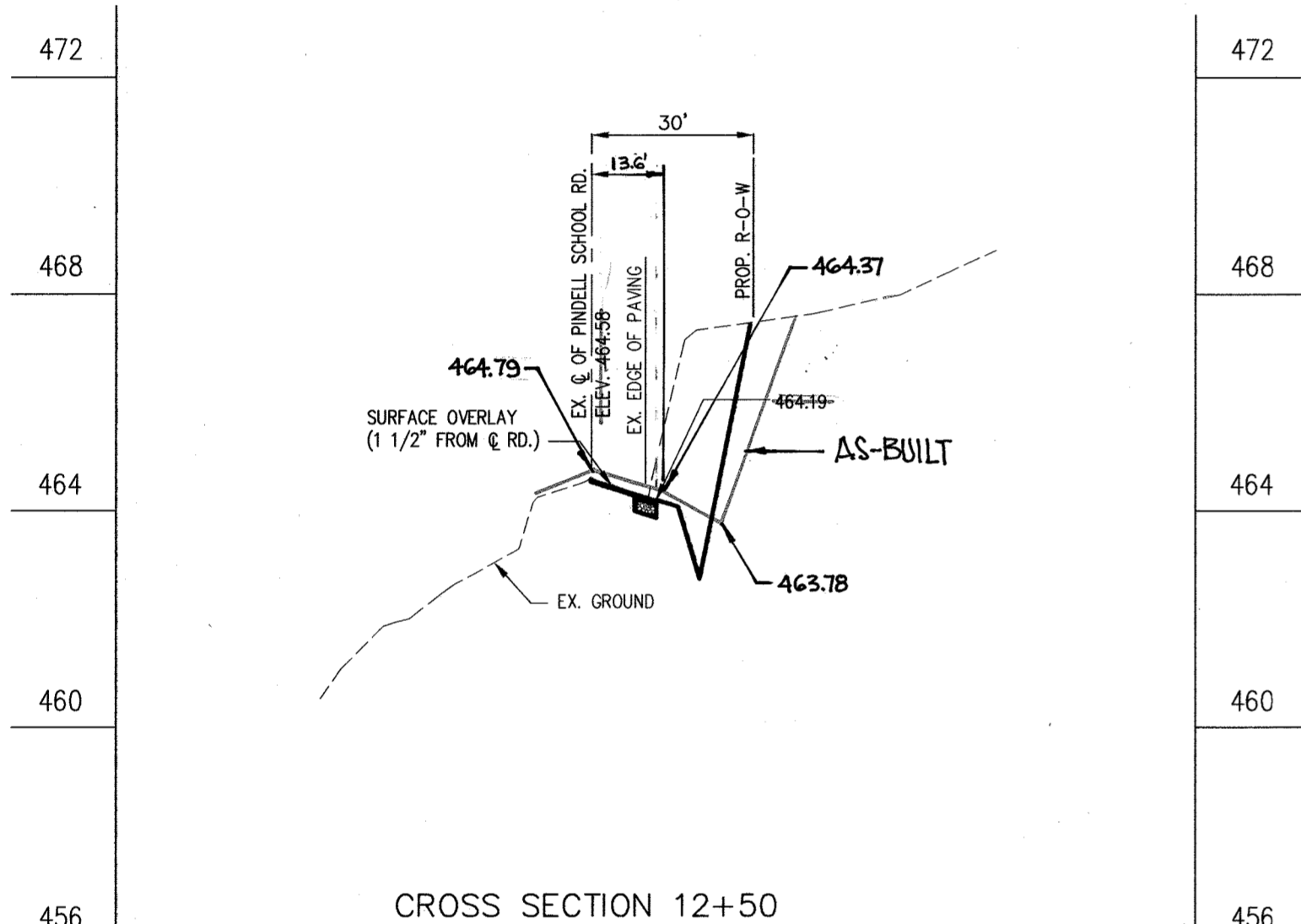
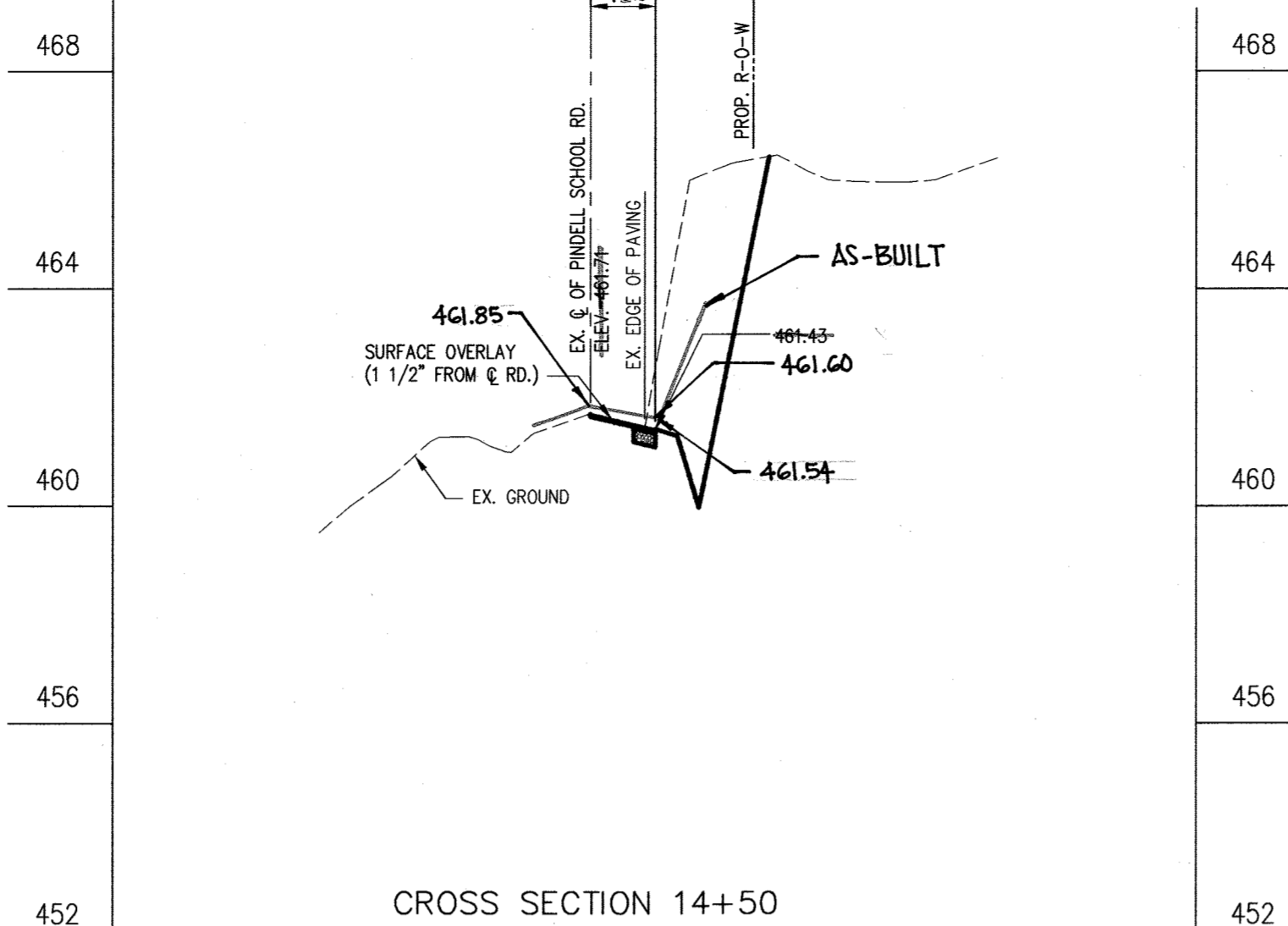
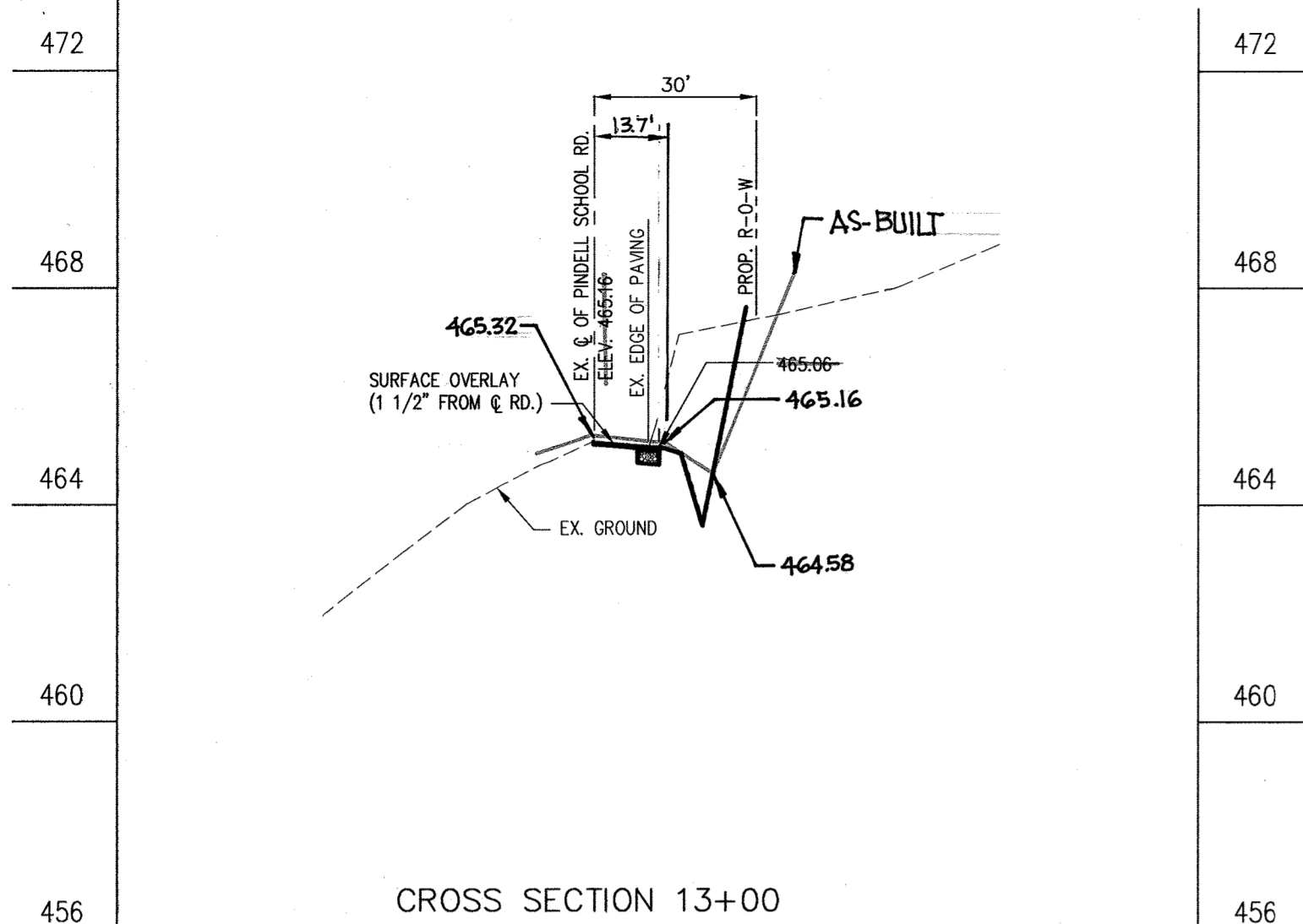
SECTIONS
 E : 1" = 30' HORIZONTAL
 1" = 3' VERTICAL
 12-29-2010

NOTE:
 FOR STA. 6+00 TO STA. 11+50 USE
 STABILIZATION MATTING OR SOD
 DITCH LINING.

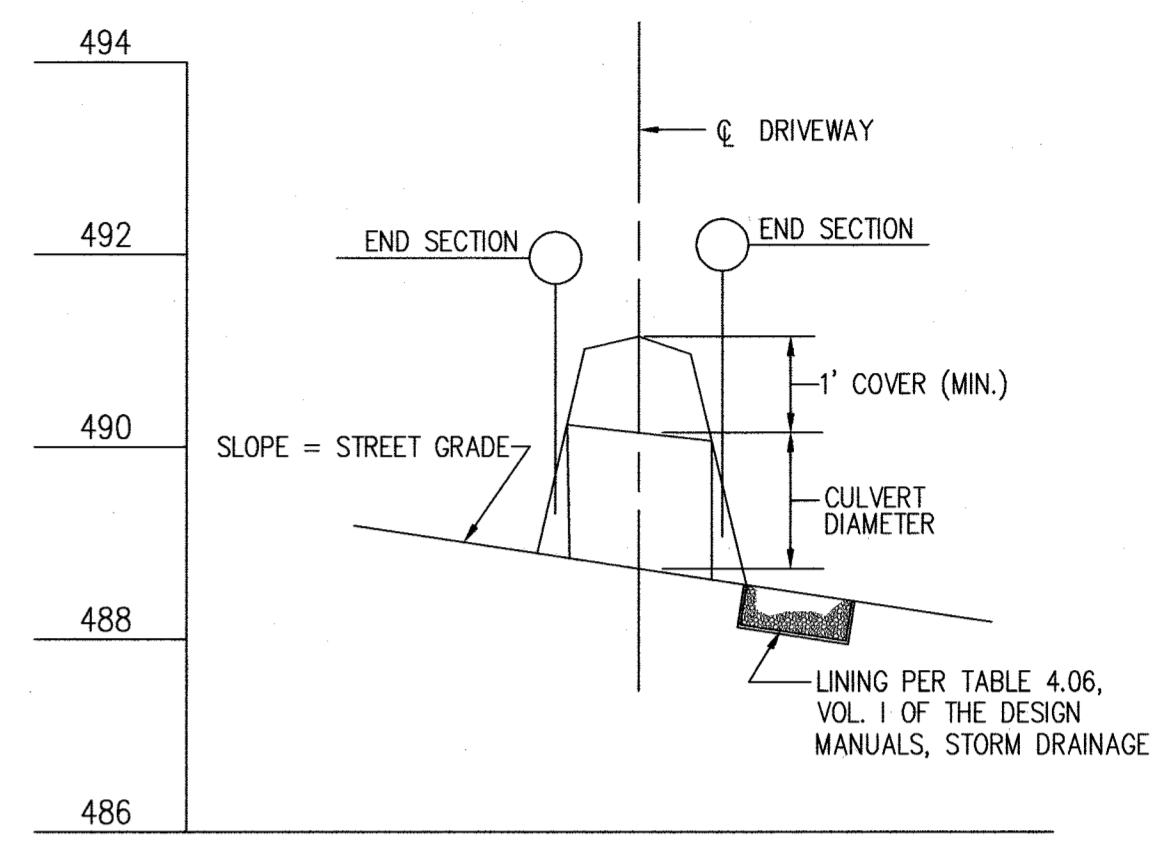


NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS : CLARENCE AND MARTHA CARWELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY :	MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
DES. :	JL/DCW/AVG	JOB :
DRW. :	AVG/DIA/INC	PROJ. :
CHK. :	D.C.W.	DATE :
SCALE :		SHEET 11 OF 38

F-01-89



DRIVEWAY CULVERT DATA									
LOT NUMBERS	STREET GRADE	DISCHARGE Q ₁₀ (CFS)	PIPE TYPE	PIPE DIAMETER	PIPE CAPACITY (CFS)	FULL FLOW VELOCITY (FPS)	OUTFALL PROTECTION FOR CULVERT AND ROAD SIDE DITCH	REMARKS	
1	4.00	3.42	15\"/>						



TYPICAL DRIVEWAY CULVERT PROFILE
SCALE: 1" = 20' HORIZONTAL
1" = 2' VERTICAL

TABLE 4.06 LIMITING VELOCITIES FOR DITCHES AND CHANNELS		
Lining Type	Allowable Velocities (fps)	Remarks
Earth, without vegetation	1.0 to 3.0	USE SOIL STABILIZATION MATTING OVER SEED AND MULCH FOR CONSTRUCTION ITEMS
Seed & Mulch	2.5	
Grains, Stiff Stemmed Grasses	2.0 to 3.0	
Bunch Grass	2.0 to 4.0	
Solid Sodding	4.0	
Stiff Clay or Clay & Gravel	3.0 to 5.0	
Fine Gravel	5.0	
Well-established Grasses, short plant blades	5.0	
Soil Stabilization Matting over Seed & Mulch	5.6	
Shale & Rock Course Gravel (Class 1 Riprap)	6.0	
Riprap	Varies	Refers to SHA 61.1-405.1
Concrete Channel	No Maximum	

(1) OUTFALL PROTECTION PER TABLE 4.06, VOL. 1 OF THE DESIGN MANUALS.

NOTE: 10 YEAR DISCHARGE SHOWN ARE DISCHARGE TO DOWNSTREAM INLET.

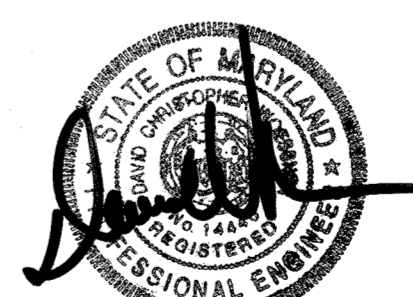
Note: This chart based on SHA 61.1-405.0, dated 1994

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the Approved Plans and Specifications.



Jose H. Escalante
JOSE H. ESCALANTE
License No. 13265
Expiration Date: Dec. 26, 2012
12-29-2010



PPE SCHEDULE			
PIPE SIZE (IN.)	CLASS/TYPE	TOTAL LENGTH (FT.)	REMARKS
15	HDPE SMOOTH INTERIOR	315	
18	HDPE SMOOTH INTERIOR	2,962	
24	HDPE SMOOTH INTERIOR	1,069	
30	HDPE SMOOTH INTERIOR	168	

SECTIONS

SCALE: 1" = 30' HORIZONTAL
1" = 3' VERTICAL

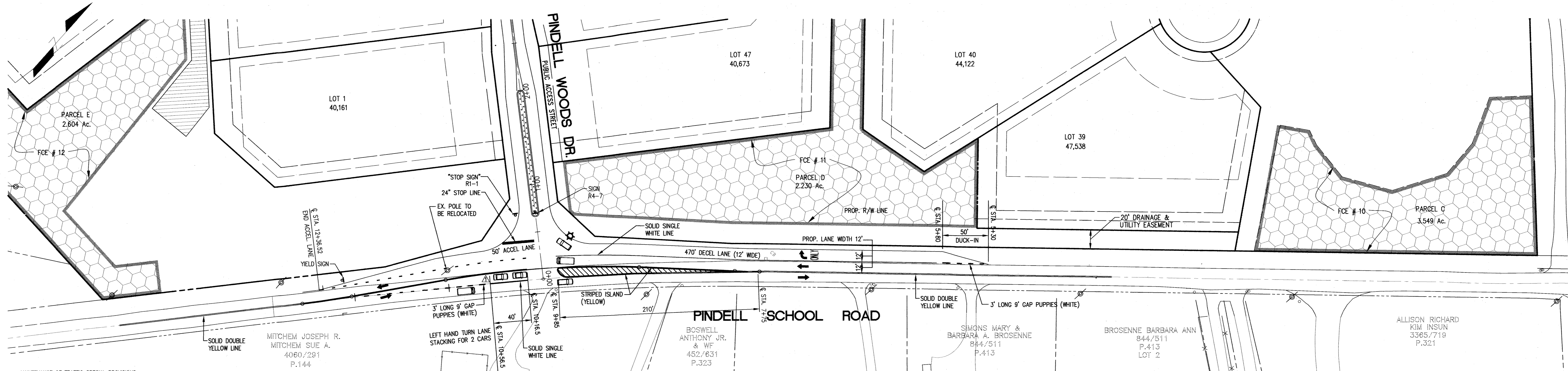
NOTE: FOR STA. 11+50 TO STA. 13+50 USE SEED AND MULCH DITCH LINING AND STABILIZATION MATTING OR SOD FROM STA. 13+50 TO STA. 14+50.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Joseph M. Daniels 5/1/01 DATE
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamilton 5/6/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Bob Parnowski 5/6/01 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, B AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE PINDELL SCHOOL ROAD CROSS-SECTIONS	OWNERS : CLARENCE AND MARTHA CARWELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY : AE AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX (410) 465-3845	DEVELOPER : MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES. : JL/DCW/AVG	JOB :	
DRW. : AVG/DTA/INC	PROJ. :	SCALE :
CHK. : D.C.W.	DATE : 03/04/01	SHEET 12 OF 38



STRIPING PLAN

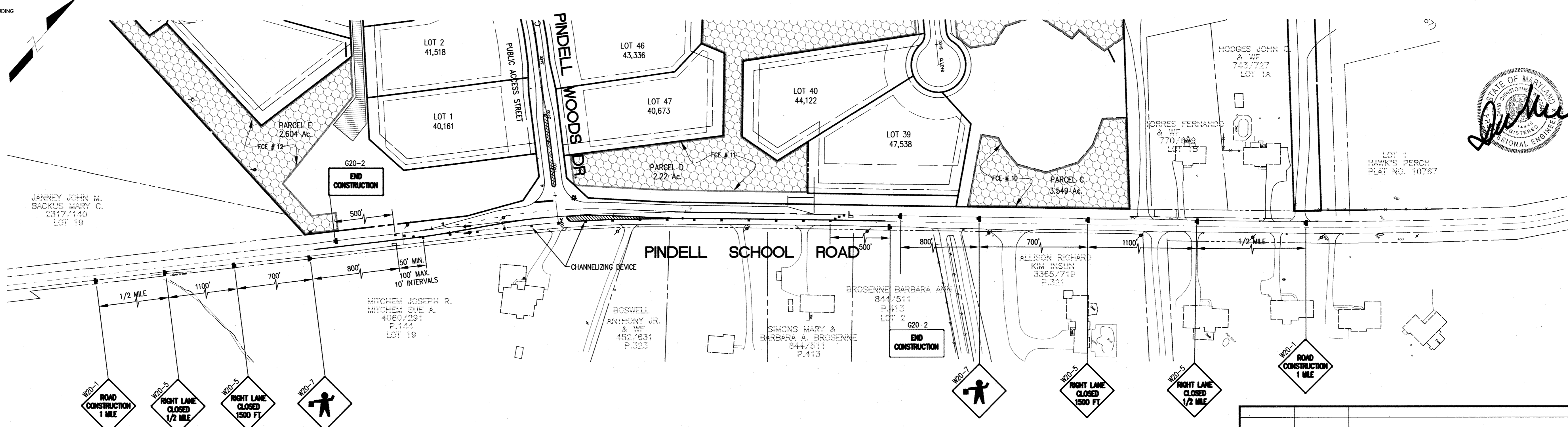
SCALE : 1" = 50'

NOTES : 1. REMOVED EXISTING STRIPING AFFECTED BY NEW STRIPING LINES.
 2. ALL LANE DESIGNATION TO BE THERMOPLASTIC LINE STRIPING.
 3. FOR PROPOSED IMPROVEMENT TO PINDELL SCHOOL ROAD, SEE SHEET 8 OF 37.

MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

- GENERAL
- THE PURPOSE OF THIS PORTION OF THE SPECIAL PROVISION IS TO SET FOR THE TRAFFIC CONTROL REQUIREMENTS NECESSARY FOR THE SAFE AND EFFICIENT MAINTENANCE TO TRAFFIC WITHIN WORK AREAS, AND TO MINIMIZE ANY INCONVENIENCES TO THE TRAVELING PUBLIC AND THE CONTRACTOR AND/OR PERMITEE.
 - PROPERTY TRAFFIC CONTROL THROUGH WORK AREAS IS ESSENTIAL FOR INSURING THE SAFETY AND THAT OF HIGHWAY WORKERS HAS THE HIGHEST PRIORITY OF ALL TASKS WITHIN THIS PROJECT. THE PROPER APPLICATION OF THE APPROVED TRAFFIC CONTROL PLAN (TCP) WILL PROVIDE THE DESIRED LEVEL OF SAFETY.
 - THROUGHOUT THESE SPECIAL PROVISIONS, ANY MENTION OF THE TCP SHALL BE IMPLIED TO INCLUDE ANY COMBINATION OF TYPICAL TRAFFIC CONTROL STANDARDS WHICH FORM THE OVERALL TCP FOR THIS PROJECT WHICH HAS BEEN APPROVED BY THE APPROPRIATE HOWARD COUNTY HIGHWAY DEPARTMENT TRAFFIC ENGINEER.
 - THE CONTRACTOR AND/OR PERMITEE SHALL BE REQUIRED TO ADHERE TO THE PROVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 1988 OR LATEST EDITION, ESPECIALLY PART VI, AND TO SECTION 814 OF THE MARYLAND DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (JANUARY, 1982 OR LATEST, INCLUDING ALL REVISIONS AND SUPPLEMENTS TO EACH).
 - THE CONTRACTOR AND/OR PERMITEE SHALL BE REQUIRED TO ADHERE TO THE REQUIREMENTS SET FORTH IN THE TCP AND THESE SPECIAL PROVISIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY REQUEST TO MAKE MINOR CHANGES TO THE TCP OR THE SPECIAL PROVISIONS WITH REGARD TO THE TRAFFIC CONTROL ITEMS SHALL BE MADE IN WRITING TO THE ENGINEER A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE PROPOSED SCHEDULING CHANGE. THE CONTRACTOR AND/OR PERMITEE SHALL HAVE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO THE IMPLEMENTATION OF ANY CHANGE.
 - NO WORK SHALL BEGAIN ON ANY WORK ACTIVITY OR WORK PHASE UNTIL ALL REQUIRED TRAFFIC CONTROL PATTERNS AND DEVICES INDICATED ON THE TCP FOR THAT ACTIVITY OR PHASE UNTIL COMPLETELY AND CORRECTLY IN PLACE TO HAVE BEEN CHECKED FOR APPROVED USAGE.
 - GENERAL AND SPECIFIC WARNING SIGNS SHALL ONLY BE IN PLACES WHEN SPECIFIC OWNER TASKS AND ACTIVITIES ARE ACTUALLY UNDERWAY OR CONDITIONS EXIST THAT POSE A POTENTIAL HAZARD TO THE PUBLIC AND ANY ADDITIONAL SIGNING HAS BEEN APPROVED BY THE APPROPRIATE HOWARD COUNTY HIGHWAY DEPARTMENT TRAFFIC ENGINEER.
 - THE PRACTICE OF PLACING SIGNING AND OTHER TRAFFIC CONTROL DEVICES IN ADDITION TO THOSE INDICATED ON THE APPROVED TCP IS NOT PERMITTED.
 - THE CONTRACTOR AND/OR PERMITEE SHALL PROVIDE, MAINTAIN IN NEW CONDITION AND MOVE WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, ALL TRAFFIC CONTROL DEVICES USED FOR THE GUIDANCE AND PROTECTION OF MOTORISTS, PEDESTRIANS, AND WORKERS.
 - ALL TRAFFIC CONTROL DEVICES REQUIRED BY THE TCP SHALL BE KEPT IN GOOD CONDITION FULLY PREFORMING AS SET FORTH IN THE TCP, THE MUTCD, AND/OR SECTION 814 OF THE SPECIFICATIONS FOR REFLECTIVE DEVICES, A PARTICULAR DEVICE IS ASSUMED TO HAVE FAILED TO MEET MINIMUM OPERATIONAL STANDARDS WHEN THE DEVICE NO LONGER HAS RETRO - REFLECTANCE CAPABILITY OF AT LEAST 60% OF THE SPECIFIED MINIMUM VALUE OVER AT LEAST 50% OF THE VISIBLE REFLECTIVE SURFACE.
 - ALL TRAFFIC CONTROL DEVICES NOT REQUIRED FOR THE SAFE CONDUCT OF TRAFFIC SHALL BE PROMPTLY REMOVED, COMPLETELY COVERED, TURNED AWAY FROM TRAFFIC, OR OTHERWISE TAKEN OUT OF SERVICE. IT IS INTENDED THAT NO TRAFFIC CONTROL DEVICE IS TO BE IN SERVICE WHEN THERE IS NO CLEAR CUT REASON FOR THE DEVICE.
 - THROUGHOUT THE PERIODS OF WORK ACTIVITIES TRAFFIC SHALL BE MAINTAINED BY IMPLEMENTING THE APPROVED TCP, IN LIEU OF THE TCP PREPARED FOR THIS PROJECT AND/OR INDIVIDUAL TYPICAL TRAFFIC CONTROL STANDARDS, THE CONTRACTOR AND/OR PERMITEE HAS THE OPTION OF PREPARING AND SUBMITTING A TCP WHOLLY OR IN PART OF HIS OWN DESIGN FOLLOWING GUIDELINES SET FORTH IN THE MUTCD AND PRESCRIBED BY THE ADMINISTRATION. A TCP DEVELOPED BY THE CONTRACTOR AND/OR PERMITEE SHALL NOT BE IMPLEMENTED UNTIL ADVANCE WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. TCP'S MAY BE IMPLEMENTED WITHIN A SINGLE PROJECT OR JOINTLY BETWEEN TWO OR MORE PROJECTS. IN SITUATIONS WHERE TCP'S JOINTLY IMPLEMENTED, CARE SHALL BE EXERCISED TO PRESENT CORRECT AND NOT-CONFLICTING GUIDANCE TO THE TRAVELING PUBLIC.
 - THROUGHOUT THESE SPECIAL PROVISIONS, WHERE SPEED OF TRAFFIC IS NOTED, THIS MEANS THE POSTED SPEED OR PREVAILING TRAVEL SPEED, WHICHEVER IS HIGHER UNLESS OTHERWISE NOTED.
 - TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT UNLESS OTHERWISE NOTED. NO TRAVEL LANE(S) OTHER THAN THOSE DESIGNATED FOR POSSIBLE CLOSURE IN THE TCP SHALL BE CLOSED WITHOUT OBTAINING PRIOR APPROVAL FROM THE ENGINEER. ALL INGRESS AND EGRESS TO THE WORK AREA BY THE CONTRACTOR AND/OR PERMITEE SHALL BE PERFORMED WITH THE FLOW OF TRAFFIC.

▲ LEFT HAND TURN LANE TO STACK 2 CAR BASED UPON 20 PEAK LEFT HAND TURNING MOVEMENT PER HOUR. (20/hr x 1/60min. x 1/0.75 = 1 CAR)
 1 CAR STACKING REQUIRED
 2 CARS STACKING PROVIDED
 SEE LEE CUNNINGHAM & ASSOCIATES REPORT.



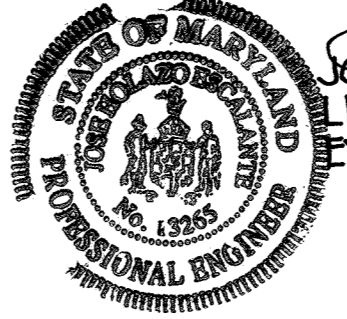
TEMPORARY TRAFFIC CONTROL PLAN

NOT TO SCALE

NOTE : FLAGGER SHALL NEVER BE STATIONED MORE THAN 1000' AWAY FROM THE ADVANCE FLAGGER SIGN.

IMPORTANT : THIS DRAWING SHALL BE USED IN COMBINATION WITH THE GENERAL NOTES AT THE BEGINNING OF STANDARDS NO. MD. 104.00

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



Jose K. Escalante
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-29-2010



ALLISON RICHARD
 KIM INSUN
 3365/719
 P.321

KEY

- ▬ SIGN
- ▬ CHANNELIZING DEVICES
- ➔ DIRECTION OF TRAFFIC
- ▬ FLAGGER
- ▬ WORK SITE

APPROVED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE _____ DATE _____

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST. _____ DATE _____

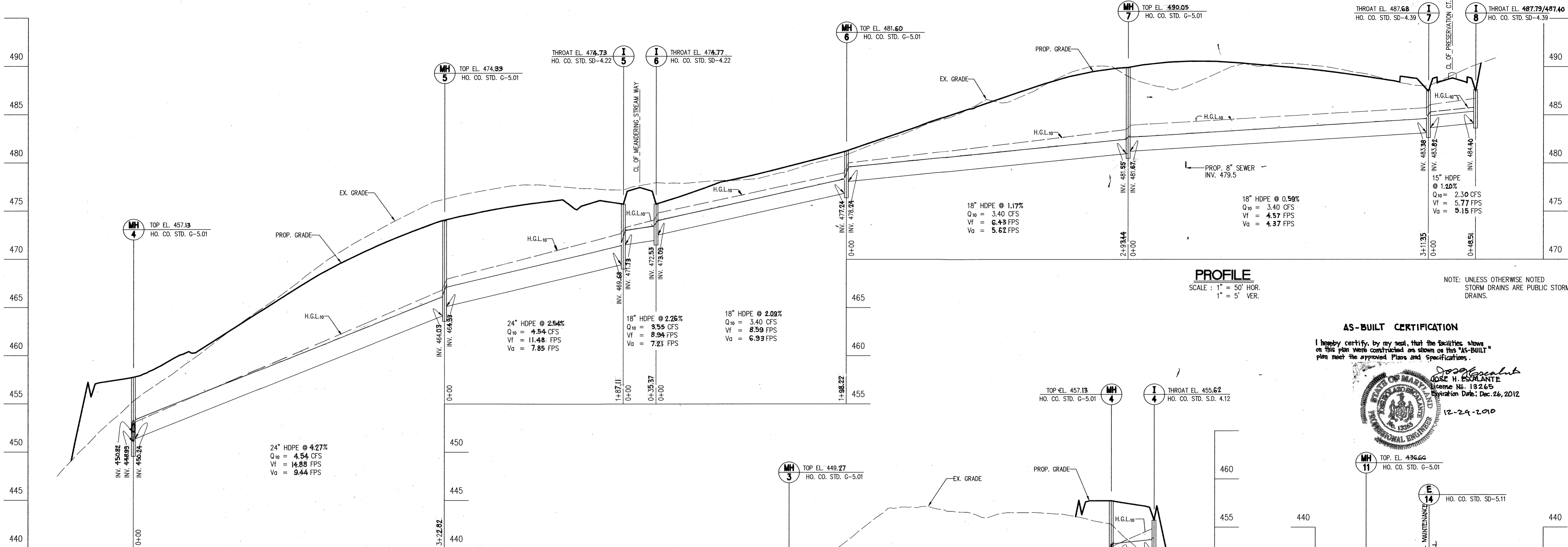
APPROVED: DEPARTMENT OF PUBLIC WORKS
Adrian M. Cavale 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cristina Hamlett 5/6/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

W. DeWitt 5/11/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISIONS
		A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274
PROJECT NAME: PINDELL WOODS		
TITLE: PINDELL SCHOOL ROAD TRAFFIC CONTROL AND STRIPING PLAN		
S-00-15 P-01-06 F-01-09		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX (410) 465-3845		
DESIGNER: J.L./DCW/AVG JOB: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PKE, SUITE 300 ROCKVILLE, MD. 20852		
DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044		
DRW. : AVG/DTA/INC	PROJ. :	SCALE : AS SHOWN
CHK. : D.C.W.	DATE : 03/04/01	SHEET 13 OF 38

F-01-89

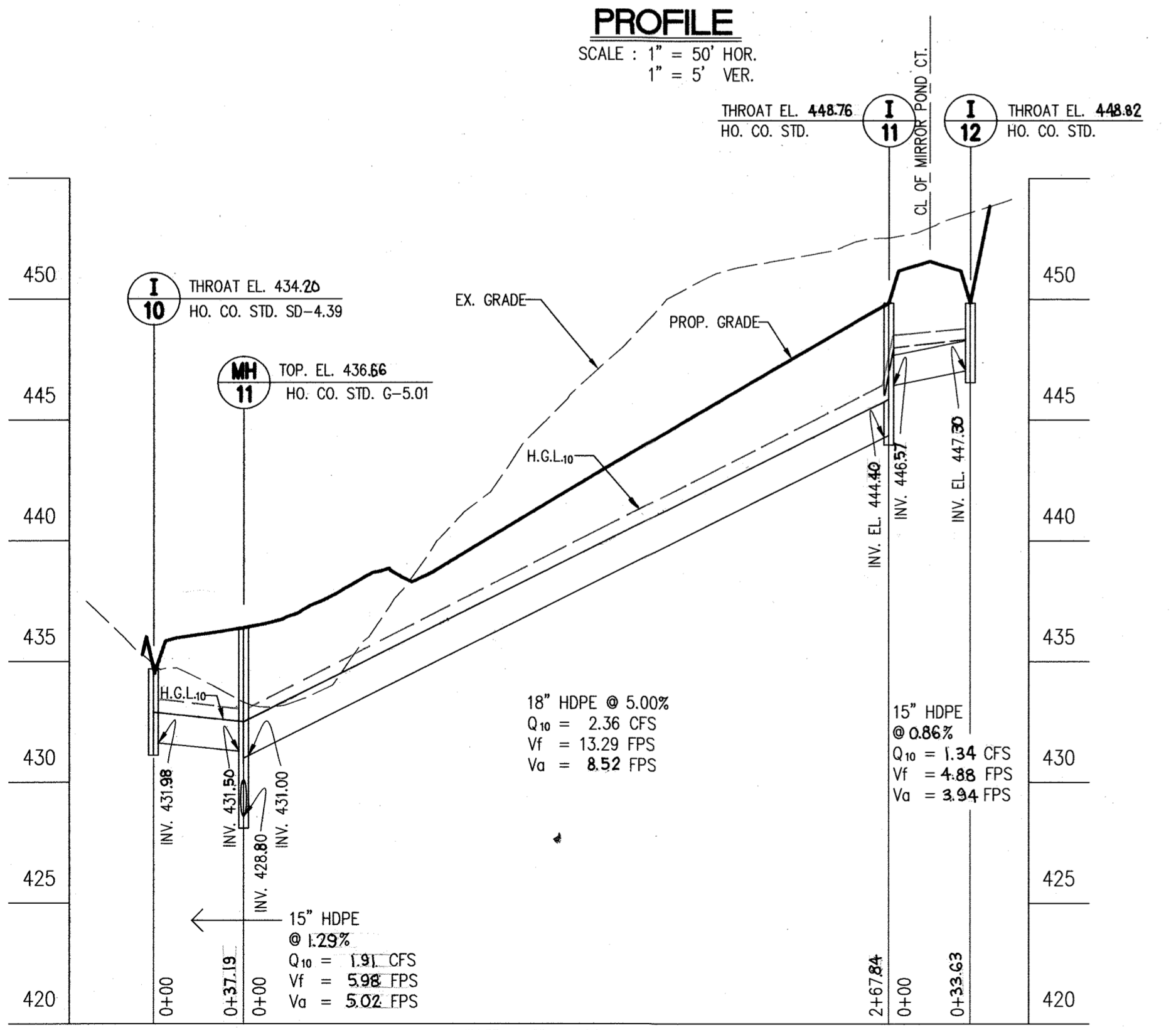
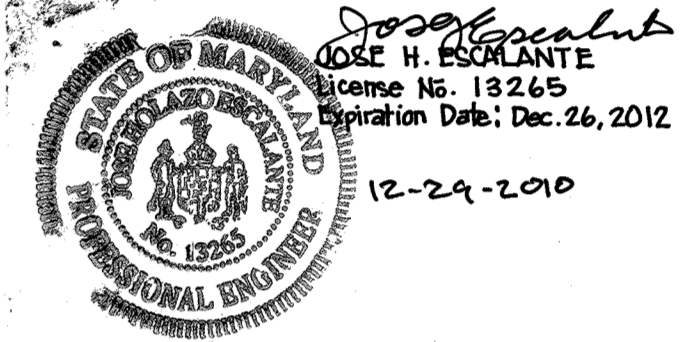


PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

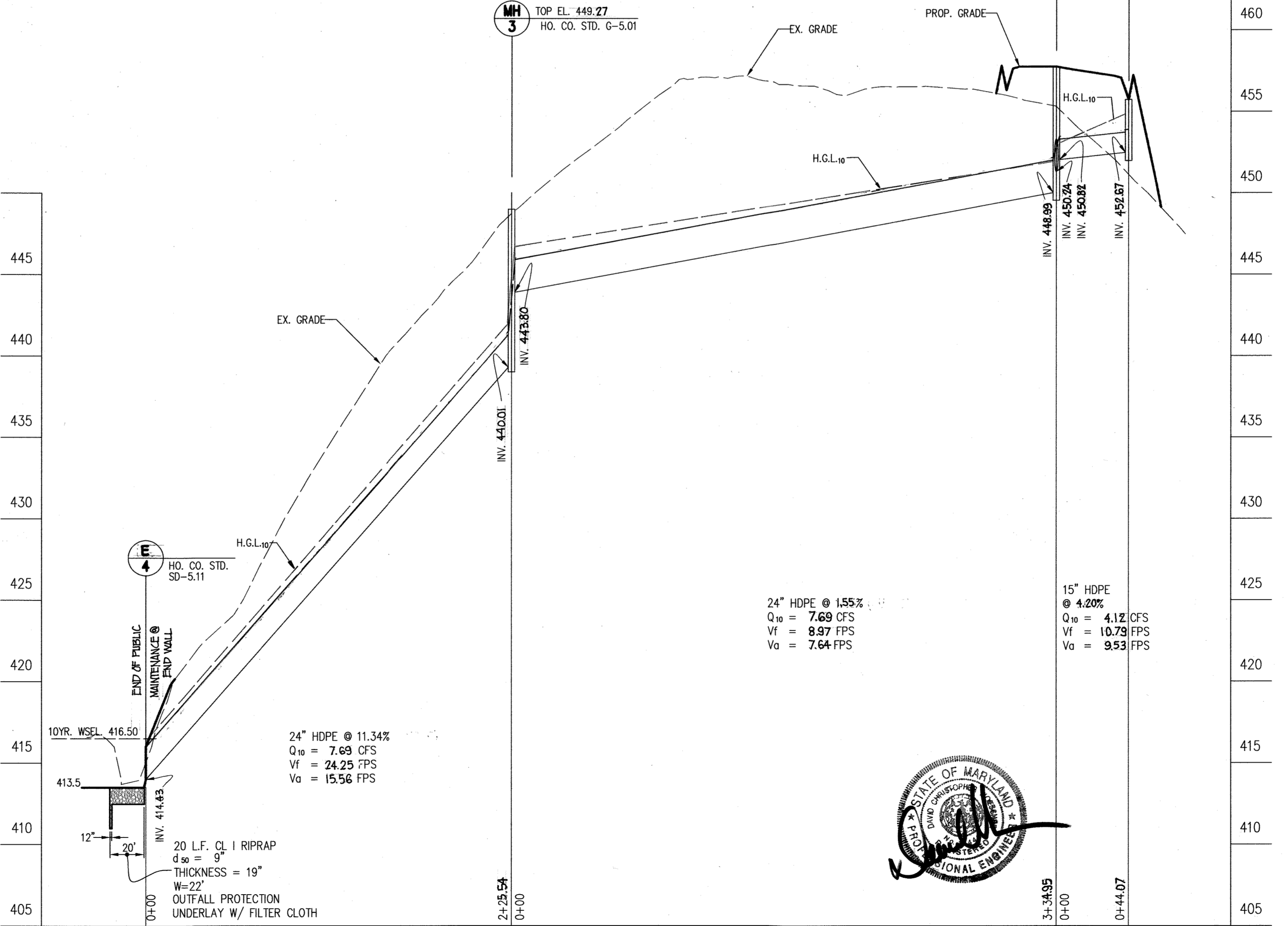
NOTE: UNLESS OTHERWISE NOTED
STORM DRAINS ARE PUBLIC STORM
DRAINS.

AS-BUILT CERTIFICATION

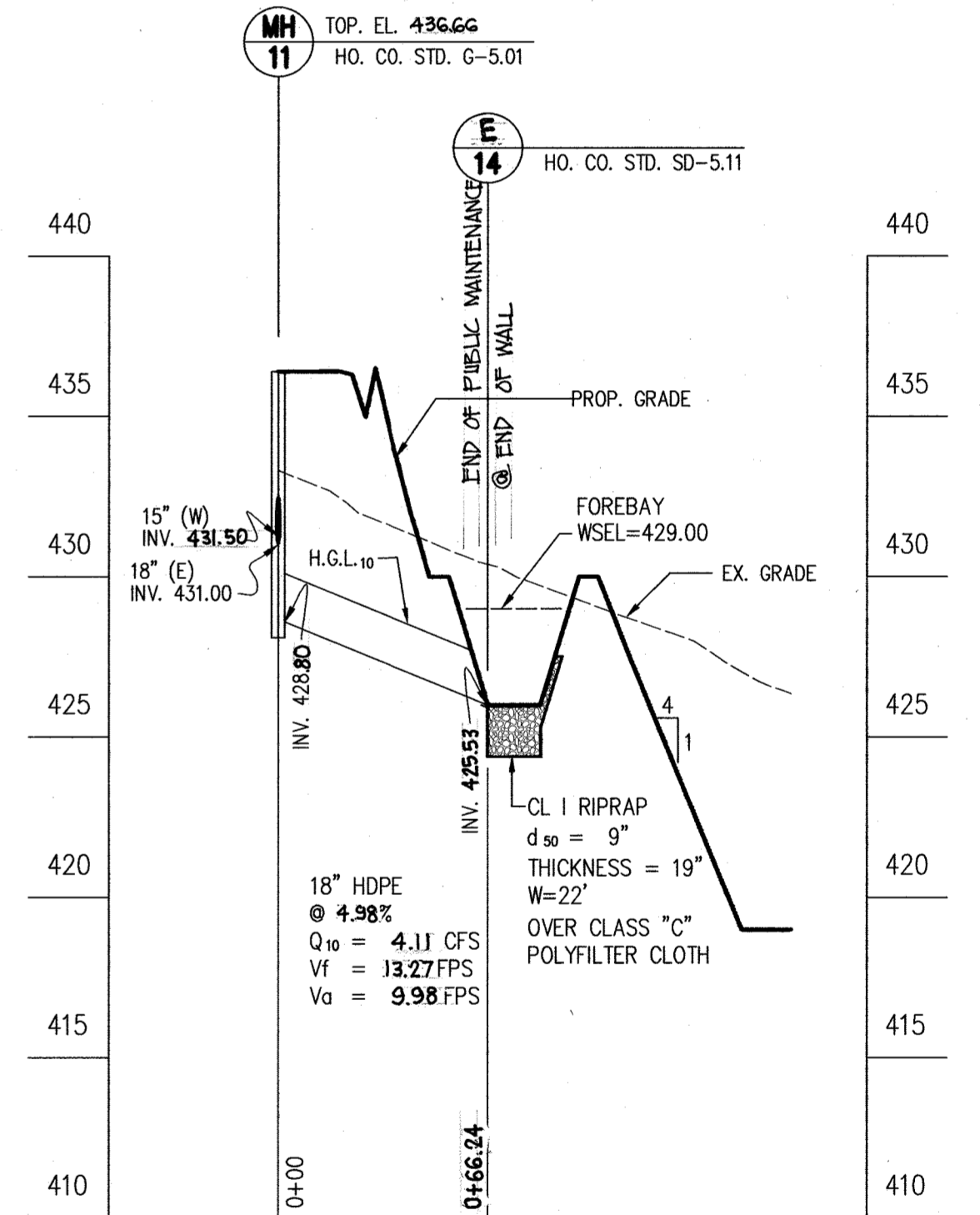
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on the AS-BUILT plan meet the approved Plans and Specifications.



PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.



PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.



PROFILE
SCALE: 1" = 50' HOR.
1" = 5' VER.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Robert M. Daniels 5/1/01
CHIEF, BUREAU OF HIGHWAYS DATE

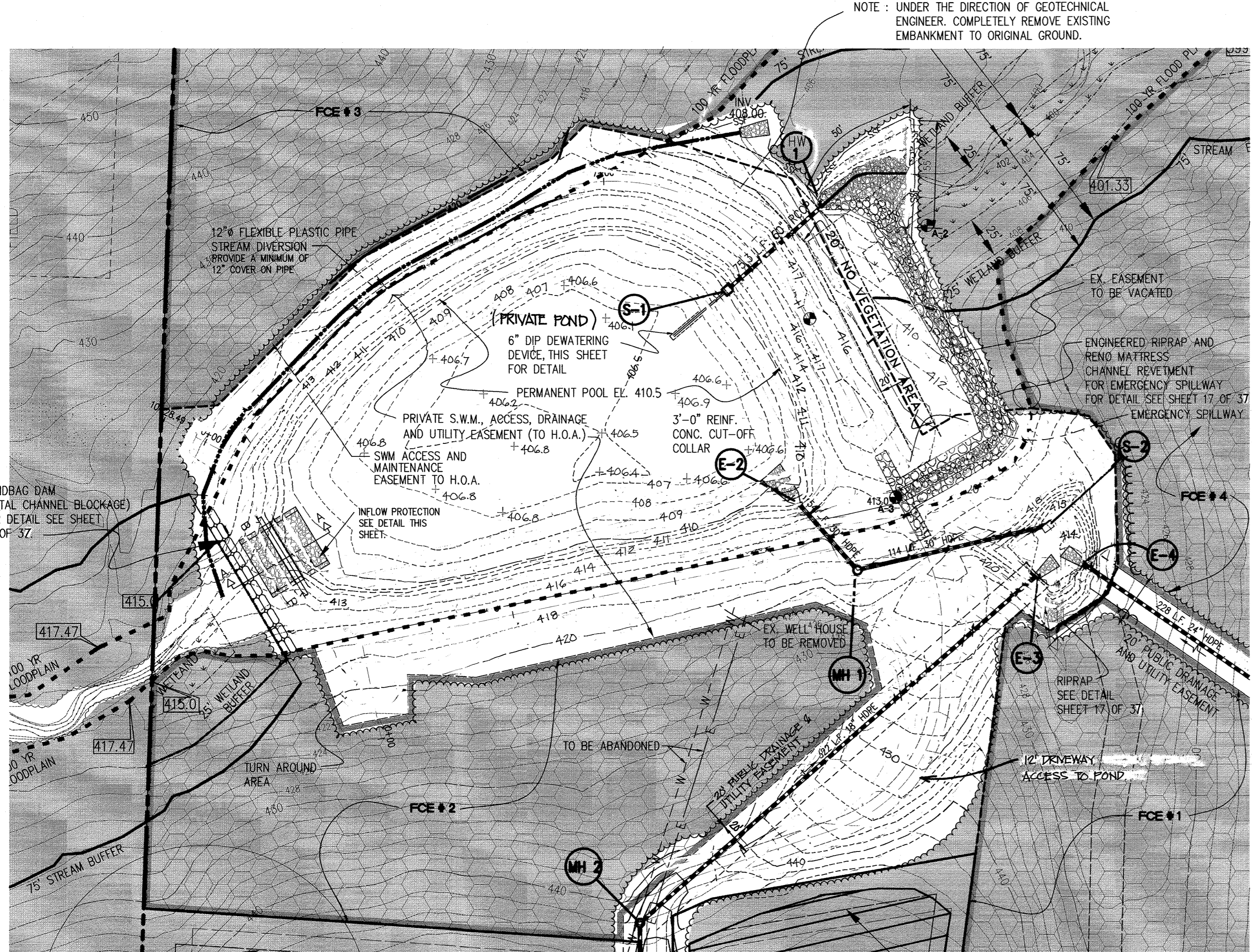
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cynthia Rosetta 5/16/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark D. Williams 5/1/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



NOTE: 1 FOR PIPE SCHEDULE SEE SHEET 11 OF 37.
2 EXISTING GROUND BASED ON JUNE 1, 2000 SURVEY BY VOGEL AND ASSOCIATES.

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, S, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS: CLARENCE AND MARTHA CARWELL 7108 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PKE SUITE 300 ROCKVILLE, MD. 20852	
STORM DRAIN PROFILES	MARSHALL P. TULIN 1821 ROCKVILLE PKE SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX: (410) 465-3845	DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044	
DES.: JL/DCW/AVG	JOB:	SCALE:
DRW.: AVG/DTA/JNC	PROJ.:	AS SHOWN
CHK.: D.C.W.	DATE: 03/04/01	SHEET 14 OF 38



POND #1 DATA

HAZARD CLASSIFICATION - "A" POND OUTFALLS IN THE FLOODPLAIN
 DRAINAGE AREA - 152.48 Ac.
 PROPOSED RCM - 65
 WROUPT TC - 0.38 Hrs.
 WATER QUALITY TYPE - RETENTION (WET POND)

Return Period	Discharge Rate (CFS)	WSEL (ft)
2 YR.	40.1/66.5	411.66
5 YR.	71.3	412.06
10 YR.	100.0	413.46
2 YR.	397.1/559.2	411.66
5 YR.	487.1	412.06
10 YR.	392.9	413.46

(1) DISCHARGE RATES AT POND
 (2) DISCHARGE RATES AT DP#4 (AS IT LEAVES SITE)

PLAN
SCALE: 1" = 50'

OPERATION, MAINTENANCE, AND INSPECTION

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USGS Standards and Specifications for Ponds (MS-378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS-BUILT" plans meet the Approved Plans and Specifications.

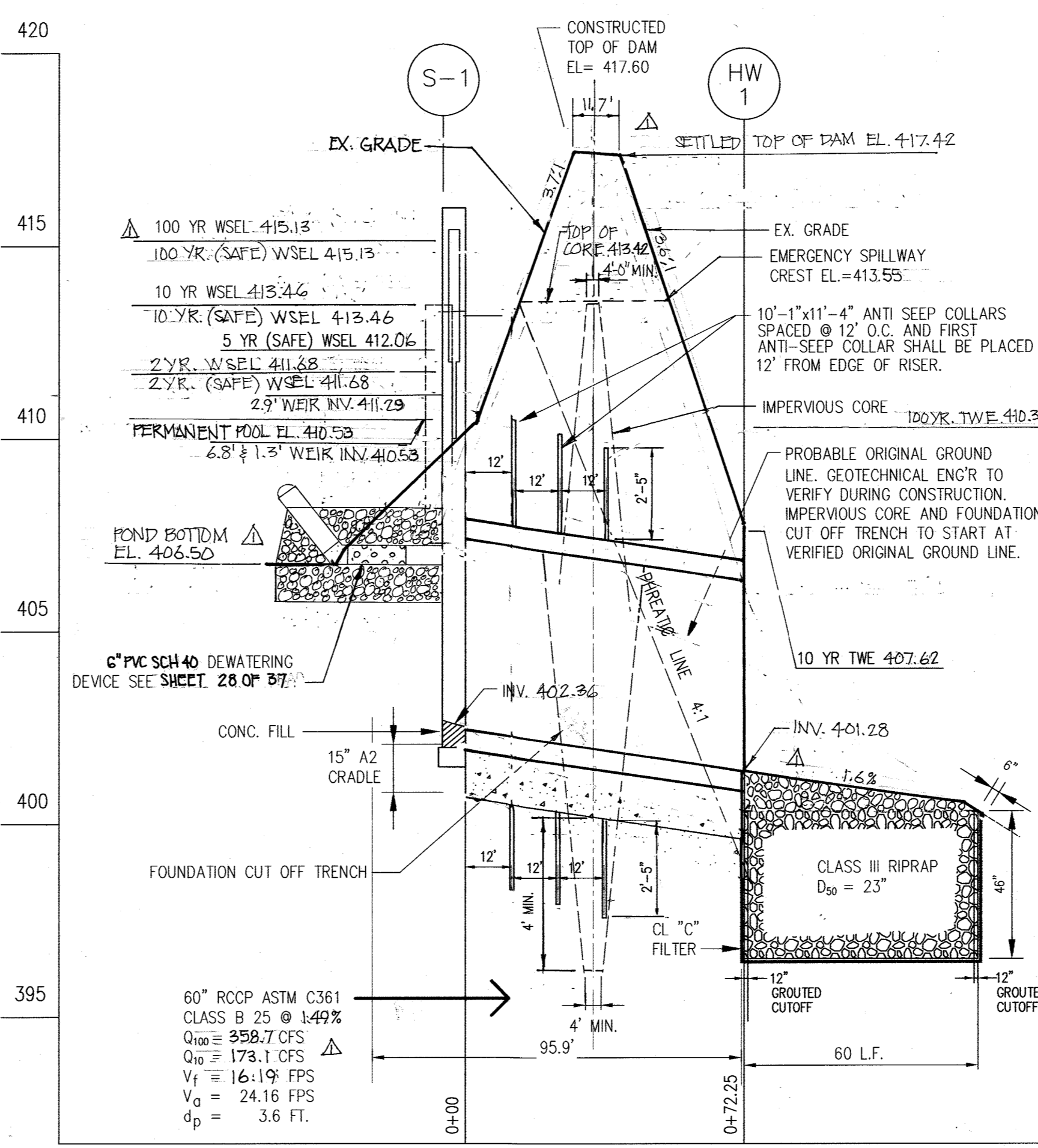


JOSE H. ESCALANTE
 License No. 13265
 Expiration Date: Dec. 26, 2012
 12-29-2010

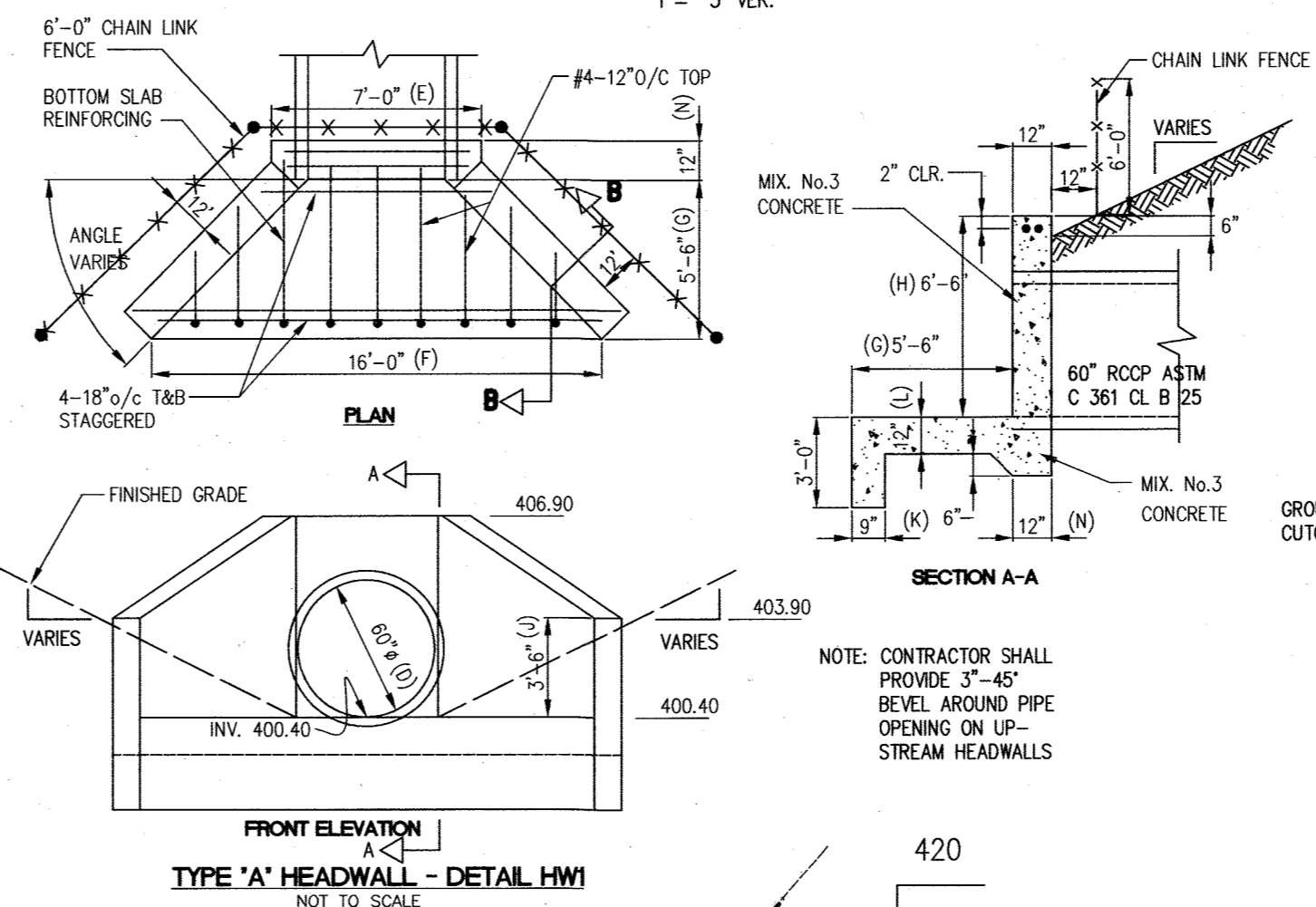
NOTE: UNDER THE DIRECTION OF GEOTECHNICAL ENGINEER, COMPLETELY REMOVE EXISTING EMBANKMENT TO ORIGINAL GROUND.

PROFILE ALONG TOP OF DAM

SCALE: 1" = 50' HOR.
1" = 5' VER.



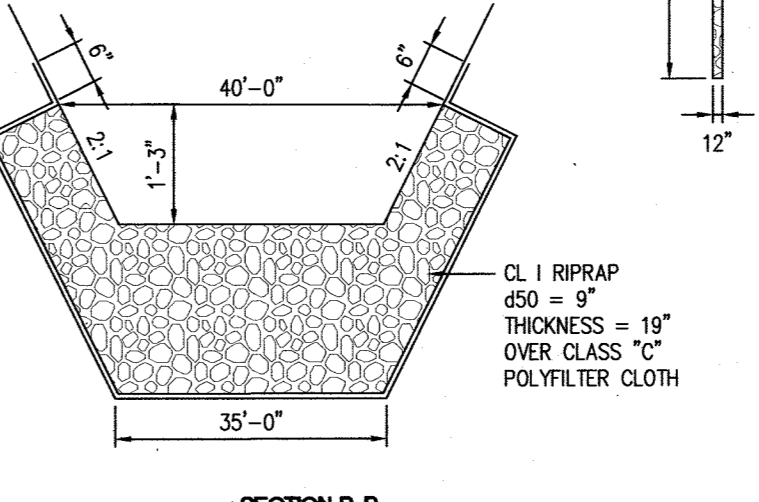
POND #1 PRINCIPAL SPILLWAY PROFILE
SCALE: 1" = 30' HOR.
1" = 3' VER.



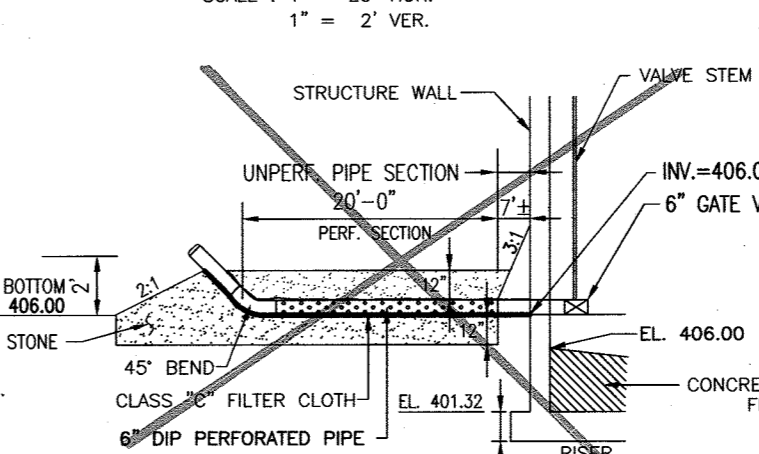
FRONT ELEVATION
TYPE 'A' HEADWALL - DETAIL HW1
NOT TO SCALE

NOTES:

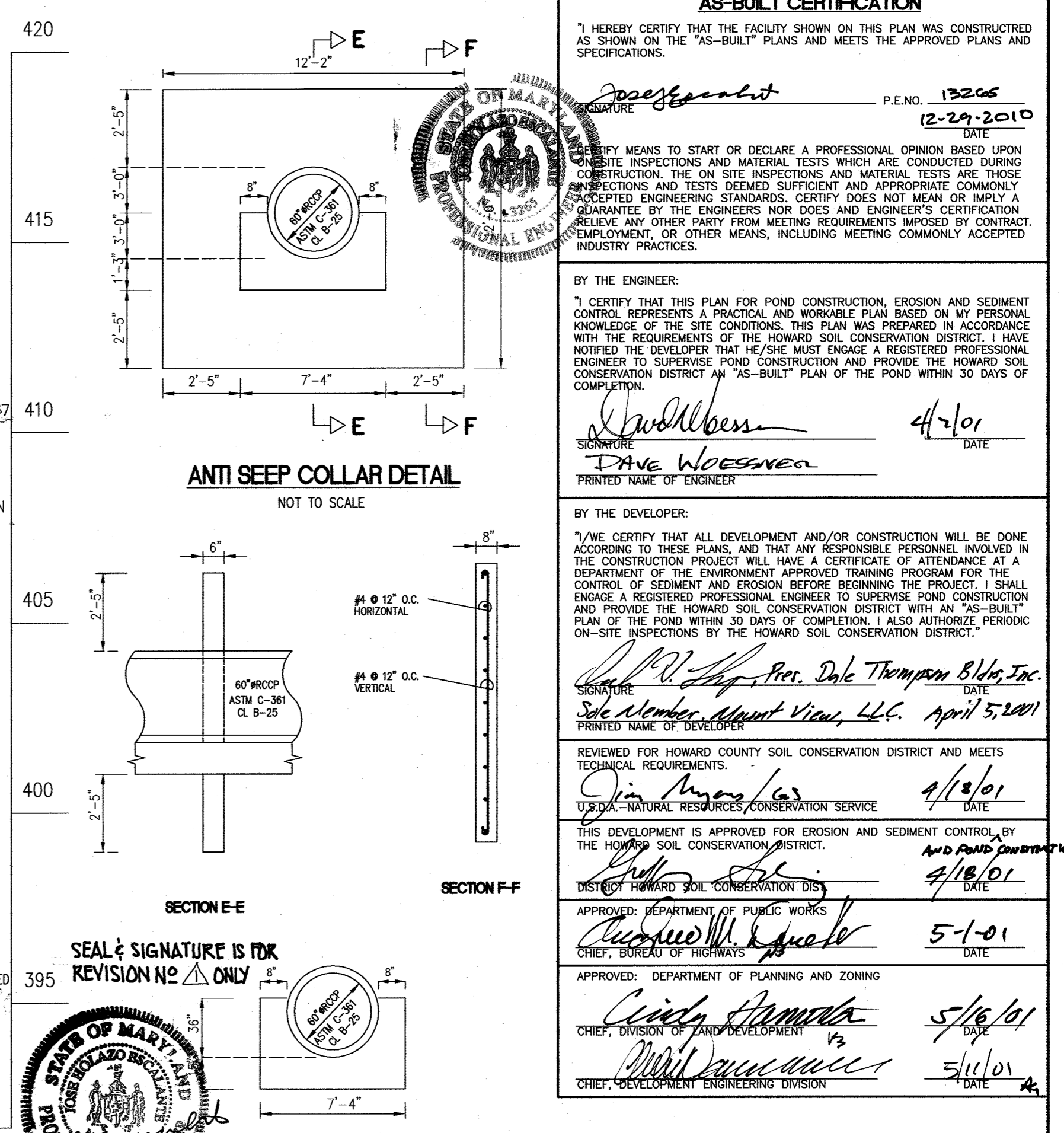
- FILL MATERIAL FOR THE IMPERVIOUS CORE AND THE FOUNDATION CUTOFF TRENCH TO BE UNIFIED SOIL CLASSIFICATION GC, SC, CH OR CL AND MUST HAVE AT LEAST 30% PASSING SIEVE #200.
- ALL ANTI-SEEP COLLARS AND THEIR CONNECTIONS TO THE CONDUIT SHALL BE WATER-TIGHT SEALED WITH MASTIC SEALER. SEE SHEET 16 OF 37.
- THE FIRST JOINT MUST BE LOCATED WITHIN 4 FEET FROM THE RISER, BUT NO CLOSER THAN 2 FEET TO RISER.
- EXTERIOR BARREL JOINTS SHALL BE WATER-TIGHT SEALED WITH MASTIC SEALER. SEE SHEET 16 OF 37.
- ANTI-SEEP COLLARS SHALL BE PLACED A MINIMUM OF TWO FEET FROM PIPE JOINTS EXCEPT WHERE FLANGED JOINTS ARE USED.
- ANTI-SEEP COLLARS SHALL EXTEND A MINIMUM TWO FEET FROM CRADLE AND OUTSIDE DIAMETER (CROWN) OF CONDUIT.



POND #1 INFLOW PROTECTION
SCALE: 1" = 20' HOR.
1" = 2' VER.

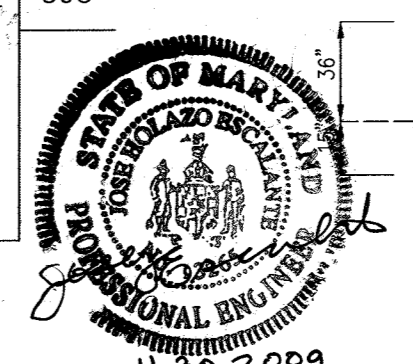


FOR DEWATERING DEVICE DETAIL FOR POND #1
NOT TO SCALE
SEE SHEET 28 OF 37



ANTI SEEP COLLAR DETAIL
NOT TO SCALE

SECTION E-E



SEAL & SIGNATURE IS FOR REVISION NO. 1 ONLY

A2 CONCRETE CRADLE
NOT TO SCALE

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

DATE: 12-29-2010

BY THE ENGINEER:
 Signature: [Signature]
 NAME: DAVE WOESNER
 PRINTED NAME OF ENGINEER

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Signature: [Signature]
 Name: Dale Thompson
 Title: Pres. Dale Thompson Bldg. Inc.
 Date: April 5, 2011

Signature: [Signature]
 Name: Mike M...
 Title: Mike M...
 Date: 4/18/01

Signature: [Signature]
 Name: [Name]
 Title: [Title]
 Date: 5/10/01

STORMWATER MANAGEMENT POND MAINTENANCE SCHEDULE POND NO. 1
(OWNED AND MAINTAINED BY H.O.A.)

ROUTINE MAINTENANCE (BY H.O.A.)

FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.

TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES, THE BOTTOM OF THE POND, AND MAINTENANCE ACCESS SHOULD BE MOWED AS NEEDED.

DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.

VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS RIP-RAP OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (BY H.O.A.)

STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, RISER STRUCTURE AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.

SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE, INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE POND(S) SHOWN HEREIN SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USGS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MS-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATIONS, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

NO.	DATE	REVISIONS
1	11-30-09	REVISE PROFILE ALONG TOP OF DAM #1 PRINCIPAL SPILLWAY PROFILE & DATA
2		REVISE POND #1 CONFIGURATION BASED ON AS-BUILT SURVEY DATA, WSEL DATA, FR. NEW TRENCH

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME
PINDELL WOODS

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
 5th ELECTION DISTRICT - TAX MAP 2, 5 AND 9
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
 HOWARD COUNTY, MARYLAND.

TITLE
STORMWATER MANAGEMENT PLAN AND DETAILS - POND #1
9-00-15 P-01-06 F-01-01

PREPARED BY:
AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
10749 BIRMINGHAM WAY
WOODSTOCK, MD 21163
TEL. (410) 465-7903
FAX. (410) 465-3845

OWNERS: CLARENCE AND MARTHA CARWELL
7106 PINDELL SCHOOL ROAD
FULTON, MD. 20759
H Y REAL ESTATE JOINT VENTURE
1921 ROCKVILLE PIKE, SUITE 300
ROCKVILLE, MD. 20852

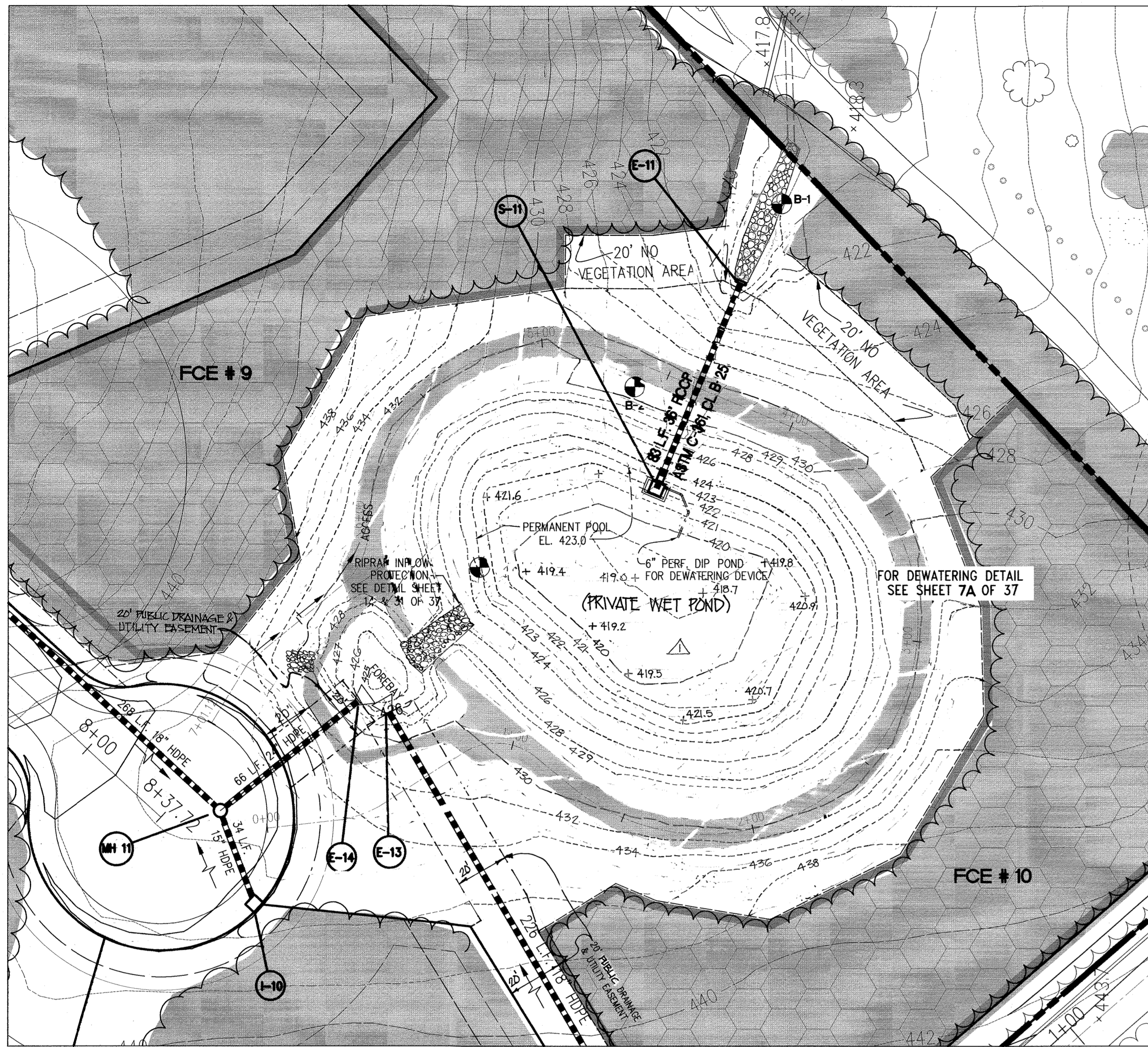
DEVELOPER: MOUNT VERN, LLC
6258 CARDINAL LA.
COLUMBIA, MD. 21044

DES.: JL/DCW/AVG **JOB:**

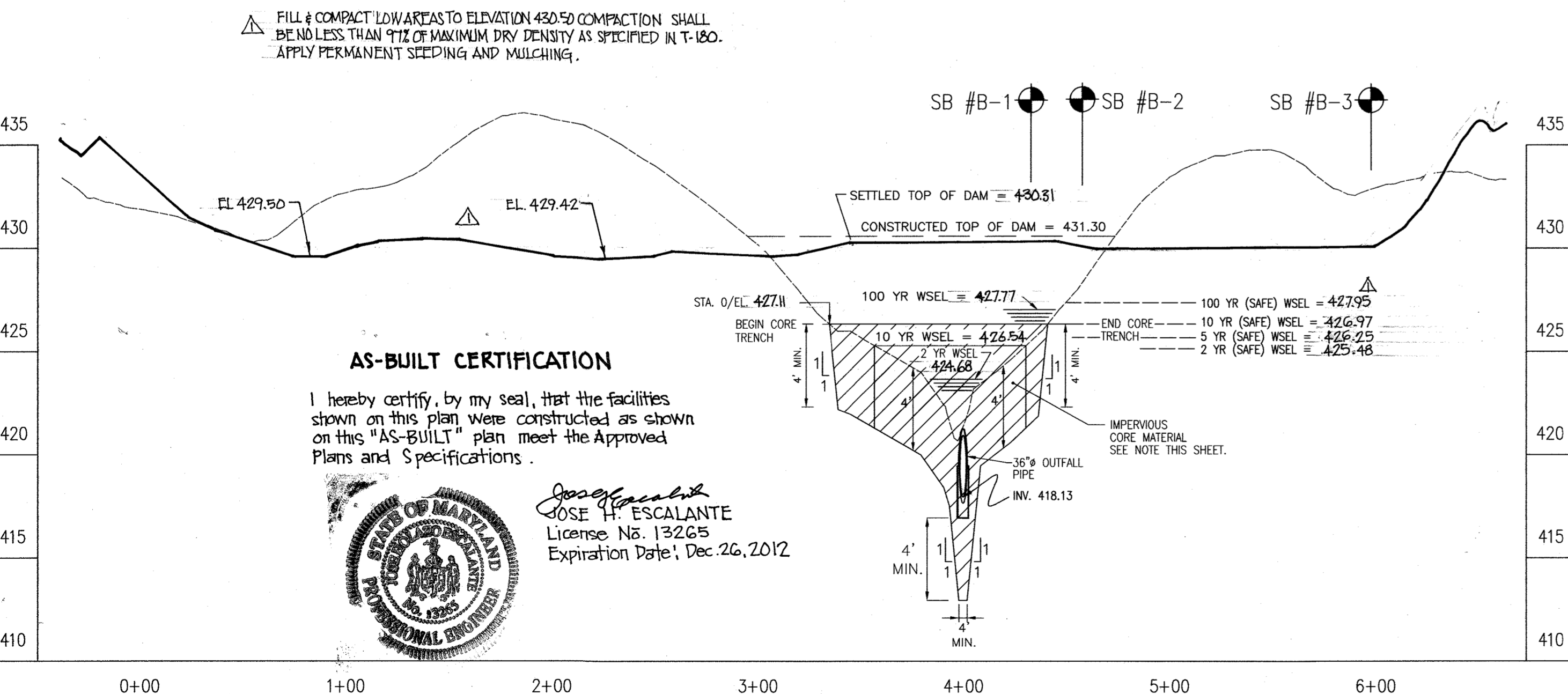
DRW.: AVG/DTA/JNC **PROJ.:**

CHK.: D.C.W. **DATE:** 03/04/01

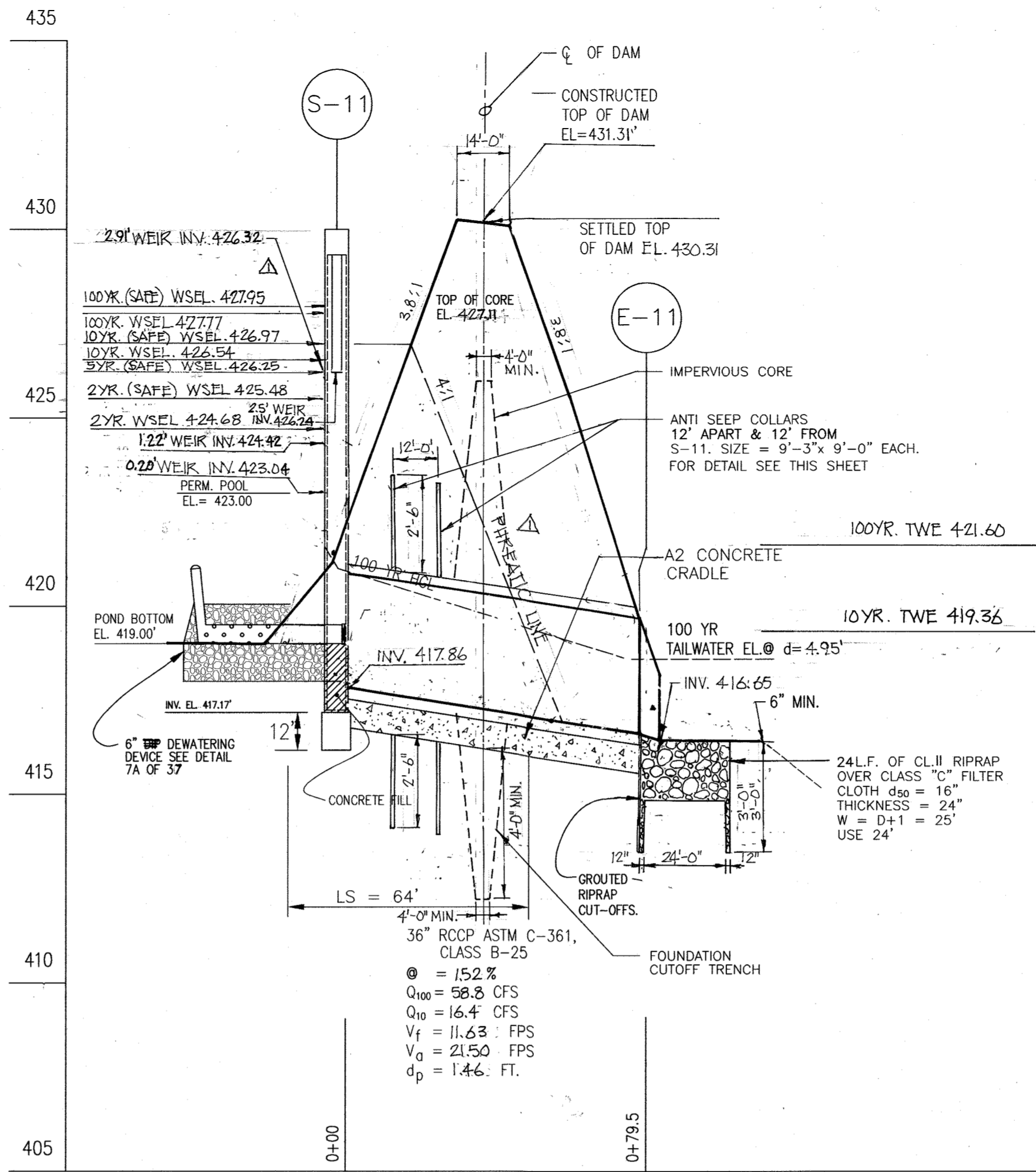
SCALE: 1" = 50' **SHEET 16 OF 38**



PLAN (SWM-POND #2)
SCALE: 1" = 30' HOR.



PROFILE ALONG C OF DAM (POND #2)
SCALE: 1" = 50' HOR.
1" = 5' VER.



POND #2 PRINCIPAL SPILLWAY
SCALE: 1" = 30' HOR.
1" = 3' VER.

STORMWATER MANAGEMENT POND MAINTENANCE SCHEDULE POND NO. 2 PRIVATELY OWNED, AND MAINTAINED BY H.O.A.

MAINTENANCE (BY H.O.A.)

FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.

TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES, THE BOTTOM OF THE POND, AND MAINTENANCE ACCESS SHOULD BE MOWED AS NEEDED.

DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.

VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS RIP-RAP OUTLET AREA SHALL BE REPAIRS AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (BY H.O.A.)

STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, RISER STRUCTURE AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.

SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE, INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATIONS, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

POND #2 DATA

HAZARD CLASSIFICATION - "A" BASED ON PEAK BREACH ROUTING (SEE SWM REPORT). FAILURE WILL ONLY DAMAGE AGRICULTURAL LAND.

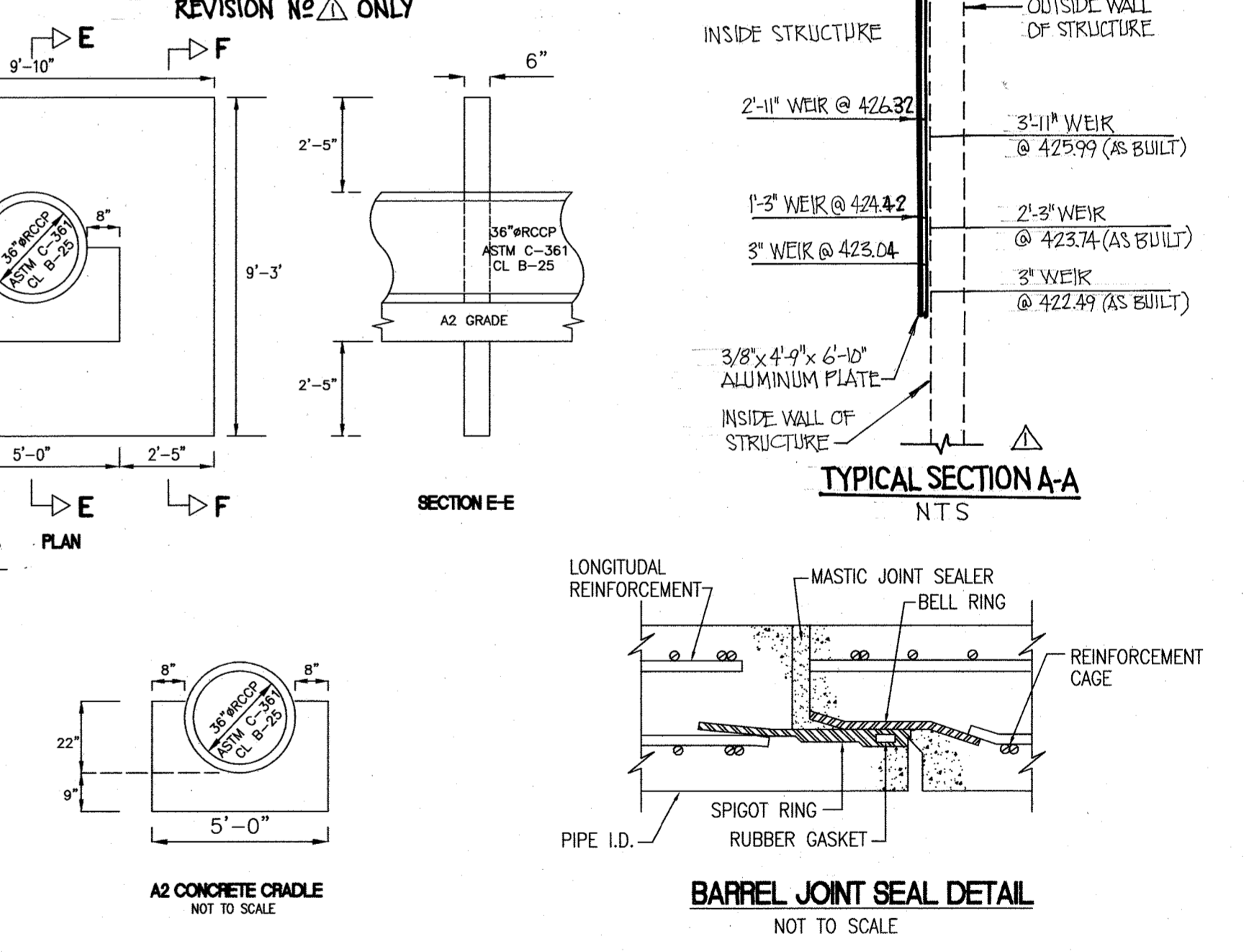
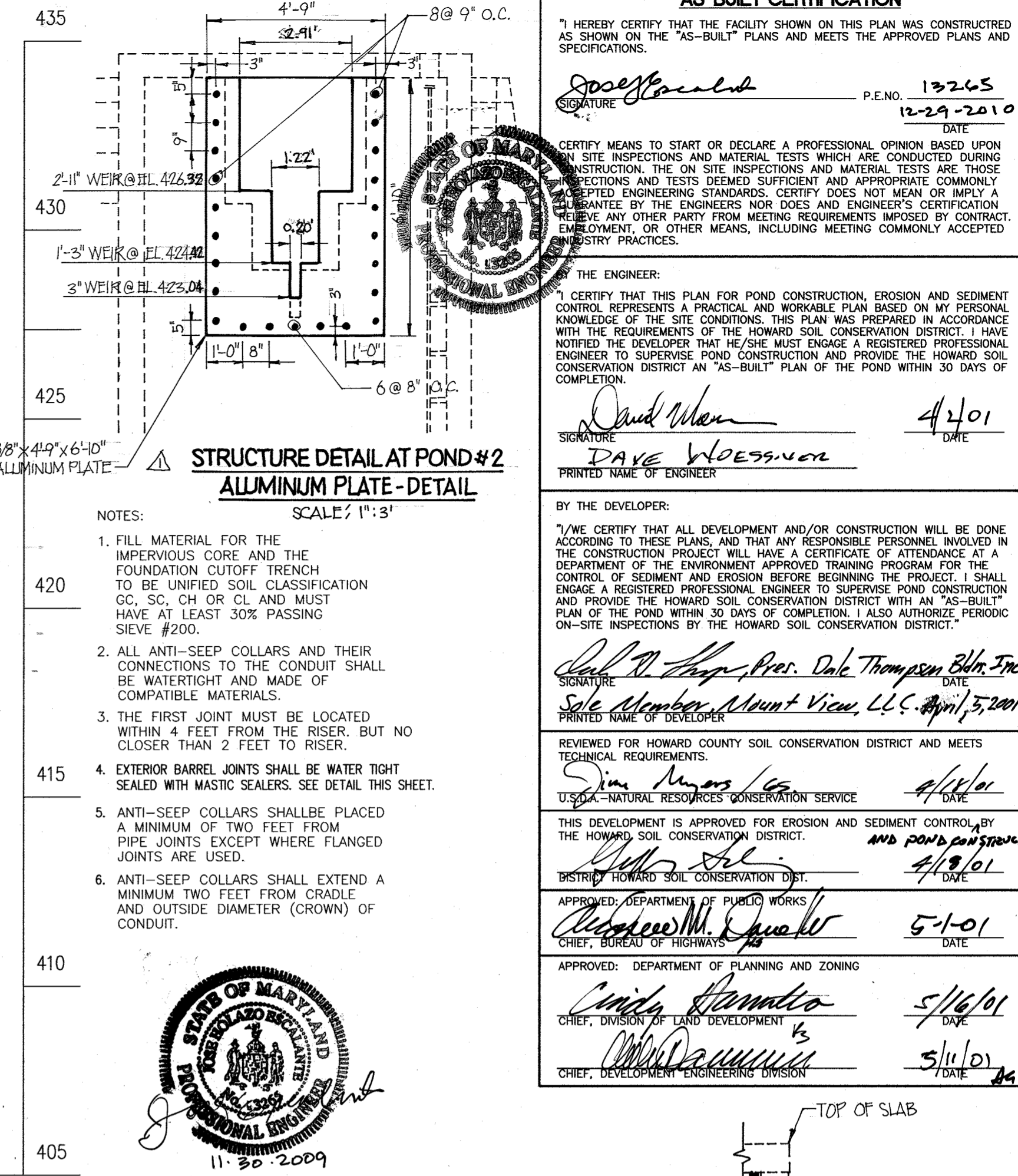
DRAINAGE AREA - 20.24 Ac.

PROPOSED RCN - 68

PROPOSED TC - 0.30 Hrs.

WATER QUALITY TYPE - RETENTION (WET POND)

- (2) 2 YR. RELEASE RATE Q_x = 3.6 CFS, DEV. 2 YR. Q = 14.9 CFS, Q = 2.5 CFS @ WSEL. 424.68/273.6 CFS
- (1) 10 YR. RELEASE RATE Q_x = 20.3 CFS, DEV. 10 YR. Q = 44.4 CFS, Q = 18.6 CFS @ WSEL. 426.54/203 = 20.3 CFS
- (1) 100YR. RELEASE RATE Q_x = 45.4 CFS, DEV. 100 YR. Q = 83.0 CFS, Q = 58.8 CFS @ WSEL. 427.77/64.27454 CFS
- (1) DISCHARGE RATES AT POND
- (2) DISCHARGE RATES AT DP#6 (AS IT LEAVES SITE)



NO.	DATE	REVISIONS
1	11-30-09	ADD NOTE TO FILL & COMPACT LOW AREAS IN POND PROFILE
2	11-30-09	SHOW AS BUILT CONFG. FOR POND #2 PLAN & PROFILE NEW WSEL, ELEV. WEIR INV. POND #2 DATA & DETAIL OF ALUMIN. PLATE OVER AT POND #2 CONTROL STRUCT. REV. SPILLWAY DATA
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274.		
PROJECT NAME		
PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP #1, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS :	
STORMWATER MANAGEMENT PLAN AND DETAILS - POND #2	CLARENCE AND MARTHA CARVELL	
9-00-15	7706 PINDELL SCHOOL ROAD	
F-01-06	FULTON, MD. 20759	
	H Y REAL ESTATE JOINT VENTURE	
	1821 ROCKVILLE PIKE SUITE 300	
	ROCKVILLE, MD. 20852	
PREPARED BY :	AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.	
	10749 BIRMINGHAM WAY	
	WOODSTOCK, MD 21183	
	TEL. (410) 465-7903	
	FAX. (410) 465-8845	
DES. :	JL/DWC/AVG	JOB :
DRW. :	AVG/DTA/JNC	PROJ. :
CHK. :	D.C.W.	DATE : 03/04/01
		SCALE : 1" = 50'
		SHEET 17 OF 38

F-01-89

POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASIM and AASHTO specifications apply to most recent version.

Site Preparation: Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. After stripping operations have been completed, the exposed subgrade materials shall be profiled with a laser level, truck or similar equipment in the presence of a geotechnical engineer or his representative. For areas that are not accessible to a dump truck, the exposed materials shall be observed and tested by a geotechnical engineer or his representative utilizing a Dynamic Cone Penetrometer, an excessively soft or loose materials identified by profiling or penetrometer testing should be excavated to suitable firm soil, and then grades re-established by backfilling with suitable soil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable materials unless otherwise designated on the plans. Trees, brush, and stump shall be cut approximately level with the ground surface. For storm water management ponds, a minimum of a 25 foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his authorized representative. When specified, a sufficient quality of top soil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill:

Material - The fill material shall be taken from approved designated borrow area or areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment and cut-off trench shall conform to Unified Soil Classification CC, SC, CH, or CL and must have at least 30% passing the #200 sieve. In addition to the soils materials described above a fine grained soil including Silt (ML) with plasticity index of 10 or more can be utilized for the center of the embankment and core trench. Consideration may be given to the use of the other materials in the embankment if design and construction are supervised by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Substantial effort shall be made to reduce soil moisture prior to placement and compaction. Consideration shall be given to lime treatment of soils to facilitate placement and compaction. Fill for cut-off trench and embankment construction shall be constructed in 8-inch loose lifts and compacted to within 95% of the dry density in accordance with the Standard Proctor, ASTM D-698 and monitored with in-place density testing performed by a qualified engineering technician under the direction of the P.E. Area on which fill is to be placed shall be scarified prior to placement of the fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable material borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one third track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. All material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble yet not be so wet that water can be squeezed out. Where a minimum required density is specified, it shall not be less than 95% of maximum dry density with a moisture content within +2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99.

Cut-off Trench - Where specified, a cut-off trench shall be excavated along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment rollers or hand tampers to assure maximum density and permeability. A representative of the Geotechnical Engineer should be present to monitor placement and compaction of fill for the embankment and cut-off trench.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to the specified for the adjoining fill material. The fill shall be placed in the horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

A representative of the Geotechnical Engineer should be present to monitor placement and compaction of fill of the embankment and cut-off trench.

Pipe Conduits

All pipe shall be circular in cross section.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe.

- 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gasket and shall equal or exceed ASDI Designation C-361.
2. Bedding All reinforced concrete pipe conduits shall be laid in a concrete bedding for their entire length. Bedding shall consist of high strength concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete grade is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.

- 3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.
4. Backfilling shall conform to "Structure Backfill".

- 5. Other details (anti-seep collar, valves, etc.) shall be as shown on the drawings.

Plastic Pipe - The following criteria shall apply for plastic pipe:

- 1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4-10 inch pipe shall meet the requirements of AASHTO M252 Type S, and 12 through 24 inch shall meet the requirements of AASHTO M294 Type S.

- 2. Joints and connections to anti-seep collars shall be completely watertight.

- 3. Bedding - The pipe shall be firmly and uniformly bedded through out its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

- 4. Backfilling shall conform to "Structure Backfill"

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Concrete Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete Structure shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specification for Construction and Materials, Section 414, Mix No. 3.

Care of Water During Construction:

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels and streams diversions necessary to protect the areas to be occupied by the permanent works the contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from the various parts of the work area for maintaining the excavations, foundation, and other parts of the work free from water as required by the Engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the extent that will not interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the location being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water to sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Maryland Soil Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control: Construction operation will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution prevention will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A MD Code 378 shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs need to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs shall be made as soon as practical.

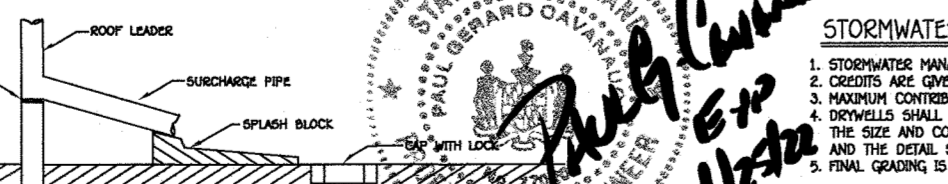


Table with columns: LOT NO., AREA OF ROOF, VOLUME OF STORAGE, AREA OF TREATMENT, REMARKS. Rows 17-19.

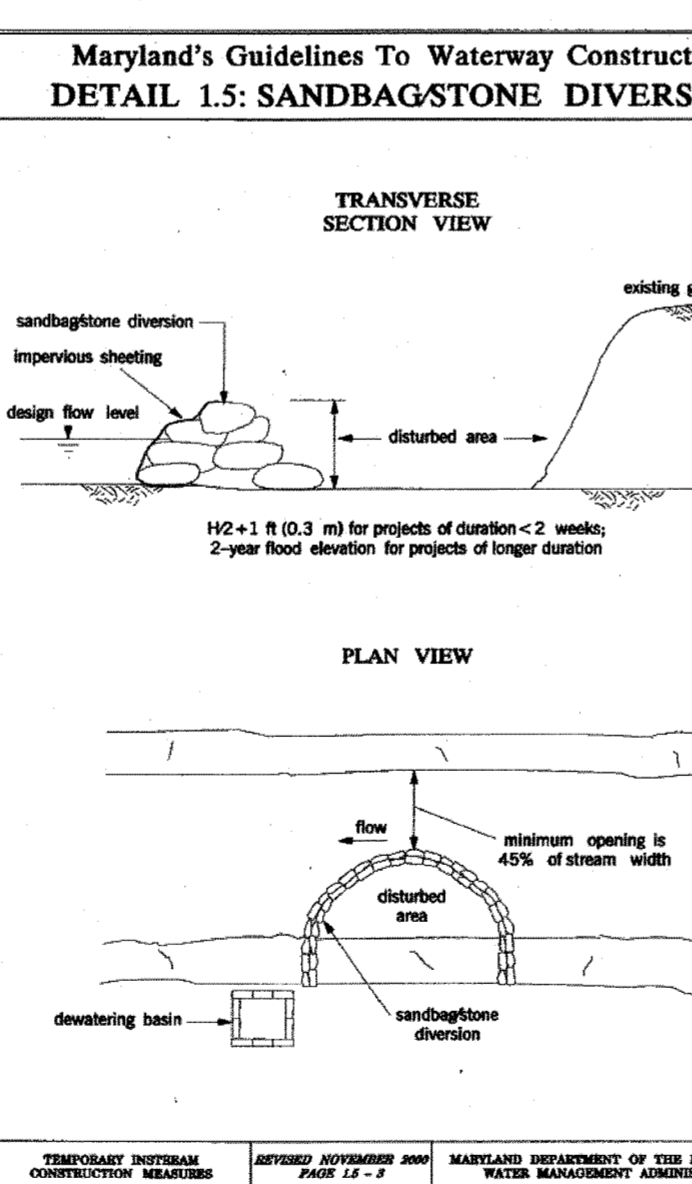
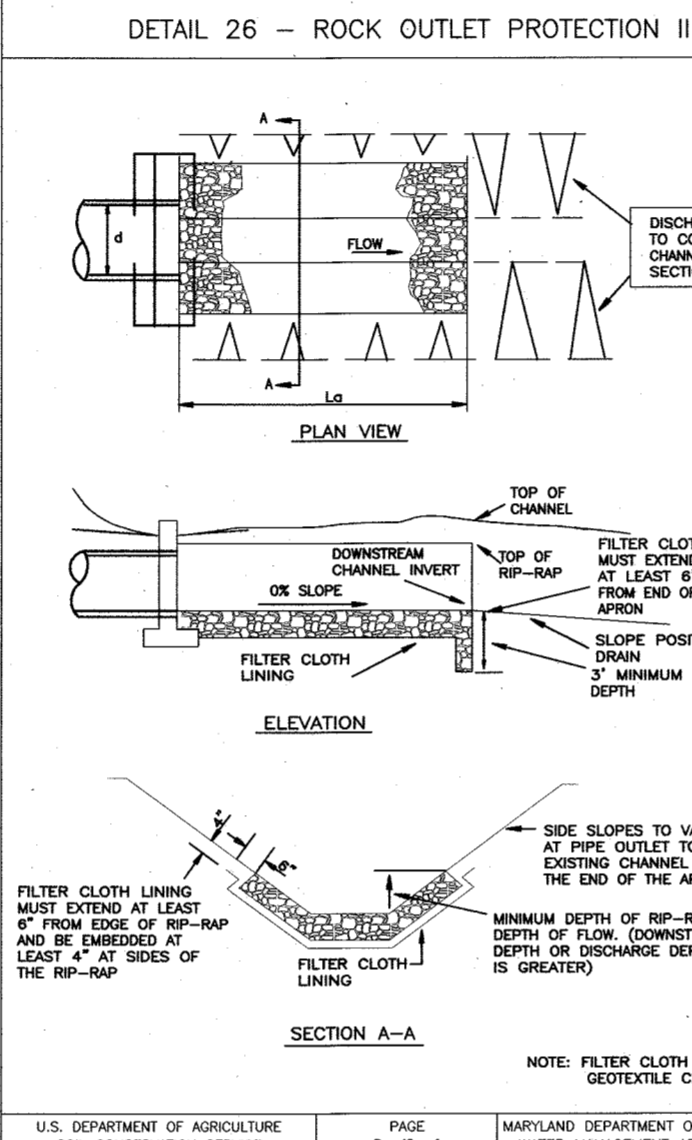
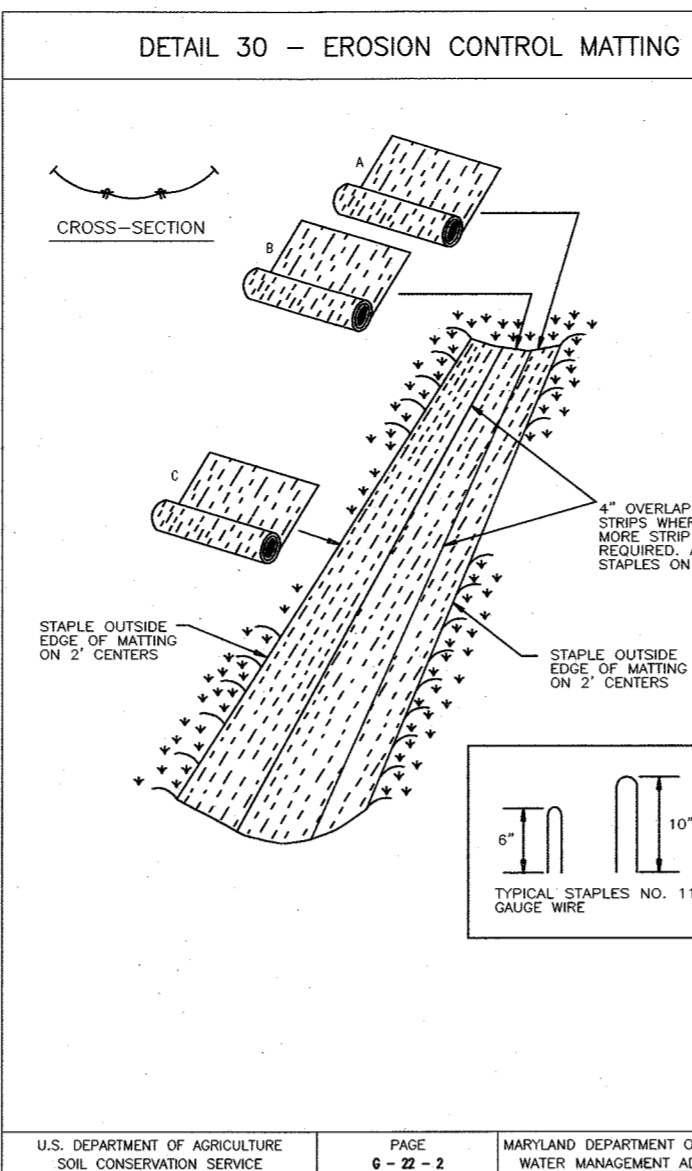
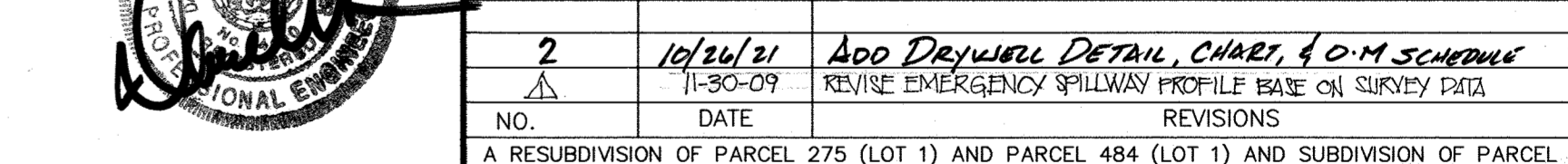
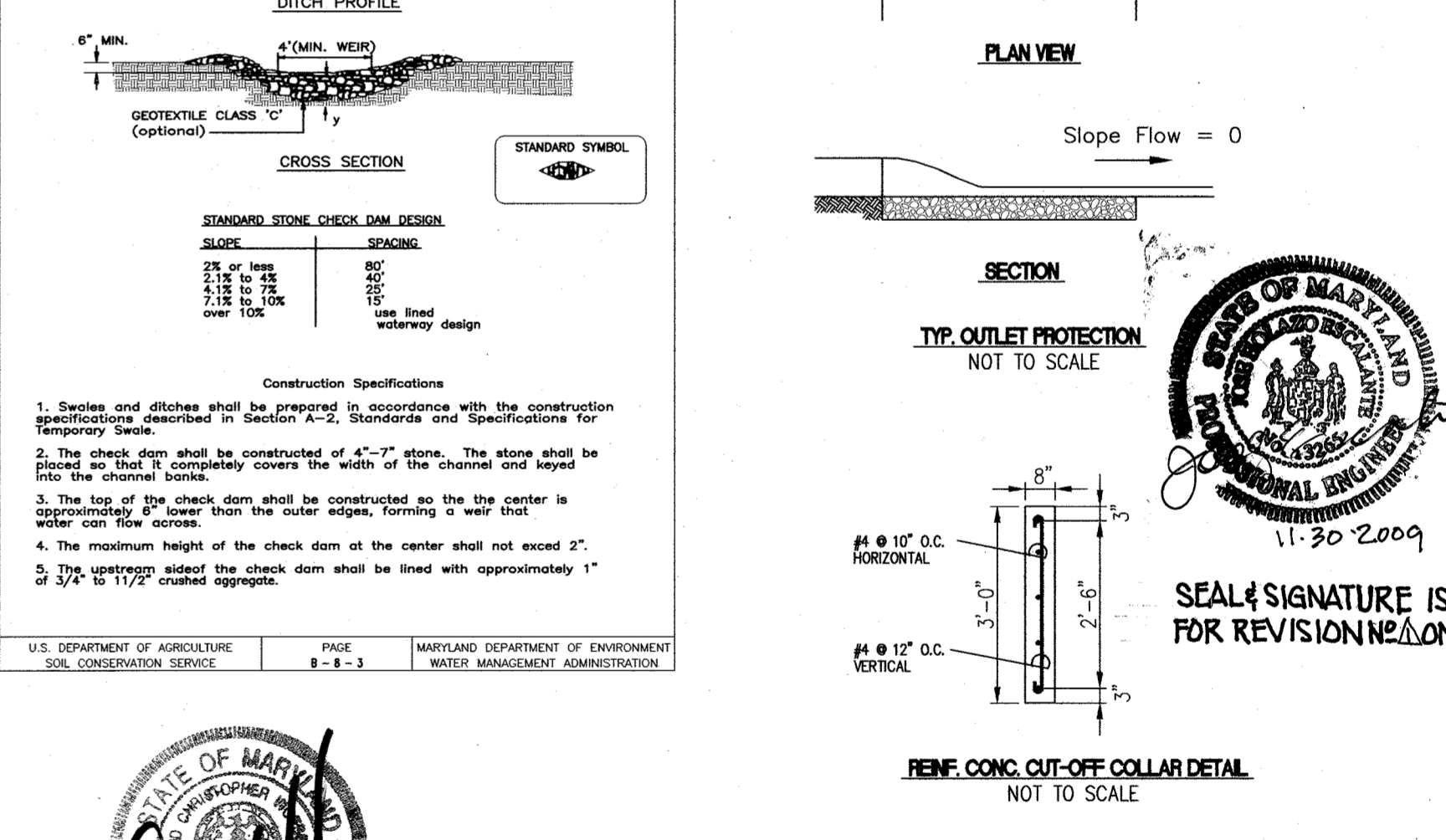
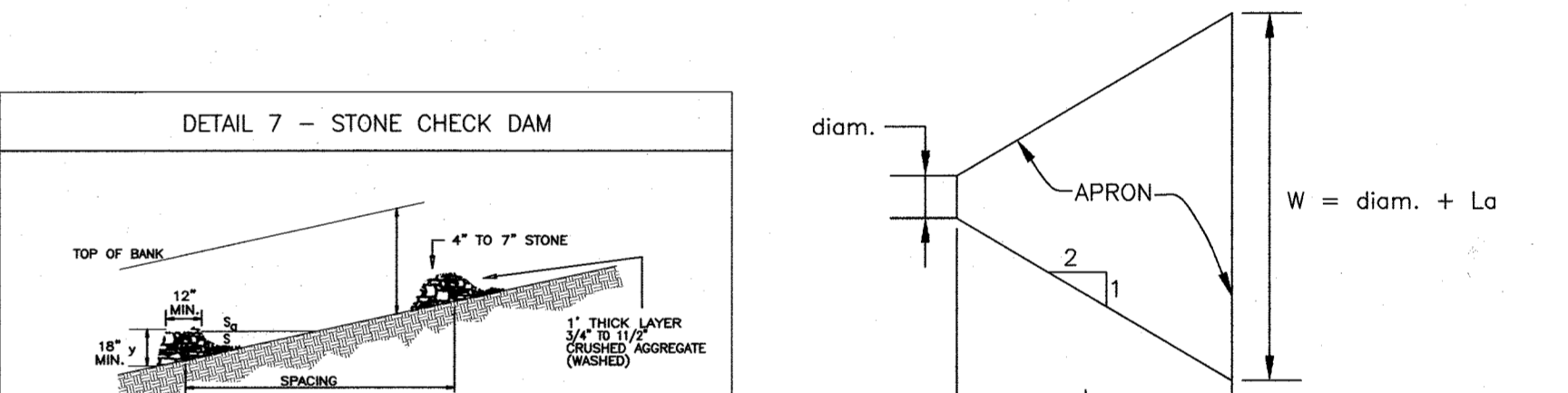
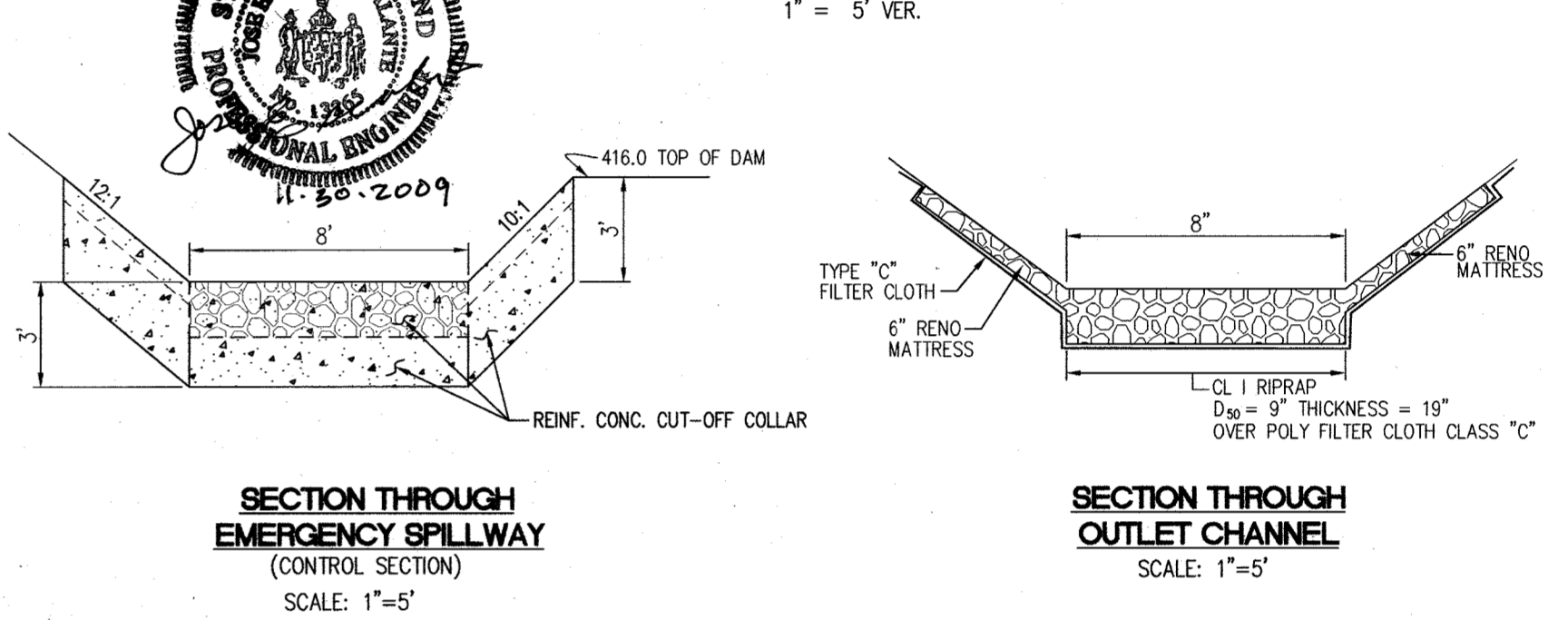
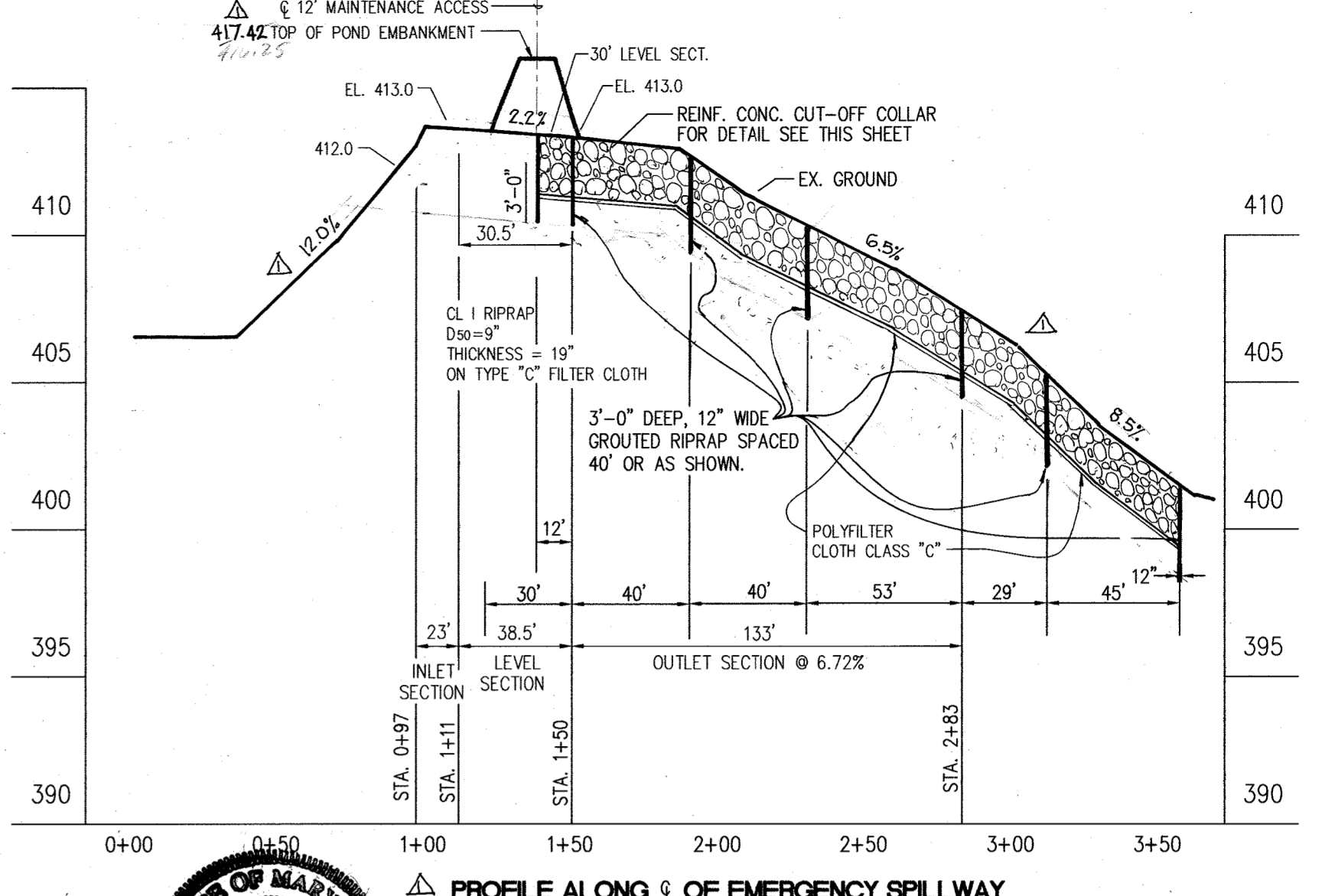
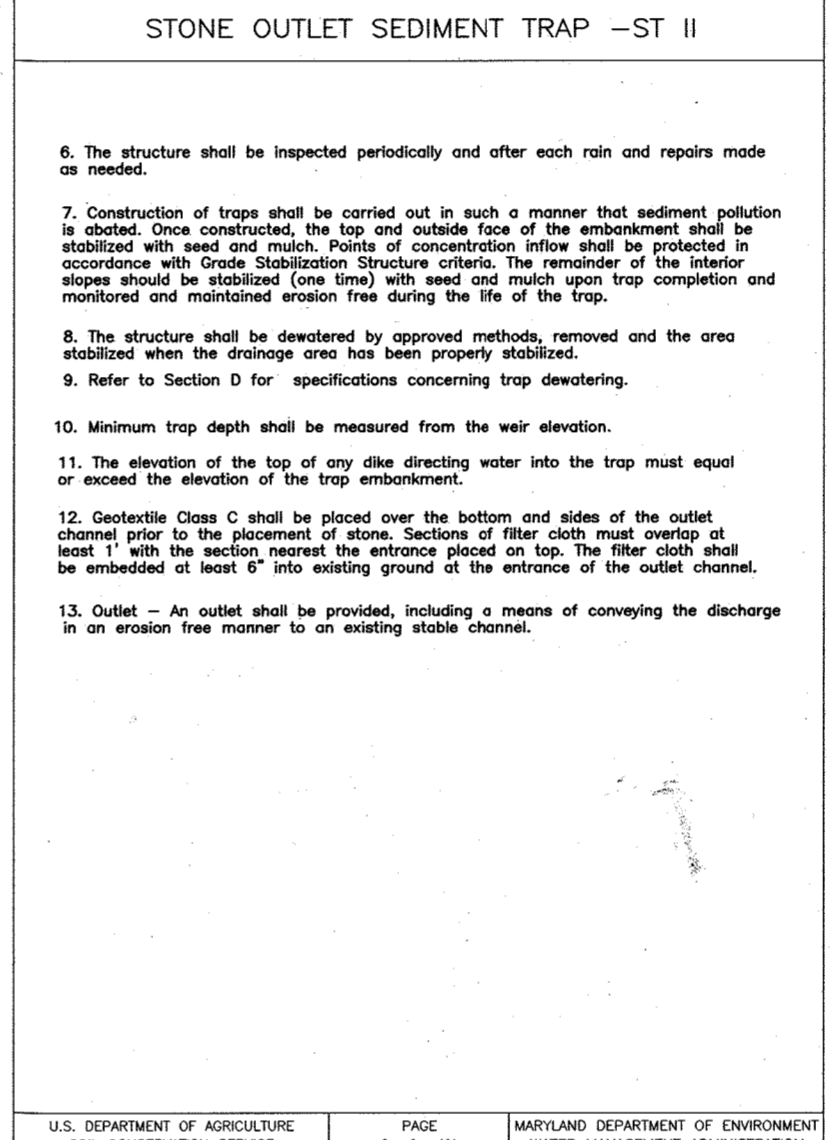
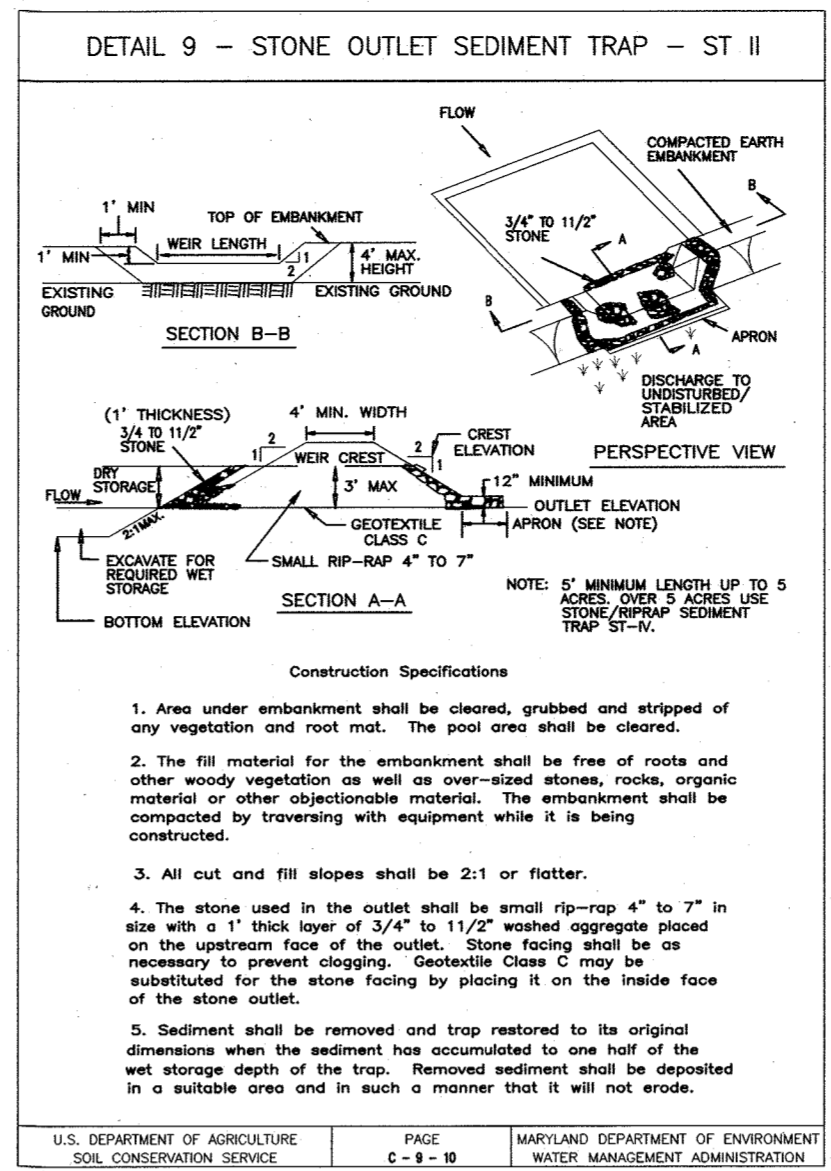
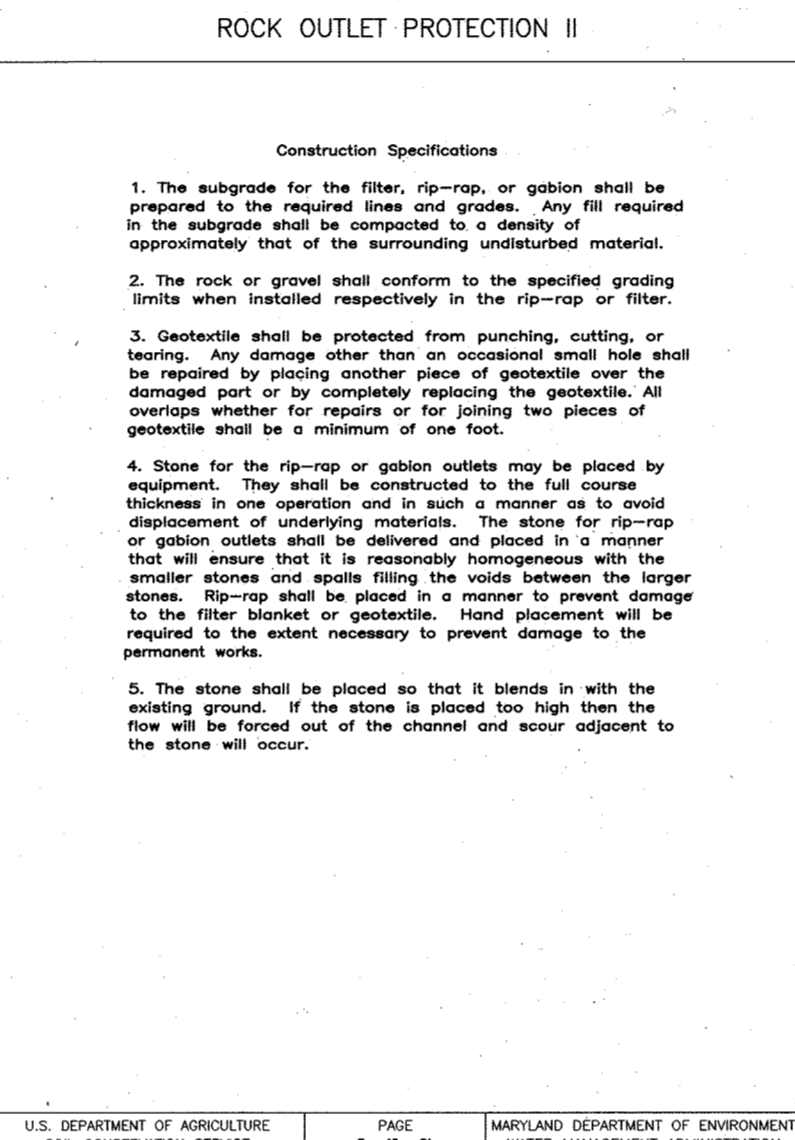
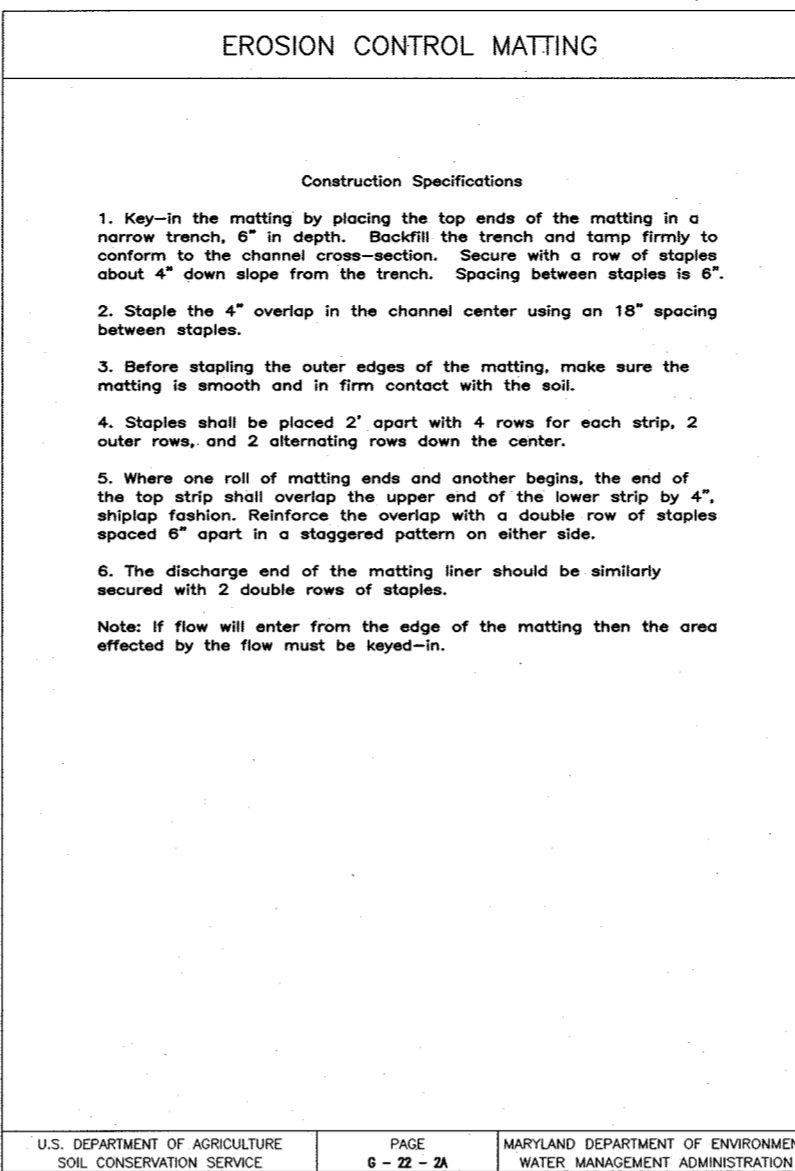


Table with columns: LOT NO., AREA OF ROOF, VOLUME OF STORAGE, AREA OF TREATMENT, REMARKS. Rows 17-19.

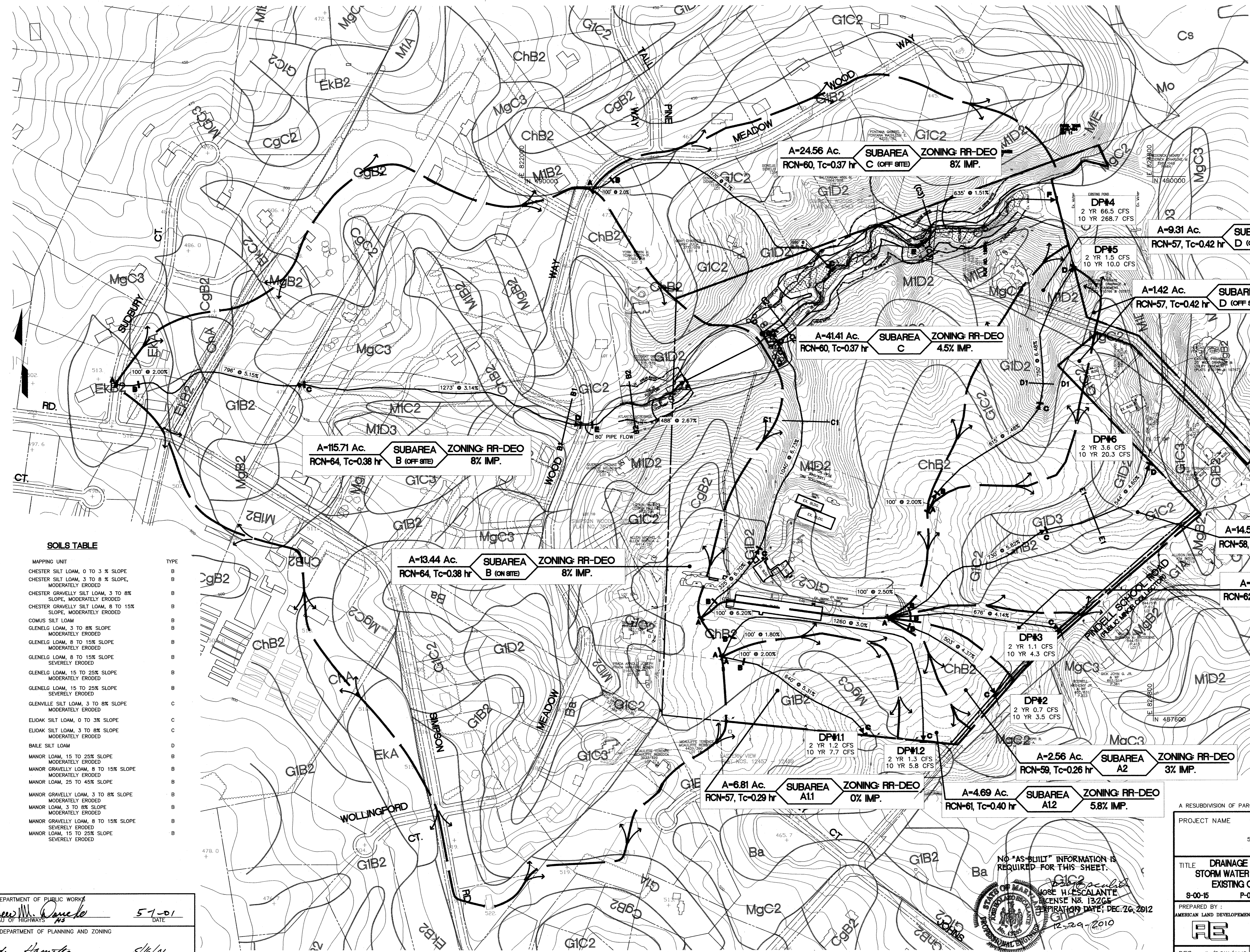
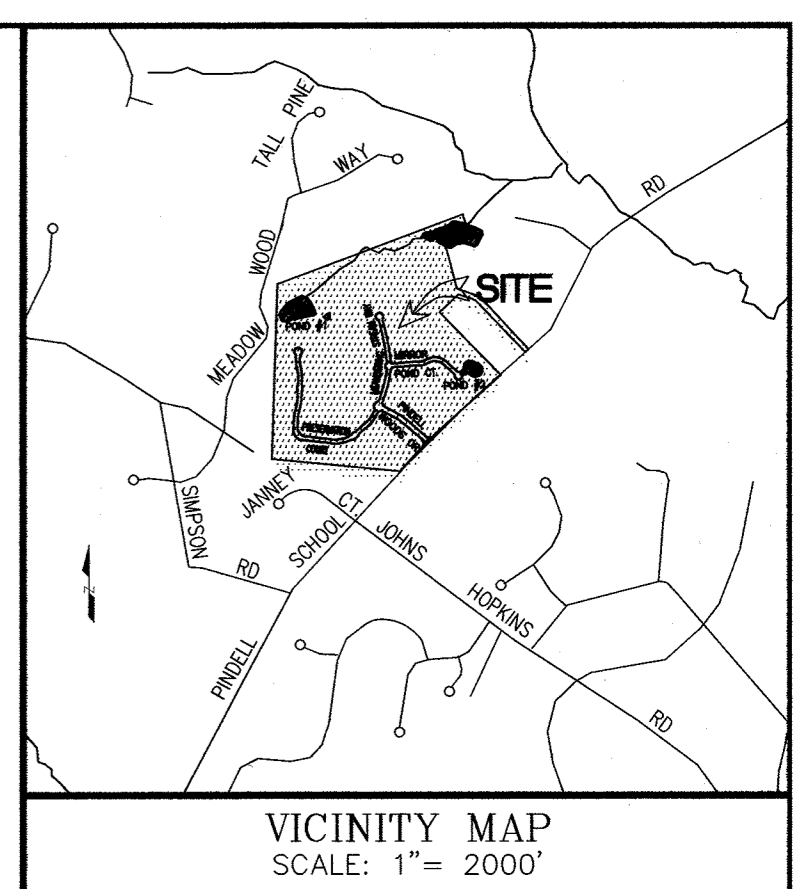


AS-BUILT CERTIFICATION. AS-BUILT CERTIFICATION. I, JOSEPH ESCALANTE, P.E., DO hereby certify that the FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

Professional Engineer Seal for Joseph Escalante, State of Maryland, License No. 13265, Expiration Date 12-26-2012.

Professional Engineer Seal for Joseph Escalante, State of Maryland, License No. 13265, Expiration Date 12-26-2012.



SOILS TABLE

SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
Cs	COMUS SILT LOAM	B
G1B2	GLENELG LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
G1C3	GLENELG LOAM, 8 TO 15% SLOPE, SEVERELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
EKA	ELIQUA SILT LOAM, 0 TO 3% SLOPE	C
EKB2	ELIQUA SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
Bo	BAILE SILT LOAM	D
MID2	MANOR LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
MIE	MANOR LOAM, 25 TO 45% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MIB2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MgC3	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, SEVERELY ERODED	B
MID3	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

JOSE H. ESCALANTE
 LICENSE NO. 13266
 EXPIRATION DATE: DEC. 26, 2012
 12-29-2010



APPROVED: DEPARTMENT OF PUBLIC WORKS
Joseph M. Daniels 5/1/01 DATE
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cristy Hamada 5/16/01 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

Paul D. Williams 5/16/01 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

PLAN
 SCALE: 1" = 200'

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

TITLE: **DRAINAGE AREA MAP, STORM WATER MANAGEMENT, EXISTING CONDITION**

8-00-15 P-01-06 F-01-89

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163
 TEL: (410) 465-7903, FAX: (410) 465-3845

OWNERS: CLARENCE AND MARTHA CARWELL, 7106 PINDELL SCHOOL ROAD, FULTON, MD. 20759
 H Y REAL ESTATE JOINT VENTURE, 1921 ROCKVILLE PKE, SUITE 300, ROCKVILLE, MD. 20852
 MARSHALL P. TULL, 1921 ROCKVILLE PKE, SUITE 300, ROCKVILLE, MD. 20852
 DEVELOPER: MOUNT VIEW, L.L.C., 6258 CARDINAL LA, COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB: SCALE: 1" = 200'

DRW.: AVG/DTA/MC PROJ.: SHEET 19 OF 38

CHK.: D.C.W. DATE: 03/04/01

F-01-89

SIMPSON WOODS, SECTION 2
PLAT NO. 3878

GUERCIO THOMAS R.
GUERCIO MELINDA A.
1306/271
LOT 9
ZONE R-R

ATLANTIC MORTGAGE
INVEST INC.
1082/438
LOT 10
ZONE R-R

FOR OFF SITE SUBAREA B
DATA INCLUDING FLOW
PATH, SEE 200' SCALE DAM.

FOR OFF SITE SUBAREA C
DATA INCLUDING FLOW
PATH, SEE 200' SCALE DAM.

SIMPSON WOODS, SECTION 3
PLAT NOS. 4563 - 4564

BALCERZAK STEPHEN J.
BALCERZAK ANN M.
3004/308
LOT 7
ZONE R-R

FONTANA GABRIEL J.
FONTANA KATHLEEN E.
4325/182
LOT 8
ZONE R-R

E 1335000
N 548000

E 1335000
N 548000

E 1336000
N 548000

E 1336000
N 548000

A-6.81 Ac.
RCN-57, Tc=0.29 hr
SUBAREA A11
ZONING: RR-DEO
0% IMP.

A-13.44 Ac.
RCN-64, Tc=0.38 hr
SUBAREA B (ON SITE)
ZONING: RR-DEO
0% IMP.

A-41.41 Ac.
RCN-60, Tc=0.37 hr
SUBAREA C
ZONING: RR-DEO
6% IMP.

A-4.69 Ac.
RCN-61, Tc=0.40 hr
SUBAREA A12
ZONING: RR-DEO
5.8% IMP.

A-2.56 Ac.
RCN-59, Tc=0.26 hr
SUBAREA A2
ZONING: RR-DEO
3% IMP.

- LEGEND:**
- SOILS MAPPING UNIT
 - EXISTING CONTOURS
 - PROPERTY LINE
 - EXISTING TREELINE
 - TREE LINE TO REMAIN
 - 100-YR FLOODPLAIN
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - WETLAND
 - EXISTING INDIVIDUAL SEPTIC AREA
 - EX. WELL LOCATION
 - 25% OR GREATER SLOPE
 - 15%-24.9% SLOPE

JANNNEY JOINT M.
BACKUS MARY C.
2317/140
LOT 15
ZONE R-R

MICHEM JOSEPH P.
MITCHEM SUE A.
4260/281
LOT 14
ZONE R-R

DP#11
2 YR 1.2 CFS
10 YR 10.9 CFS

DP#12
2 YR 1.3 CFS
10 YR 5.8 CFS

DP#2
2 YR 0.7 CFS
10 YR 3.5 CFS

APPROVED: DEPARTMENT OF PUBLIC WORKS
Stephen M. Davelos 5-1-01
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Quincy Hamilton 5/16/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Chris Dammann 5/11/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

PLAN
SCALE: 1" = 100'

NO "AS-BUILT" INFORMATION IS
REQUIRED FOR THIS SHEET.

STATE OF MARYLAND
PROFESSIONAL ENGINEER
Joseph H. Escalante
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012
12-29-2010

OPERATION, MAINTENANCE, AND INSPECTION

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

Operation and Maintenance Schedule
of Privately Owned and Maintained
Stormwater Management Facility
Wet Pond

Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME
PINDELL WOODS

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND.

TITLE STORM WATER MANAGEMENT DRAINAGE AREA MAP EXISTING CONDITION		OWNERS CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852	
PREPARED BY AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX (410) 465-3845	DEVELOPER MOUNT VIEW, LLC 6255 CARDINAL LA COLUMBIA, MD. 21044	DES. : JL/DCW/AVG	JOB :
DRW. : AVG/DTA/JNC	PROJ. :	SCALE :	SHEET 20 OF 38
CHK. : D.C.W.	DATE : 03/04/01	SCALE :	SHEET 20 OF 38

F-01-89

H:\p\ndb11\FINAL\PLAN\COND\DM1.dwg Wed Apr 04 16:34:44 2001

BALCERZAK STEPHEN J.
BALCERZAK ANN M.
1004/508
LOT 7
ZONE R-R

MATCHLINE
SEE SHEET 19 OF 37

FONTANA GABRIEL J.
FONTANA KATHLEEN E.
4325/182
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
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13761/713
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GRONITS DEBORAH B.
13761/713
LOT 8
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GRONITS DEBORAH B.
13761/713
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GRONITS DEBORAH B.
13761/713
LOT 8
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GRONITS DEBORAH B.
13761/713
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GRONITS DEBORAH B.
13761/713
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GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

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GRONITS DEBORAH B.
13761/713
LOT 8
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GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

GRONITS STEPHEN P.
GRONITS DEBORAH B.
13761/713
LOT 8
ZONE R-R

FOR OFF SITE SUBAREA C
DATA INCLUDING FLOW
PATH. SEE 200' SCALE DAM.

A-9.31 Ac. SUBAREA D (ON SITE) ZONING: RR-DEO 3% IMP.
RCN-57, Tc=0.42 hr

FREDERICK HENRY F.
FREDERICK CHARLINE M.
2881/045
P.464
ZONE R-R

OPERATION, MAINTENANCE, AND INSPECTION
Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME
PINDELL WOODS
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND.

TITLE: **STORM WATER MANAGEMENT DRAINAGE AREA MAP EXISTING CONDITION**
9-00-15 P-01-06 F-01-09

PREPARED BY:
AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
10749 BIRMINGHAM WAY
WOODSTOCK, MD 21163
TEL (410) 465-7903
FAX (410) 465-3845

OWNERS: CLARENCE AND MARTHA CARWELL
7106 PINDELL SCHOOL ROAD
FULTON, MD. 20759
H Y REAL ESTATE JOINT VENTURE
1921 ROCKVILLE PIKE, SUITE 300
ROCKVILLE, MD. 20852
MARSHALL P. TULIN
1921 ROCKVILLE PIKE, SUITE 300
ROCKVILLE, MD. 20852
DEVELOPER: MOUNT VIEW, L.L.C.
6258 CARDINAL LA.
COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB:
DRW.: AVG/DIA/INC PROJ.:
CHK.: D.C.W. DATE: 03/04/01
SCALE: 1" = 100'
SHEET 21 OF 38

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



PLAN
SCALE: 1" = 100'

Operation and Maintenance Schedule of Home Owners Association Owned and Maintained Stormwater Management Facility Wet Pond

Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

APPROVED - DEPARTMENT OF PUBLIC WORKS
Andrew M. Caspe 5-7-01
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED - DEPARTMENT OF PLANNING AND ZONING
Cindy Hamilton 4/6/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William Dammann 5/11/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

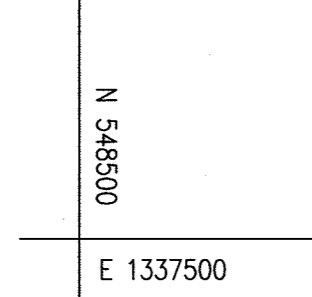
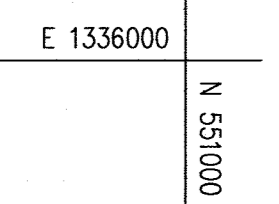
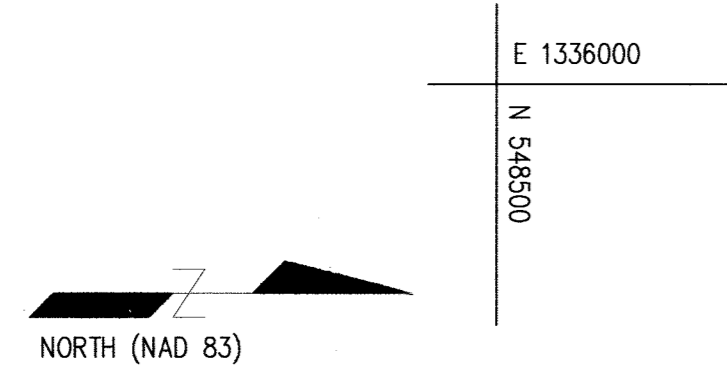
- LEGEND:**
- MgC3 SOILS MAPPING UNIT
 - 325 EXISTING CONTOURS
 - 330 PROPERTY LINE
 - EXISTING TREELINE
 - TREE LINE TO REMAIN
 - 100-YR FLOODPLAIN
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - WETLAND
 - EXISTING INDIVIDUAL SEPTIC AREA
 - EX. WELL LOCATION
 - 25% OR GREATER SLOPE
 - 15%-24.9% SLOPE

A=2.71 Ac. SUBAREA A3 ZONING: RR-DEO 10% IMP.
RCN-62, Tc=0.28 hr

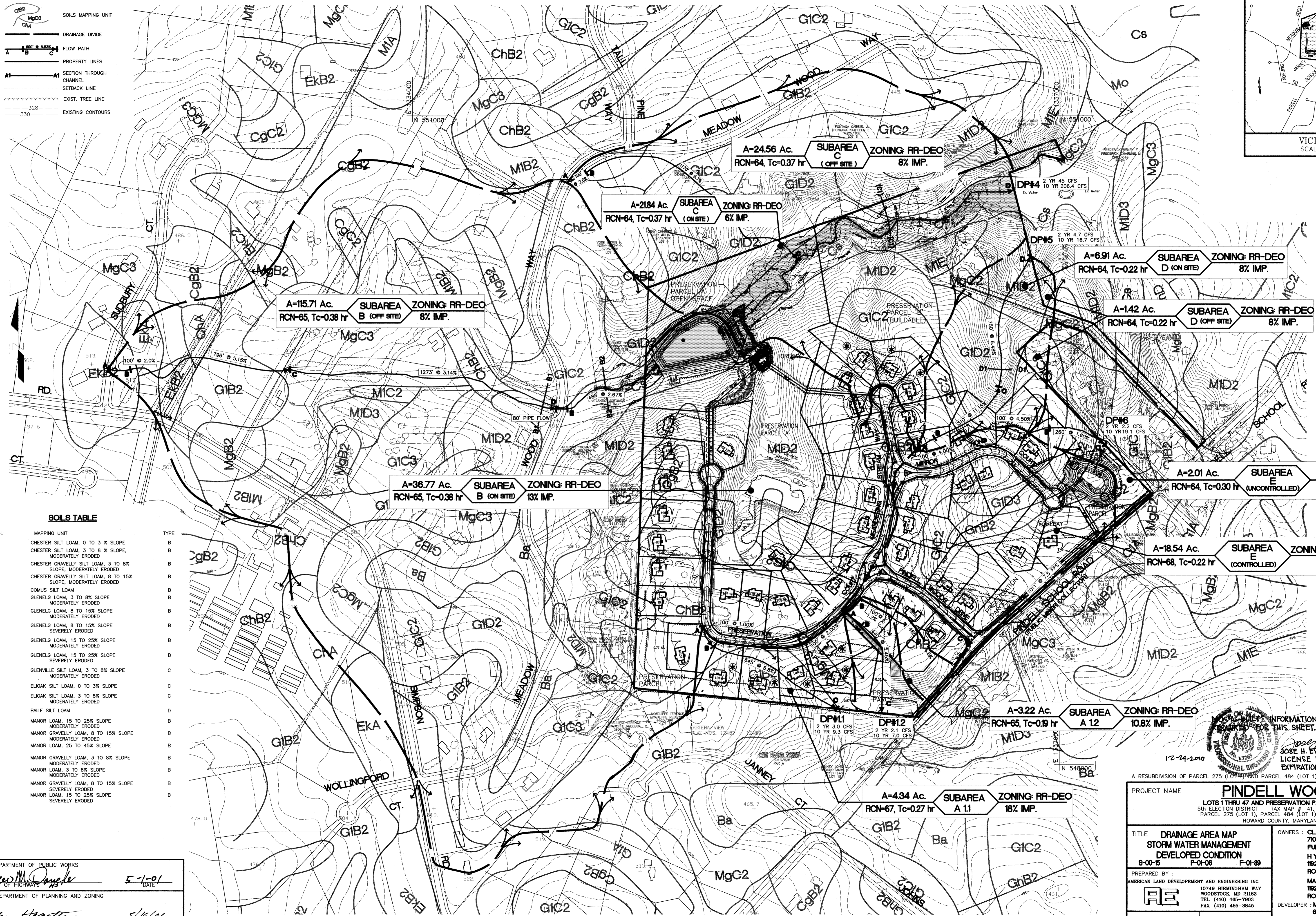
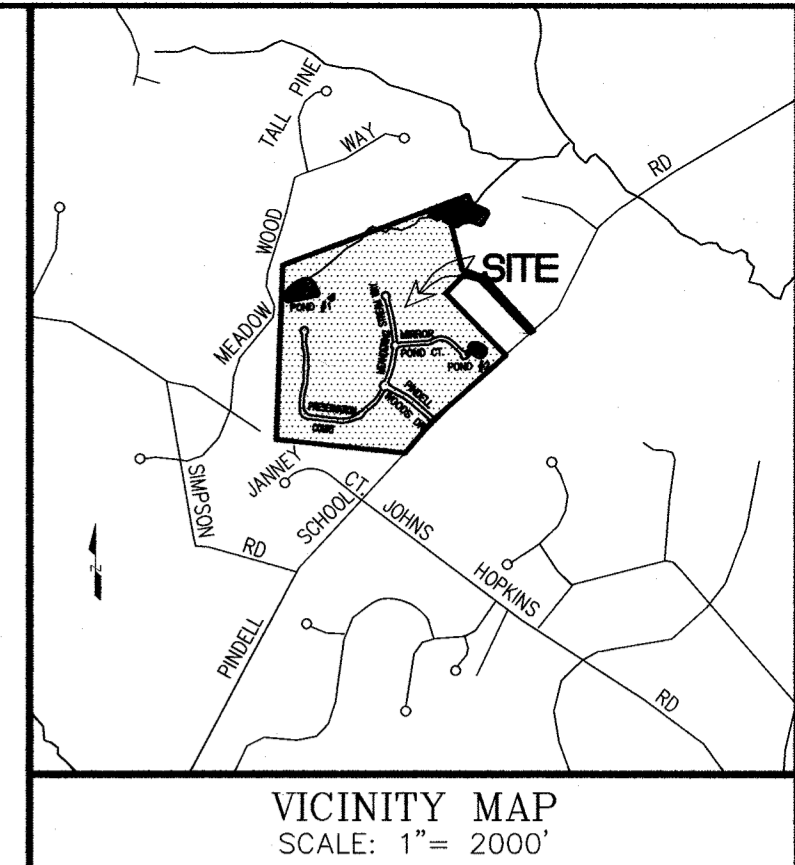
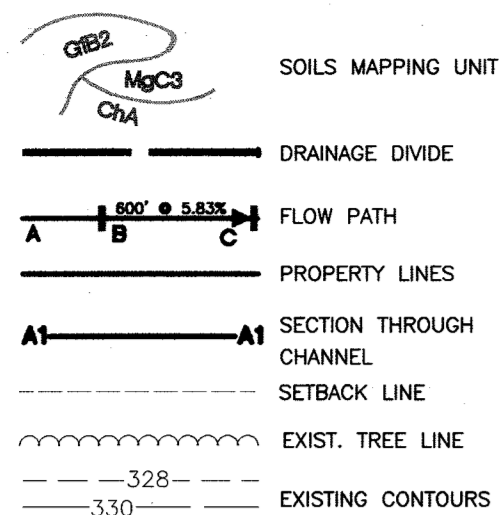
A=41.41 Ac. SUBAREA C ZONING: RR-DEO 6% IMP.
RCN-60, Tc=0.37 hr

A=14.55 Ac. SUBAREA E ZONING: RR-DEO 2% IMP.
RCN-58, Tc=0.22 hr

A=1.42 Ac. SUBAREA D (OFF SITE) ZONING: RR-DEO 3% IMP.
RCN-57, Tc=0.42 hr



LEGEND



SOILS TABLE

SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CgC2	CHESTER GRAVELLY SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
Cs	COMUS SILT LOAM	B
G1B2	GLENELG LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
G1C3	GLENELG LOAM, 8 TO 15% SLOPE, SEVERELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
EKA	ELIOAK SILT LOAM, 0 TO 3% SLOPE	C
EKB2	ELIOAK SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	C
Ba	BAILE SILT LOAM	D
MID2	MANOR LOAM, 15 TO 25% SLOPE, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
ME	MANOR LOAM, 25 TO 45% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MIB2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MgC3	MANOR GRAVELLY LOAM, 8 TO 15% SLOPE, SEVERELY ERODED	B
MID3	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B

- NOTES:
1. SWM FACILITY NO. 1 TO BE OWNED AND MAINTAINED PRIVATELY. FACILITY NO. 2 TO BE OWNED AND MAINTAINED BY HOME OWNERS ASSO.
 2. STORMWATER MANAGEMENT FACILITIES WILL BE WET POND TO PROVIDE BOTH QUANTITY AND QUALITY MANAGEMENT.
 3. BOTH SWM FACILITIES ARE HAZARD CLASS 'A'.
 4. * LOTS WITH INDIVIDUAL WATER QUALITY FACILITY.

INFORMATION IS PROVIDED FOR THIS SHEET.
 JOSE H. ESCALANTE
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-24-2010

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274
PROJECT NAME: PINDELL WOODS
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
 HOWARD COUNTY, MARYLAND.

TITLE: DRAINAGE AREA MAP STORM WATER MANAGEMENT DEVELOPED CONDITION 8-00-15 P-01-06 F-01-89	OWNERS: CLARENCE AND MARTHA CARWELL 7006 PINDELL SCHOOL ROAD FULTON, MD. 20789 H Y REAL ESTATE, JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BRIMMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7903 FAX (410) 465-3845	DEVELOPER: MOUNT VIEW, LLC 6258 CARDINAL LA COLUMBIA, MD. 21044
DES.: JL/DCW/AVG	JOB:
DRW.: AVG/DTA/INC	PROJ.:
CHK.: D.C.W.	DATE: 03/04/01
SCALE: 1" = 200'	SHEET 22 OF 38

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 5-1-01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/16/01 DATE

[Signature] 5/16/01 DATE

PLAN
 SCALE: 1" = 200'

FOR OFF SITE SUBAREA B
DATA INCLUDING FLOW
PATH, SEE 200' SCALE DAM.

FOR OFF SITE SUBAREA C
DATA INCLUDING FLOW
PATH, SEE 200' SCALE DAM.

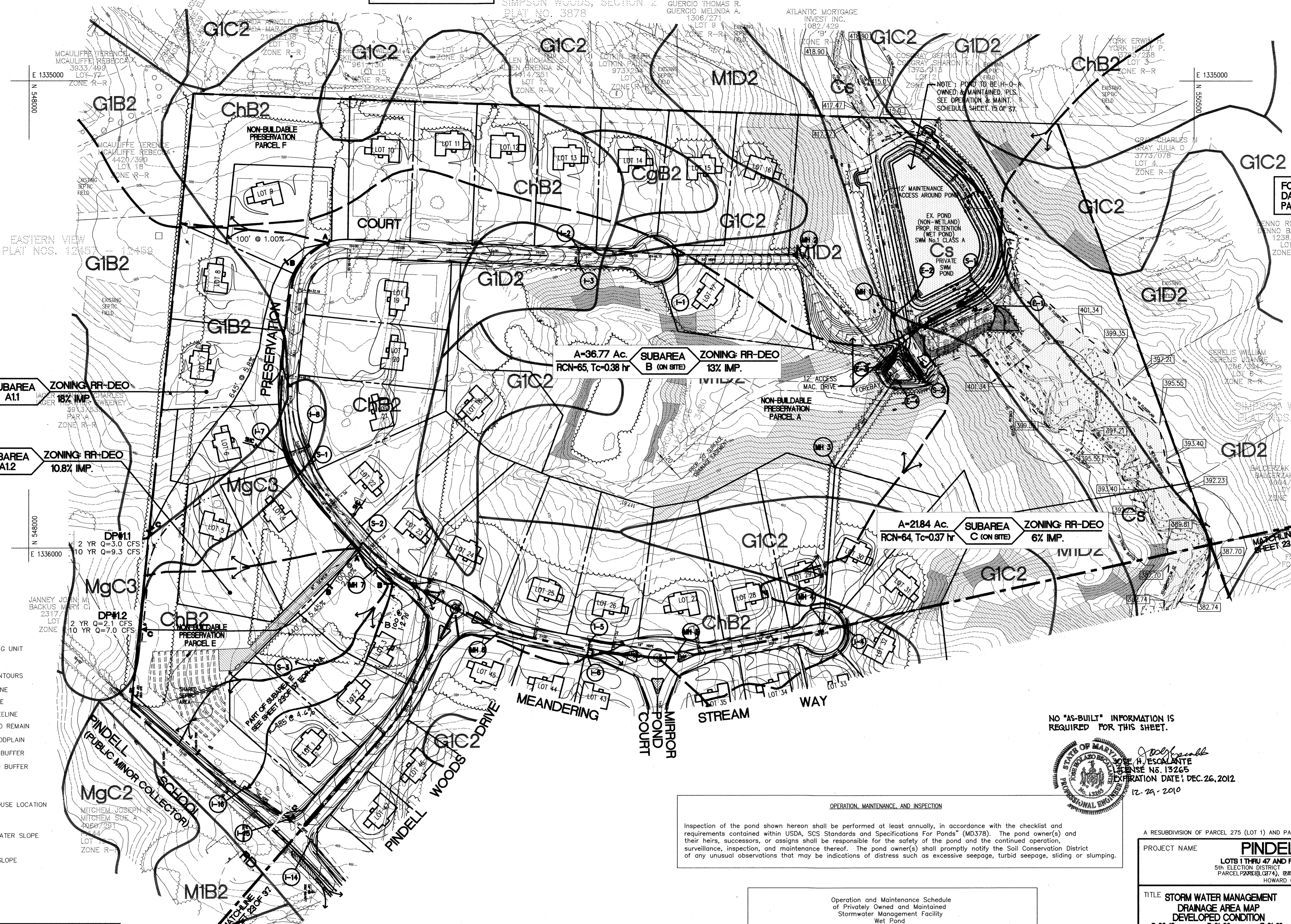
A=36.77 Ac. SUBAREA B (ON SITE) ZONING: RR-DEO 13% IMP.
RCN-65, Tc=0.38 hr

A=21.84 Ac. SUBAREA C (ON SITE) ZONING: RR-DEO 6% IMP.
RCN-64, Tc=0.37 hr

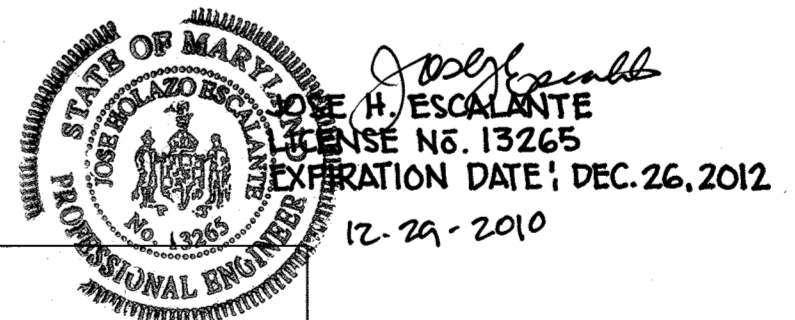
A=4.34 Ac. SUBAREA A11 ZONING: RR-DEO 18% IMP.
RCN-67, Tc=0.27 hr

A=3.22 Ac. SUBAREA A12 ZONING: RR-DEO 10.8% IMP.
RCN-65, Tc=0.19 hr

- LEGEND:**
- SOILS MAPPING UNIT
 - 325 EXISTING CONTOURS
 - 330 EXISTING CONTOURS
 - PROPERTY LINE
 - SETBACK LINE
 - EXISTING TREELINE
 - TREE LINE TO REMAIN
 - 100-YR FLOODPLAIN
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - WETLAND
 - POSSIBLE HOUSE LOCATION
 - 25% OR GREATER SLOPE
 - 15%-24.9% SLOPE



NO "AS-BUILT" INFORMATION IS
REQUIRED FOR THIS SHEET.



OPERATION, MAINTENANCE, AND INSPECTION

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

Operation and Maintenance Schedule of Privately Owned and Maintained Stormwater Management Facility Wet Pond

Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

PLAN
SCALE: 1" = 100'

APPROVED: DEPARTMENT OF PUBLIC WORKS
Christopher M. Lane 5-1-01 DATE
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hammit 5/1/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Chris D... 5/1/01 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

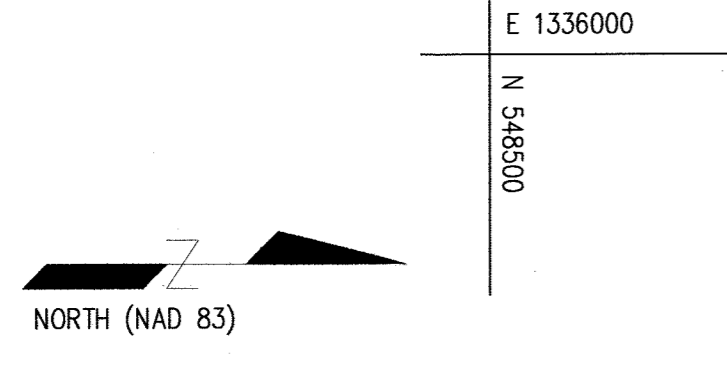
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274	
PROJECT NAME PINDELL WOODS	
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), 278 (LOT 1), 279 (LOT 1), 280 (LOT 1), 281 (LOT 1), 282 (LOT 1), 283 (LOT 1), 284 (LOT 1), 285 (LOT 1), 286 (LOT 1), 287 (LOT 1), 288 (LOT 1), 289 (LOT 1), 290 (LOT 1), 291 (LOT 1), 292 (LOT 1), 293 (LOT 1), 294 (LOT 1), 295 (LOT 1), 296 (LOT 1), 297 (LOT 1), 298 (LOT 1), 299 (LOT 1), 300 (LOT 1), 301 (LOT 1), 302 (LOT 1), 303 (LOT 1), 304 (LOT 1), 305 (LOT 1), 306 (LOT 1), 307 (LOT 1), 308 (LOT 1), 309 (LOT 1), 310 (LOT 1), 311 (LOT 1), 312 (LOT 1), 313 (LOT 1), 314 (LOT 1), 315 (LOT 1), 316 (LOT 1), 317 (LOT 1), 318 (LOT 1), 319 (LOT 1), 320 (LOT 1), 321 (LOT 1), 322 (LOT 1), 323 (LOT 1), 324 (LOT 1), 325 (LOT 1), 326 (LOT 1), 327 (LOT 1), 328 (LOT 1), 329 (LOT 1), 330 (LOT 1), 331 (LOT 1), 332 (LOT 1), 333 (LOT 1), 334 (LOT 1), 335 (LOT 1), 336 (LOT 1), 337 (LOT 1), 338 (LOT 1), 339 (LOT 1), 340 (LOT 1), 341 (LOT 1), 342 (LOT 1), 343 (LOT 1), 344 (LOT 1), 345 (LOT 1), 346 (LOT 1), 347 (LOT 1), 348 (LOT 1), 349 (LOT 1), 350 (LOT 1), 351 (LOT 1), 352 (LOT 1), 353 (LOT 1), 354 (LOT 1), 355 (LOT 1), 356 (LOT 1), 357 (LOT 1), 358 (LOT 1), 359 (LOT 1), 360 (LOT 1), 361 (LOT 1), 362 (LOT 1), 363 (LOT 1), 364 (LOT 1), 365 (LOT 1), 366 (LOT 1), 367 (LOT 1), 368 (LOT 1), 369 (LOT 1), 370 (LOT 1), 371 (LOT 1), 372 (LOT 1), 373 (LOT 1), 374 (LOT 1), 375 (LOT 1), 376 (LOT 1), 377 (LOT 1), 378 (LOT 1), 379 (LOT 1), 380 (LOT 1), 381 (LOT 1), 382 (LOT 1), 383 (LOT 1), 384 (LOT 1), 385 (LOT 1), 386 (LOT 1), 387 (LOT 1), 388 (LOT 1), 389 (LOT 1), 390 (LOT 1), 391 (LOT 1), 392 (LOT 1), 393 (LOT 1), 394 (LOT 1), 395 (LOT 1), 396 (LOT 1), 397 (LOT 1), 398 (LOT 1), 399 (LOT 1), 400 (LOT 1), 401 (LOT 1), 402 (LOT 1), 403 (LOT 1), 404 (LOT 1), 405 (LOT 1), 406 (LOT 1), 407 (LOT 1), 408 (LOT 1), 409 (LOT 1), 410 (LOT 1), 411 (LOT 1), 412 (LOT 1), 413 (LOT 1), 414 (LOT 1), 415 (LOT 1), 416 (LOT 1), 417 (LOT 1), 418 (LOT 1), 419 (LOT 1), 420 (LOT 1), 421 (LOT 1), 422 (LOT 1), 423 (LOT 1), 424 (LOT 1), 425 (LOT 1), 426 (LOT 1), 427 (LOT 1), 428 (LOT 1), 429 (LOT 1), 430 (LOT 1), 431 (LOT 1), 432 (LOT 1), 433 (LOT 1), 434 (LOT 1), 435 (LOT 1), 436 (LOT 1), 437 (LOT 1), 438 (LOT 1), 439 (LOT 1), 440 (LOT 1), 441 (LOT 1), 442 (LOT 1), 443 (LOT 1), 444 (LOT 1), 445 (LOT 1), 446 (LOT 1), 447 (LOT 1), 448 (LOT 1), 449 (LOT 1), 450 (LOT 1), 451 (LOT 1), 452 (LOT 1), 453 (LOT 1), 454 (LOT 1), 455 (LOT 1), 456 (LOT 1), 457 (LOT 1), 458 (LOT 1), 459 (LOT 1), 460 (LOT 1), 461 (LOT 1), 462 (LOT 1), 463 (LOT 1), 464 (LOT 1), 465 (LOT 1), 466 (LOT 1), 467 (LOT 1), 468 (LOT 1), 469 (LOT 1), 470 (LOT 1), 471 (LOT 1), 472 (LOT 1), 473 (LOT 1), 474 (LOT 1), 475 (LOT 1), 476 (LOT 1), 477 (LOT 1), 478 (LOT 1), 479 (LOT 1), 480 (LOT 1), 481 (LOT 1), 482 (LOT 1), 483 (LOT 1), 484 (LOT 1), 485 (LOT 1), 486 (LOT 1), 487 (LOT 1), 488 (LOT 1), 489 (LOT 1), 490 (LOT 1), 491 (LOT 1), 492 (LOT 1), 493 (LOT 1), 494 (LOT 1), 495 (LOT 1), 496 (LOT 1), 497 (LOT 1), 498 (LOT 1), 499 (LOT 1), 500 (LOT 1)	
TITLE STORM WATER MANAGEMENT DRAINAGE AREA MAP DEVELOPED CONDITION 8-00-15 P-01-06 F-01-09	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 465-7803 FAX (410) 465-3845	DES.: JL/DCW/AVG JOB: DRW.: AVG/DIA/JNC PROJ.: CHK.: D.C.W. DATE: 03/04/01
SCALE: 1" = 100'	SHEET 23 OF 38

BALCERZAK STEPHEN J.
BALCERZAK ANN M.
1004/508
LOT 7
ZONE R-R

FONTANA GABRIEL J.
FONTANA KATHLEEN E.
4325/182
LOT 8
ZONE R-R

COONITS STEPHEN P.
COONITS DEBORAH B.
3761/713
ZONE R-R

FREDERICK HENRY F.
FREDERICK CHARLINE M.
2981/045
P.464
ZONE R-R



MITCHEM JOSEPH
MITCHEM SHIRLEY
408/514
P.321
LOT 1
ZONE R-R

BOSWELL
ANTHONY JR.
& WF
452/614
P.321
ZONE R-R

GICK JOHN C.
& WF
603/514
P.36
ZONE R-R

SIMONS
BARBARA
844/514
P.413
LOT 1
ZONE R-R

BROSSENNE BARBARA ANN
844/514
P.413
LOT 1
ZONE R-R

LISON RICHARD
844/514
P.413
LOT 1
ZONE R-R

HONOR JOHN C.
844/514
P.413
LOT 1
ZONE R-R

HAYES PERCH
844/514
P.413
LOT 1
ZONE R-R

- LEGEND:**
- EXISTING CONTOURS
 - PROPERTY LINE
 - SETBACK LINE
 - EXISTING TREELINE
 - TREE LINE TO REMAIN
 - 100-YR FLOODPLAIN
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - WETLAND
 - POSSIBLE HOUSE LOCATION
 - 25% OR GREATER SLOPE
 - 15%-24.9% SLOPE

Operation and Maintenance Schedule
of Home Owners Association Owned and Maintained
Stormwater Management Facility
Wet Pond

Top and side slopes of the embankment shall be moved a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.

Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.

When deemed necessary for aesthetic reasons, sediment should be removed from the pond. Approval of the Department of Public Works is required.

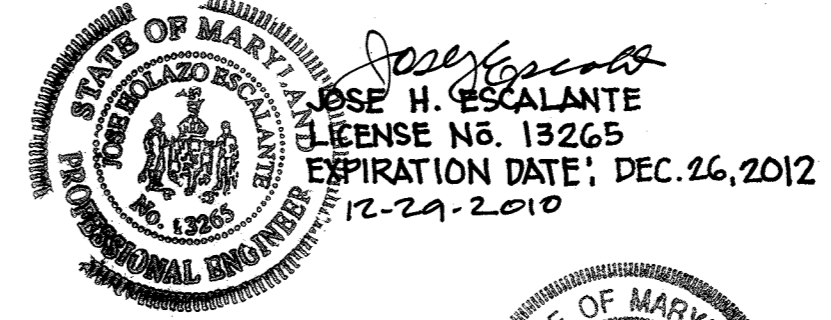
PLAN
SCALE: 1" = 100'

APPROVED: DEPARTMENT OF PUBLIC WORKS
Andrew M. Opale 5-1-01
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamiter 5/6/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Robert Williams 5/11/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO "AS-BUILT" INFORMATION IS
REQUIRED FOR THIS SHEET.



OPERATION, MAINTENANCE, AND INSPECTION

Inspection of the pond shown herein shall be performed at least annually, in accordance with the checklist and requirements contained within USDA, SCS Standards and Specifications For Ponds (MD378). The pond owner(s) and their heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, sliding or slumping.

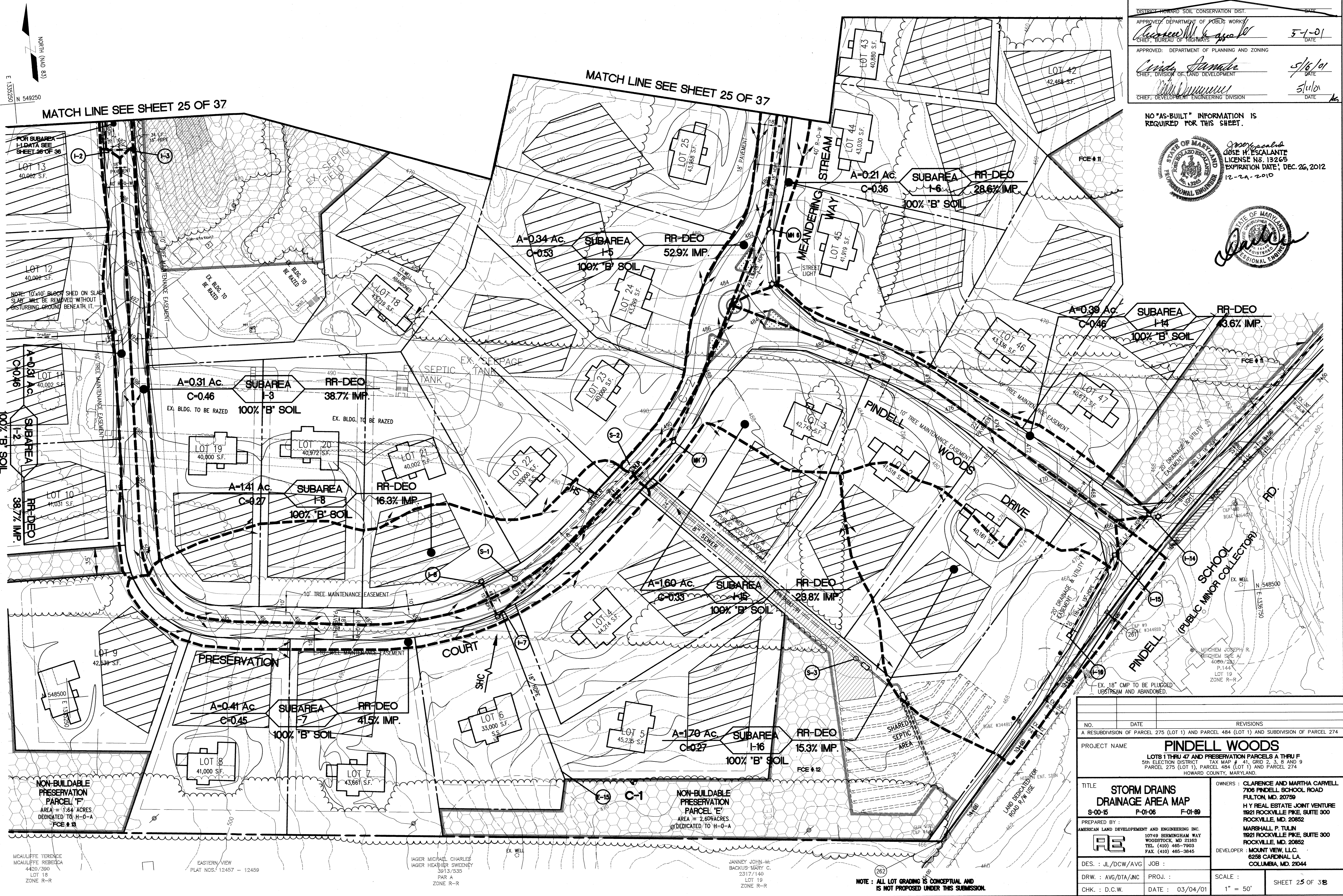
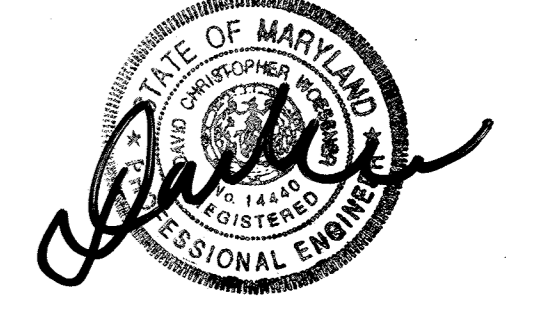
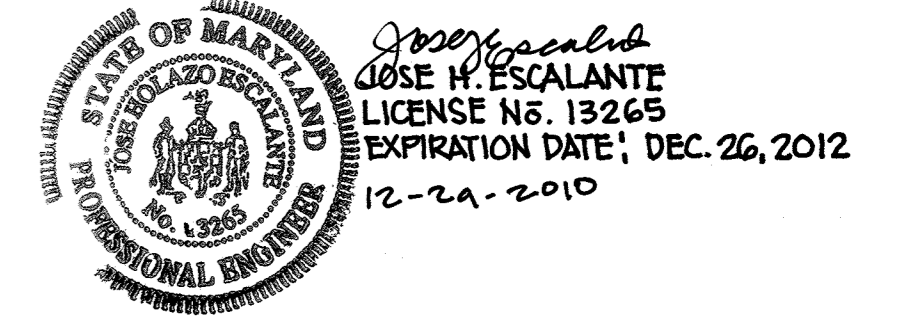
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274	
PROJECT NAME PINDELL WOODS	
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 9 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.	
TITLE STORM WATER MANAGEMENT DRAINAGE AREA MAP DEVELOPED CONDITION	OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD. 21044
DES.: JL/DCW/AVG	JOB:
DRW.: AVG/DTA/JNC	PROJ.:
CHK.: D.C.W.	DATE: 03/04/01
SCALE: 1" = 100'	SHEET 24 OF 38

FOR OFF SITE SUBAREA C
DATA INCLUDING FLOW
PATH SEE 200' SCALE D.A.M.

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST. DATE
 APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Casper 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
Wanda Samuels 5/16/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
William Williams 5/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



MATCH LINE SEE SHEET 25 OF 37

MATCH LINE SEE SHEET 25 OF 37

FOR SUBAREA I-1 DATA SEE SHEET 26 OF 36

NOTE: 10'x10' BLOCK SHED ON SLAB SHALL BE REMOVED WITHOUT DISTURBING GROUND BENEATH IT.

NON-BUILDABLE PRESERVATION PARCEL 'F'
 AREA = 1.64 ACRES
 DEDICATED TO H-0-A
 FCE # 13

NON-BUILDABLE PRESERVATION PARCEL 'E'
 AREA = 2.60 ACRES
 DEDICATED TO H-0-A

MCMAULIFFE TERENCE
 MCMAULIFFE REBECCA
 4420/390
 LOT 18
 ZONE R-R

EASTERN VIEW
 PLAT NOS. 12457 - 12459

JAGER MICHAEL CHARLES
 JAGER HEATHER SWEENEY
 3913/535
 PAR A
 ZONE R-R

JANNEY JOHN-ME
 BACKUS MARY C.
 2317/149
 LOT 19
 ZONE R-R

NOTE: ALL LOT GRADING IS CONCEPTUAL AND IS NOT PROPOSED UNDER THIS SUBMISSION.

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
TITLES STORM DRAINS DRAINAGE AREA MAP		
8-00-15	P-01-06	F-01-09
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 485-7903 FAX (410) 485-3845		
OWNERS: CLARENCE AND MARTHA CARWELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044		
DES.: JL/DCW/AVG	JOB:	SCALE: 1" = 50'
DRW.: AVG/DIA/JNC	PROJ.:	SHEET 25 OF 38
CHK.: D.C.W.	DATE: 03/04/01	

H:\p\06111\FINAL\PLANS\SDAM1.dwg Thu Apr 12 16:00:56 2001

F-01-09

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST.

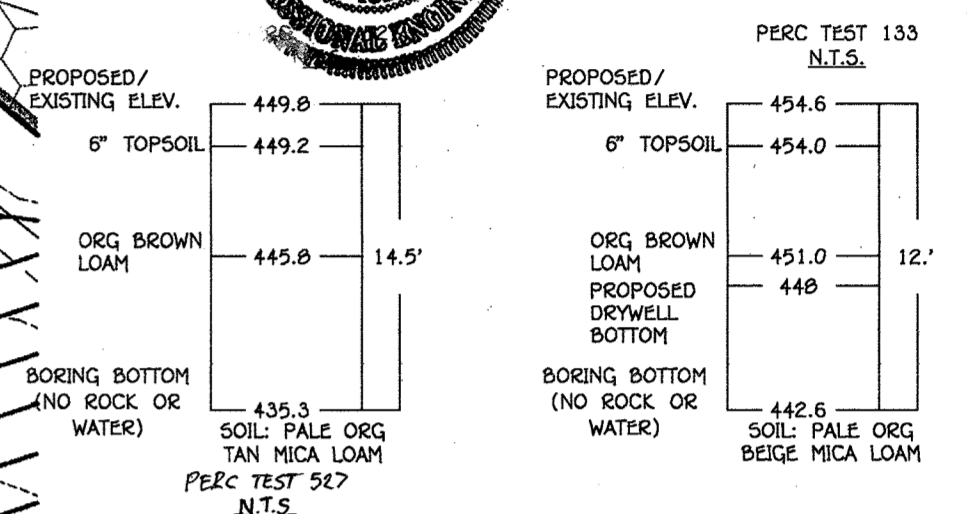
APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Lopez 5-1-19
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Scott Hamilton 5/1/19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William Dammann 5/1/19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

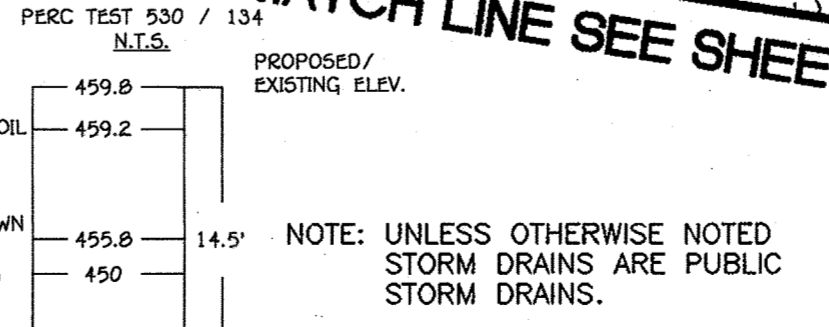
STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 H. ESCALANTE
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-29-2010



STORMWATER MANAGEMENT PRACTICES

LOT	ADDRESS	DRYWELLS (IN-1) Y/N, NUMBER	ROOFTOP DISCONNECTION (IN-2) Y/N, NUMBER	NON-ROOFTOP DISCONNECTION (IN-3) Y/N, NUMBER	MICRO-BID (IN-4) Y/N, NUMBER
17	7250 PRESERVATION COURT	Y 7	N	N	N

Paul G. Calverley
 6/10/22
 See Sheet 38 for Grading of Lot 52



MATCH LINE SEE SHEET 24 OF 37

NOTE: ALL LOT GRADING IS CONCEPTUAL AND IS NOT PROPOSED UNDER THIS SUBMISSION.

NO.	DATE	REVISIONS
1	10/20/21	REVISE LOT 17 GRADING, ADD PRACTICE CHART
2	08/05/2020	Added Sheet 38 & Added Lot 32 Site Improvements - Sheet 30 to include retaining wall, pool with pool deck, and 3'x8" deck landing

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

TITLE: **STORM DRAIN DRAINAGE AREA MAP**

DESIGN: 8-00-15 P-01-06 F-01-89

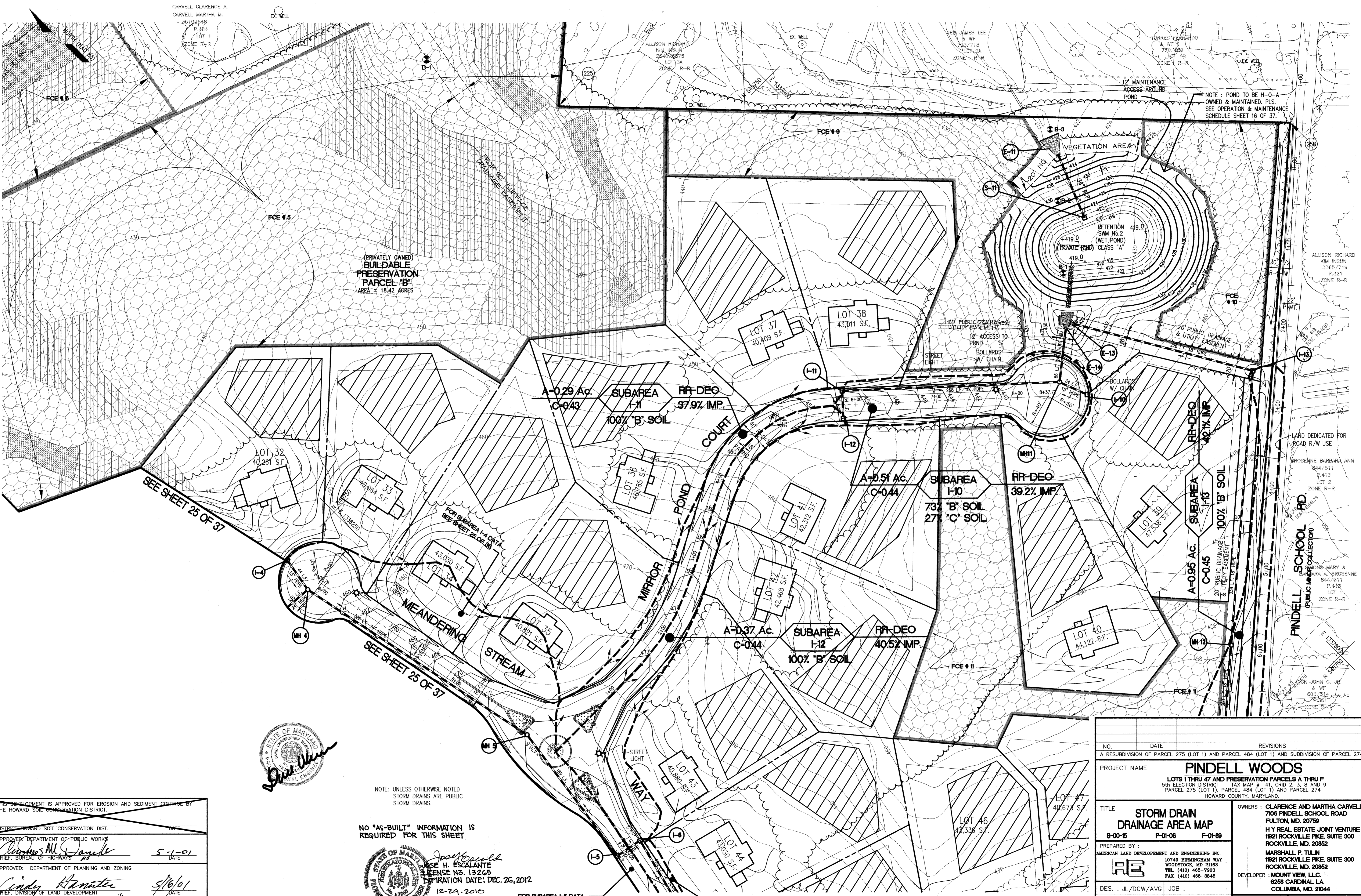
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 485-7803 FAX: (410) 485-3845

OWNERS: CLARENCE AND MARTHA CARVELL 7106 PINDELL SCHOOL ROAD FULTON, MD 20759
 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD 20852
 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD 20852
 DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD 21044

DES.: JL/DCW/AVG JOB: SCALE: 1" = 50'

DRW.: AVG/DJA/JNC PROJ.: SHEET 26 OF 38

CHK.: D.C.W. DATE: 03/04/01



CARVELL CLARENCE A.
 CARVELL MARTHA M.
 3510/548
 P.384
 LOT 1
 ZONE R-R

ALLISON RICHARD
 KIM INSUN
 3365/719
 P.321
 LOT 3A
 ZONE R-R

VEN JAMES LEE & WF
 703/713
 LOT 2A
 ZONE R-R

TORRES FERRANDO
 & WF
 770/698
 LOT 18
 ZONE R-R

ALLISON RICHARD
 KIM INSUN
 3365/719
 P.321
 ZONE R-R

LAND DEDICATED FOR
 ROAD R/W USE

BROSENE BARBARA ANN
 844/511
 P.413
 LOT 2
 ZONE R-R

BROSENE MARY &
 BARBARA A. BROSENE
 844/611
 LOT 3
 ZONE R-R

JOHN G. JR.
 & WF
 803/514
 P.361
 ZONE R-R

(PRIVATELY OWNED)
 BUILDABLE
 PRESERVATION
 PARCEL "B"
 AREA = 18.42 ACRES

NOTE: POND TO BE H-O-A
 OWNED & MAINTAINED. PLS.
 SEE OPERATION & MAINTENANCE
 SCHEDULE SHEET 16 OF 37.

SEE SHEET 25 OF 37

SEE SHEET 25 OF 37

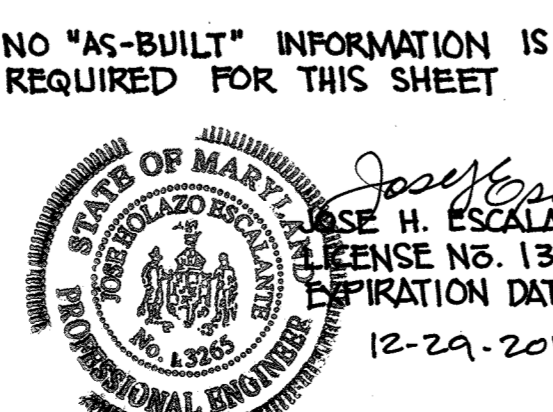
FOR SUBAREA I-4 DATA
 SEE SHEET 24 OF 37

SEE SHEET 25 OF 37

FOR SUBAREA I-5 DATA
 SEE SHEET 24 OF 37

FOR SUBAREA I-5 DATA
 SEE SHEET 24 OF 37

NOTE: ALL LOT GRADING IS CONCEPTUAL AND
 IS NOT PROPOSED UNDER THIS SUBMISSION.



NOTE: UNLESS OTHERWISE NOTED
 STORM DRAINS ARE PUBLIC
 STORM DRAINS.

NO "AS-BUILT" INFORMATION IS
 REQUIRED FOR THIS SHEET

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY
 THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Daniels 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Krenator 5/16/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David Chen 5/11/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F 5th ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274 HOWARD COUNTY, MARYLAND.		
TITLE	OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852 DEVELOPER: MOUNT VIEW LLC, 6259 CARDINAL LA COLUMBIA, MD. 21044	
8-00-15	P-01-06	F-01-89
PREPARED BY:	AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL. (410) 465-7903 FAX. (410) 465-3845	
DES.: JL/DCW/AVG	JOB:	SCALE: 1" = 50'
DRW.: AVG/DTA/INC	PROJ.:	SHEET 27 OF 38
CHK.: D.C.W.	DATE: 03/04/01	

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F-01-89

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



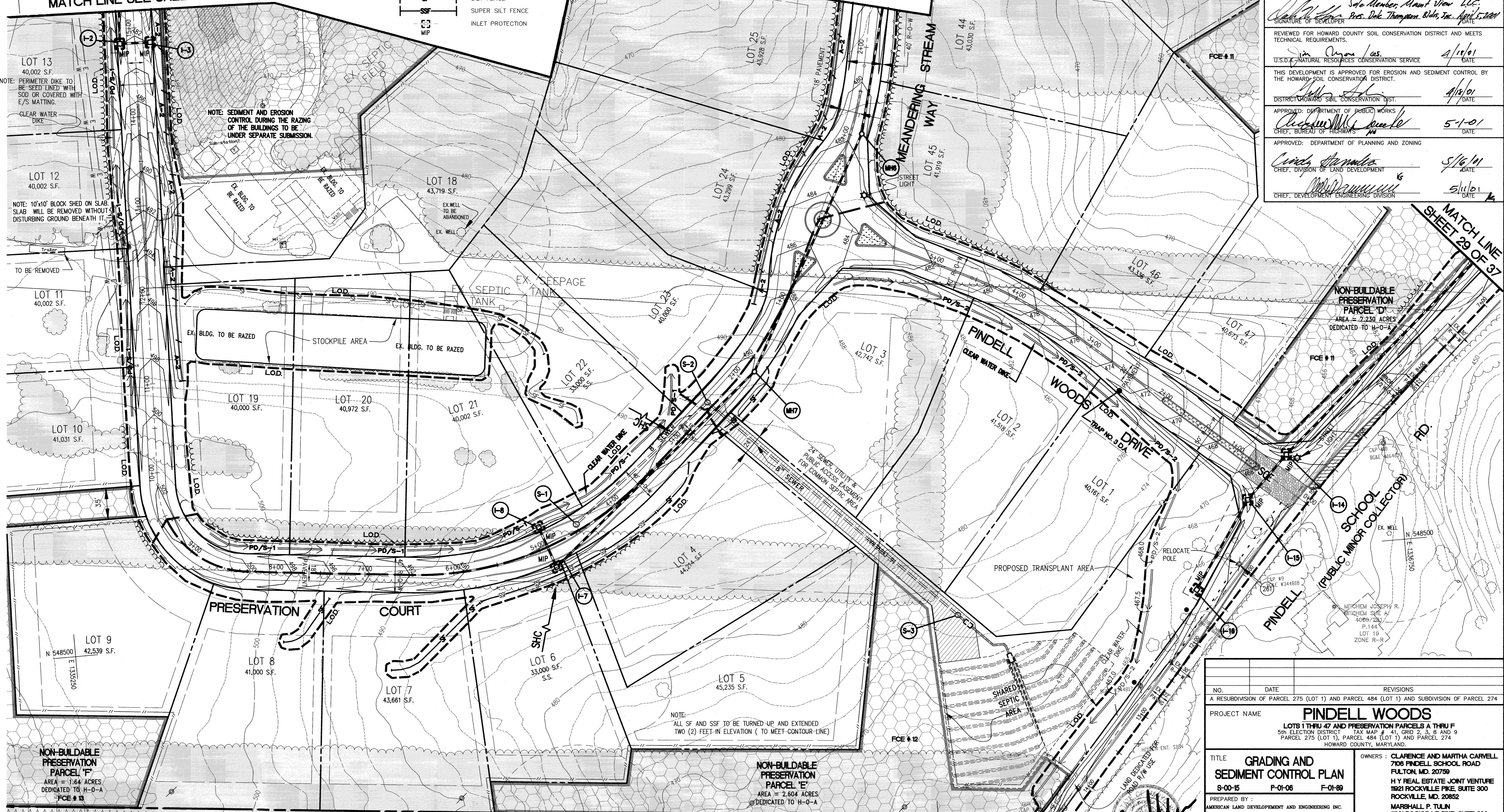
José H. Escalante
 JOSE H. ESCALANTE
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-29-2010

- LEGEND:**
- 325 --- EXISTING CONTOURS
 - 330 --- PROPERTY LINE
 - --- SETBACK LINE
 - --- EX. TREE LINE
 - --- TREE LINE TO REMAIN
 - --- TREE PROTECTION
 - --- LIMIT OF DISTURBANCE
 - PD/S-1 --- PERIMETER DIKE/SWALE
 - A-2 --- SWALE
 - SF --- SILT FENCE
 - SSF --- SUPER SILT FENCE
 - MIP --- INLET PROTECTION

MATCH LINE SEE SHEET 28 OF 37

MATCH LINE SEE SHEET 28 OF 37

MATCH LINE SHEET 29 OF 37



ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Dave Worman 4/16/01
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

John Thompson 4/16/01
 SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

John Thompson 4/16/01
 U.S.D. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Thompson 4/16/01
 DISTRICT HOWARD SOIL CONSERVATION DIST. DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS
John Thompson 5-1-01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Thompson 5/16/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John Thompson 5/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

MCMAULIFFE TERENCE
 MCMAULIFFE REBECCA
 4420/390
 LOT 18
 ZONE R-R

EASTERN VIEW
 PLAT NOS. 12457 - 12459

JAGER MICHAEL CHARLES
 JAGER HEATHER SWEENEY
 3913/535
 PAR A
 ZONE R-R

JANNEY JOHN M.
 BACKLUP HARRY C.
 2317/140
 LOT 19
 ZONE R-R

NON-BUILDABLE PRESERVATION PARCEL 'F'
 AREA = 1.64 ACRES
 DEDICATED TO H-O-A
 FCE # 10

NON-BUILDABLE PRESERVATION PARCEL 'E'
 AREA = 2.604 ACRES
 DEDICATED TO H-O-A
 FCE # 12

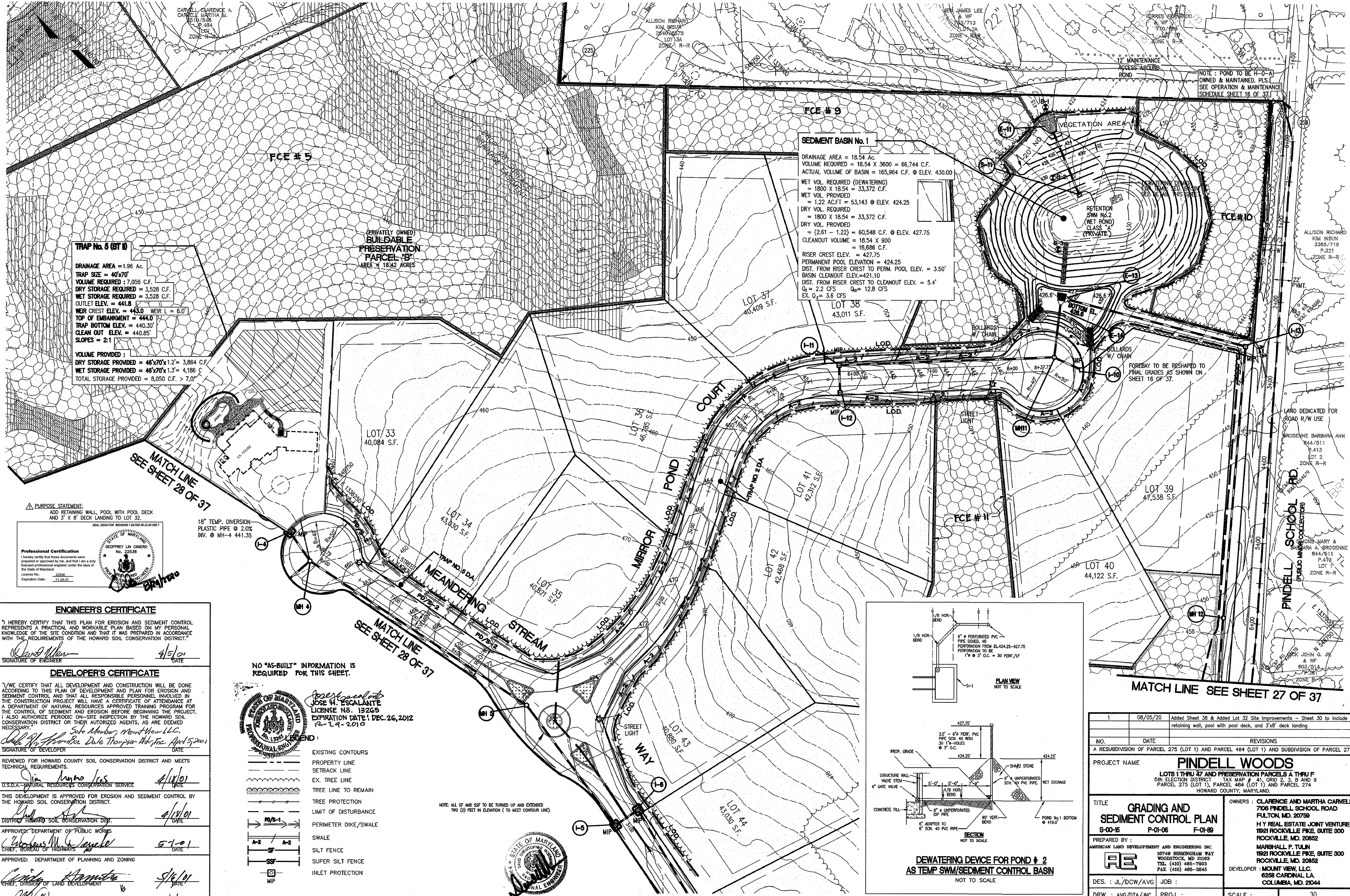
NON-BUILDABLE PRESERVATION PARCEL 'D'
 AREA = 2.230 ACRES
 DEDICATED TO H-O-A
 FCE # 11

PREPARED BY:
 AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD 21163
 TEL. (410) 465-7903
 FAX. (410) 465-3845

OWNERS:
 CLARENCE AND MARTHA CARWELL
 7106 PINDELL SCHOOL ROAD
 FULTON, MD. 20759
 H Y REAL ESTATE JOINT VENTURE
 1921 ROCKVILLE PKE. SUITE 300
 ROCKVILLE, MD. 20852
 MARSHALL P. TULIN
 1921 ROCKVILLE PKE. SUITE 300
 ROCKVILLE, MD. 20852
 DEVELOPER: MOUNT VIEW, L.L.C.
 6258 CARDINAL LA.
 COLUMBIA, MD. 21044

DES.: JL/DCW/AVG JOB:
 DRW.: AVG/DIA/MC PROJ.:
 CHK.: D.C.W. DATE: 03/04/01

SCALE: 1" = 50'
 SHEET 28 OF 38



TRAP No. 5 (ST ID)

DRAINAGE AREA = 1.96 Ac.
 TRAP SIZE = 40'x70'
 VOLUME REQUIRED = 7,056 C.F.
 DRY STORAGE REQUIRED = 3,528 C.F.
 WET STORAGE REQUIRED = 3,528 C.F.
 OUTLET ELEV. = 441.8
 WEIR CREST ELEV. = 443.0 WEIR L = 6.0'
 TOP OF EMBANKMENT = 444.0
 TRAP BOTTOM ELEV. = 440.30'
 CLEAN OUT ELEV. = 440.85'
 SLOPES = 2:1

VOLUME PROVIDED:
 DRY STORAGE PROVIDED = 46'x70'x1.2' = 3,864 C.F.
 WET STORAGE PROVIDED = 46'x70'x1.3' = 4,186 C.F.
 TOTAL STORAGE PROVIDED = 8,050 C.F. > 7,056 C.F.

SEDIMENT BASIN No. 1

DRAINAGE AREA = 18.54 Ac.
 VOLUME REQUIRED = 18.54 X 3600 = 66,744 C.F.
 ACTUAL VOLUME OF BASIN = 165,964 C.F. @ ELEV. 430.00

WET VOL. REQUIRED (DEWATERING)
 = 1800 X 18.54 = 33,372 C.F.
 WET VOL. PROVIDED
 = 1.22 AC.F.T = 53,143 @ ELEV. 424.25

DRY VOL. REQUIRED
 = 1800 X 18.54 = 33,372 C.F.
 DRY VOL. PROVIDED
 = (2.61 - 1.22) = 60,548 C.F. @ ELEV. 427.75

CLEANOUT VOLUME = 18.54 X 900
 = 16,686 C.F.

RISER CREST ELEV. = 427.75
 PERMANENT POOL ELEVATION = 424.25
 DIST. FROM RISER CREST TO PERM. POOL ELEV. = 3.50'
 BASIN CLEANOUT ELEV. = 421.10
 DIST. FROM RISER CREST TO CLEANOUT ELEV. = 5.4'
 Q₂ = 2.2 CFS Q₃ = 12.8 CFS
 EX. Q₂ = 3.6 CFS

PURPOSE STATEMENT:
 ADD RETAINING WALL, POOL WITH POOL DECK AND 3' X 8' DECK LANDING TO LOT 32.

Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No.: 22538
 Expiration Date: 11-24-21

18" TEMP. DIVERSION PLASTIC PIPE @ 2.0% INV. @ MH-4 441.35

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

David M. ... 4/5/01
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

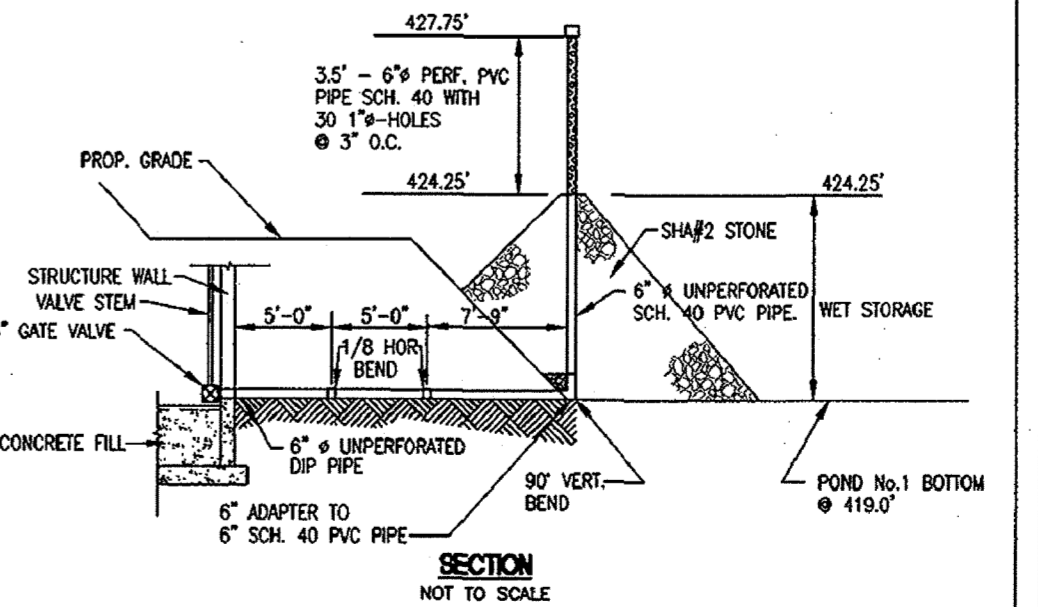
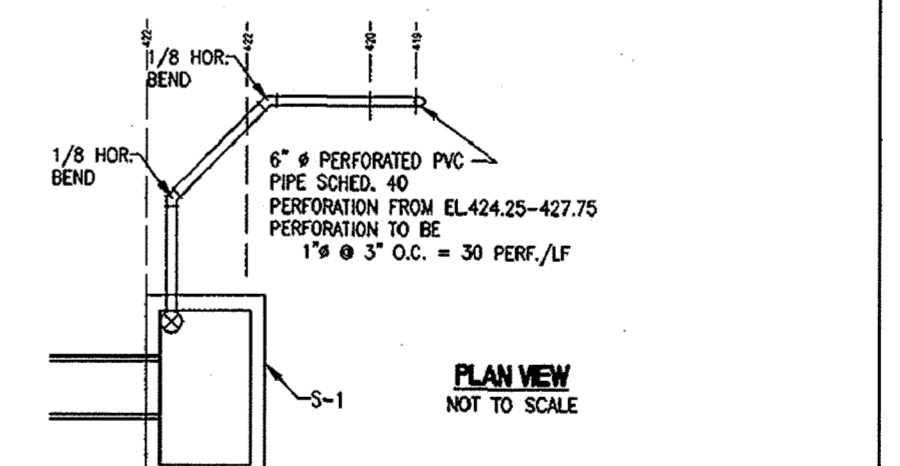
David M. ... 4/5/01
 SIGNATURE OF DEVELOPER DATE

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



LEGEND:
 EXISTING CONTOURS
 PROPERTY LINE
 SETBACK LINE
 EX. TREE LINE
 TREE LINE TO REMAIN
 TREE PROTECTION
 LIMIT OF DISTURBANCE
 PERIMETER DIKE/SWALE
 SWALE
 SILT FENCE
 SUPER SILT FENCE
 INLET PROTECTION

NOTE: ALL SF AND SSF TO BE TURNED UP AND EXTENDED TWO (2) FEET IN ELEVATION (1' TO MEET CONTOUR LINE).



DEWATERING DEVICE FOR POND # 2 AS TEMP SWM/SEDIMENT CONTROL BASIN
 NOT TO SCALE

MATCH LINE SEE SHEET 27 OF 37

1	08/05/20	Added Sheet 38 & Added Lot 32 Site Improvements - Sheet 30 to include retaining wall, pool with pool deck, and 3'x8' deck landing
NO. DATE REVISIONS		
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
TITLES GRADING AND SEDIMENT CONTROL PLAN		
8-00-15 P-01-06 F-01-89		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 485-7903 FAX (410) 485-8846		
OWNERS: CLARENCE AND MARTHA CARVELL 708 PINDELL SCHOOL ROAD FULTON, MD 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD 20852 MARSHALL P. TULIN 1921 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD 20852		
DEVELOPER: MOUNT VIEW LLC 6258 CARDINAL LA COLUMBIA, MD 21044		
DES.: JL/DCW/AVG	JOB:	SCALE: 30
DRW.: AVG/DTA/INC	PROJ.:	1" = 50'
CHK.: D.C.W.	DATE: 03/04/01	SHEET 24 OF 38

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STANDARD SEDIMENT CONTROL NOTES:

- 1. A minimum of 48 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 Maryland Standards and Specifications for Soil Erosion and Control.
3. Following initial soil disturbance or redistribution, permanent or temporary temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1. b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with vol. 1, chapter 12, of the Howard County Design Manual, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 Maryland Standards and Specifications for soil erosion and sediment control for permanent seedings (sec. 51) soil (sec. 54), temporary seeding (sec. 50) and mulching (sec. 52), temporary stabilization with mulch alone can only be done when recommended seedings do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site analysis:
total area of site 97.89 acres
area disturbed 6.75 acres
area to be roofed or paved 1.78 acres
area to be vegetatively stabilized 5.97 acres
total cut 4.800 cu. yds
total fill 4.800 cu. yds
offsite waste/borrow area location ON SITE
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading, other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, unless previously loosened.

- Soil Amendments: In lieu of soil test recommendations, use the following schedules:
1) Preferred - apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14lbs/1000 s.q. ft.) before seeding. Harrow or disc into upper three inches of soil, at time of seeding, apply 400lbs per acre 30-0-0 ureamorph fertilizer (9lbs/1000 sq. ft.).
2) Acceptable - apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil one of the following schedules.
Seeding - For the periods March 1 thru April 30, and Aug. 1 thru Oct. 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 tall fescue, for the period May 1 thru July 31, seed with 80 lbs Kentucky 31 tall fescue, per acre and 2 lbs per acre (.08 lbs/1000sq. ft.) to weeping lovegrass during the period of Oct. 16 thru Feb. 28, protect site by: option (1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, option (2) use sod, option (3) seed with 80 lbs/acre Kentucky 31 tall fescue and mulch with 2 tons/acre well-anchored straw.
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/100 sq. ft.) of unrotted small grain straw immediately after seeding, anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas on slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.
Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings temporary seeding notes sq. ft. for the period Nov. 16 thru Feb. 28, protect site by applying 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, or used sod.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, unless previously loosened.
Soil amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 lbs/1000 sq ft).

- Seeding: For periods March 1 thru April 30 and from August 15 thru Nov. 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.) for the period May 1 thru Aug. 14, seed with 3 lbs per acre of weeping lovegrass (.07lbs/1000 sq. ft.).
Mulching: apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding, anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas, on slopes, 8 ft. or higher, use 348 gal per acre (8 gal/1000 sq. ft.) for anchoring, refer to the 1983 Maryland Standards and Specifications For Soil Erosion and Sediment Control for and methods not covered.
D. Seed Specifications
i. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job. Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.
ii. Incubant - The incubant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specially for the species. Incubants shall not be used later than the date indicated in the container. Add fresh incubant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep incubant as cool as possible until used. Temperature above 70-80F. can weaken bacteria and make the incubant less effective.
E. Methods of Seeding
i. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cutlapper seeder.
a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen: P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.
b. Lime - use only ground agricultural limestone. (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
c. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the temporary or permanent Seeding Summaries and Tables or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
iii. Drill or Cutlapper Seeding: Mechanized seeders that apply and cover seed with soil.
a. Cutlapper seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seed rate in each direction.
F. Mulch Specifications (In order of preference)
i. Straw shall consist of thoroughly threshed, whey, or oat straw, reasonable bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
ii. Wood Cellulose Fiber Mulch (WCFM)
a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
c. WCFM, including dye, shall contain no germination or growth inhibiting factors.
d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, an application, having moisture absorption and retention properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedings.

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Using vegetation as cover for barren soil to protect it from forces that cause erosion.
PURPOSE
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources.
CONDITIONS WHERE PRACTICE APPLIES
This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding to quickly establish vegetative cover for short duration (up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary Soil Stockpiles, cleared areas being left idle between construction phases, ditches, etc. and Permanent Seeding are lawns, dams, cut and fill slopes and other areas of final grade, former stockpile and staging areas, etc.

EFFECTS OF WATER QUALITY AND QUANTITY
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of run-off, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Vegetation over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients and other chemicals carried by run-off to receiving waters. It will also help protect groundwater supplies by assimilating these substances present within the root zone. Sediment control devices must remain in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- A. Site Preparation
i. Install erosion and sediment control structures (either temporary or permanent) such as diversion, grade stabilization structures, berms, waterways, or sediment control basins.
ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
iii. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.
B. Soil Amendments (Fertilizer and Lime Specifications)
i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warrantee of the producer.
iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98-100% will pass through a #20 mesh sieve.
iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
C. Seedbed Preparation
i. Temporary Seeding
a. Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
b. Apply fertilizer and lime as prescribed on the plans.
c. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
ii. Permanent Seeding
a. Minimum soil conditions required for permanent vegetative establishment:
1. Soil pH shall be between 6.0 and 7.0.
2. Soluble salts shall be less than 500 parts per million (ppm).
3. The soil shall contain less than 40% clay, but enough fine grained material (.30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if leucosera or sericea lepedezae is to be planted, then a sandy soil (.30% silt plus clay) would be acceptable.
4. Soil shall contain 1.5% minimum organic matter by weight.
5. Soil must contain sufficient pore space to permit adequate root penetration.
6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
c. Apply soil amendments as per soil test or as indicated on the plans.
d. Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed and application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.

- e. WCFM material shall contain no elements or compounds at concentration levels that will be phytotoxic.
f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
Note: Only sterile straw mulch should be used in areas where one species of grass is desired,
G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.
i. If grading is completed outside of the seeding season, mulch along shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface to a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 lbs./acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
iii. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and crests of banks. The remainder of area should appear uniform after binder application. Synthetic binders- such as Acrylic DLR (Agra-Tack), DCA-70 Petro-Terra, Terra Tack II, Terra Tack III or other approved equal in the literature recommended by the manufacturer to anchor mulch.
iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' wide and 300 to 3,000 feet long.

- I. Incremental Stabilization - Cut Slopes
i. All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.
ii. Construction sequence (Refer to Figure 3 below):
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
b. Perform Phase 1 excavation, dress, and stabilize.
c. Perform Phase 2 excavation, dress, and stabilize. Overseed Phase 1 as necessary.
d. Perform final phase excavation, dress, and stabilize. Overseed previously seeded areas as necessary.
Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing of the seeding season will necessitate the application of temporary stabilization.
J. Incremental Stabilization of Embankments - Fill Slopes
i. Embankments shall be constructed in lifts as prescribed on the plans.
ii. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 15', or when the grading operation ceases as prescribed in the plans.
iii. At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
iv. Construction sequence: Refer to Figure 4 (below).
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct slope silt fence on low side of fill as shown in Figure 5, unless other methods shown on the plans address this area.
b. Place Phase 2 embankment, dress, and stabilize.
c. Place final phase embankment, dress, and stabilize. Overseed previously seeded areas as necessary.
Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season may necessitate the application of temporary stabilization.

CONSTRUCTION SPECIFICATIONS

- 1. The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be 4', measured at centerline of embankment.
3. All cut and fill slopes shall be 2:1 or flatter.
4. Elevation of the top of any dike directing water into trap must equal or exceed the height of trap embankment.
5. Storage area provided shall be figured by computing the volume measured from top of excavation. (For storage requirements see Table 9).
6. Geotextile Class C shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Section of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
7. 4"-7" stone shall be used to construct the weir and 4"-12" or Class I rip-rap shall be used to construct the outlet channel.
8. Outlet - An outlet shall include a means of conveying the discharge in an erosion free manner to an existing stable channel. Protection against scour at the discharge point shall be provided as necessary.
9. Outlet channel must have positive drainage from the trap.
10. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 of the wet storage depth of the trap (900 cf/ac). Removed sediment shall be deposited in a suitable area and in such manner that it will not erode.
11. The structure shall be inspected periodically after each rain and repaired as needed.
12. Construction of traps shall be carried out in such manner that sediment infiltration is obviated. Once constructed, the top and outside face of the embankment shall be established with seed and mulch. Points of concentrated inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slopes should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
13. The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
PURPOSE
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

- CONDITIONS WHERE PRACTICE APPLIES
I. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvaged from the existing site may be provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SSA in cooperation with Maryland Agricultural Experiment Station.
II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slags, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, Johnsongrass, nut sedge, poison ivy, thistle, or others as specified.
iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
III. For sites having disturbed areas over 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
IV. For sites having disturbed areas over 5 acres:
i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate authority, may be used in lieu of natural topsoil.
ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
V. Topsoil Application
i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation.
iii. Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seed line can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from top soiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seed preparation.
VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas over 5 acres shall conform to the following requirements:
a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
ii. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.
References: Guideline Specifications, Soil Preparation and Sodding, MD-VI, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

S.O.S.T. NOS. 1-5

- 1. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. THE TOTAL TRAP VOLUME AS MEASURED FROM THE BOTTOM TO THEIR ELEVATION SHALL BE 900 CF PER ACRE OF DRAINAGE AREA (SEE TABLE 1). THE TOP OF EMBANKMENT MUST BE 2' ABOVE THE RISER CREST ELEVATION.
4. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF OF THE NET STORAGE DEPTH OF THE TRAP (900 CF/AC). THE SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
5. THE STRUCTURE SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE ABATED. ONCE CONSTRUCTED, THE TOP AND OUTSIDE FACE OF THE EMBANKMENT SHALL BE STABILIZED WITH SEED AND MULCH. POINTS OF CONCENTRATED INFLOW SHALL BE PROTECTED IN ACCORDANCE WITH GRADE STABILIZATION STRUCTURE CRITERIA. THE REMAINDER OF THE INTERIOR SLOPES SHOULD BE STABILIZED (ONE TIME) WITH SEED AND MULCH UPON TRAP COMPLETION AND MONITORED AND MAINTAINED EROSION FREE DURING THE LIFE OF THE TRAP.
7. THE STRUCTURE SHALL BE REMOVED AND AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
8. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
9. FILL MATERIAL AROUND THE PIPE SPILLWAY SHALL BE HAND COMPACTED IN 4" LAYERS. A MINIMUM OF 2' OF HAND-COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
10. OUTLET - AN OUTLET SHALL BE PROVIDED, WHICH INCLUDES A MEANS OF CONVEYING THE DISCHARGE IN AN EROSION FREE MANNER TO AN EXISTING STABLE CHANNEL.

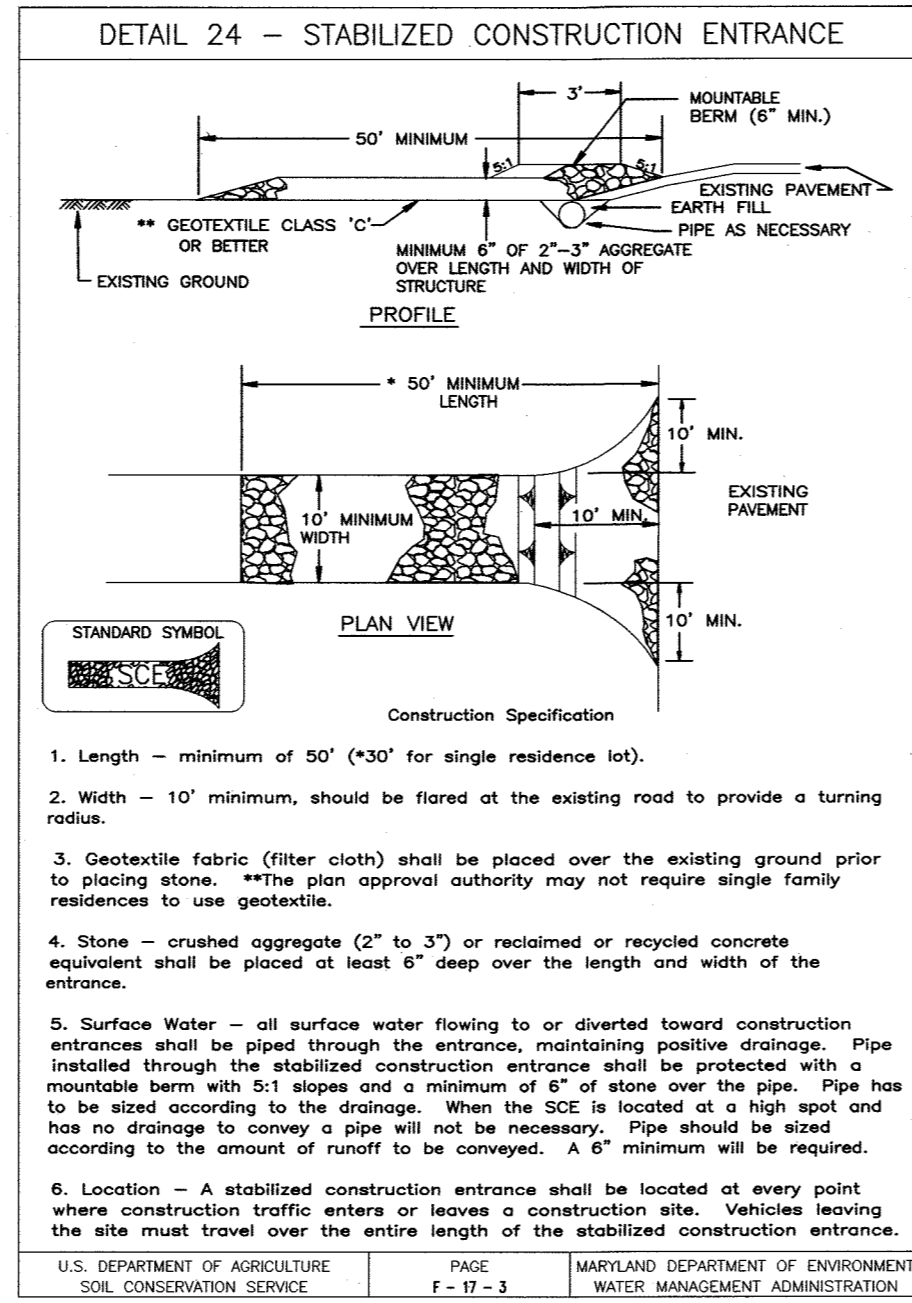
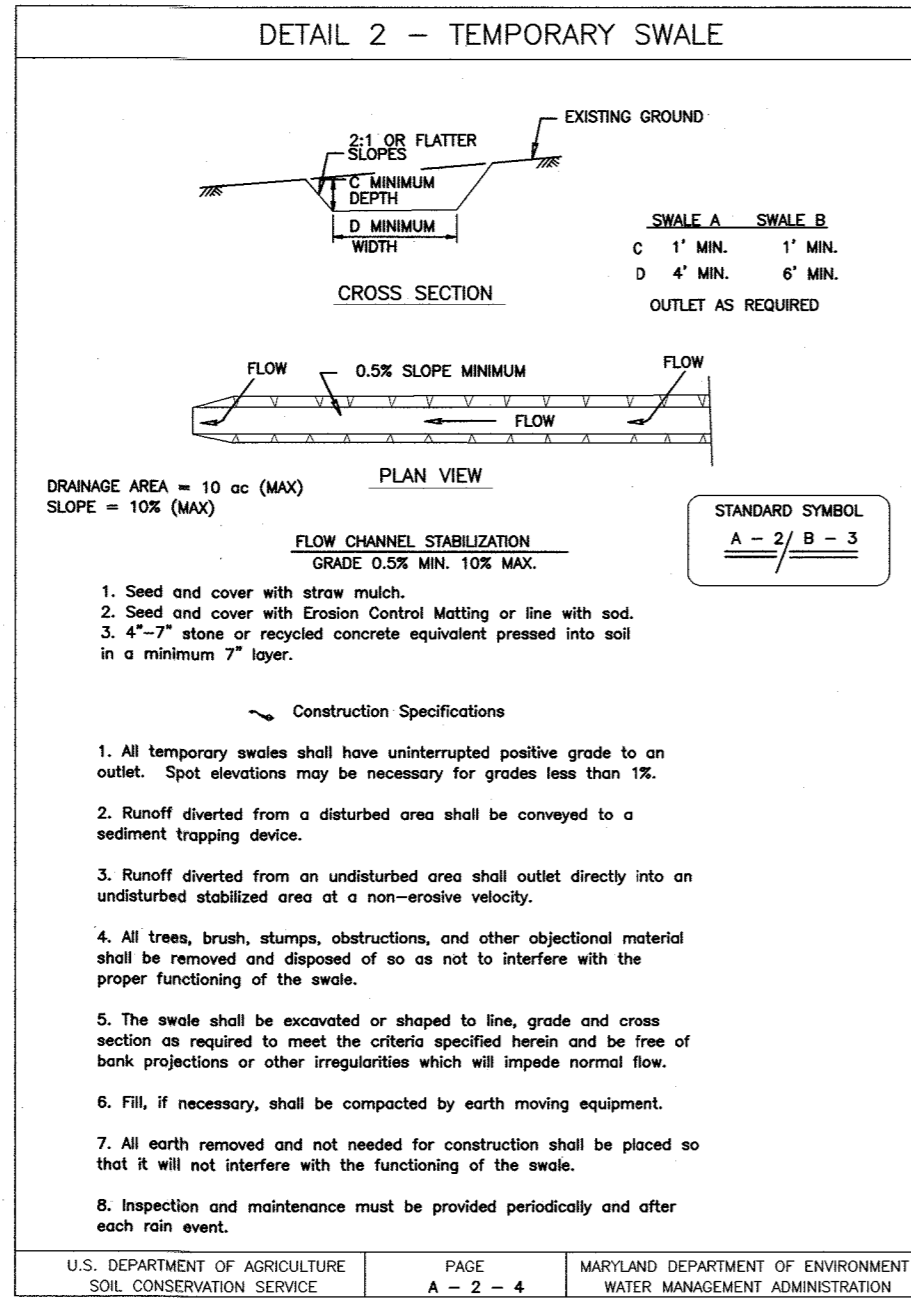
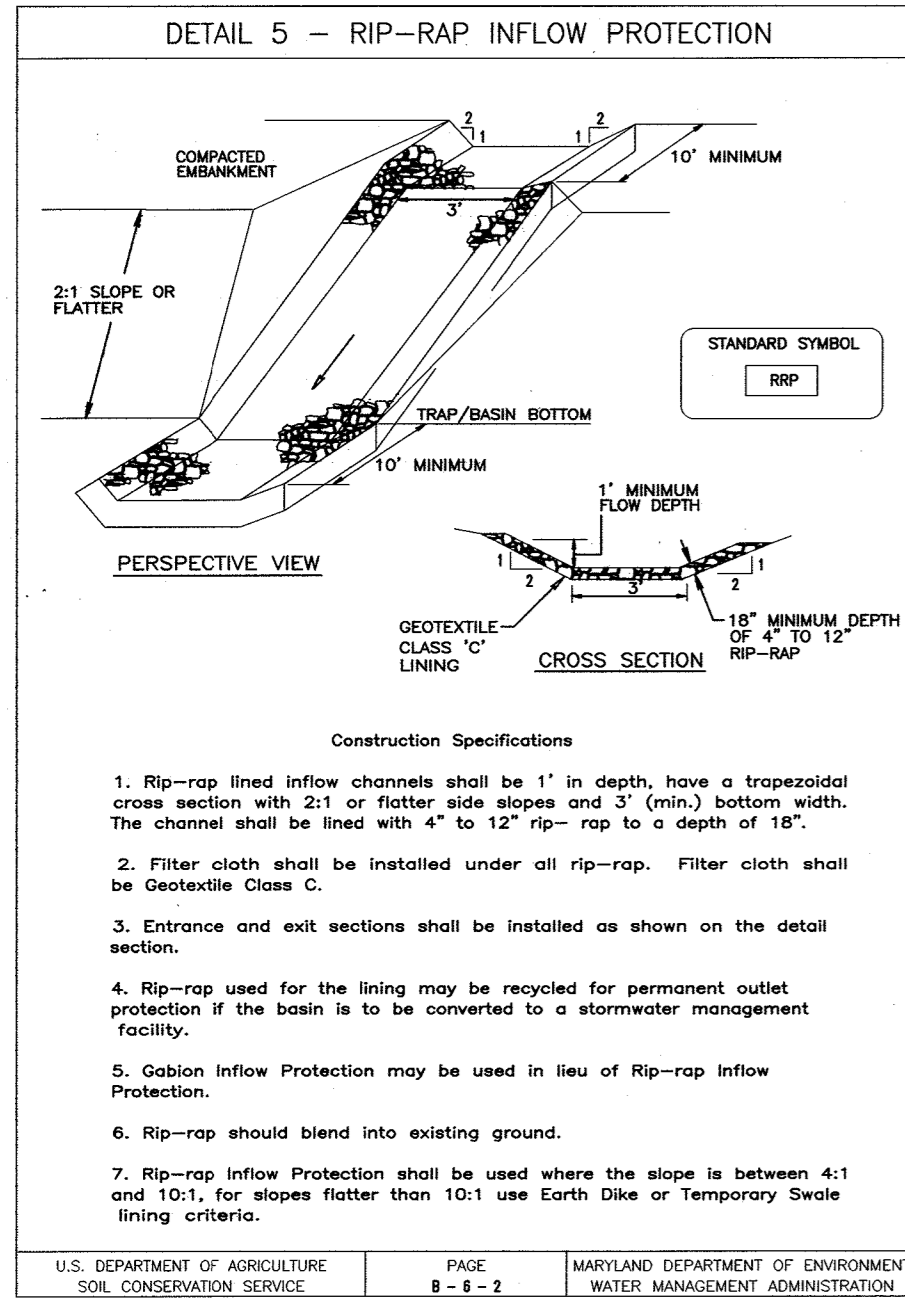
SEQUENCE OF CONSTRUCTION

Table with 3 columns: Description, Duration, and Revisions. Includes items like Obtain Grading Permit, Notify Howard County Construction Inspection Division, Install Stabilized Construction Entrance, etc.

Table with 3 columns: NO., DATE, and REVISIONS. Includes project name PINDELL WOODS, title GRADING AND SEDIMENT CONTROL NOTES, and various revision details.

ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE sections. Includes signatures of Daniel J. Escalante and John W. Escalante, dates, and project details for PindeLL Woods.

Professional Engineer Seal for Daniel J. Escalante, License No. 132265, State of Maryland. Includes project name PINDELL WOODS and owner information: CLARENCE and MARTHA CARVELL.



BORING A-1

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
417.3	Brown, moist, medium dense, silty micaceous sand	0.0	0.0	D	2-6.7	1	11"	Topsoil
		0.0	6.1-13	D		2	11"	Groundwater encountered at 12.7 while drilling.
		0.0	5-4.4	D		3	12"	Covered in at 10.7 after 24 hours
		0.0	2-0.4	D		4	13"	
		0.0	1	D	2-2.4	5	16"	
		0.0	2-0.2	D		6	14"	
		0.0	18.0	D				Bottom of Hole at 18.0

BORING A-1

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
417.3	Brown, moist, medium dense, silty micaceous sand	0.0	0.0	D	12-7.4	7	12"	
		0.0	25.0	D				
		0.0	30.0	D				
		0.0	36.0	D				
		0.0	40.0	D				

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

David Wilson
SIGNATURE OF ENGINEER
DATE: 4/18/01

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Shek Member, Mount View, LLC.
David Wilson, Pres. Dale Thompson & Son, Inc. April 5, 2001
SIGNATURE OF DEVELOPER
DATE: 4/18/01

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Spivey Lewis
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE
DATE: 4/18/01

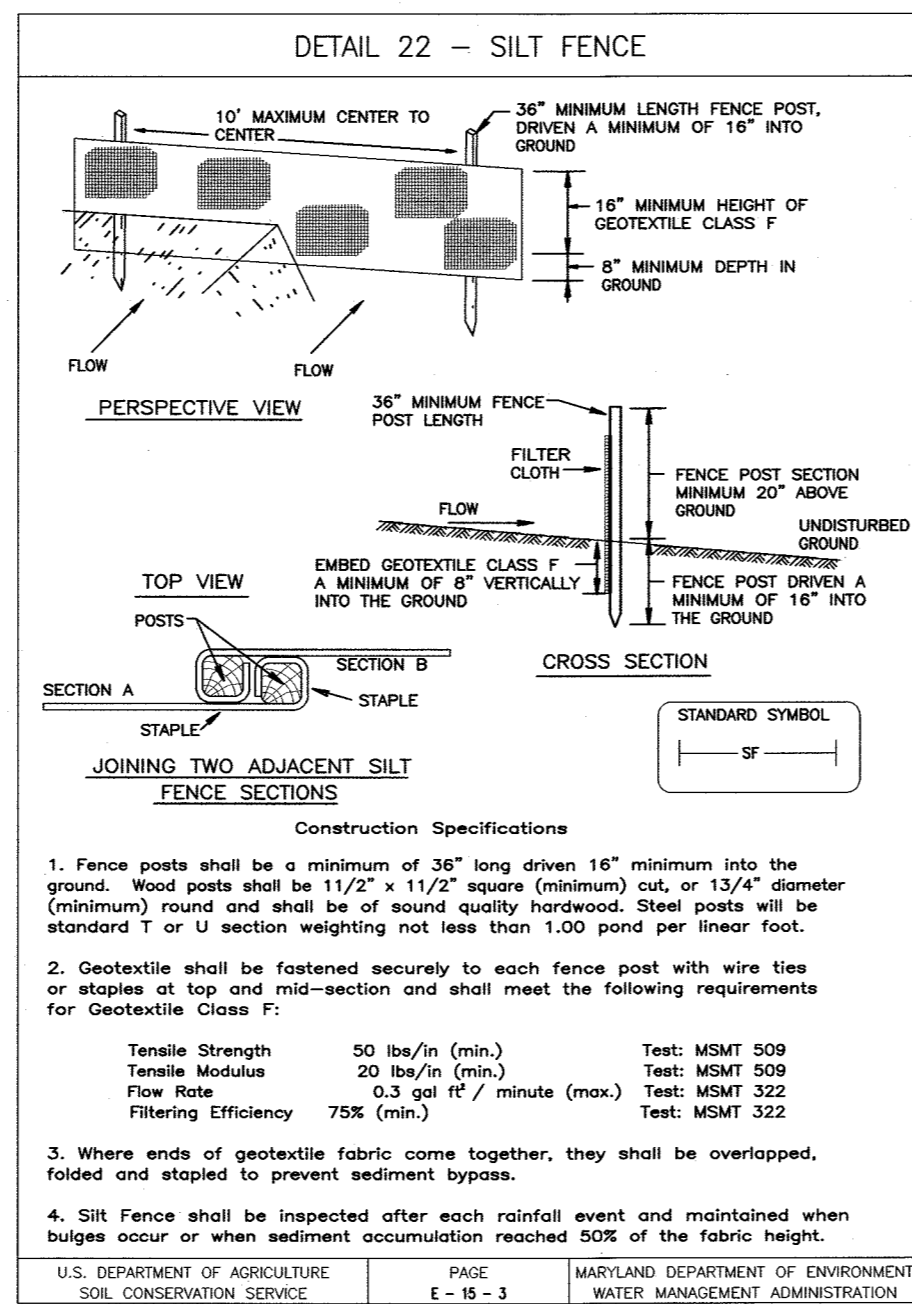
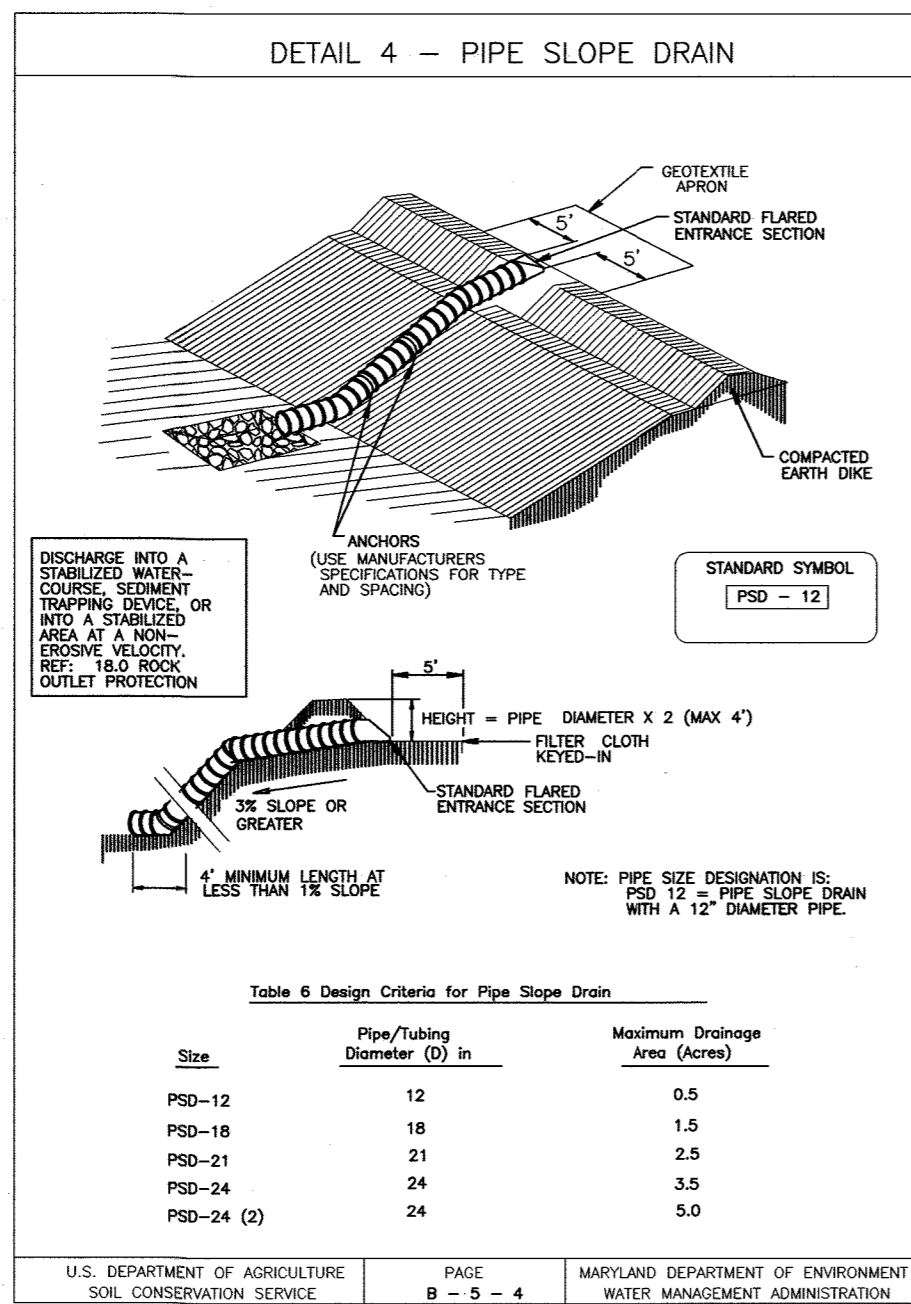
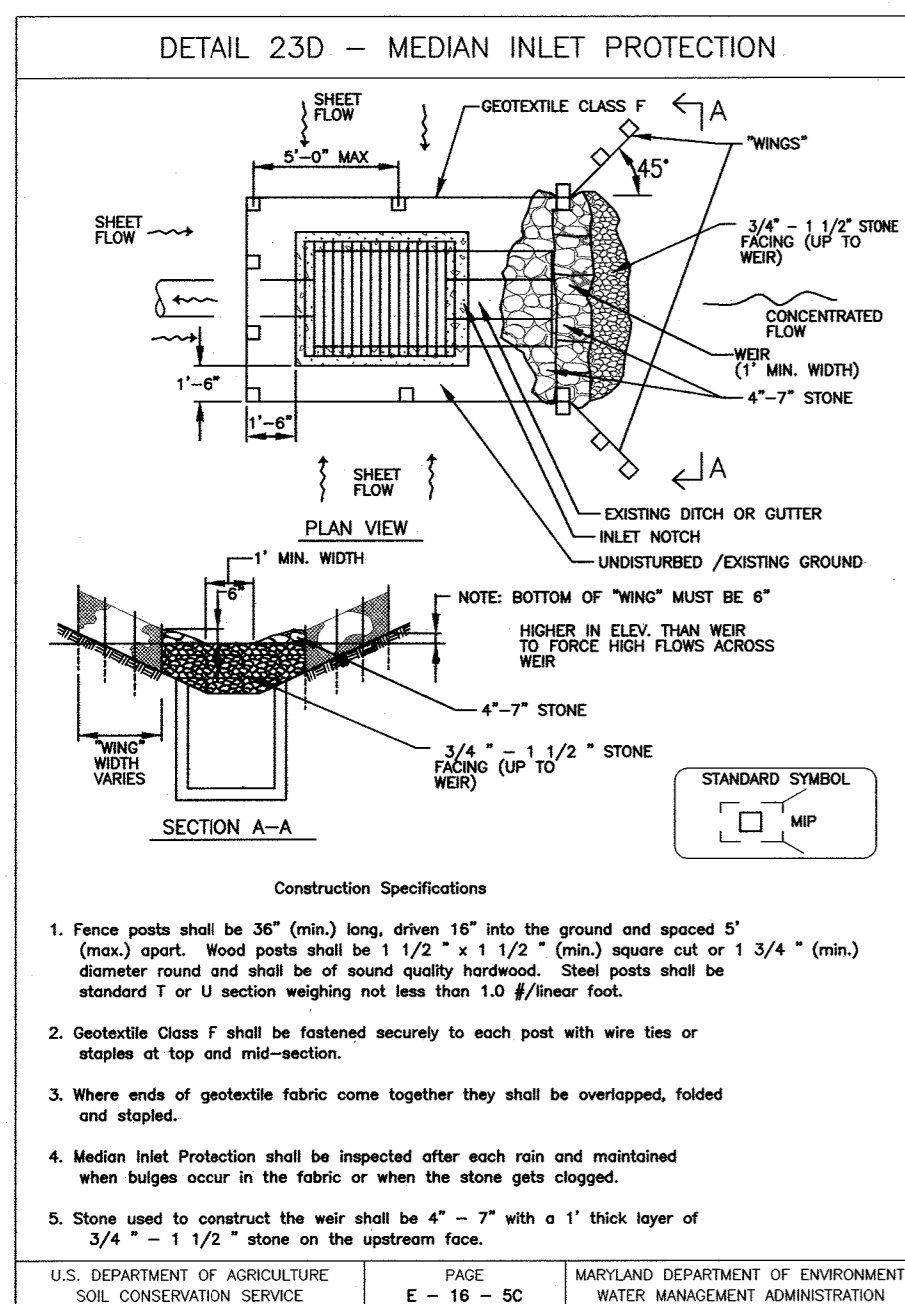
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Smith
DISTRICT HOWARD SOIL CONSERVATION DISTRICT
DATE: 4/18/01

APPROVED: DEPARTMENT OF PUBLIC WORKS
Christopher M. Deane
CHIEF, BUREAU OF HIGHWAYS
DATE: 5-1-01

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chris Hancock
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/16/01

David Wilson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 5/16/01



BORING B-2

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
424.9	Brown, moist, very soft to soft silty clay with sand and roots	0.0	1-2	D	1-2	1	10"	Topsoil
		0.0	3-6.7	D		2	12"	No groundwater encountered while drilling.
		0.0	12-12.4	D		3	15"	Covered in at 11.4' after 24 hours
		0.0	12-17.0	D		4	11"	Covered in at 11.2' after 24 hours
		0.0	19-21.35	D		5	12"	
		0.0	51.2	D		6	2"	

BORING B-3

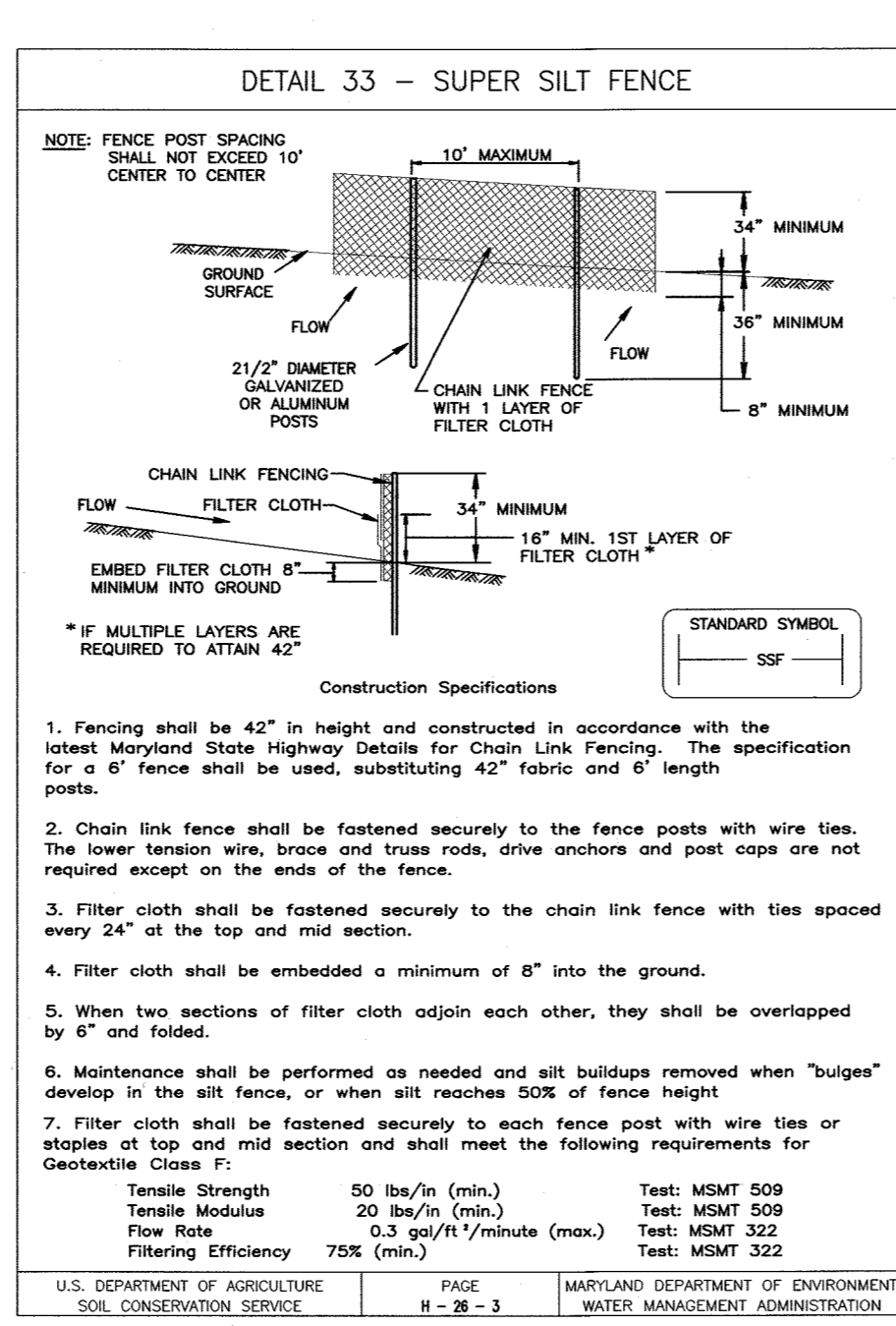
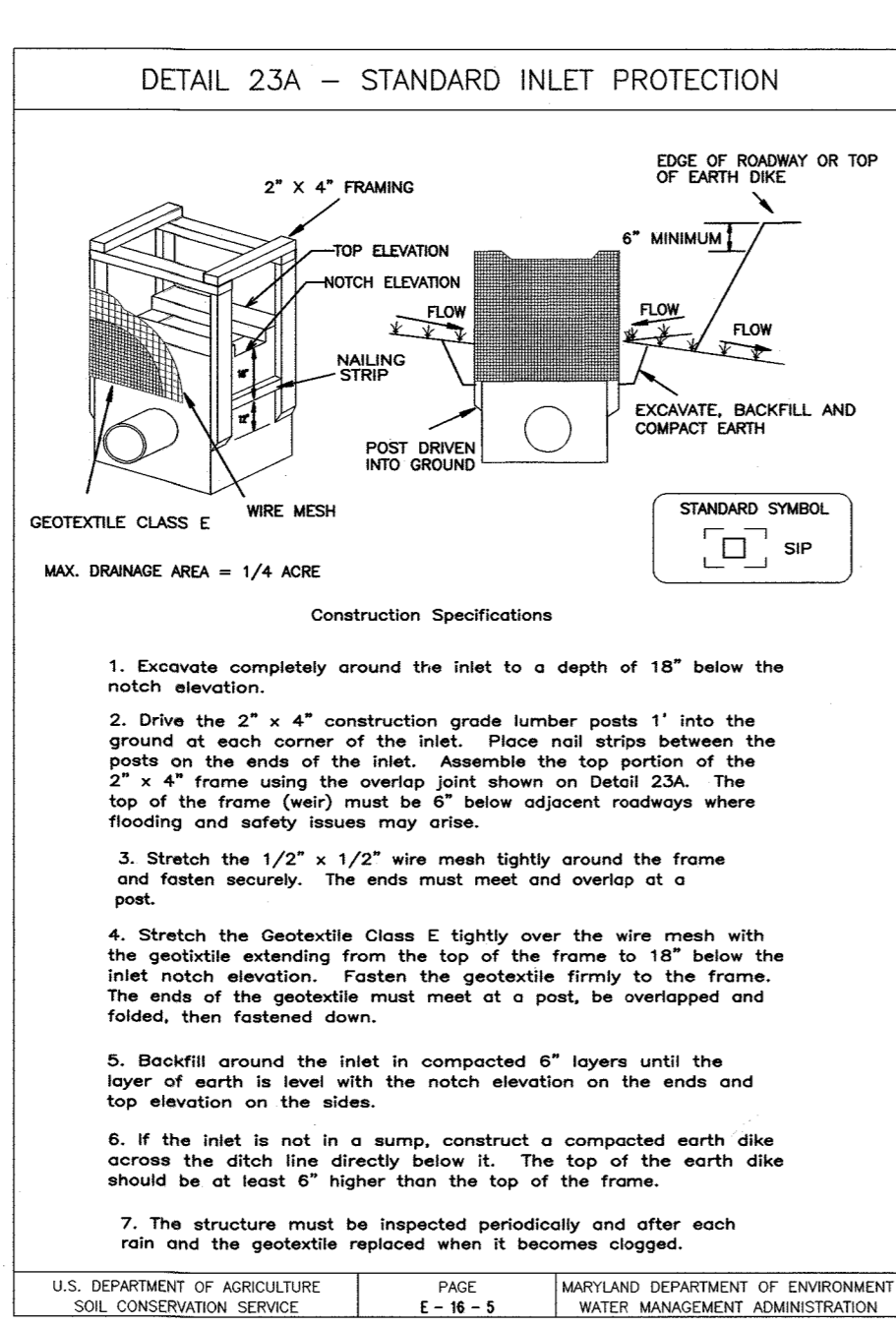
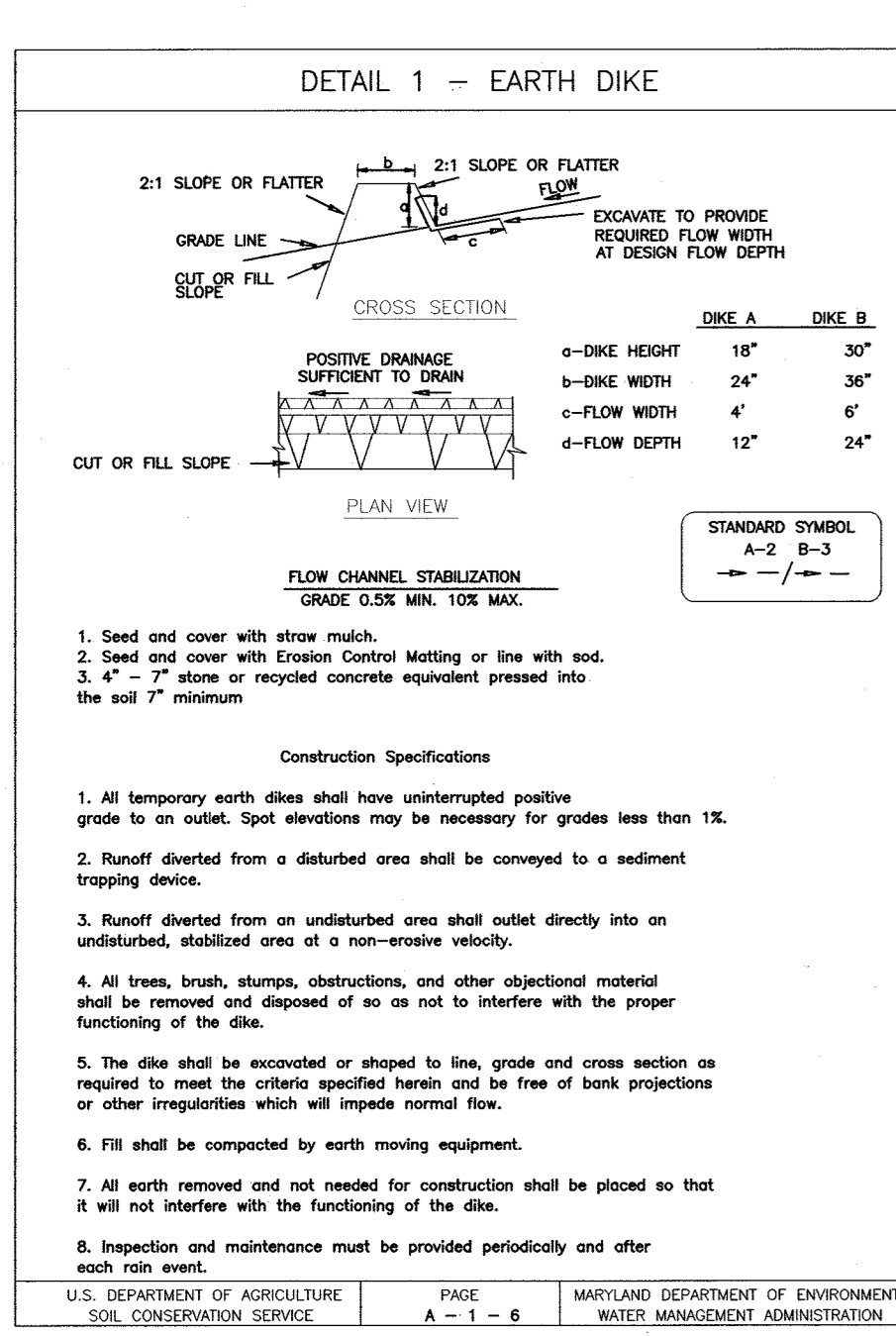
HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
428.0	Brown, moist, very soft to soft silty clay with sand and roots	0.0	1-2	D	1-2	1	12"	Topsoil
		0.0	3-6.6	D		2	14"	No groundwater encountered while drilling.
		0.0	10-15.11	D		3	11"	Covered in at 11.7' after 24 hours
		0.0	12-17.38	D		4	12"	Covered in at 11.8' after 24 hours
		0.0	51.5	D		5	9"	
		0.0	56-13	D		3	16"	Covered in at 11.8' after 24 hours
		0.0	28-40.18	D		4	13"	Covered in at 10.3' after 24 hours
		0.0	7-6.7	D		5	14"	
		0.0	11-19.24	D		6	14"	

BORING B-1

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
428.0	Brown, moist, very soft to soft silty clay with sand and roots	0.0	1-2	D	1-2	1	12"	Topsoil
		0.0	3-3.8	D		2	14"	No groundwater encountered while drilling.
		0.0	5-6-13	D		3	16"	Covered in at 11.8' after 24 hours
		0.0	28-40.18	D		4	13"	Covered in at 10.3' after 24 hours
		0.0	7-6.7	D		5	14"	
		0.0	11-19.24	D		6	14"	



BORING A-2

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
405.2	Brown, moist, very soft to soft silty clay with sand and roots	0.0	1-1.1	D	1-1.1	1	11"	Topsoil
		0.0	3-3.3	D		2	6"	Groundwater encountered at 12.7 while drilling.
		0.0	1-3.4	D		3	12"	Covered in at 10.2' after 24 hours
		0.0	15-12.5	D		4	14"	Covered in at 8.2' after 24 hours
		0.0	15-34.8	D		5	12"	
		0.0	55.0	D		6	0"	

BORING A-3

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH	CON.	SAMPLE BLOWS #	NO.	REC.	BORING & SAMPLING NOTES
413.0	Brown, moist, very soft to soft silty clay with sand and roots	0.0	1-1.2	D	1-1.2	1	11"	Topsoil
		0.0	4-3.4	D		2	15"	Groundwater encountered at 8.7 while drilling.
		0.0	4-10.23	D		3	12"	Covered in at 8.8' after 24 hours
		0.0	9-9.9	D		4	12"	Covered in at 8.2' after 24 hours
		0.0	12-35.1	D		5	10"	
		0.0	51.0	D		6	0"	

NO "MULIT" INFORMATION IS FOR THIS SHEET.

Joseph H. Escalante
JOSE H. ESCALANTE
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012
12-29-2010

NO. DATE REVISIONS

A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME: **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5th ELECTION DISTRICT TAX MAP # 41, GRID 2, S, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND.

TITLE: **SEDIMENT CONTROL DETAILS AND BORING LOGS**

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL. (410) 485-7903 FAX. (410) 465-3845

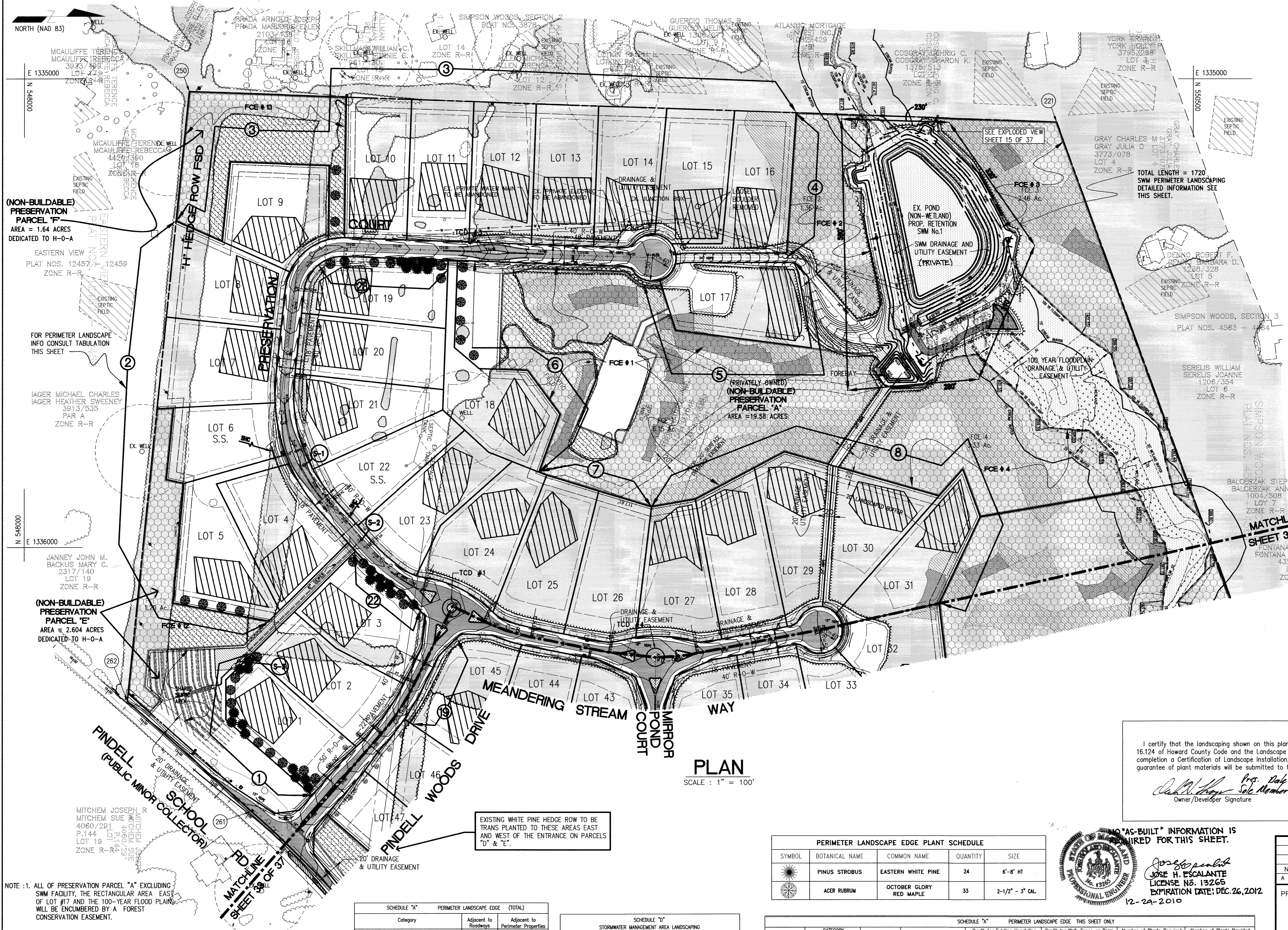
OWNERS: CLARENCE AND MARTHA CARWELL 7008 PINDELL SCHOOL ROAD FULFORD, MD 20759 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PKE. SUITE 300 ROCKVILLE, MD 20852

DEVELOPER: MOUNT VIEW, L.L.C. 6258 CARDINAL LA. COLUMBIA, MD 21044

DES.: JL/DCW/AVG JOB: SCALE: AS SHOWN

DRW.: AVG/DTA/INC PROJ.: DATE: 03/04/01 SHEET 32 OF 33

CHK.: D.C.W.



LANDSCAPE LEGEND :

- PROPOSED WELL SITE
- REFORESTATION AREA
- EXISTING GROUND
- PROPOSED GRADE
- CL EX. STREAM
- 75' STREAM BUFFER
- 25' WETLAND BUFFER
- LIMIT OF WETLANDS
- FLOODPLAIN LIMITS
- LOT NUMBER
- PROPOSED LIGHT POLE
SEE SHT. OF LOT LEGEND
- EXISTING TREES
- TREES TO REMAIN
- ORANGE BLAZE TREE PROTECTION



PLAN
SCALE : 1" = 100'

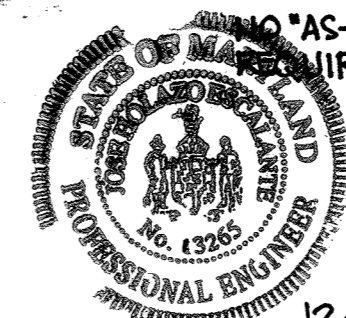
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of Howard County Code and the Landscape Manual. I further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

D. W. Thompson Pro. Dale Thompson Bldg. Inc. April 5, 2011
Owner/Developer Signature Date

- NOTES**
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
 - Financial Surety for the required Perimeter Landscaping will be posted as part of the DPW Developers Agreement for 67 shade trees and 56 pine trees in the amount of \$28,500.

PERIMETER LANDSCAPE EDGE PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	PINUS STROBUS	EASTERN WHITE PINE	24	6'-8" HT
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	33	2-1/2" - 3" CAL.



"AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

José H. Escalante
Jose H. Escalante
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012
12-29-2010

NOTE : 1. ALL OF PRESERVATION PARCEL "A" EXCLUDING SWM FACILITY, THE RECTANGULAR AREA EAST OF LOT #17 AND THE 100-YEAR FLOOD PLAIN WILL BE ENCUMBERED BY A FOREST CONSERVATION EASEMENT.

2. THE HEDGE ROW ON LOTS 4-9 CONSISTS OF 25' PINES AND WILL BE RELOCATED TO BUFFERS ONE (1) AND 12, 14 AND 18 IN ADDITION TO THOSE SHOWN AS PART OF THE REQUIRED LANDSCAPING.

APPROVED: DEPARTMENT OF PUBLIC WORKS
Robert M. Jacobs 5-1-01 DATE
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamilton 5/6/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Mike Deamus 5/10/01 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

SCHEDULE "A" PERIMETER LANDSCAPE EDGE (TOTAL)

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	2415	8466
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	400 (2015)	7331 (1135)
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)		NO
Number of Plants Required		
Shade Trees	42	22 (120)
Evergreen Trees	53	0
Shrubs	0	0
Shade Trees	42	22
Evergreen Trees	53	0
Other Trees (2:1 substitution) Shrubs (10:1 substitution)	0	0

SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING

Linear Feet of Perimeter	SWM#1	SWM#2
1720'	1720'	1010'
Number of Trees Required		
Shade Trees 1:50	35	21
Evergreen Trees 1:40	43	26
Credit for Existing Vegetation* (No, Yes, and %)	* Yes 100% Yes 890' (120)	
Credit for Other Landscaping (No, Yes and %)		
Number of Trees Provided		
Shade Trees	0	3
Evergreen Trees	0	0
Other Trees (2:1 substitution)	0	0

*The forest surrounding the pond consists of mature hardwoods and pines far exceeding the number required.

SCHEDULE "A" PERIMETER LANDSCAPE EDGE THIS SHEET ONLY

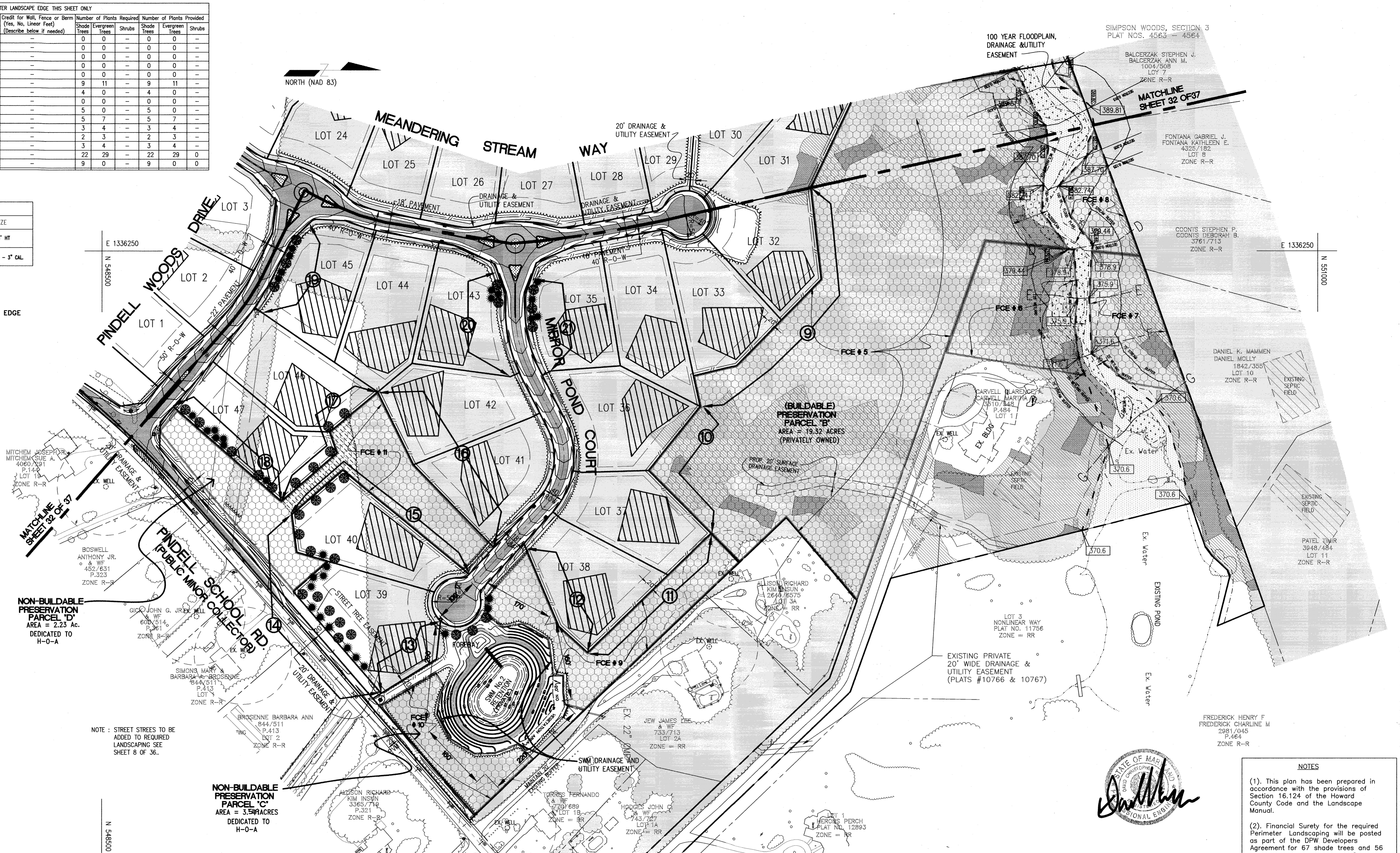
PERIMETER	CATEGORY (Property/Roadways)	Landscape Type	Linear Feet of Roadway Frontage/Perimeter	Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	Number of Plants Required	Number of Plants Provided
						Shade Trees	Evergreen Trees
1	ROADWAY	B	415	0 (415)	0	9	11
2	PROPERTIES	A	1115	930 (185)	0	4	0
3	PROPERTIES	A	1510	1360 (150)	0	3	0
4	PROPERTIES	A	310	310	0	0	0
5	PROPERTIES	A	590	590	0	0	0
6	PROPERTIES	A	610	280 (330)	0	6	0
7	PROPERTIES	A	251	251	0	0	0
8	PROPERTIES	A	1040	1040	0	0	0
22	ROADWAY	B	250	0 (250)	0	5	6
23	ROADWAY	B	270	0 (270)	0	6	7
TOTAL	PROPERTIES	A	5426	4761 (665)	0	13	0
TOTAL	ROADWAY	B	935	0 (935)	0	20	24

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
TITLE LANDSCAPE PLAN		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING, INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL: (410) 465-7903 FAX: (410) 465-3845		
OWNERS: CLARENCE AND MARTHA CARVELL 706 PINDELL SCHOOL ROAD FULTON, MD 20759 H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PKE SUITE 300 ROCKVILLE, MD 20852		
DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA COLUMBIA, MD 21044		
DES. : JL/DCW/AVG	JOB :	SCALE : 1" = 100'
DRW. : AVG/DIA/INC	PROJ. :	SHEET 33 OF 38
CHK. : D.C.W.	DATE : 03/04/01	

PERMETER	CATEGORY (Properties/ Roadways)	Landscape Type	SCHEDULE "A"		PERMETER LANDSCAPE EDGE THIS SHEET ONLY						
			Linear Feet of Roadway Frontage/Perimeter	Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	Shade Trees	Evergreen Trees	Shrubs	Shade Trees	Evergreen Trees	Shrubs
9	PROPERTIES	A	600	600	--	0	0	--	0	0	--
10	PROPERTIES	A	380	380	--	0	0	--	0	0	--
11	PROPERTIES	A	360	360	--	0	0	--	0	0	--
12	PROPERTIES	A	250	250	--	0	0	--	0	0	--
13	PROPERTIES	A	240	240	--	0	0	--	0	0	--
14	ROADWAY	B	430	0 (430)	--	9	11	--	9	11	--
15	PROPERTIES	A	480	280 (200)	--	4	0	--	4	0	--
16	PROPERTIES	A	410	410	--	0	0	--	0	0	--
17	PROPERTIES	A	320	50 (270)	--	5	0	--	5	0	--
18	ROADWAY	B	300	50 (250)	--	5	7	--	5	7	--
19	ROADWAY	B	250	100 (150)	--	3	4	--	3	4	--
20	ROADWAY	B	250	150 (100)	--	2	3	--	2	3	--
21	ROADWAY	B	250	100 (150)	--	3	4	--	3	4	--
TOTAL	ROADWAY	B	1480	400 (1080)	--	22	29	--	22	29	0
TOTAL	PROPERTIES	A	3040	2570 (470)	--	9	0	--	9	0	0

PLANT SCHEDULE *				
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
	PINUS STROBUS	EASTERN WHITE PINE	32	6"-8" HT
	ACER RUBRUM	OCTOBER GLORY RED MAPLE	34	2-1/2" - 3" CAL.

* PERIMETER LANDSCAPE EDGE AND SWM POND #2 LANDSCAPE EDGE



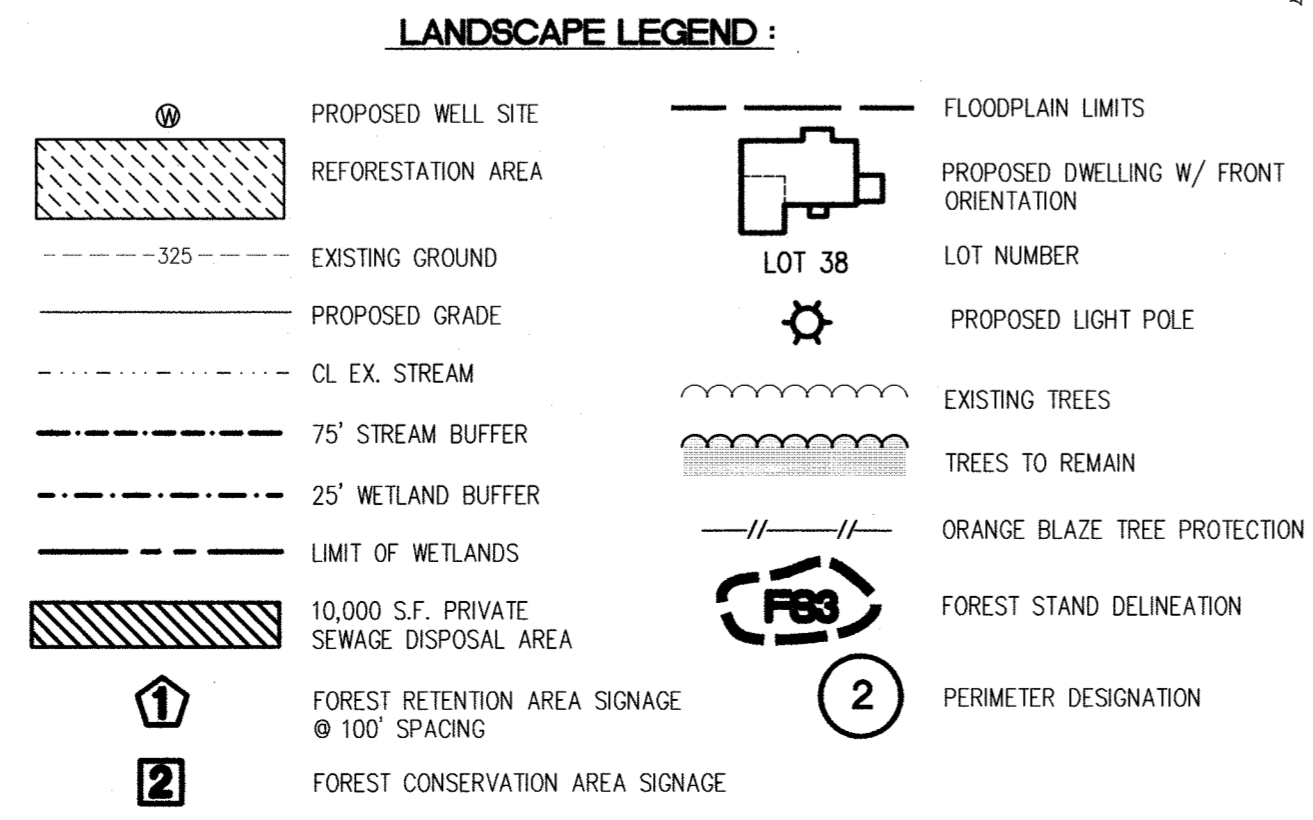
NON-BUILDABLE PRESERVATION PARCEL 'D'
AREA = 2.23 AC.
DEDICATED TO H-0-A

NON-BUILDABLE PRESERVATION PARCEL 'C'
AREA = 3.59 ACRES
DEDICATED TO H-0-A

NOTE: STREET STRESSES TO BE ADDED TO REQUIRED LANDSCAPING SEE SHEET 8 OF 36.

SCHEDULE "D"		
STORMWATER MANAGEMENT AREA LANDSCAPING		
Linear Feet of Perimeter	SWM#1	SWM#2
1720'	1720'	1010'
Number of Trees Required		
Shade Trees 1:50	35	21
Evergreen Trees 1:40	43	28
Credit for Existing Vegetation* (No, Yes, and %)	* Yes 100%	Yes 890' (120)
Credit for Other Landscaping (No, Yes, and %)	--	--
Number of Trees Provided		
Shade Trees	0	3
Evergreen Trees	0	3
Other Trees (2:1 substitution)	0	0

* The forest surrounding the pond consists of mature hardwoods and pines far exceeding the number required.



PLAN
SCALE: 1" = 100'

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.
Jose H. Escalante
JOSE H. ESCALANTE
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012
12-29-2010

I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of Howard County Code and the Landscape Manual. I further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.
John W. Thompson
John W. Thompson
10000 S.F. PRIVATE SEWAGE DISPOSAL AREA
Owner/Developer Signature Date April 5, 2011



- NOTES
- (1). This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
 - (2). Financial Surety for the required Perimeter Landscaping will be posted as part of the DPW Developers Agreement for 67 shade trees and 56 pine trees in the amount of \$28,500.00

NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		
PROJECT NAME PINDELL WOODS		
TITLE LANDSCAPE PLAN		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL (410) 485-7803 FAX (410) 485-3845		
DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044		
DES.: JL/DCW/AVG	JOB:	SCALE: 1" = 100'
DRW.: AVG/DTA/JNC	PROJ.:	SHEET 34 OF 38
CHK.: D.C.W.	DATE: 03/04/01	

F-01-89

H:\p\p\p\11\PLAN\LANDSCAPE.dwg Wed Apr 11 13:06:36 2011

LINE TABLE (FCE) NO. 1

CURVE	LENGTH	RADIUS
C1	82.65	725
C2	23.18	25.00
C3	43.53	24.00
C4	23.18	25.00
C5	43.53	24.00
C6	23.18	25.00
C7	43.53	24.00
C8	23.18	25.00
C9	43.53	24.00
C10	23.18	25.00
C11	43.53	24.00
C12	23.18	25.00
C13	43.53	24.00
C14	23.18	25.00
C15	43.53	24.00
C16	23.18	25.00
C17	43.53	24.00
C18	23.18	25.00
C19	43.53	24.00
C20	23.18	25.00
C21	43.53	24.00
C22	23.18	25.00
C23	43.53	24.00
C24	23.18	25.00
C25	43.53	24.00
C26	23.18	25.00
C27	43.53	24.00
C28	23.18	25.00
C29	43.53	24.00
C30	23.18	25.00
C31	43.53	24.00
C32	23.18	25.00
C33	43.53	24.00
C34	23.18	25.00
C35	43.53	24.00
C36	23.18	25.00
C37	43.53	24.00
C38	23.18	25.00
C39	43.53	24.00
C40	23.18	25.00
C41	43.53	24.00
C42	23.18	25.00
C43	43.53	24.00
C44	23.18	25.00
C45	43.53	24.00
C46	23.18	25.00
C47	43.53	24.00
C48	23.18	25.00
C49	43.53	24.00
C50	23.18	25.00
C51	43.53	24.00
C52	23.18	25.00
C53	43.53	24.00
C54	23.18	25.00
C55	43.53	24.00
C56	23.18	25.00
C57	43.53	24.00
C58	23.18	25.00
C59	43.53	24.00
C60	23.18	25.00
C61	43.53	24.00
C62	23.18	25.00
C63	43.53	24.00
C64	23.18	25.00
C65	43.53	24.00
C66	23.18	25.00
C67	43.53	24.00
C68	23.18	25.00
C69	43.53	24.00
C70	23.18	25.00
C71	43.53	24.00
C72	23.18	25.00
C73	43.53	24.00
C74	23.18	25.00
C75	43.53	24.00
C76	23.18	25.00
C77	43.53	24.00
C78	23.18	25.00
C79	43.53	24.00
C80	23.18	25.00
C81	43.53	24.00
C82	23.18	25.00
C83	43.53	24.00
C84	23.18	25.00
C85	43.53	24.00
C86	23.18	25.00
C87	43.53	24.00
C88	23.18	25.00
C89	43.53	24.00
C90	23.18	25.00
C91	43.53	24.00
C92	23.18	25.00
C93	43.53	24.00
C94	23.18	25.00
C95	43.53	24.00
C96	23.18	25.00
C97	43.53	24.00
C98	23.18	25.00
C99	43.53	24.00
C100	23.18	25.00

LINE TABLE (FCE) NO. 2

CURVE	LENGTH	BEARING
L1	290.09	S 86°08'41" E
L2	136.67	S 02°00'33" W
L3	20.84	S 48°50'46" W
L4	15.77	S 74°48'07" W
L5	18.18	S 79°46'56" W
L6	24.59	S 88°00'08" W
L7	25.18	S 78°25'42" W
L8	50.52	S 20°21'49" W
L9	39.94	S 79°35'58" W
L10	23.54	S 01°20'08" E
L11	41.48	N 86°10'13" W
L12	210.09	S 77°36'57" W
L13	33.74	N 67°20'15" W
L14	40.06	N 12°27'48" W
L15	207.32	N 48°51'39" E
L16	15.42	N 00°00'00" W

LINE TABLE (FCE) NO. 3

CURVE	LENGTH	BEARING
L17	903.27	S 69°53'47" W
L18	80.17	N 42°24'41" E
L19	78.04	N 75°23'28" E
L20	73.65	N 78°59'33" E
L21	111.77	N 43°33'38" E
L22	74.05	N 75°22'58" E
L23	78.62	N 35°30'07" E
L24	182.90	N 43°27'51" E
L25	33.31	N 61°53'54" E
L26	51.30	S 79°20'24" E
L27	27.66	N 44°28'53" E
L28	129.19	N 62°19'08" E
L29	124.98	N 44°31'15" E
L30	33.94	N 85°57'17" E
L31	256.45	S 02°00'05" W

LINE TABLE (FCE) NO. 4

CURVE	LENGTH	BEARING
L32	225.09	N 15°59'05" E
L33	204.28	S 55°32'55" E
L34	67.94	S 01°37'34" E
L35	27.86	S 33°57'20" E
L36	35.77	S 81°29'36" E
L37	48.73	S 19°58'03" E
L38	42.52	S 06°55'43" E
L39	100.97	S 43°05'57" W
L40	119.28	S 47°42'59" W
L41	86.97	S 04°21'36" W
L42	72.43	S 48°33'55" W
L43	48.28	S 72°05'28" W
L44	40.51	S 37°28'20" W
L45	34.26	N 09°30'44" W
L46	108.28	N 69°57'27" E
L47	78.86	N 48°47'58" E

LINE TABLE (FCE) NO. 12

CURVE	LENGTH	BEARING
L48	610.74	N 84°13'13" W
L49	35.40	N 02°51'27" W
L50	153.29	S 84°13'13" E
L51	38.85	N 12°38'56" E
L52	298.29	S 84°46'19" E
L53	208.49	N 10°50'52" E
L54	74.70	S 44°51'20" E
L55	203.74	S 02°38'55" E
L56	78.83	N 12°38'56" E
L57	45.05	N 41°32'07" E
L58	35.00	N 48°27'34" W
L59	62.88	N 41°32'14" E

LINE TABLE (FCE) NO. 13

CURVE	LENGTH	BEARING
L60	335.97	S 02°30'37" W
L61	290.08	N 89°18'12" W
L62	35.32	S 133.00
L63	147.15	S 89°18'20" E
L64	210.98	N 02°00'07" E
L65	171.05	N 84°13'13" W
L66	108.22	N 23°52'31" E
L67	278.57	S 84°13'13" E

(NON-BUILDABLE) PRESERVATION PARCEL 'F' AREA = 1.64 ACRES DEDICATED TO H-O-A

EASTERN VIEW PLAT NOS. 12457 - 12458 ZONE R-R

(NON-BUILDABLE) PRESERVATION PARCEL 'E' AREA = 2.60 ACRES DEDICATED TO H-O-A

MITCHEM JOSEPH R MITCHEM SUE A 4060/281 P.144 LOT 19 ZONE R-R

APPROVED: DEPARTMENT OF PUBLIC WORKS
Christopher M. S. Quale 5-1-01 DATE
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Carole Hamata 5/16/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Bill Dammann 5/16/01 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

NOTE TO CONTRACTOR: THIS PLAN IS FOR FOREST CONSERVATION ANALYSIS ONLY. TREE SAVE AREAS ARE ANTICIPATED BASED UPON FUTURE LOT GRADING. ALL GRADING, CLEARING, SEDIMENT CONTROL AND TREE PROTECTION IS SHOWN ON THE THE GRADING/SEDIMENT CONTROL SHEETS.

FOREST CONSERVATION AREA TABULATION

Easement No.	Non-Wooded Floodplain/Wetlands	Wooded Retention Area	Reforestation Area	Total Easement Area
FC # 1	0 Ac.±	4.93 Ac.±	0.52 Ac.±	5.45 Ac.±
FC # 2	0 Ac.±	1.36 Ac.±	0 Ac.±	1.36 Ac.±
FC # 3	0 Ac.±	2.46 Ac.±	0 Ac.±	2.46 Ac.±
FC # 4	0 Ac.±	2.69 Ac.±	0 Ac.±	2.69 Ac.±
FC # 5	0 Ac.±	9.44 Ac.±	0 Ac.±	9.44 Ac.±
FC # 6	0 Ac.±	1.32 Ac.±	0 Ac.±	1.32 Ac.±
FC # 7	0 Ac.±	0.88 Ac.±	0 Ac.±	0.88 Ac.±
FC # 8	0 Ac.±	0.48 Ac.±	0 Ac.±	0.48 Ac.±
FC # 9	0 Ac.±	1.29 Ac.±	0 Ac.±	1.29 Ac.±
FC # 10	0 Ac.±	0.71 Ac.±	0 Ac.±	0.71 Ac.±
FC # 11	0 Ac.±	0.96 Ac.±	0.93 Ac.±	1.89 Ac.±
FC # 12	0 Ac.±	0.87 Ac.±	0.33 Ac.±	1.20 Ac.±
FC # 13	0 Ac.±	0.87 Ac.±	0.76 Ac.±	1.63 Ac.±
TOTAL		28.26 Ac.±	2.54 Ac.±	30.80 Ac.±

NOTE: TREE PROTECTION FENCE IS SHOWN WHERE IT IS ANTICIPATED. IN NO EVENT WILL CLEARING BE ALLOWED WITHIN THE F.C.E. AREA.

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.



Jose H. Escalante
JOSE H. ESCALANTE
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012
12-29-2010

PLAN
SCALE: 1" = 100'

- LEGEND:
- REFORESTATION AREA
 - EXISTING GROUND
 - PROPOSED GRADE
 - CL EX. STREAM
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - LIMIT OF WETLANDS
 - FLOODPLAIN LIMITS
 - PROPOSED LIGHT POLE SEE SHT. OF FOR LEGEND
 - EXISTING TREES
 - TREES TO REMAIN
 - ORANGE BLAZE TREE PROTECTION
 - FCE
 - FOREST RETENTION AREA SIGNAGE @ 100' SPACING
 - FOREST CONSERVATION AREA SIGNAGE

NO.	DATE	REVISIONS
		A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274
PROJECT NAME: PINDELL WOODS		
TITLES: LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F		
5th ELECTION DISTRICT, TAX MAP # 41, GRID 2, 5, 8 AND 9		
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274		
HOWARD COUNTY, MARYLAND.		
OWNERS: CLARENCE AND MARTHA CARWELL 7106 PINDELL SCHOOL ROAD FULTON, MD. 20759		DEVELOPER: MOUNT VIEW, LLC. 6258 CARDINAL LA. COLUMBIA, MD. 21044
H Y REAL ESTATE JOINT VENTURE 1921 ROCKVILLE PKE. SUITE 300 ROCKVILLE, MD. 20852		
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10749 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL. (410) 465-7903 FAX: (410) 465-3845		
DES.: JL/DCW/AVG	JOB:	SCALE: 1" = 100'
DRW.: AVG/DTA/MC	PROJ.:	SHEET 35 OF 38
CHK.: D.C.W.	DATE: 03/04/01	

LINE	LENGTH	BEARING
L81	341.26	S 09°30'44" E
L82	51.83	S 65°30'46" W
L83	40.14	S 64°46'07" W
L84	23.02	S 55°05'16" W
L85	15.06	S 55°05'16" W
L86	41.88	S 82°35'58" W
L87	80.45	N 82°34'53" W
L88	56.86	N 87°24'32" W
L89	93.25	S 53°30'40" W
L90	173.61	N 05°22'22" E
L91	783.81	N 70°22'41" W
L92	224.25	N 49°21'35" E
L93	132.30	N 43°41'25" W
L94	83.45	N 45°06'45" E
L95	182.10	N 45°06'45" E
L96	168.88	S 51°05'29" E
L97	64.29	N 77°37'04" E
L98	91.02	S 13°32'28" E
L99	248.19	S 45°24'22" E
L100	189.01	N 83°22'30" E
L101	205.27	S 64°44'10" E
TOTAL AREA = 9.441 Ac.		

LINE	LENGTH	BEARING
L149	284.48	S 41°07'07" W
L150	151.06	S 40°55'29" E
L151	45.68	N 70°46'46" E
L152	128.46	S 39°39'53" E
L153	166.68	S 63°50'29" W
L154	227.25	S 45°10'31" W
L155	76.53	N 47°16'09" W
L156	326.36	N 39°27'36" E
L157	138.28	N 40°35'29" W
L158	78.30	S 82°37'51" W
L159	67.03	S 16°11'44" W
L160	95.00	N 41°08'39" W
L161	238.79	N 49°02'33" E
L162	167.12	N 51°19'25" E
L163	6.83	S 88°46'44" E
L164	53.13	S 48°52'53" E
TOTAL AREA = 1.886 Ac.		

LINE	LENGTH	BEARING
L102	184.01	N 05°32'58" E
L103	101.88	N 86°18'38" E
L104	58.16	S 85°36'42" E
L105	60.46	N 82°48'58" E
L106	42.21	N 71°44'25" E
L107	292.20	S 09°24'10" W
L108	245.00	N 70°22'41" W
TOTAL AREA = 1.320		

LINE	LENGTH	BEARING
L109	300.00	S 70°29'59" W
L110	125.88	N 09°24'10" E
L111	98.34	N 38°25'45" E
L112	114.78	N 87°30'28" E
L113	96.24	S 87°06'28" E
L114	101.68	S 05°32'14" W
TOTAL AREA = 0.884 Ac.		

LINE	LENGTH	BEARING
L115	101.68	N 05°32'14" E
L116	11.69	S 77°24'20" E
L117	74.22	N 53°02'43" E
L118	68.65	N 69°40'12" E
L119	85.36	S 46°52'27" E
L120	26.07	S 87°40'51" E
L121	31.80	S 85°02'41" E
L122	278.25	S 69°53'47" W
TOTAL AREA = 0.476		

LINE	LENGTH	BEARING
L123	83.45	N 45°06'45" E
L124	439.89	S 43°41'25" E
L125	43.78	N 14°51'11" W
L126	25.87	S 82°52'56" W
L127	33.20	N 89°50'11" W
L128	20.00	S 00°09'49" W
L129	75.65	S 81°49'37" W
L130	61.26	S 32°23'31" W
L131	38.39	S 09°47'06" E
L132	45.48	S 39°10'59" W
L133	33.29	S 85°25'37" W
L134	127.76	N 47°11'59" W
L135	166.32	N 67°04'11" W
L136	79.90	N 42°14'44" E
L137	352.37	N 44°02'11" W
TOTAL AREA = 1.289 Ac.		

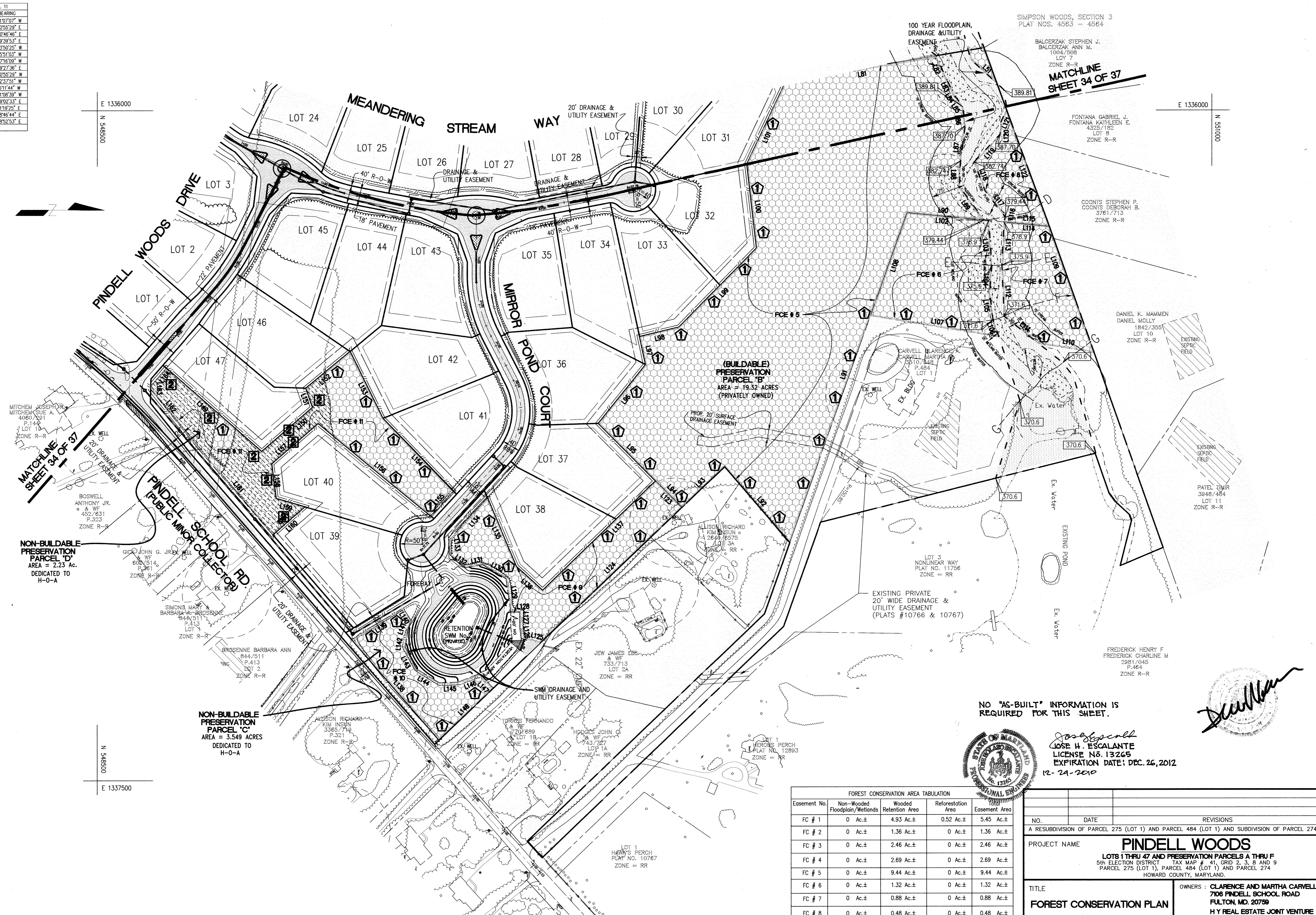
LINE	LENGTH	BEARING
L138	286.39	S 49°04'11" W
L139	135.42	N 31°40'56" W
L140	35.00	N 58°17'34" E
L141	16.73	S 67°12'00" E
L142	43.44	S 80°44'58" E
L143	54.68	N 53°72'42" E
L144	60.68	N 31°02'26" E
L145	40.96	N 01°38'51" W
L146	52.11	N 21°08'35" W
L147	44.95	N 46°03'28" E
L148	168.35	S 43°41'25" E
TOTAL AREA = 0.713 Ac.		

- LEGEND :**
- REFORESTATION AREA
 - EXISTING GROUND
 - PROPOSED GRADE
 - CL EX. STREAM
 - 75' STREAM BUFFER
 - 25' WETLAND BUFFER
 - LIMIT OF WETLANDS
 - FLOODPLAIN LIMITS
 - PROPOSED LIGHT POLE SEE SH.T. OF FOR. LEGEND
 - EXISTING TREES
 - TREES TO REMAIN
 - ORANGE BLAZE TREE PROTECTION
 - FCE
 - FOREST RETENTION AREA SIGNAGE @ 100' SPACING
 - FOREST CONSERVATION AREA SIGNAGE

APPROVED: DEPARTMENT OF PUBLIC WORKS
Christopher M. Owens 5-01-01
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chris D. Zimber 5/16/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Alan Dammann 5/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



PLAN
 SCALE : 1" = 100'

Easement No.	FOREST CONSERVATION AREA TABULATION			Easement Area
	Non-Wooded Floodplain/Wetlands	Wooded Retention Area	Reforestation Area	
FC # 1	0 Ac.±	4.93 Ac.±	0.52 Ac.±	5.45 Ac.±
FC # 2	0 Ac.±	1.36 Ac.±	0 Ac.±	1.36 Ac.±
FC # 3	0 Ac.±	2.46 Ac.±	0 Ac.±	2.46 Ac.±
FC # 4	0 Ac.±	2.69 Ac.±	0 Ac.±	2.69 Ac.±
FC # 5	0 Ac.±	9.44 Ac.±	0 Ac.±	9.44 Ac.±
FC # 6	0 Ac.±	1.32 Ac.±	0 Ac.±	1.32 Ac.±
FC # 7	0 Ac.±	0.88 Ac.±	0 Ac.±	0.88 Ac.±
FC # 8	0 Ac.±	0.48 Ac.±	0 Ac.±	0.48 Ac.±
FC # 9	0 Ac.±	1.29 Ac.±	0 Ac.±	1.29 Ac.±
FC # 10	0 Ac.±	0.71 Ac.±	0 Ac.±	0.71 Ac.±
FC # 11	0 Ac.±	0.96 Ac.±	0.93 Ac.±	1.89 Ac.±
FC # 12	0 Ac.±	0.87 Ac.±	0.33 Ac.±	1.20 Ac.±
FC # 13	0 Ac.±	0.87 Ac.±	0.76 Ac.±	1.63 Ac.±
TOTAL		28.26 Ac.±	2.54 Ac.±	30.80 Ac.±

NO.	DATE	REVISIONS
A		A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274

PROJECT NAME
PINDELL WOODS
 LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
 SUB ELECTION DISTRICT TAX MAP # 41, GRID 2, 5, 8 AND 9
 PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
 HOWARD COUNTY, MARYLAND.

TITLE
FOREST CONSERVATION PLAN
 S-00-15 P-01-06 F-01-89

OWNERS :
 CLARENCE AND MARTHA CARVELL
 706 PINDELL SCHOOL ROAD
 FULTON, MD. 20759
 H Y REAL ESTATE JOINT VENTURE
 1921 ROCKVILLE PKE, SUITE 300
 ROCKVILLE, MD. 20852

DEVELOPER :
 MOUNT VIEW, L.L.C.
 6258 CARDINAL LA.
 COLUMBIA, MD. 21044

PREPARED BY :
 AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
 10749 BIRMINGHAM WAY
 WOODSTOCK, MD 21163
 TEL (410) 465-7903
 FAX (410) 465-3845

DES. : JL/DCW/AVG **JOB :**

DRW. : AVG/DTA/JNC **PROJ. :**

CHK. : D.C.W. **DATE :** 03/04/01 **SCALE :** 1" = 100' **SHEET 34 OF 38**



JOSE H. ESCALANTE
 LICENSE NO. 13265
 EXPIRATION DATE: DEC. 26, 2012
 12-21-2010

Escalante

NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

APPENDIX E FOREST CONSERVATION WORKSHEET	
	Acres (1/100)
I. BASIC SITE DATA	
GROSS SITE AREA	97.8
AREA WITHIN 100-YEAR FLOODPLAIN	5.9
AREA WITHIN PRESERVATION PARCEL (IF APPLICABLE)	0.0
NET TRACT AREA	92.0
LAND USE CATEGORY (R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, R-13, R-14, R-15, R-16, R-17, R-18, R-19, R-20, R-21, R-22, R-23, R-24, R-25, R-26, R-27, R-28, R-29, R-30, R-31, R-32, R-33, R-34, R-35, R-36, R-37, R-38, R-39, R-40, R-41, R-42, R-43, R-44, R-45, R-46, R-47, R-48, R-49, R-50, R-51, R-52, R-53, R-54, R-55, R-56, R-57, R-58, R-59, R-60, R-61, R-62, R-63, R-64, R-65, R-66, R-67, R-68, R-69, R-70, R-71, R-72, R-73, R-74, R-75, R-76, R-77, R-78, R-79, R-80, R-81, R-82, R-83, R-84, R-85, R-86, R-87, R-88, R-89, R-90, R-91, R-92, R-93, R-94, R-95, R-96, R-97, R-98, R-99, R-100)	R-RMD
II. INFORMATION FOR CALCULATIONS	
A. NET TRACT AREA	92.0
B. REFORESTATION THRESHOLD (25% x A)	23.0
C. AFFORESTATION MINIMUM (20% x A)	18.4
D. EXISTING FOREST ON NET TRACT AREA	59.5
E. FOREST AREAS TO BE CLEARED	31.2
F. FOREST AREAS TO BE RETAINED	28.3
III. DETERMINING REQUIREMENTS: AFFORESTATION OR REFORESTATION	
1. REFORESTATION	
If existing forest areas equal or exceed the afforestation minimum (if D equals or is more than C), and clearing of forest areas is proposed, reforestation requirements may apply.	
GO TO SECTION IV	
If existing forest areas exceed the afforestation minimum (if D equals or is more than C) and no clearing of existing forest resources is proposed, no reforestation is required. No further calculations are needed.	
2. AFFORESTATION	
If existing forest areas are less than the afforestation minimum (if D is less than C), afforestation requirements apply.	
GO TO SECTION V	
IV. REFORESTATION CALCULATIONS	
A. Net Tract Area	92.0
B. Reforestation Threshold (25% x A)	23.0
C. Existing Forest on Net Tract Area	59.5
D. Forest Areas to be Cleared	31.2
E. Forest Areas to be Retained	28.3
F. Forest Areas Cleared Above Reforestation Threshold (C - E, if E is greater than B, Alternate 1) (C - B, if E is less than B, Alternate 2)	28.3
G. Forest Areas Cleared Below Reforestation Threshold (D - F, if applicable)	0.0
H. Forest Areas Retained Above Reforestation Threshold (E - B, Retention Credit, if applicable)	5.3
SELECT THE ALTERNATIVE THAT APPLIES:	
1. CLEARING ABOVE THE THRESHOLD ONLY	
If forest areas to be retained are equal or greater than the reforestation threshold (if E equals or is greater than B), the following calculations apply:	
Reforestation for clearing above threshold F x 14	7.8
Credit for forest areas retained above threshold H - Retention Credit	5.3
Total Reforestation required (F x 14) - H	2.5
2. CLEARING BELOW THE THRESHOLD	
If forest areas to be retained are less than the reforestation threshold (if E is less than B), the following calculations apply:	
Reforestation for clearing above threshold F x 14	NA
Reforestation for clearing below threshold G x 2	NA
Total Reforestation required (F x 14) + (G x 2)	NA
Since clearing occurs below the threshold, no forest retention credit is possible.	
V. AFFORESTATION CALCULATIONS	
NA	
TOTAL EASEMENT AREA = 28.3 Ac. + 2.5 Ac. (REFORESTATION) = 30.80 Ac. (REQUIRED) 30.80 Ac. (PROVIDED)	

The area of stream buffer/forestation planting shall be protected during construction per the following:	
FOREST PROTECTION PROCEDURES - Pre-construction Phase	
Stress Reduction and Protection of Specimen Trees Isolated from Forest Retention Areas and General Forest Retention Areas (As They May Apply)	
1) The edge of the woods to be protected will be marked (staked or flagged) in the field per the limits of disturbance shown in the approved final construction plan prior to the start of construction activity. All areas within protective fences are to be considered "off limits" to any construction activities. The protective fencing shall be installed at the outside edge of forested areas and specimen trees to be retained and should be combined with sediment control devices where possible. The limit of the critical root zone and therefore the location of the protective devices is to be determined as follows:	
Isolated Specimen Trees - 1.5 feet of protective radius per inch of DBH	
Edge of Forested Area - 1 foot of protective radius of DBH or an eight foot protective radius, whichever is greater.	
2) Construction activities expressly prohibited within the preservation areas are:	
Placing or stockpiling backfill or top soil in protected areas	
Felling trees into protected areas	
Driving construction equipment into or through protected areas	
Burning in or in close proximity to protected areas	
Stacking or storing supplies of any kind	
Concrete wash-off areas	
Conducting trenching operations	
Grading beyond the limits of disturbance	
Parking vehicles or construction equipment	
Burning in or in close proximity to protected areas	
Removal of root cut or topsoil	
Siting and construction of: Utility lines	
Access roads	
Improvised surfaces	
Storm water management Devices	
Steep Areas	
3) Protective fencing (see Figure "Protective Fencing") shall be the responsibility of the general contractor. The general contractor shall affix signs to the fencing at 25' minimum intervals indicating that these areas are "Forest Retention Area" or "Specimen Tree" (see Figure "Signage"). The general contractor shall take great care to assure the restricted areas are not violated and that root systems are protected from smothering, flooding, excessive wetting from de-watering operations, off-site run-off, spillage and drainage or solutions containing materials hazardous to tree roots.	
4) The general contractor shall be responsible for any tree damaged or destroyed within the preservation areas whether caused by the contractor, his agents, employees, sub-contractors, or licensees.	
5) Foot traffic shall be kept to a minimum in the protective areas.	
6) All trees which are not to be preserved within fifty feet of any tree preservation areas are to be removed in a manner that will not damage those trees that are designated for preservation. It is highly recommended that tree stumps within this fifty foot area be ground out with a stump grinding machine to minimize damage.	
7) The general contractor shall designate a "wash out" area on-site for concrete trucks which will not drain toward a protected area.	
8) A pre-construction meeting shall be held with local authorities before any disturbance has taken place on site.	

PLANTING PLAN

The tree species selected are consistent with the mixed upland oak association native to the soils. The County Manual recommends a planting density of 100 stems per acre if 1" stock is planted, and the schedule below meets that recommendation. Species will be randomly mixed and planted approximately 20' apart from other plantings. Straight rows should be avoided to simulate a more natural arrangement. The total number of plants will be 508 trees based up 2.54 Ac. at 200 trees/Acres.

(PIONEER)		(CLIMAX)	
TULIP POPLAR	DOM.	BLACK OAK	DOM.
BLACK CHERRY	(UNDERSTORY)	N. RED OAK	DOM.
FLOWERING DOGWOOD	(UNDERSTORY)	BLACK GUM	(UNDERSTORY)
		RED MAPLE	(UNDERSTORY)
		WHITE OAK	DOM.

2" CALIPERS TREES @ 100/ACRE QTY.

WHITE OAK	QUERCUS ALBA	15
BLACK OAK	QUERCUS VELUTINA	15
N. RED OAK	QUERCUS RUBRA	15
TULIP POPLAR	LIRIODENDRON TULIPIFERA	15
BLACK CHERRY	PRUNUS SEROTINA	10
RED MAPLE	ACER RUBRUM	10
BLACK GUM	NYSSA SYLVATICA	10
FLOWERING DOGWOOD	CORNUS FLORIDA	10

OTHER PLANTING INSTRUCTIONS

Plant material should be obtained from a reputable nursery and ordered 3 to 6 months before desired delivery. Delivery should be arranged to occur as close to planting time as possible, and stock should be protected from direct sun and drying until planting. Planting dates are October through May, with spring months preferred. (Suggested supplier: Silva Native Nursery & Seed Co., New Freedom, PA, (717) 227-0486)

Stock should be inspected before planting for signs of damage, disease, or insect infestation, vigor, and size. Damaged or inferior plants should be replaced.

Upon planting container grown stock, plants should be removed from the container and the soil gently loosened from the roots. If roots encircle the root ball, or are J-shaped or kinked, consider replacement. Do not trim roots on-site.

The planting field should be dug and backfilled with the native soil. Rake the surface and cover the disturbed area with approximately 4 inches of mulch, but avoid burying the base of the stem to prevent fungal rot. Water immediately to settle the soil around the roots.

MAINTENANCE AND PROTECTION OF PLANTED AREA

Soils should be tested to determine the need for fertilizer. If fertilizer is needed, it should be applied at the testing lab's recommended rates after the first growing season (late fall or early spring). Organic or slow-release fertilizers are preferred.

Watering should be planned to compensate for deficient rainfall. New plantings need water once a week for the first growing season. The second year, watering may only be necessary in July and August, and in subsequent years only water during drought periods. Watering should be done slowly enough to permit deep soaking of the root zone.

Monitor the young trees for several years for health, insect damage, and invasive vines. Replace dead and dying trees. The survival rate shall be a minimum of 90% of the plantings after the first growing season, and 75% after the second season. Do not spray insecticides unless it has been determined that an infestation with the potential to threaten the survival of the trees is present. Control invasive vines manually, or by careful and selective use of appropriate herbicide.

Post protective signage that states that this area is a Forest Conservation Area and trees have been planted for reforestation. An effort should be made to inform and gain the cooperation of the adjacent residents to monitor and protect the plantings.

FOREST PROTECTION PLAN

The forest conservation and reforestation areas will need to be protected from injury during the land clearing and construction process, and from any future land use changes. Long-term protection will require placing the forest in a permanent, recorded, non-developable open space or conservation easement. The legal document establishing this protection will be required for final FCP approval.

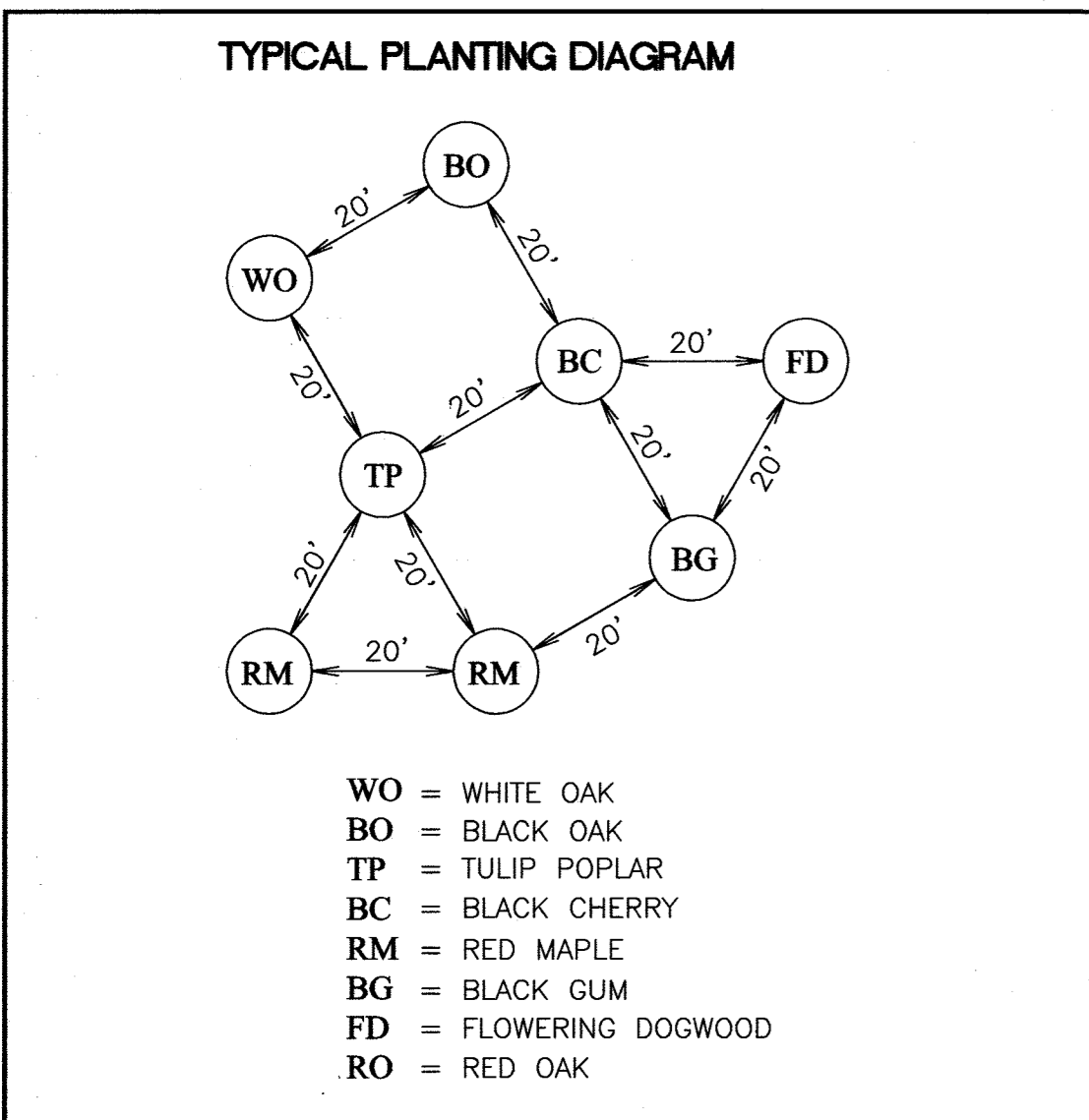
CONSTRUCTION PHASE

Protective measures during the construction stage will focus on protecting the critical root zone of the retained trees along the new forest edge. The final LOD line will be staked in the field by a qualified professional who will determine which individual trees will be saved, and the extent of the critical root zone based on tree species and size. The resulting boundary will be fenced with approved fencing and posted as a tree preservation area, and no disturbance to the vegetation within the retention area will be allowed, except that which may be necessary to manage the health of the trees, such as thinning, pruning, or vine control. Any grading and construction that will occur uphill from the forest will require sediment control measures such as a silt fence or other device that will prevent siltation in the critical root zone of retained trees.

TWO-YEAR POST-CONSTRUCTION MANAGEMENT PROGRAM

Howard County requires the developer to commit to a minimum of two years of responsibility for the management of the Forest Conservation Area. The program must be supervised by a qualified professional. The obligations include: periodic (beginning and end of growing season) inspection of the condition of the forest; necessary management such as maintenance of fencing and signage, treatment or removal of damaged or dying trees, or invasive plant control; education of new land owners or occupants about allowable activities and future responsibilities for the forest; and a final inspection and certification that the forest is intact and the conditions of the FCP have been met submitted to the County. Upon review of the final certification, the County will notify the developer of release from all future obligations, and their transfer to the owner.

Prepared by: **William Bridgeland**
MD DNR Qualified Professional



FOREST PROTECTION PROCEDURES - Construction Phase	
Forest and tree conditions should be monitored during construction and corrective measures taken when appropriate.	
The following shall be monitored:	
a) Soil compaction	
b) Root injury - prune and monitor; consider crown reduction	
c) Limb injury - prune and monitor	
d) Flooded conditions - drain and monitor; correct problem	
e) Drought conditions - water and monitor; correct problem	
f) Other stress signs - determine reason, correct, and monitor	
FOREST PROTECTION PROCEDURES - Post-Construction Phase	
The following measures shall be taken:	
1) Corrective measures if damages were incurred due to negligence:	
a) Stress reduction	
b) Removal of dead or dying trees. This may be done only if trees pose an immediate safety hazard.	
2) Removal of temporary structures:	
a) No burial of discarded materials will occur on-site within the conservation area.	
b) No open burning within 100 feet of a wooded area.	
c) All temporary forest protection structures will be removed after construction.	
d) Remove temporary roads by removing stone or breaking down mulch; pre-construction elevation should be maintained.	
e) Aerate compacted soil.	
f) Replant disturbed sites with trees, shrubs and/or herbaceous plants.	
g) Retain signs for retention areas or specimen trees.	
h) A county official shall inspect the entire site.	

FOREST CONSERVATION EASEMENT STANDARD NOTES:

The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code, Forest Conservation Act. No Clearing, grading or construction is permitted within the Forest Conservation Easement; however forest management practices as defined in the Deed of Forest Conservation Easement are allowed.

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE _____

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DISTRICT HOWARD SOIL CONSERVATION DIST. DATE _____

APPROVED: DEPARTMENT OF PUBLIC WORKS
Charles M. Cawley
CHIEF, BUREAU OF HIGHWAYS DATE: 6-1-01

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cinda Hamilton
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 5/16/01

Mike Dammann
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 5/16/01

MARYLAND DEPARTMENT OF THE ENVIRONMENT
2500 Broening Highway • Baltimore, Maryland 21224
(410) 631-3000 • 1-800-633-6101 • http://www.mde.state.md.us

Paul Revelle
Mount View, LLC
6258 Cardinal Lane
Columbia, Maryland 21044

Application Tracking Number 00-NT-0452/200160102
Project: MOUNT VIEW LLC/POND VIEW EST/SWM POND - Howard County
Contact Person/Telephone/Fax: David Boellner/(410)631-4179/(410)631-8047

Dear Mr. Revelle:

The Nontidal Wetlands and Waterways Division of the Water Management Administration (WMA) has received sufficient information to make a final decision on the joint Federal/State application for the project listed above. A favorable decision has been made to issue a Nontidal Wetlands and Waterways Letter of Authorization (LOA) and Water Quality Certification (WQC) for the proposed activity. Prior to issuance of the LOA and WQC this office will need the following item addressed:

- Submit three copies of the final construction plans for the project. The plans must include the limits of any nontidal wetlands, nontidal wetland buffers, and waters of the State (including the 100-year floodplain), limits of disturbance, "Best Management Practices for Working in Nontidal Wetlands" (attached), a sequence of construction, and approved erosion and sediment control plans. The copies of the plans will be reviewed and, once approved, distributed to the Compliance Program of the WMA and to the applicant as an attachment to the LOA and WQC.

Once the information is received and determined sufficient, the LOA and WQC will be issued. The LOA and WQC will authorize the applicant to conduct the activity specified if the conditions of the authorization and certification and the attached best management practices are met.

If you have any questions, I may be reached at (410)631-4179.

Sincerely,
David B. Boellner
David B. Boellner, Project Manager
WMA, Nontidal Wetlands and Waterways Division

Attachment
C: Jack Damm - U.S. Army Corps of Engineers

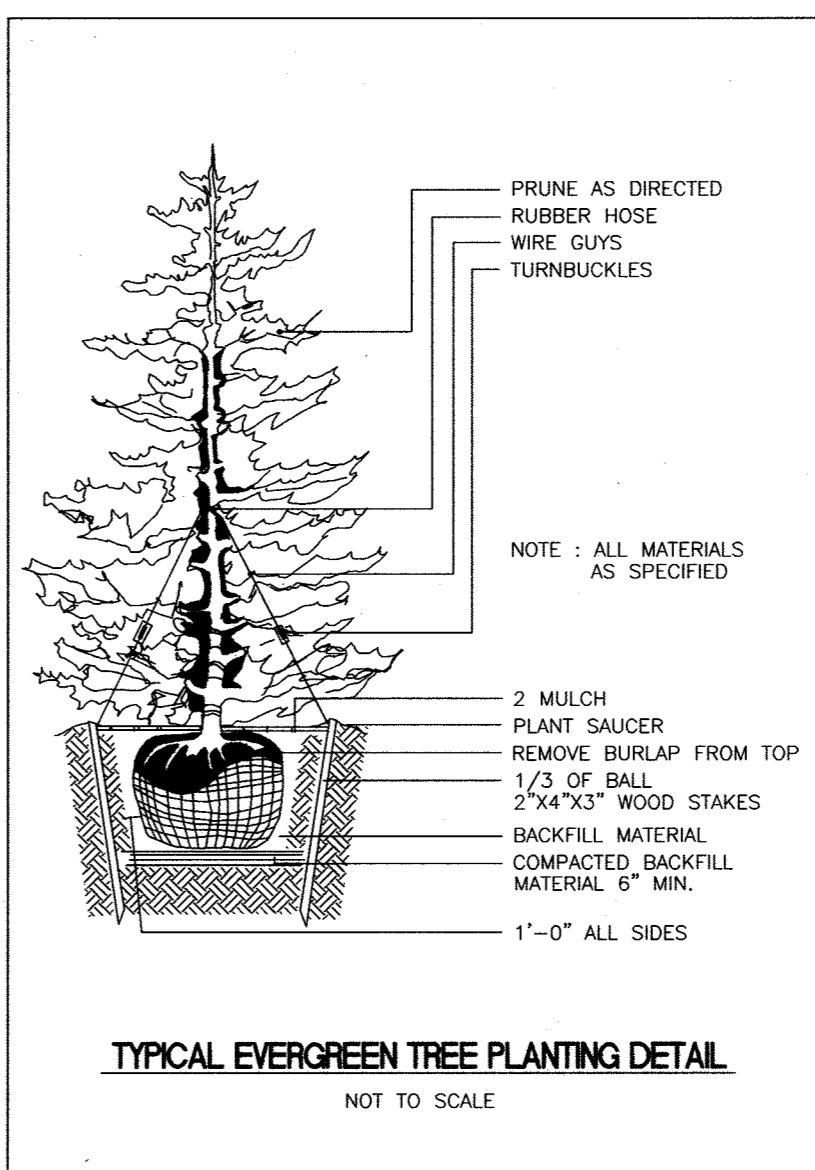
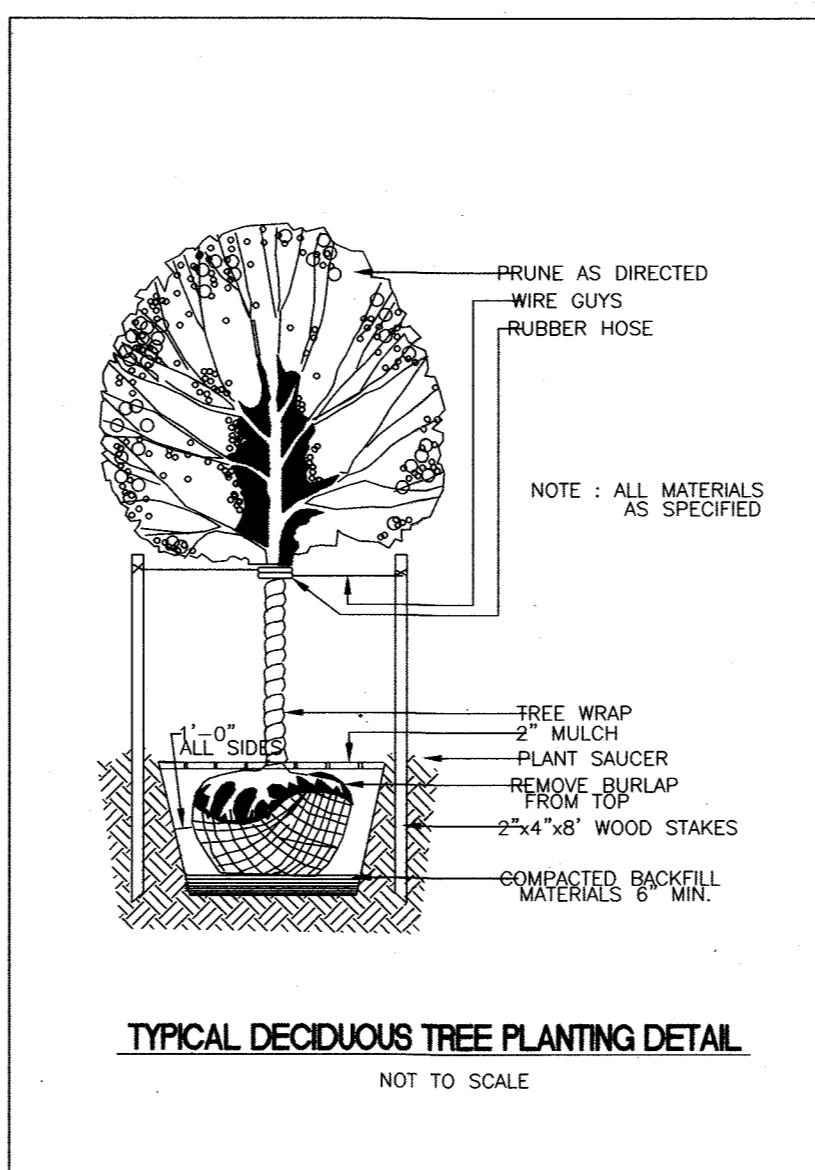
"Together We Can Clean Up"

BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS

- No excess fill, construction material, or debris shall be stockpiled or stored in nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Do not use the excavated material as backfill if it contains waste metal products, untrigly debris, toxic material, or any other deleterious substance. If additional backfill is required, use clean material free of waste metal products, untrigly debris, toxic material, or any other deleterious substance.
- Place heavy equipment on mats or stably operate the equipment to prevent damage to nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year floodplain.
- Repair and maintain any serviceable structure or fill so there is no permanent loss of nontidal wetlands, nontidal wetland buffers, or waterways, or permanent modification of the 100-year floodplain in excess of that lost under the originally authorized structure or fill.
- Rectify any nontidal wetlands, wetland buffers, waterways, or 100-year floodplain temporarily impacted by any construction.
- All stabilization in the nontidal wetland and nontidal wetland buffer shall consist of the following species: Annual Ryegrass (*Lolium multiflorum*), Millet (*Setaria italica*), Barley (*Hordeum sp.*), Oats (*Avena sp.*), and/or Rye (*Cereale ceterae*). These species will allow for the stabilization of the site while also allowing for the voluntary revegetation of natural wetland species. Other non-persistent vegetation may be acceptable, but must be approved by the Nontidal Wetlands and Waterways Division. Kentucky 31 shall not be utilized in wetland or buffer areas. The area should be seeded and mulched to reduce erosion after construction activities have been completed.
- After installation has been completed, make post-construction grades and elevations the same as the original grades and elevations in temporarily impacted areas.
- To protect aquatic species, in-stream work is prohibited as determined by the classification of the stream:
 - Use 1 waters: In-stream work shall not be conducted during the period March 1 through June 15, inclusive, during any year.
- Stormwater runoff from impervious surfaces shall be controlled to prevent the washing of debris into the waterway.
- Culverts shall be constructed and any riprap placed so as not to obstruct the movement of aquatic species, unless the purpose of the activity is to impound water.

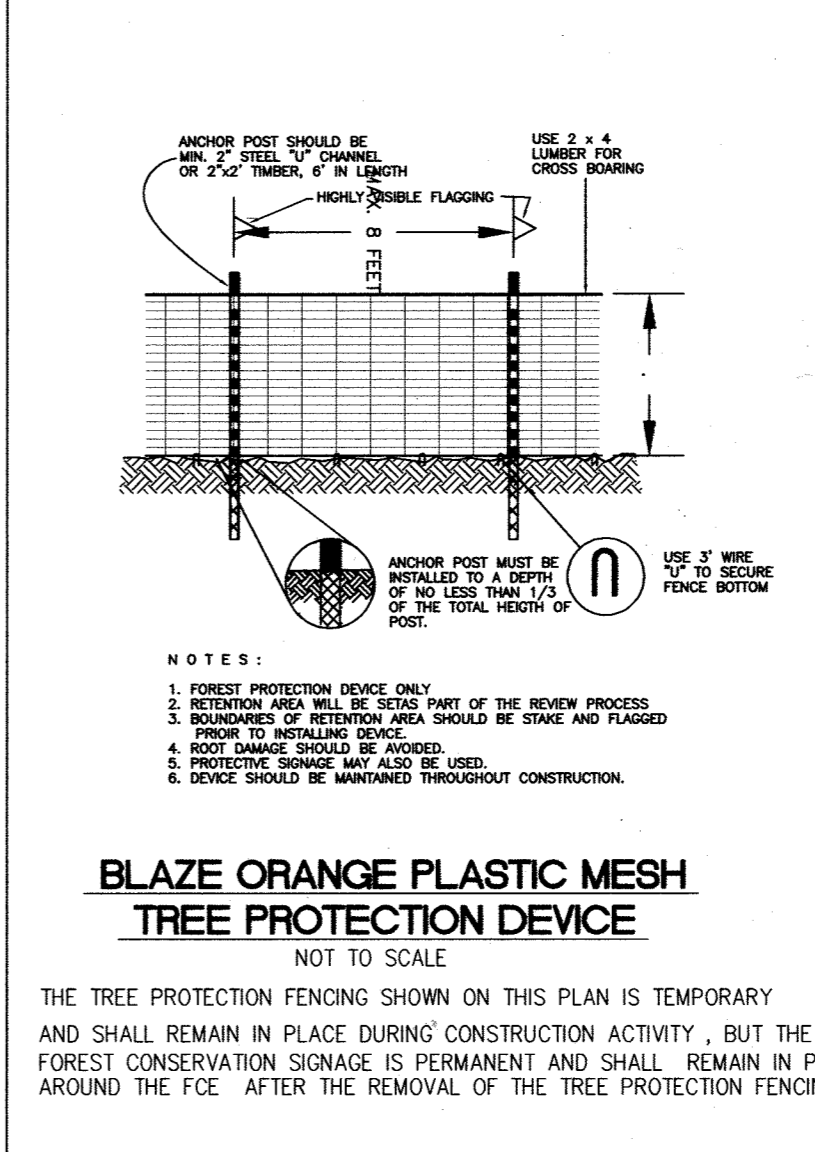
NO "AS-BUILT" INFORMATION IS REQUIRED FOR THIS SHEET.

12-29-2010
H. ESCALANTE
LICENSE NO. 13265
EXPIRATION DATE: DEC. 26, 2012



FCE NOTES

- ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
- FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
- LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
- NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
- TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
- PERMANENT SIGNAGE SHALL BE PLACED 50-100' APART ALONG THE BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.



FOREST CONSERVATION CREDIT:

(2 L.S. EVERGREENS) (225 S.F./TREE) = 450 S.F.
(3 L.S. SHADE TREES) (400 S.F./TREE) = 1,200 S.F.
TOTAL CREDIT = 1,650 S.F.
= 0.038 Ac.

NOTE:
* FINANCIAL SURETY FOR FOREST CONSERVATION OBLIGATION WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR 28.26 ACRES OF RETENTION = \$ 123,100.00 PLUS (+) 2.5 ACRES OF REFORESTATION = 108,900 SQ. FT. = 1,650 SQ. FT. (CREDIT) = 107,250 SQ. FT. = \$ 32,175.00 FOR A TOTAL FOREST SURETY AMOUNT OF \$ 155,275.00.

DUE TO THE ADDITION OF SHEET 37A THE PLAN SET CONTAINS 37 SHEETS.

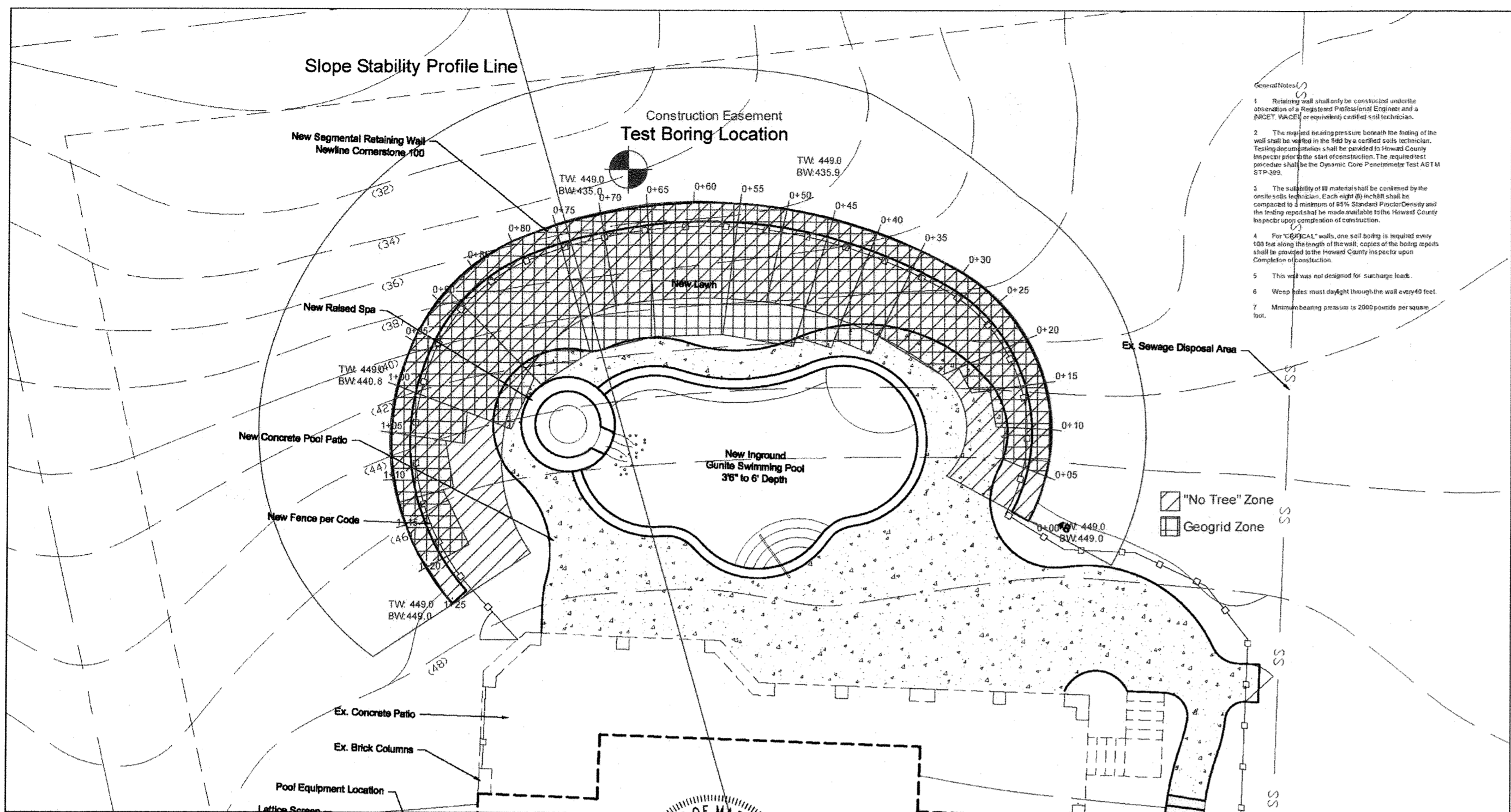
NO.	DATE	REVISIONS
A RESUBDIVISION OF PARCEL 275 (LOT 1) AND PARCEL 484 (LOT 1) AND SUBDIVISION OF PARCEL 274		

PROJECT NAME: **PINDELL WOODS**

LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5TH ELECTION DISTRICT TAX MAP # 41, GRID 2, 3, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND.

TITLE	OWNERS
FINAL LANDSCAPE TABULATION AND DETAILS 8-01-15 P-01-06 F-01-89	CLARENCE AND MARTHA CARWELL 706 PINDELL SCHOOL ROAD FULTON, MD. 20789 H Y REAL ESTATE JOINT VENTURE 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. 10740 BIRMINGHAM WAY WOODSTOCK, MD 21163 TEL. (410) 465-7803 FAX. (410) 465-3846	MARSHALL P. TULIN 1821 ROCKVILLE PIKE, SUITE 300 ROCKVILLE, MD. 20852
DES.: JL/DCW/AVG	DEVELOPER: MOUNT VIEW LLC 6258 CARDINAL LA. COLUMBIA, MD. 21044
DRW.: AVG/DTA/JNC	SCALE: AS SHOWN
CHK.: D.C.W.	DATE: 03/04/01

SHEET 37 OF 38



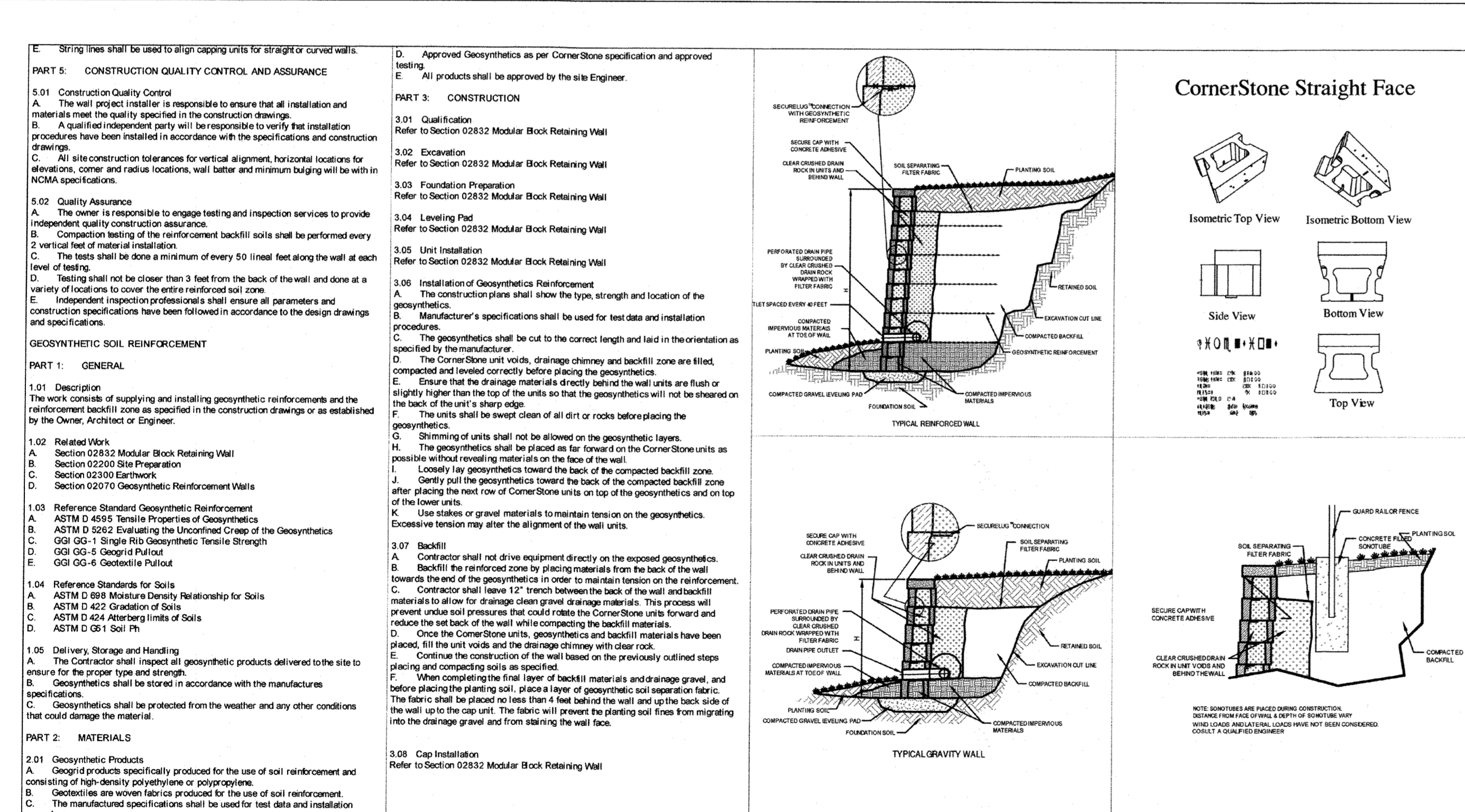
Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No.: 55429
Expiration Date: 12/15/2021

Prepared for:
Mr. Dan Murphy
Rhine Landscape
2285 Old Frederick Road
Sykesville, Maryland 21784

Title: Plan View
Smith Residence
7028 Meandering Stream Way,
Fulton Maryland

Designed By: B.J.L. **Date:** 7/29/20
Reviewed By: G.M.N. **Project No.:** 120-046
Drawn By: B.J.L. **Sheet No.:** 1 of 4
Scale: 1"=10'



Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No.: 55429
Expiration Date: 12/15/2021

Prepared for:
Mr. Dan Murphy
Rhine Landscape
2285 Old Frederick Road
Sykesville, Maryland 21784

Title: Specification (Cont.)
Smith Residence
7028 Meandering Stream Way,
Fulton Maryland

Designed By: B.J.L. **Date:** 7/29/20
Reviewed By: G.M.N. **Project No.:** 120-046
Drawn By: B.J.L. **Sheet No.:** 3 of 4
Scale: 1"=10'

APPROVED - DEPARTMENT OF PUBLIC WORKS

APPROVED - DEPARTMENT OF PLANNING AND ZONING

APPROVED - DEPARTMENT OF LAND DEVELOPMENT

APPROVED - CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED - CHIEF, BUREAU OF HIGHWAYS

APPROVED - CHIEF, DIVISION OF PLANNING AND ZONING

APPROVED - CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED - CHIEF, DEVELOPMENT ENGINEERING DIVISION



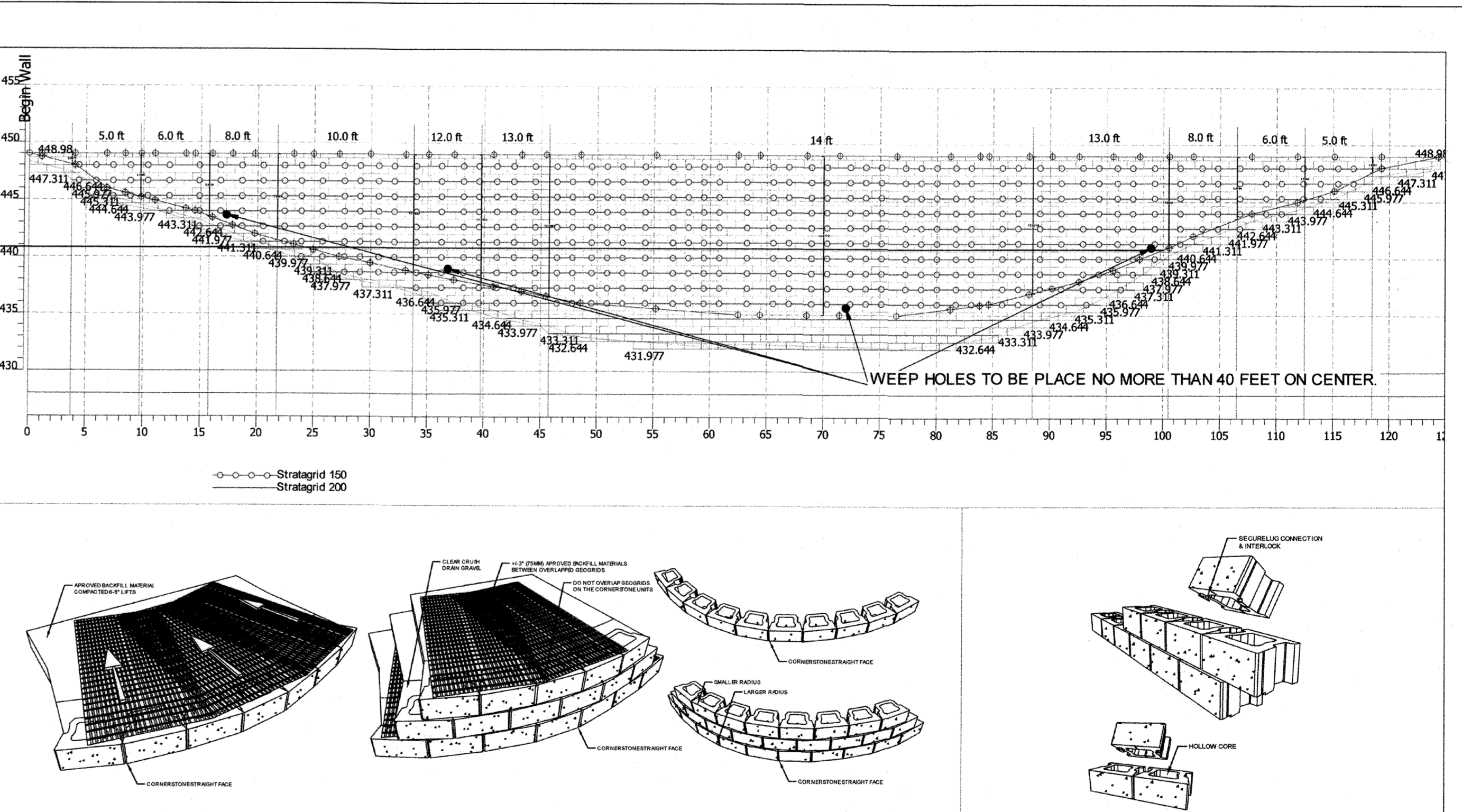
Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No.: 55429
Expiration Date: 12/15/2021

Prepared for:
Mr. Dan Murphy
Rhine Landscape
2285 Old Frederick Road
Sykesville, Maryland 21784

Title: Specifications
Smith Residence
7028 Meandering Stream Way,
Fulton Maryland

Designed By: B.J.L. **Date:** 7/29/20
Reviewed By: G.M.N. **Project No.:** 120-046
Drawn By: B.J.L. **Sheet No.:** 2 of 4
Scale: 1"=8'



Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No.: 55429
Expiration Date: 12/15/2021

Prepared for:
Mr. Dan Murphy
Rhine Landscape
2285 Old Frederick Road
Sykesville, Maryland 21784

Title: Wall Elevation
Smith Residence
7028 Meandering Stream Way,
Fulton Maryland

Designed By: B.J.L. **Date:** 7/29/20
Reviewed By: G.M.N. **Project No.:** 120-046
Drawn By: B.J.L. **Sheet No.:** 4 of 4
Scale: 1"=8'

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I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

55429
Expiration Date: 12/15/2021

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CIVIL ENGINEER

CMIS ASSOCIATES LLC
4925 Ellis Lane
Ellicott City, Maryland 21043
Tel: (410) 988-2436
Contact: Geoffrey L. Omiero, PE
www.cmis-engineering.net

Added Sheet 38 & Added Lot 32
Site Improvements - Sheet 39 to
pool deck and 3'x8' deck landing

REV. NO. 1
DATE 09/05/2020
REVISIONS PRIOR TO APPROVAL

PINDELL WOODS
REVISED FINAL ROAD CONSTRUCTION PLAN
LOT 32 SITE IMPROVEMENTS - STRUCTURAL
LOTS 1 THRU 47 AND PRESERVATION PARCELS A THRU F
5TH ELECTION DISTRICT TAX MAP #41 GRID 2, 3, 8 AND 9
PARCEL 275 (LOT 1), PARCEL 484 (LOT 1) AND PARCEL 274
HOWARD COUNTY, MARYLAND

APPROVED - DEPARTMENT OF PUBLIC WORKS

APPROVED - DEPARTMENT OF PLANNING AND ZONING

APPROVED - DEPARTMENT OF LAND DEVELOPMENT

APPROVED - CHIEF, DEVELOPMENT ENGINEERING DIVISION

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APPROVED - CHIEF, DEVELOPMENT ENGINEERING DIVISION

PLAN NO.:
SCALE: NO SCALE
DATE: 08/05/2020
SHEET 38 OF 38
FILE NO: 20-032

9/16/2020
10/15/20
9.30.20

F-01-089