





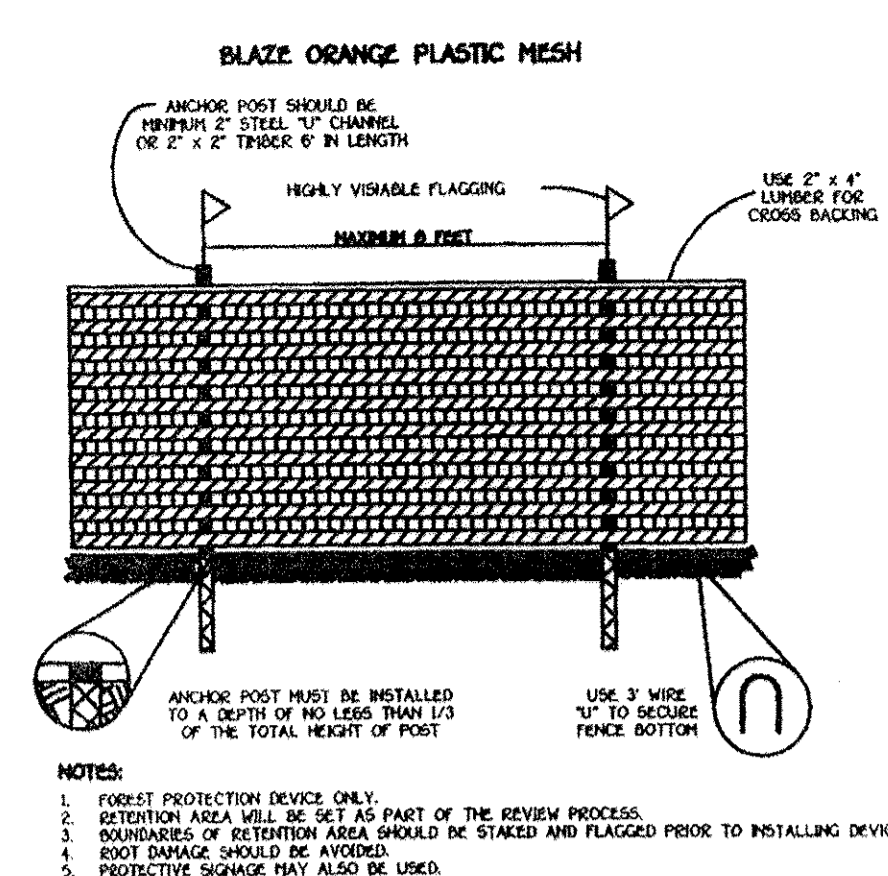
### SOILS LEGEND

SOIL	NAME	CLASS
Co	Codorus silt loam	C
GIB2	Glenns loam, 3 to 8 percent slopes, moderately eroded	B
GIC2	Glenns loam, 8 to 15 percent slopes, moderately eroded	B
GIB2	Glenns silt loam, 3 to 8 percent slopes, moderately eroded	C
MIC3	Minor loam, 8 to 15 percent slopes, severely eroded	B
MID3	Minor loam, 15 to 25 percent slopes, severely eroded	B
GIB2	Glenns loam, 15 to 25 percent slopes, moderately eroded	B

NOTES:  
 \* Hydric soils and/or contains hydric inclusions  
 \*\* May contain hydric inclusions  
 † Generally only within 100-year floodplain areas

REV. NO.	DATE	BY	REVISION
1	2006-09-06	DRS/smh	REVISED STORMWATER MANAGEMENT AND DRAINAGE UTILITY EASEMENT NOTE.

PURPOSE: TO REPLACE THE PREVIOUSLY APPROVED BIO-RETENTION FACILITY WITH A DRYSWALE WITH CHECK DAMS AND UNDERDRAIN.

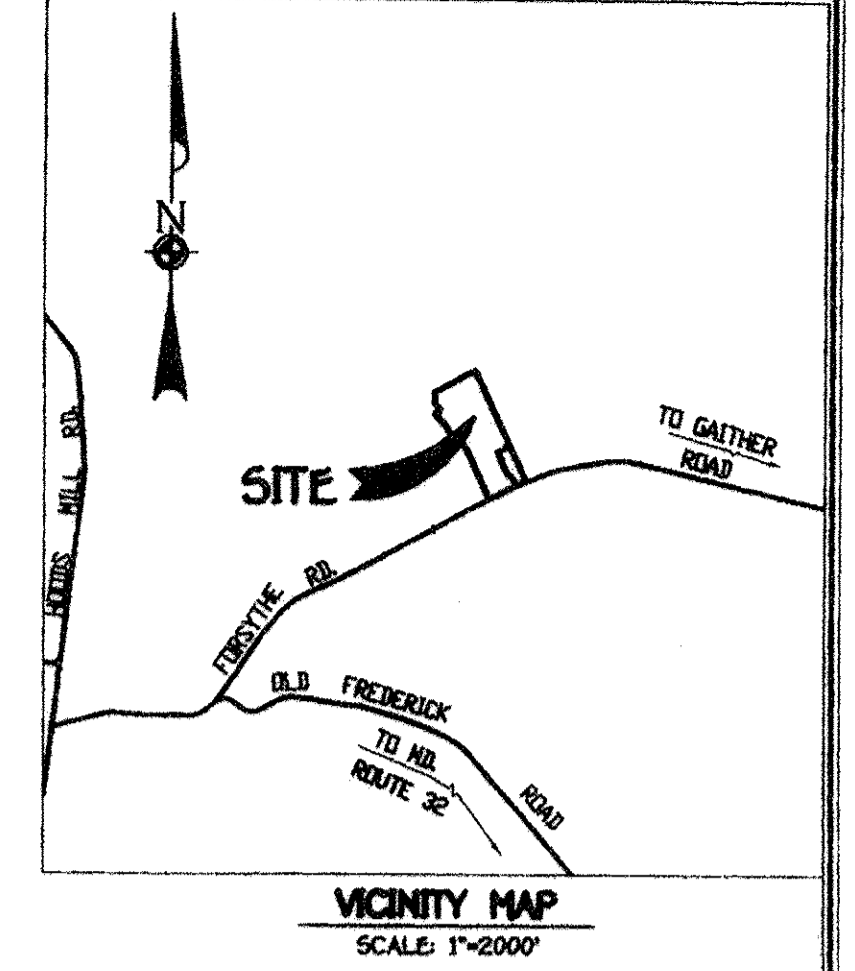


### WETLAND DATA

KEY	COMMUNITY TYPE	DOMINANT VEGETATION	PRIORITY ACREAGE
A	PUB3H	JUNCUS EFFUSUS, TYPHA LATIFOLIA, SCRIPUS CYPERINUS	1.0 +/-
	PEM1A	BOEHMERIA CYLINDRICA, LUDWIGIA ALTERNIFOLIA, SALIX NIGRA, SAMBUCA CANADENSIS, CYPERUS STYGOSUS, JUNCUS EFFUSUS, FESTUCA PRATENSE, CORNUS AMOMUM	
	ROL1M		

### FCP NOTES

- ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
- FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
- LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
- NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
- TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
- PERMANENT SIGNAGE SHALL BE PLACED 50 - 100' APART ALONG THE BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.
- FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.102 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL HAVE BEEN MET BY THE PLACEMENT OF .309 ACRES OF FOREST RETENTION INTO AN EASEMENT AREA.



- ### GENERAL NOTES:
- Subject Property Zoned RC-DEO.
  - Property Information:  
 Tax Map No. = 9  
 Tax Parcel No. = 69  
 Grid No. = 1  
 Gross Area = 13.354 Ac.  
 Recording Data = Liber 624, Folio 671.  
 Election District = Fourth
  - Property Will Be Served By Private Water And Sewer.
  - Existing Dwelling On Lot 2 Is To Remain.
  - Denotes Proposed Dwelling.
  - Non-Critical 100 Year Floodplain Report Was Prepared By Fisher, Collins & Carter, Inc. February, 2001

- ### FSO NOTES:
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
  - SURROUNDING LAND USE IS LOW DENSITY RESIDENTIAL DEVELOPMENT.

### FOREST CONSERVATION WORKSHEET

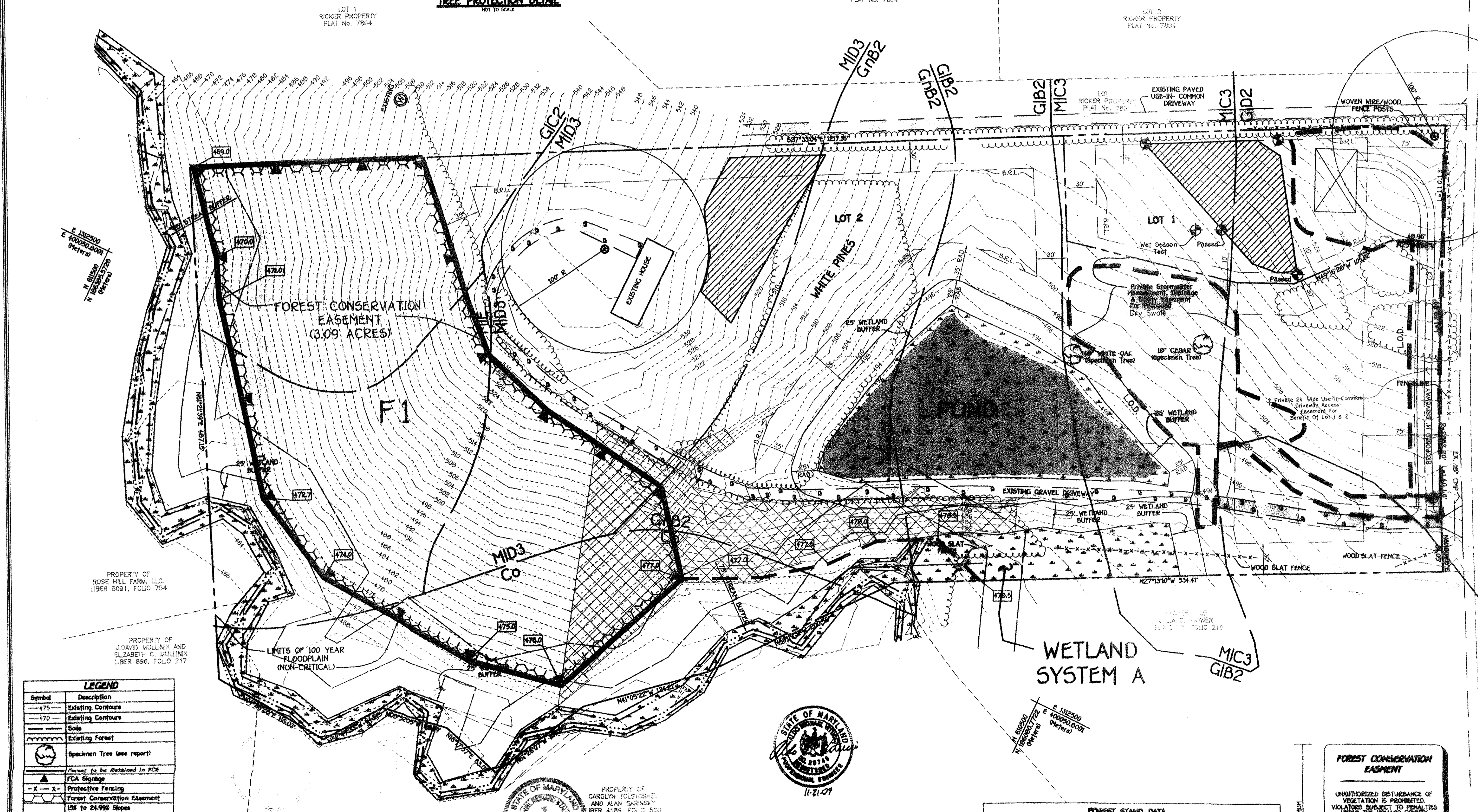
PROJECT NAME: GROSS PROPERTY Lots 1 & 2 DATE: 3/29/07

BASIC SITE DATA	
GROSS SITE AREA:	13.35 ACRES
AREA WITHIN 100 YEAR FLOODPLAIN:	1.89
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL:	---
AREA WITHIN OVERHEAD TRANSMISSION LINES:	---
NET TRACT AREA INTA:	11.46
LAND USE CATEGORY:	RC-DEO
INFORMATION FOR CALCULATIONS	
NET TRACT AREA INTA:	11.46
FOREST CONSERVATION THRESHOLD (25% x INTA):	2.87
AFFORESTATION THRESHOLD (25% x INTA):	2.87
EXISTING FOREST ON INTA:	3.5
EXISTING FOREST ABOVE CONSERVATION THRESHOLD:	0.0
BREAK-EVEN POINT OF APPLICATION:	3.0
FOREST TO BE CLEARED:	0
FOREST TO BE RETAINED:	3.09

IF YOU ARE RETAINING FOREST AT OR ABOVE THE BREAK EVEN POINT, NO PLANTING IS REQUIRED.

### SITE DATA

GROSS AREA:	13.4 ACRES
100 YR. FLOODPLAIN:	1.9 ACRES
NET TRACT AREA:	11.5 ACRES
EXISTING FOREST:	3.5 ACRES
AFFORESTATION THRESHOLD:	2.9 ACRES
CONSERVATION THRESHOLD:	2.9 ACRES
BREAK-EVEN POINT:	3.0 ACRES
PROPOSED FCE:	3.09 ACRES



### LEGEND

Symbol	Description
-475-	Existing Contours
-470-	Existing Contours
Soils	Soils
Existing Forest	Existing Forest
Specimen Tree (see report)	Specimen Tree (see report)
Forest to be Retained in FCP	Forest to be Retained in FCP
FCA Signage	FCA Signage
-X-X-	Protective Fencing
Forest Conservation Easement	Forest Conservation Easement
15% to 24.9% Slopes	15% to 24.9% Slopes
25% or Greater Slopes	25% or Greater Slopes

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 30715 Base Planning

**Eco-Science Professionals, Inc.**  
 MD ENR Qualified Professional  
 USACE Wetland Designer  
 Certification # MD03900000448

**D.R.S. & ASSOCIATES**  
 LAND DESIGN CONSULTANTS  
 22 WINTERS STREET  
 WESTMINSTER, MARYLAND 21157  
 410-848-4060 410-876-8040  
 FAX 410-876-7603

APPROVED DEPARTMENT OF PLANNING AND ZONING  
 Kat Sheehan, Director  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 3/9/07  
 [Signature]  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 3/16/07

### FOREST STAND DATA

KEY	COMMUNITY TYPE	ACREAGE	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
F1	POPLAR	3.09	LINDODRUM TULIPERA, PENNSYLVANICA, ACER RUBRUM, QUERUS ALBA, LINERA BAZON	GOOD	3.09

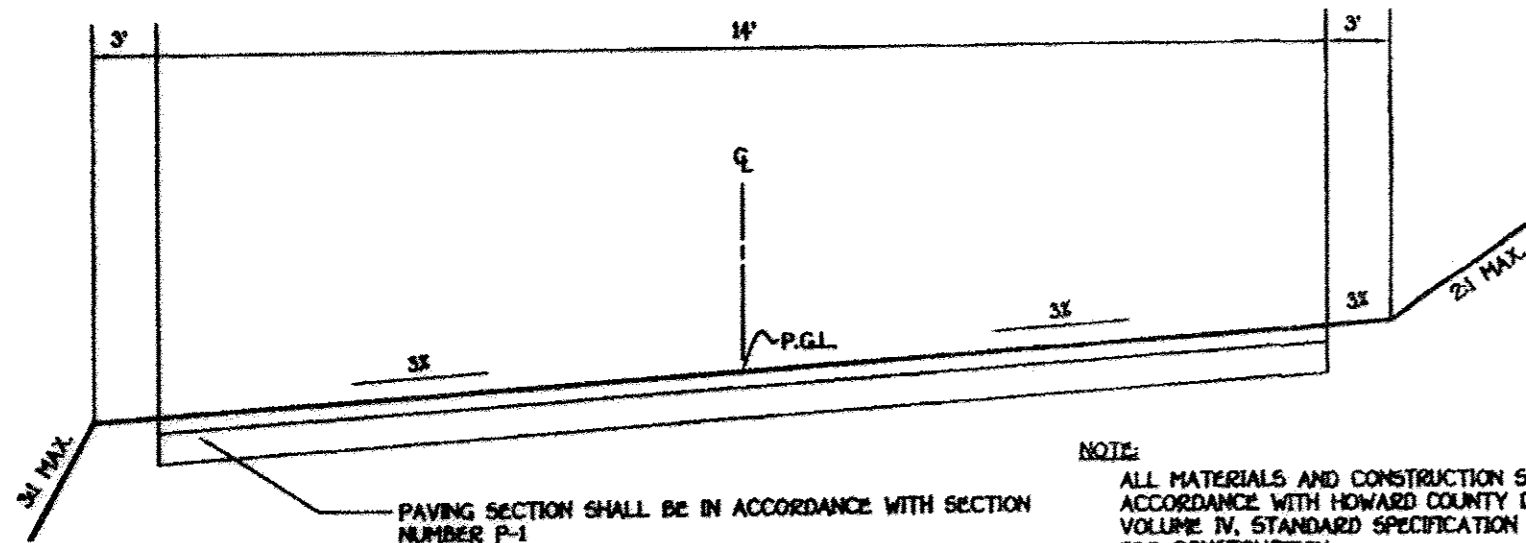
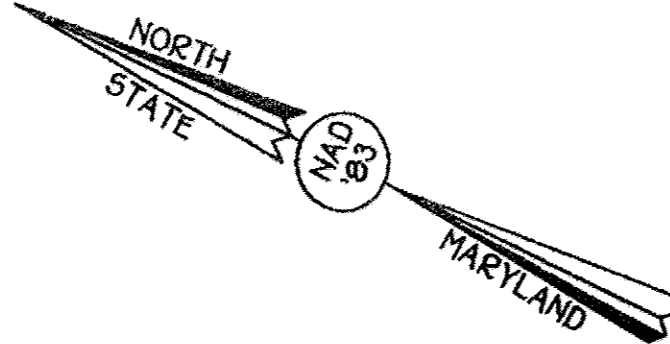
SEE ACCOMPANYING REPORT FOR COMPLETE STAND DESCRIPTIONS

**FOREST CONSERVATION EASEMENT**  
 UNAUTHORIZED DISTURBANCE OF VEGETATION IS PROHIBITED. VIOLATORS SUBJECT TO PENALTIES UNDER THE HOWARD COUNTY FOREST CONSERVATION ACT OF 1992.  
 TREES FOR YOUR FUTURE

**REVISED**  
 Wetland Delineation,  
 Forest Stand Delineation &  
 Forest Conservation Plan  
**GROSS PROPERTY**  
 LOTS 1 And 2  
 TAX MAP No. 9 GRID 1 PARCEL No. 69  
 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 DATE: NOVEMBER 10, 2002  
 SHEET 2 OF 4



XXXXXX DENOTES SLOPES 25% OR GREATER

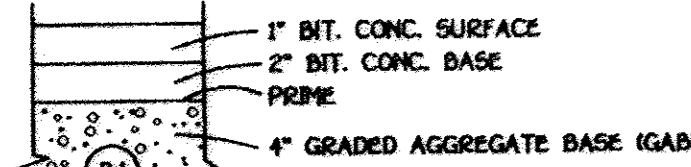


TYPICAL RESIDENTIAL DRIVEWAY NO SCALE

NOTE: ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

DRIVEWAY INFORMATION CHART

ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	STATION LIMITS	PAVING SECTION
DRIVEWAY	PRIVATE DRIVEWAY	15 MPH	RC-DEO	0+00 TO 3+95.10	P-1



P-1 PAVING SECTION FOR DRIVEWAY NO SCALE

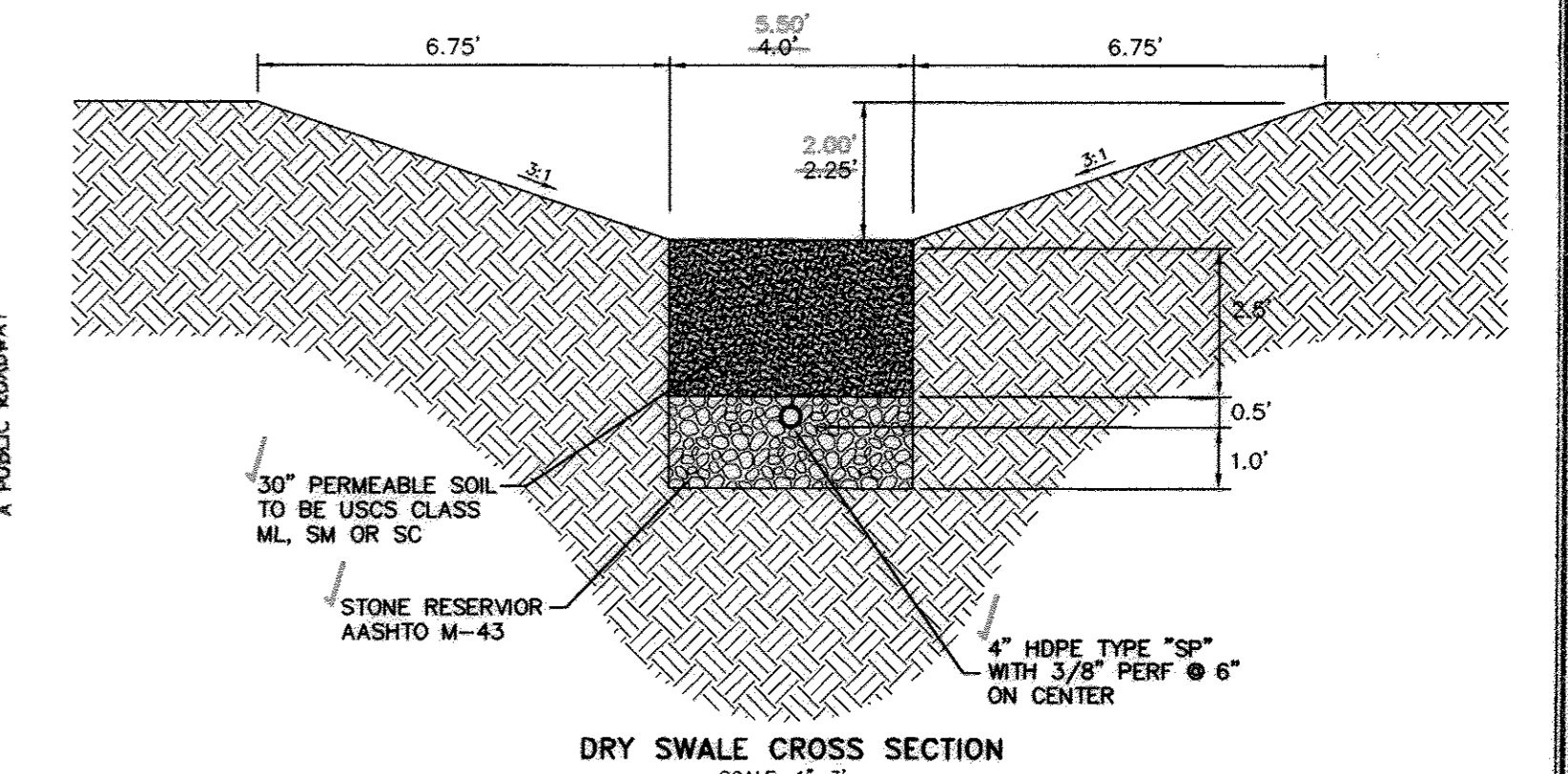
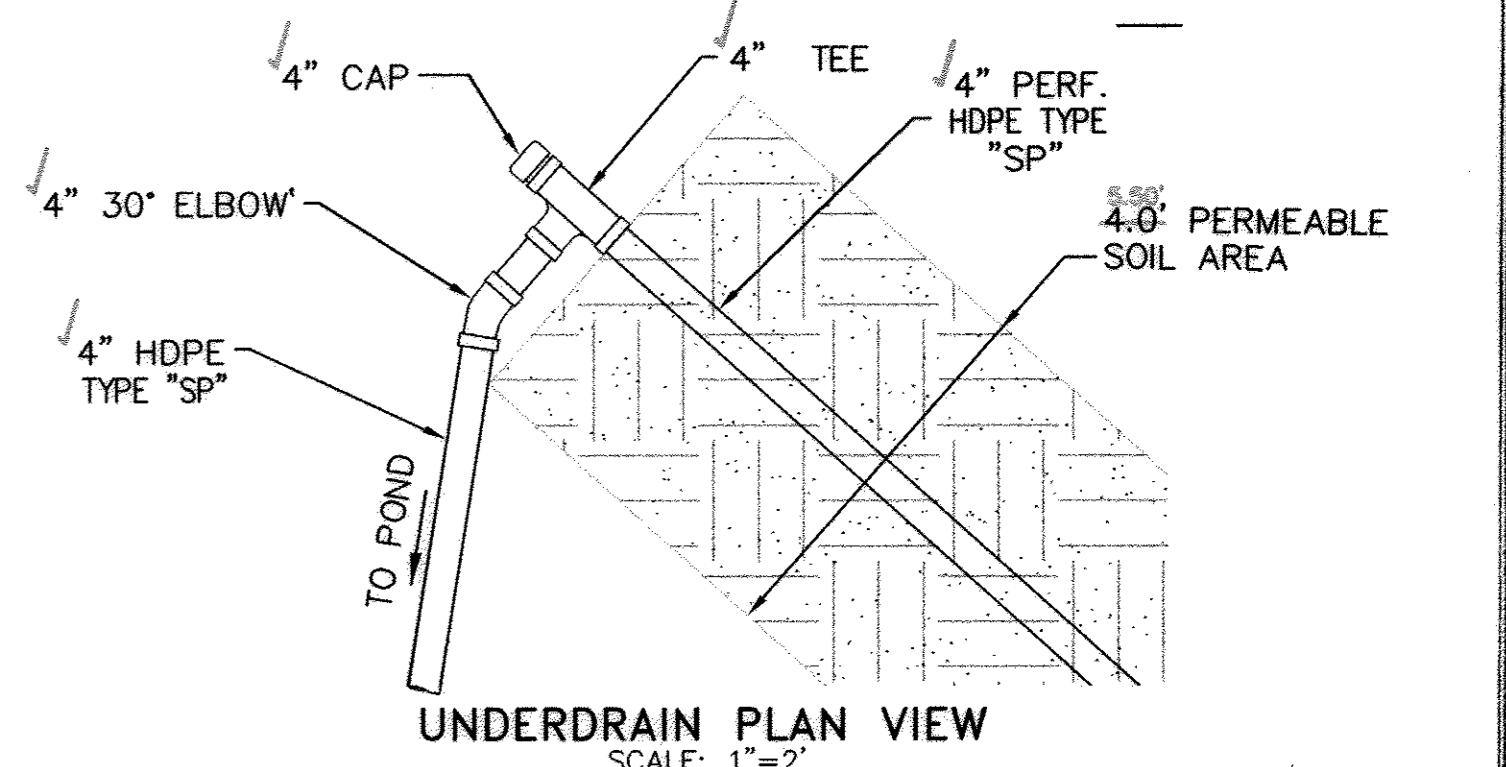
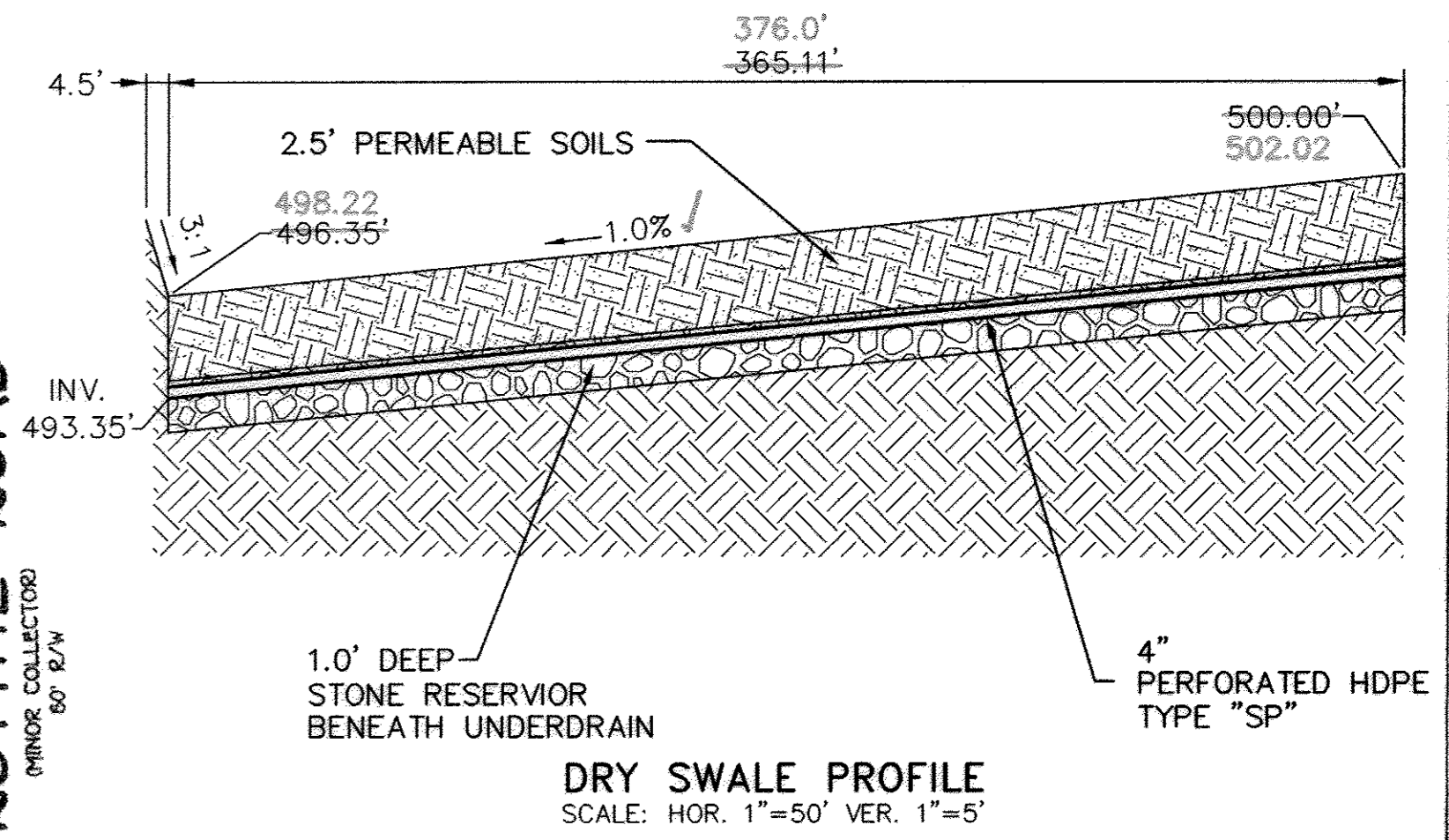
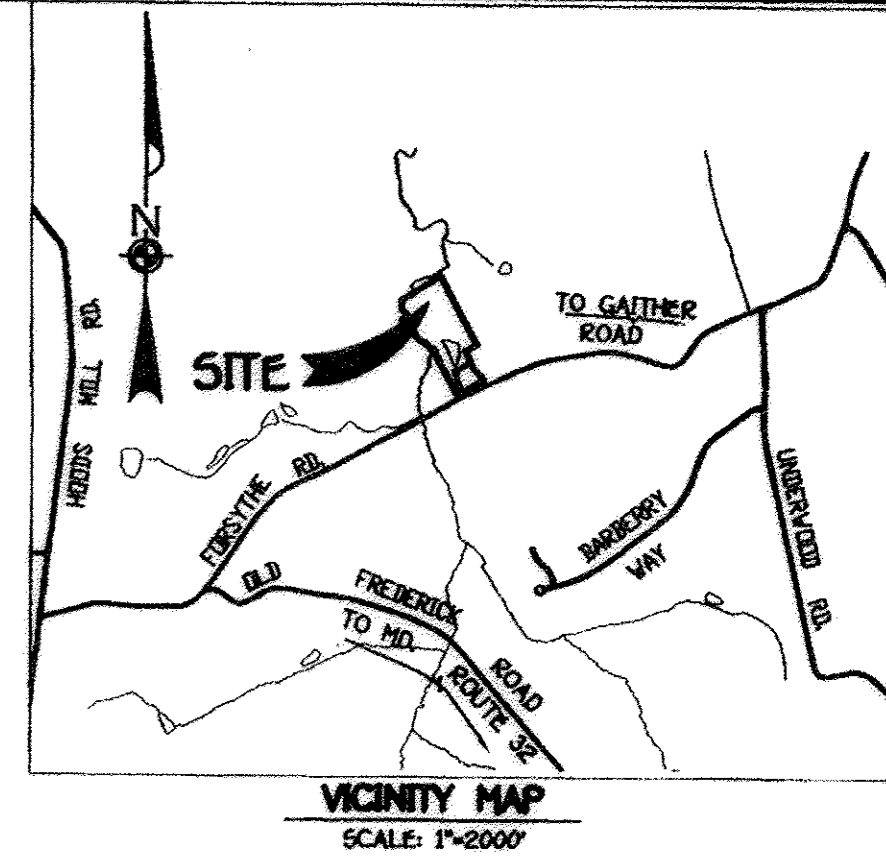
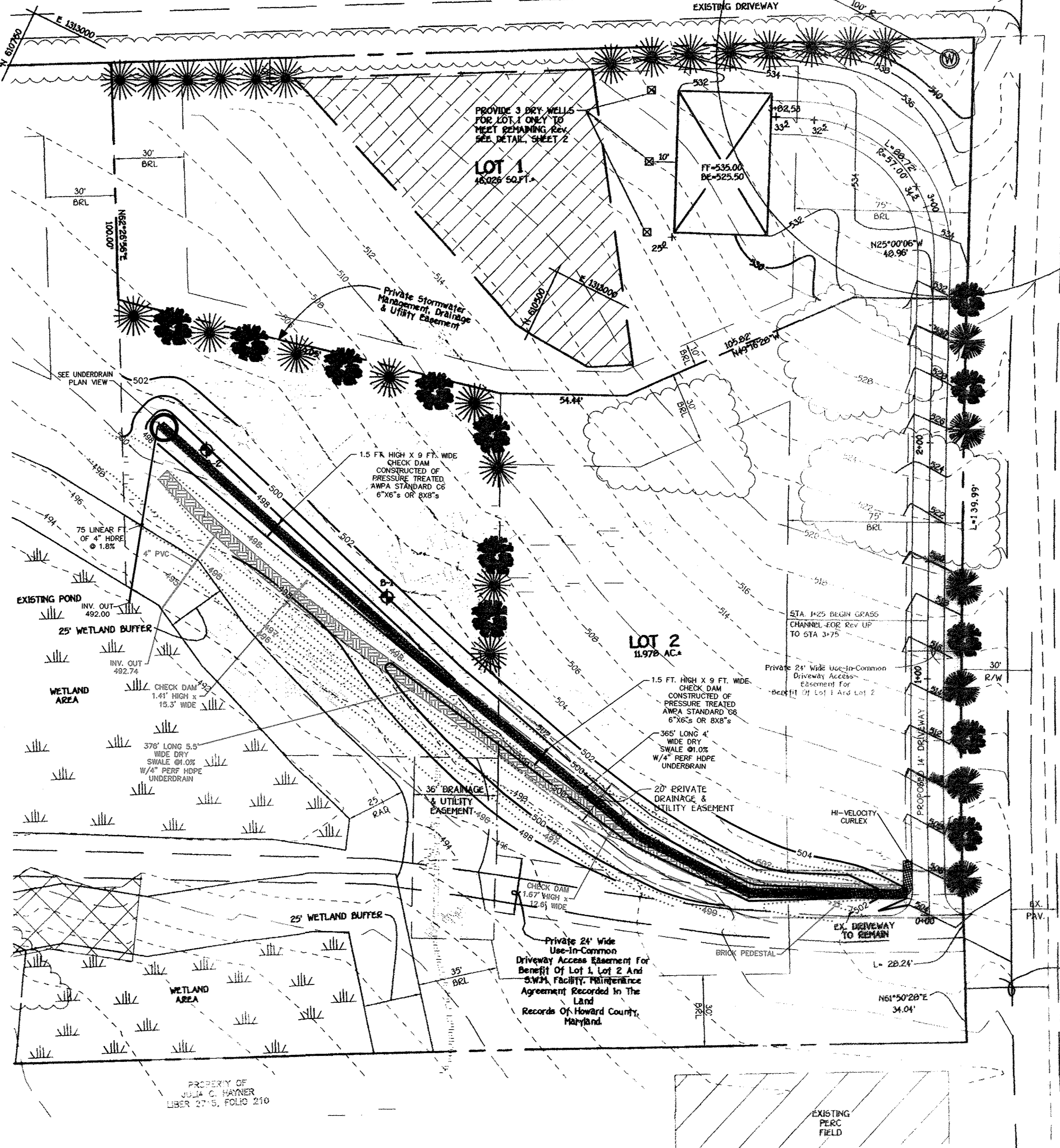
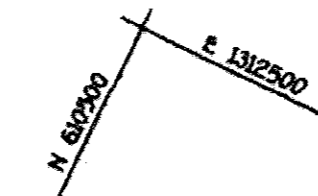
REV. NO.	DATE	BY	REVISION
1	2006-09-06	DRS/smh	REMOVED PROPOSED BIO-RETENTION FACILITY AND ASSOCIATED GRADING, NOTES AND DETAILS. ADDED DRYSWALE, CHECK DAMS, UNDERDRAIN, PROFILE AND CROSS SECTION.
2	2010-03-16	DRS/jfs	UPDATE WITH AS-BUILT INFORMATION
3	2010-06-23	DRS/smh	UPDATED AS-BUILT INFORMATION PER FIELD REVISIONS
4	2010-08-30	DRS/smh	UPDATED AS-BUILT INFORMATION PER FIELD REVISIONS
5	2013-04-11	DRS/jfs	UPDATED AS-BUILT INFORMATION PER FIELD REVISIONS

PURPOSE: TO REPLACE THE PREVIOUSLY APPROVED BIO-RETENTION FACILITY WITH A DRYSWALE WITH CHECK DAMS AND UNDERDRAIN.

**D.R.S. & ASSOCIATES**  
 LAND DESIGN CONSULTANTS  
 52 WINTERS STREET  
 WESTMINSTER, MARYLAND 21157  
 410-848-4060 410-876-6040  
 FAX 410-876-7603



FISHER, COLLINS & CARTER, INC.  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10222 BALTIMORE NATIONAL FREE  
 BLISSVILLE CITY, MARYLAND 21034  
 410-661-2255



**As Built Certification**  
 I hereby certify that in accordance with Section 5.4.2.B.3, Volume I and Section 1100.03, Volume IV of the Design Manual, the facility shown on Revised Final S.W.M./ Driveway Construction Plan Gross Property was constructed to the lines shown in red marked as built.  
 Signed: *Daniel R. Selby* 2013-05-27 Date  
 License No.: 10735 Expiration Date: 2014-01-18



**OWNER**  
 ANGUS ROY GROSS AND ADRIENNE R. GROSS  
 13920 FORTSYTHE ROAD  
 SYKESVILLE, MARYLAND 21784-5613

**DEVELOPER**  
 DAN RICKER  
 13920 FORTSYTHE ROAD  
 SYKESVILLE, MARYLAND 21784

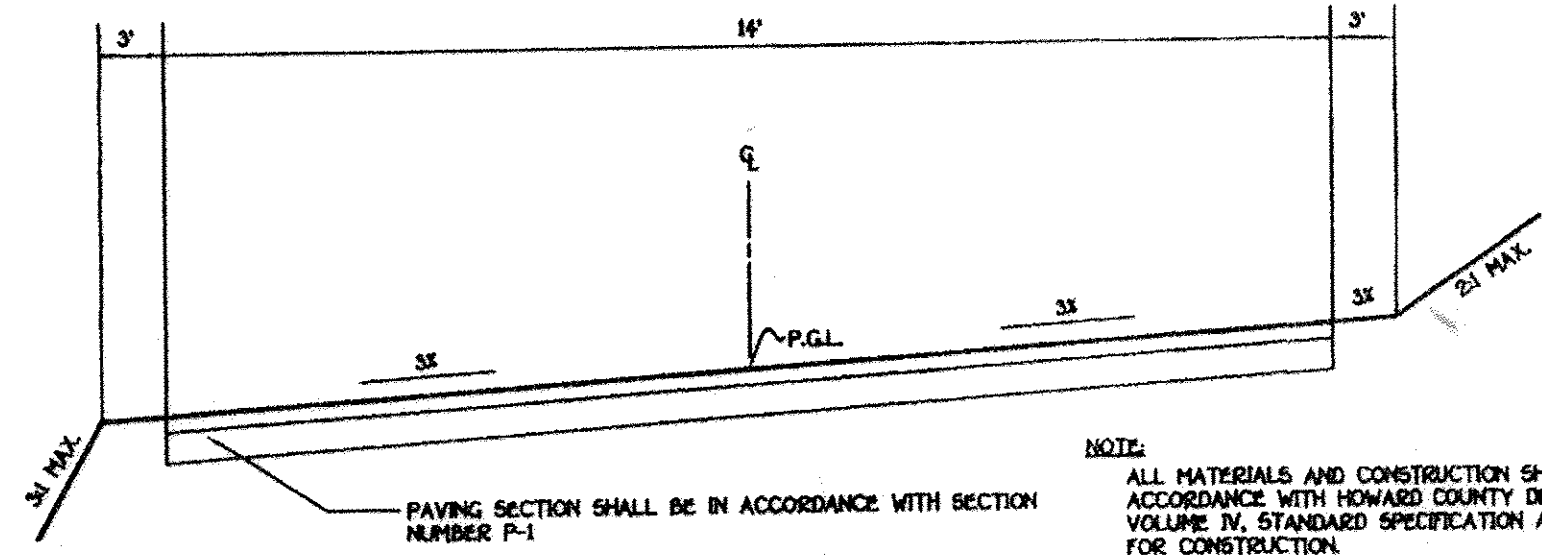
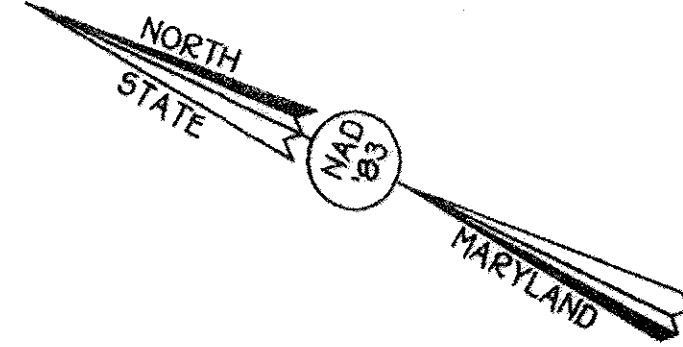
**As-Built REVISED**  
**FINAL S.W.M. / DRIVEWAY CONSTRUCTION PLAN**  
**GROSS PROPERTY**  
 LOTS 1 AND 2  
 ZONED RC-DEO  
 TAX MAP No. 9 GRID No. 1 PARCEL No. 69  
 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 Scale: 1" = 30'  
 DATE: NOVEMBER 18, 2002  
 SHEET 1 OF 2 **F 01-156**



*Kat Sheppard/Boch* 8/09/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*M. J. ...* 8/9/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

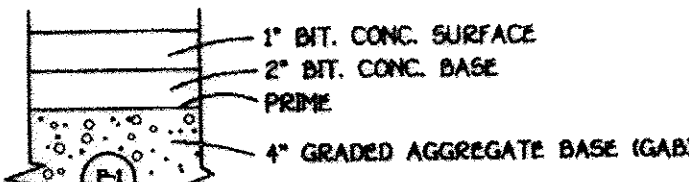
DENOTES SLOPES 25% OR GREATER



**TYPICAL RESIDENTIAL DRIVEWAY**  
NO SCALE

**DRIVEWAY INFORMATION CHART**

ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	STATION LIMITS	PAVING SECTION
DRIVEWAY	PRIVATE DRIVEWAY	15 MPH	RC-DEO	0+00 TO 3+28.10	P-1

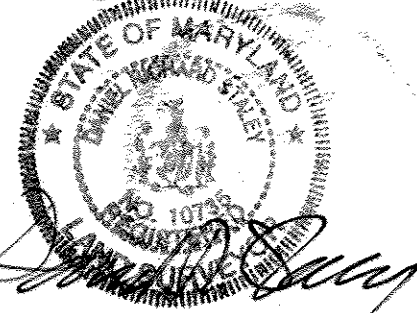


**P-1 PAVING SECTION FOR DRIVEWAY**  
NO SCALE

REV. NO.	DATE	BY	REVISION
1	2006-09-06	DRS/smh	REMOVED PROPOSED BIO-RETENTION FACILITY AND ASSOCIATED GRADING, NOTES AND DETAILS. ADDED DRYSWALE, CHECK DAMS, UNDERDRAIN, PROFILE AND CROSS SECTION.

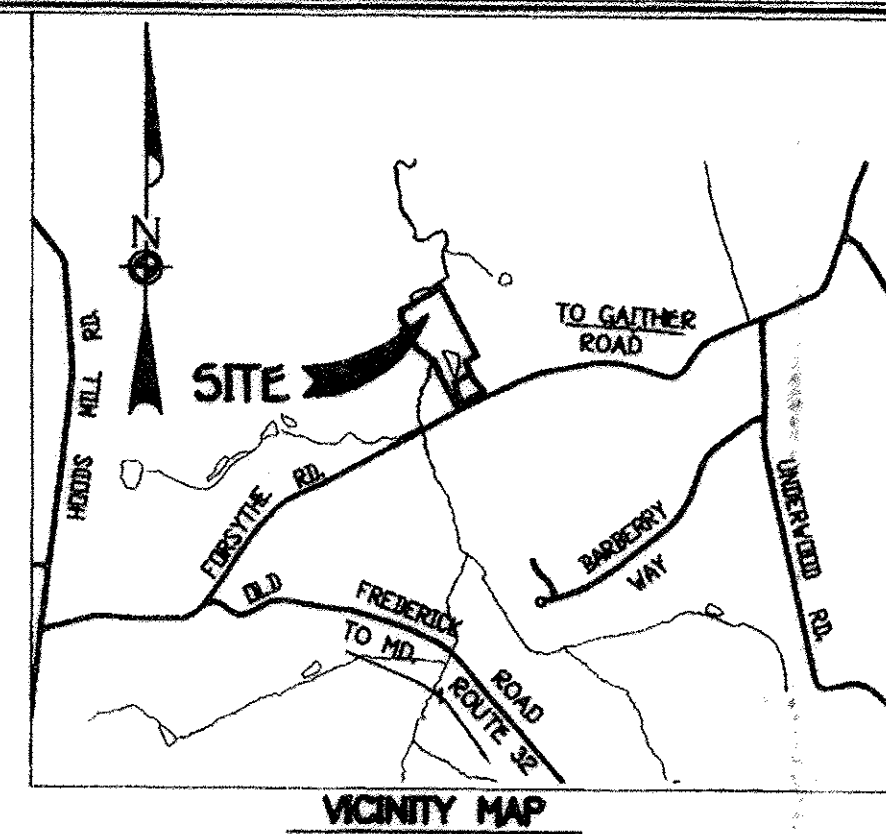
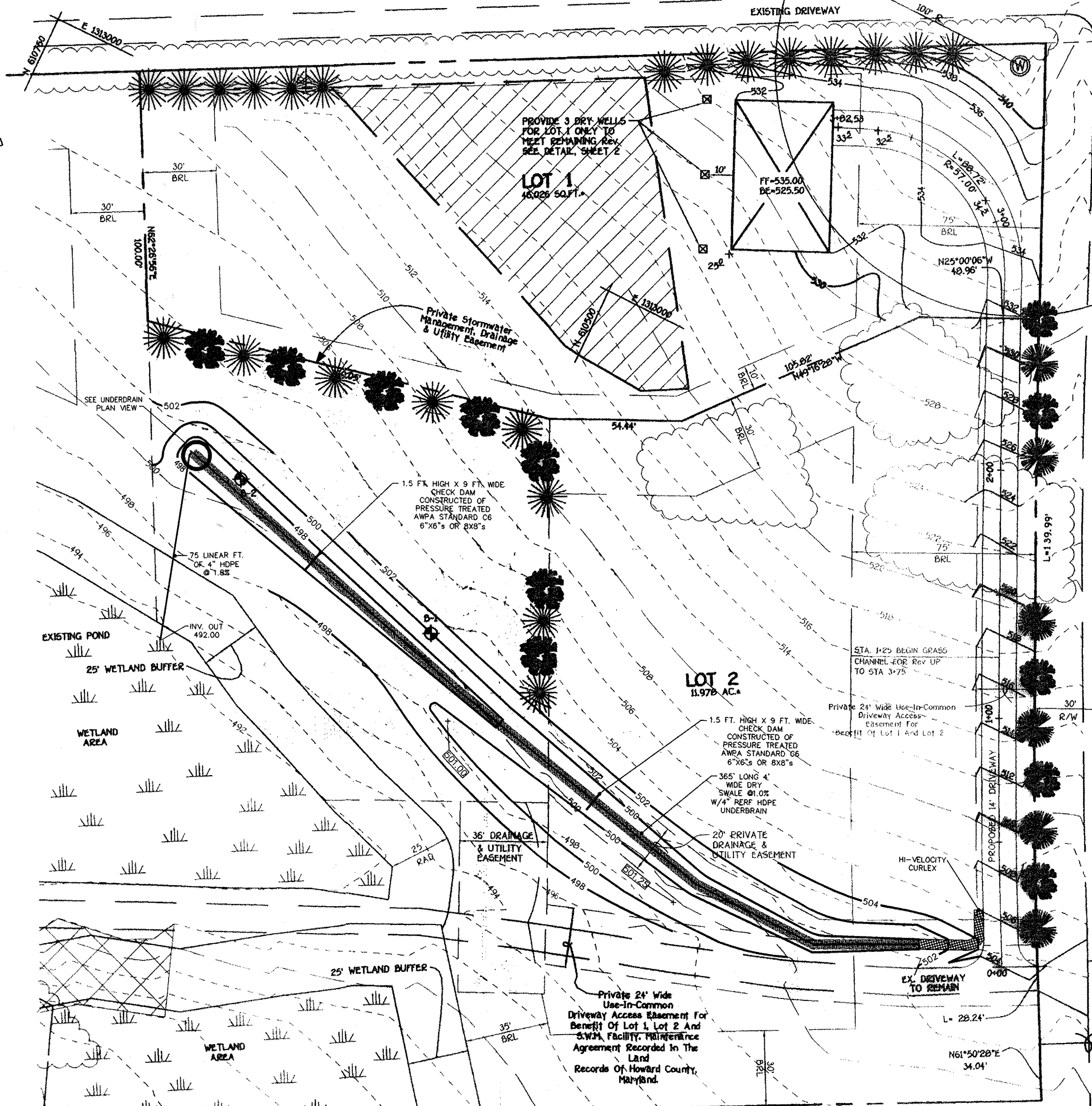
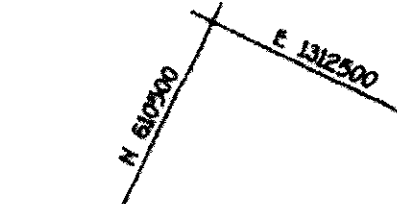
PURPOSE: TO REPLACE THE PREVIOUSLY APPROVED BIO-RETENTION FACILITY WITH A DRYSWALE WITH CHECK DAMS AND UNDERDRAIN.

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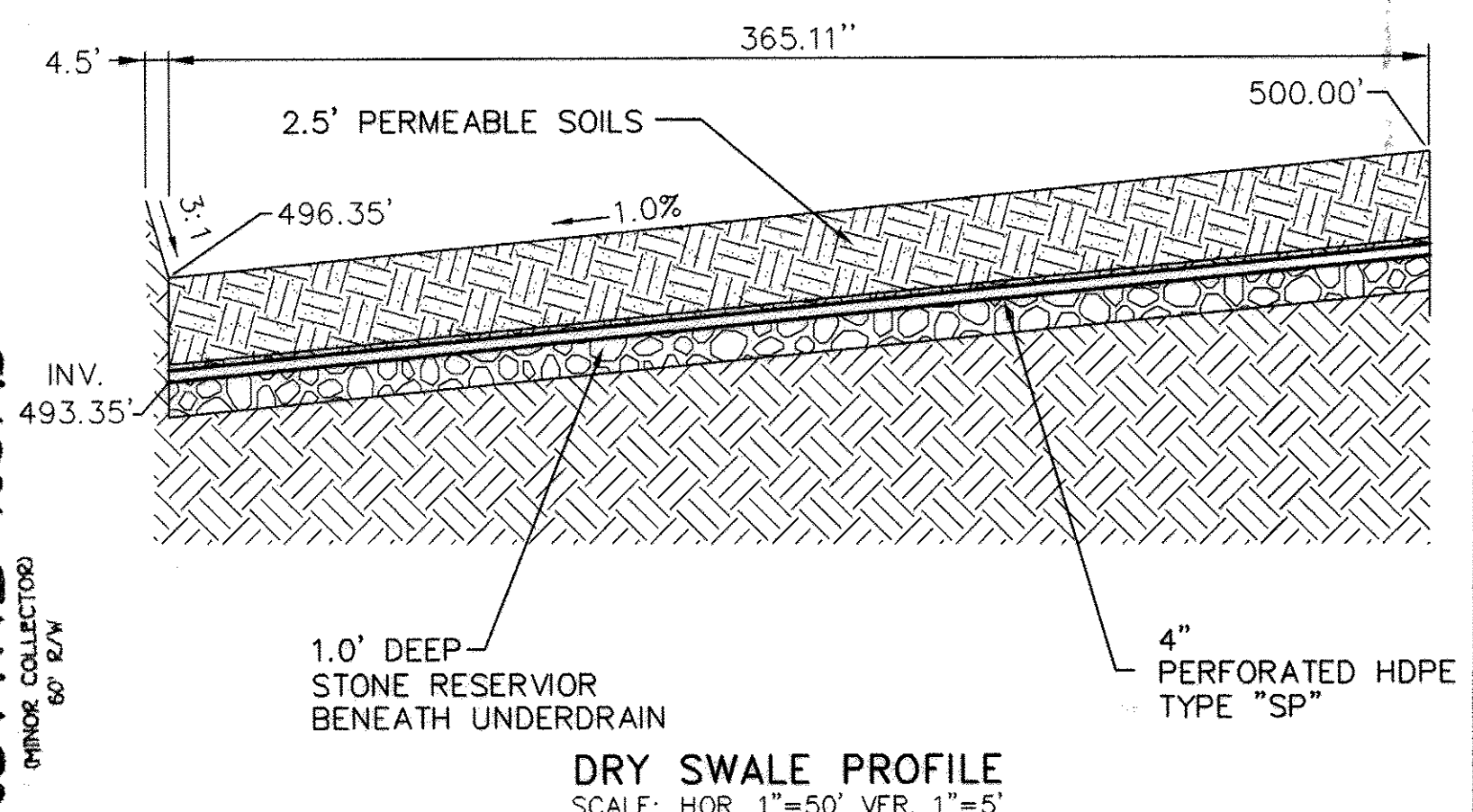


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 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL FREE  
 ELKORT CITY, MARYLAND 20627  
 410-461-2959

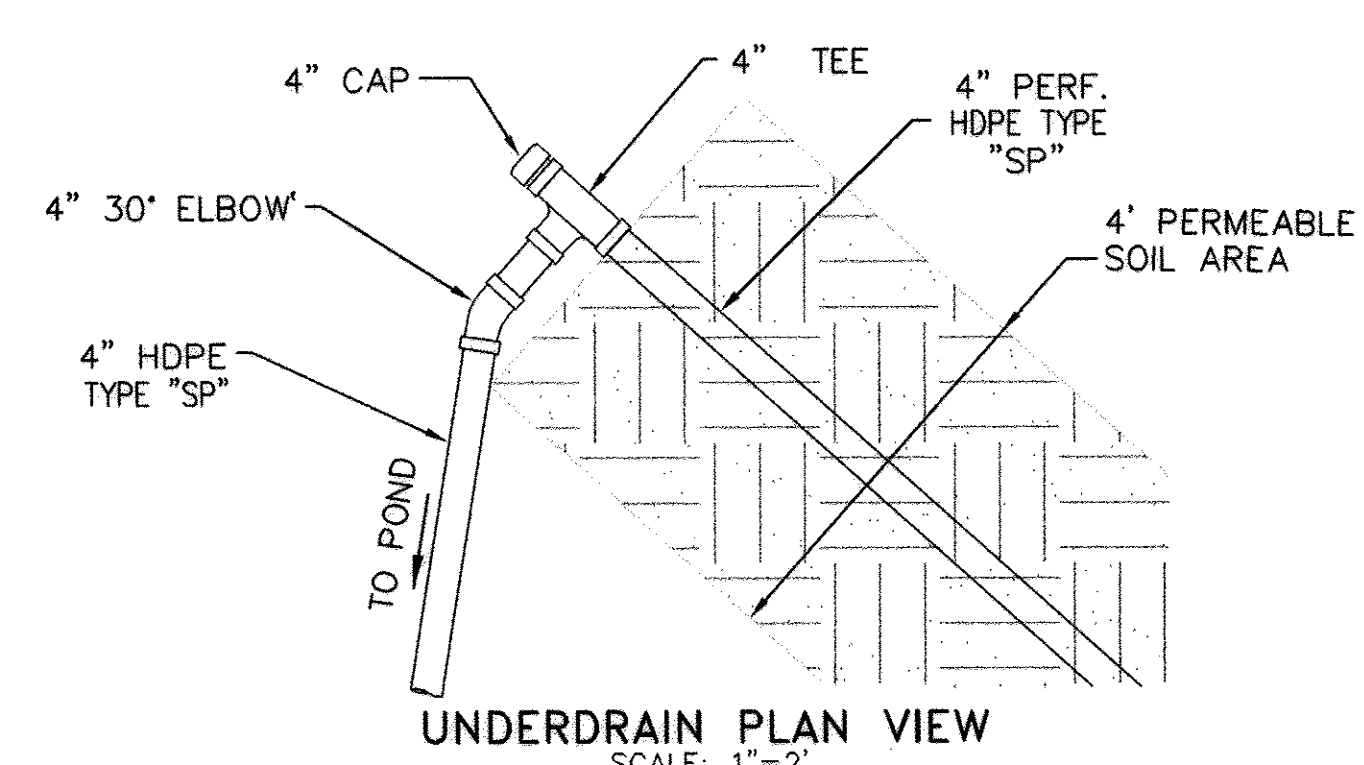
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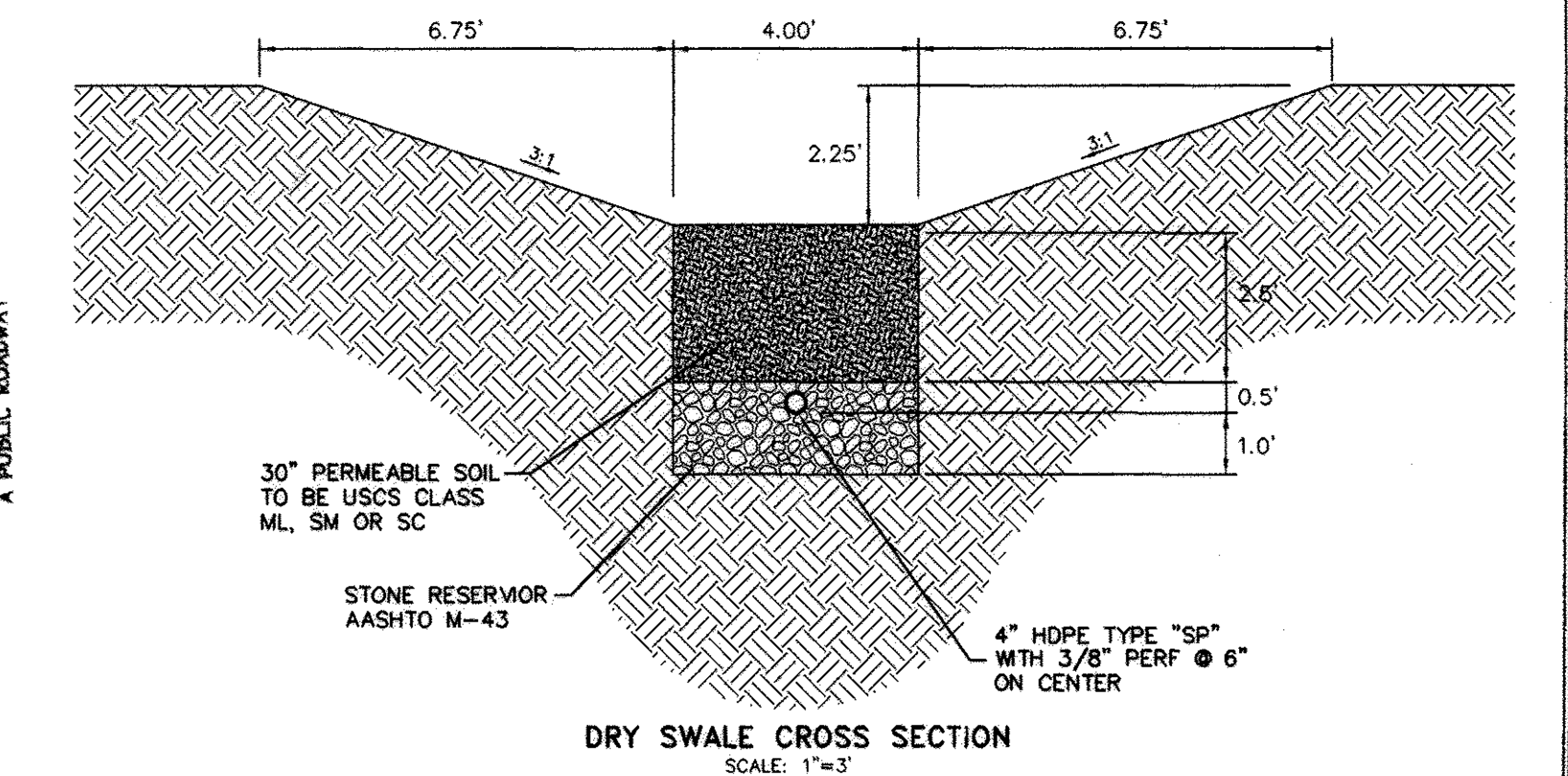
**VICINITY MAP**  
SCALE: 1"=2000'



**DRY SWALE PROFILE**  
SCALE: HOR. 1"=50' VER. 1"=5'



**UNDERDRAIN PLAN VIEW**  
SCALE: 1"=2'



**DRY SWALE CROSS SECTION**  
SCALE: 1"=3'

**REVISED**  
**FINAL S.W.M. / DRIVEWAY**  
**CONSTRUCTION PLAN**  
**GROSS PROPERTY**  
 LOTS 1 AND 2  
 ZONED RC-DEO  
 TAX MAP No. 9 GRID No. 1 PARCEL No. 69  
 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 Scale: 1" = 30'  
 DATE: NOVEMBER 10, 2002  
 SHEET 3 OF 4

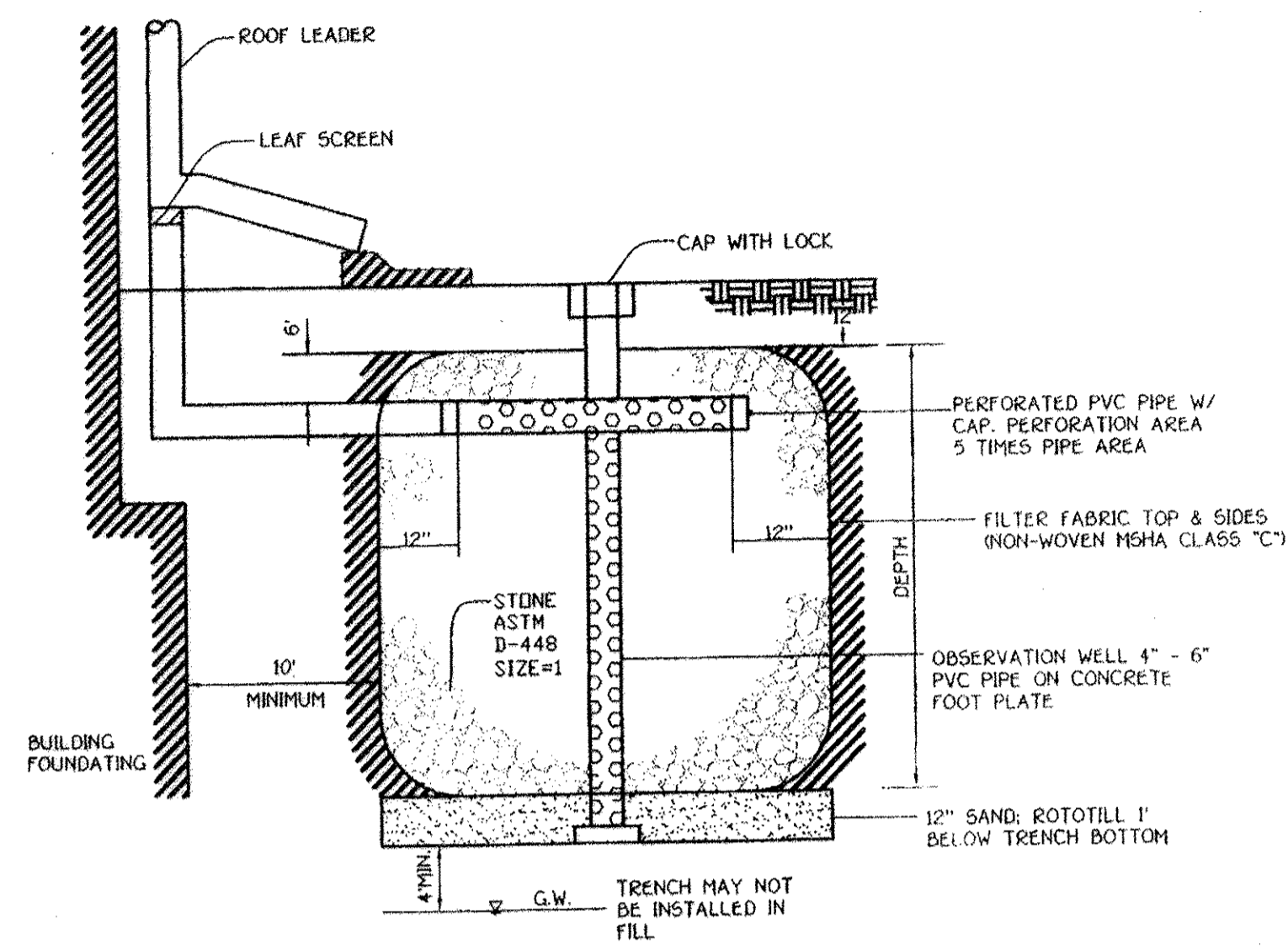
**OWNER**  
 ANGUS ROY GROSS AND ADRIENNE R. GROSS  
 13920 FORSYTHE ROAD  
 SYKESVILLE, MARYLAND 21784-5613

**DEVELOPER**  
 DAN RICKLER  
 13930 FORSYTHE ROAD  
 SYKESVILLE, MARYLAND 21784



*Let Skelton/1/1/04* *8/10/07*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John Quinn* *8/1/07*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



DETAIL - DRY WELL  
 NOT TO SCALE

DRY WELL	DEPTH (FT)	" B " LENGTH (FT)	" A " WIDTH (FT)
1	4'	4'	4'
2	4'	4'	4'
3	4'	4'	4'

REV. NO.	DATE	BY	REVISION
1	2006-09-06	DRS/smh	REMOVED BIO-RETENTION CROSS SECTION DETAIL, STORM DRAIN PROFILE AND BIO-RETENTION DRAIN PIPE PROFILE.

PURPOSE: TO REPLACE THE PREVIOUSLY APPROVED BIO-RETENTION FACILITY WITH A DRYSWALE WITH CHECK DAMS AND UNDERDRAIN.

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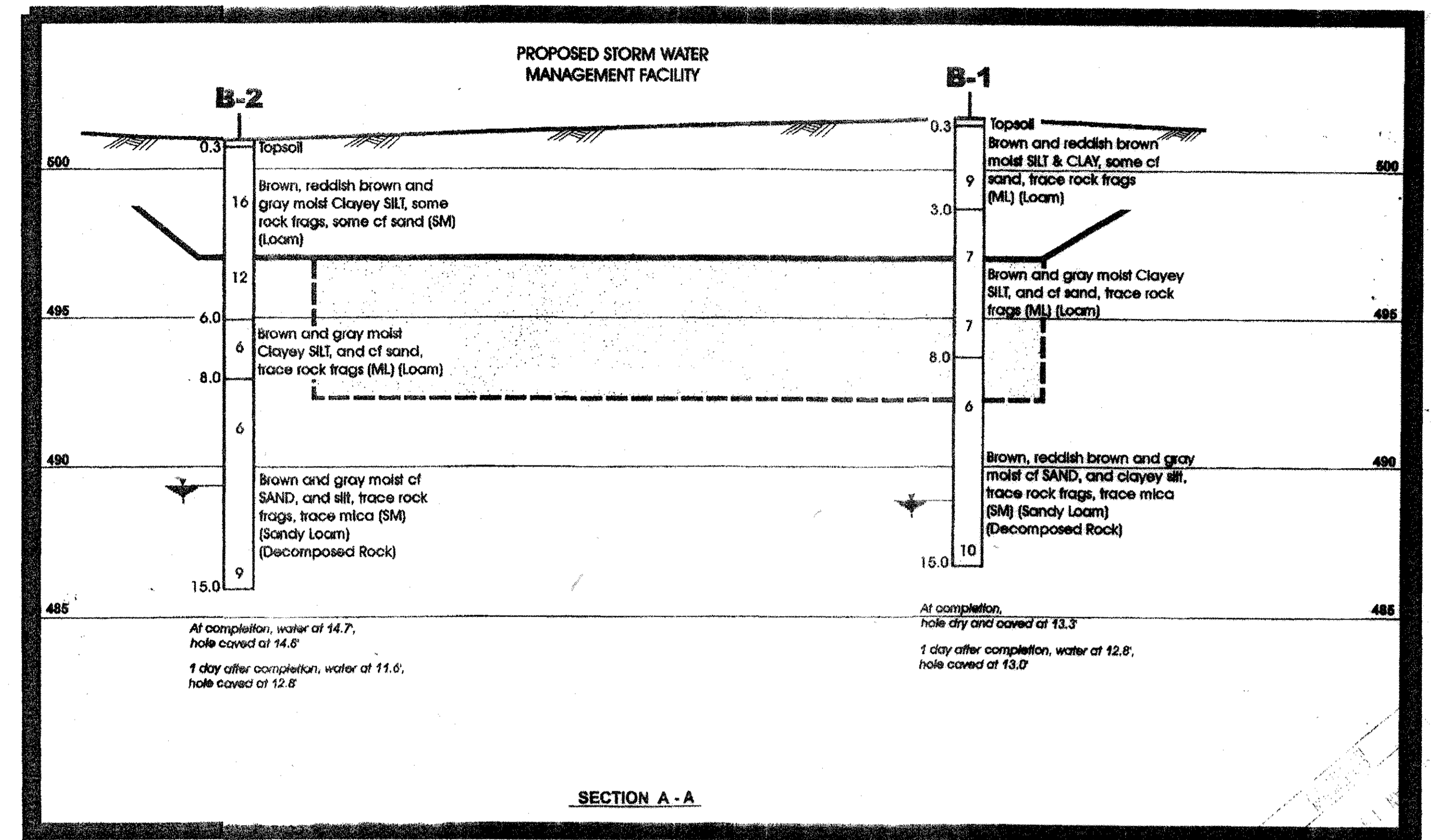
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 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELKLOFT CITY, MARYLAND 21042  
 1938 W. - 2055

**OWNER**  
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REVISED  
 FINAL S.W.M. DETAIL SHEET  
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 LOTS 1 AND 2  
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 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

Scale 1" = 30'  
 DATE: NOVEMBER 18, 2002  
 SHEET 4 OF 4



SECTION A - A

SOIL BORING DETAIL

NO SCALE