

GENERAL NOTES

- 1. Zoning... 2. The previous Department of Planning and Zoning... 3. This project is in conformance with the latest Howard County standards... 4. The Contour Inventory Maps do not show any contour lines... 5. The Scenic Roads Map does not indicate any scenic roads... 6. The property was brought into the Metropolitan District on August 20, 2001... 7. All roads in this development are public... 8. Site Analysis: Gross Site Area: 605.3 Acres... 10. Open Space Requirements: Minimum Open Space Requirement for Project is 25%... 11. Contours shown were taken from aerial topography prepared during March 1991... 12. Boundary information shown is based upon a field survey prepared by Gutschick, Little & Weber, P.A. on or about June, 2002... 13. Wetland delineation by Exploration Research, Inc. approved by the Corps of Engineers... 14. The 100-year flood plain limits were determined by the Floodplain Study prepared by Gutschick, Little & Weber, P.A. as part of P-02-01... 15. Horizontal and vertical datum is based on Howard County Station 41E... 16. Existing utilities were taken from available Howard County records... 17. Public water and sewer to be utilized... 18. Traffic Study was prepared and submitted on 5-06-16... 19. Sediment and erosion control measures will be included with Final Plans and Site Development Plans... 20. Street trees will be provided per the Comprehensive Sketch Plan criteria at the Final Plan Stage... 21. All buffering and other landscaping requirements/features will be shown on the Site Development Plan... 22. Potential stream buffers are determined by land adjoining the open space... 23. Stormwater management for both existing and proposed development... 24. The residential lots, parcels and employment use structures developed or proposed on the original 501 acre tract for Maple Lawn Farms are grandfathered to the Fourth Edition of the Subdivision and Land Development Regulations... 25. As stated in the Decision and Order for this plan, the Planning Board shall review and approve site development plans for all single family attached and multi-family residential uses... 26. No grading, removal of vegetative cover or trees, or construction of new structures is permitted within limits of wetlands, streams or their required buffers... 27. Open space lots may contain active recreational facilities as allowed by the approved Comprehensive Development Criteria... 28. Proposed for this project in accordance with the Decision and Order for Zoning Board Case No. ZB-48181 & ZB-48281 and the Decision and Order for PB Case No. 253 (Comprehensive Sketch Plan, S-01-17) and No. 518 (Comprehensive Sketch Plan, S-06-16)... 29. Development for this phase will be done in accordance with S-01-17, S-06-16, PB-553, and PB-570... 30. The transportation and transit design will be implemented as outlined in the Petitioner's Exhibit 55 as submitted as part of ZB458... 31. A Noise Study was prepared by Nilman & Associates for S-01-17, which was signed by the Planning Board on August 6, 2001... 32. The limits of this submission does not include moderate income housing units... 33. For all signs, descriptions and limitations, see S-01-17 and S-06-16... 34. Conflicts between storm drains and street trees will be resolved at Final Plan Stage.

# PRELIMINARY PLAN

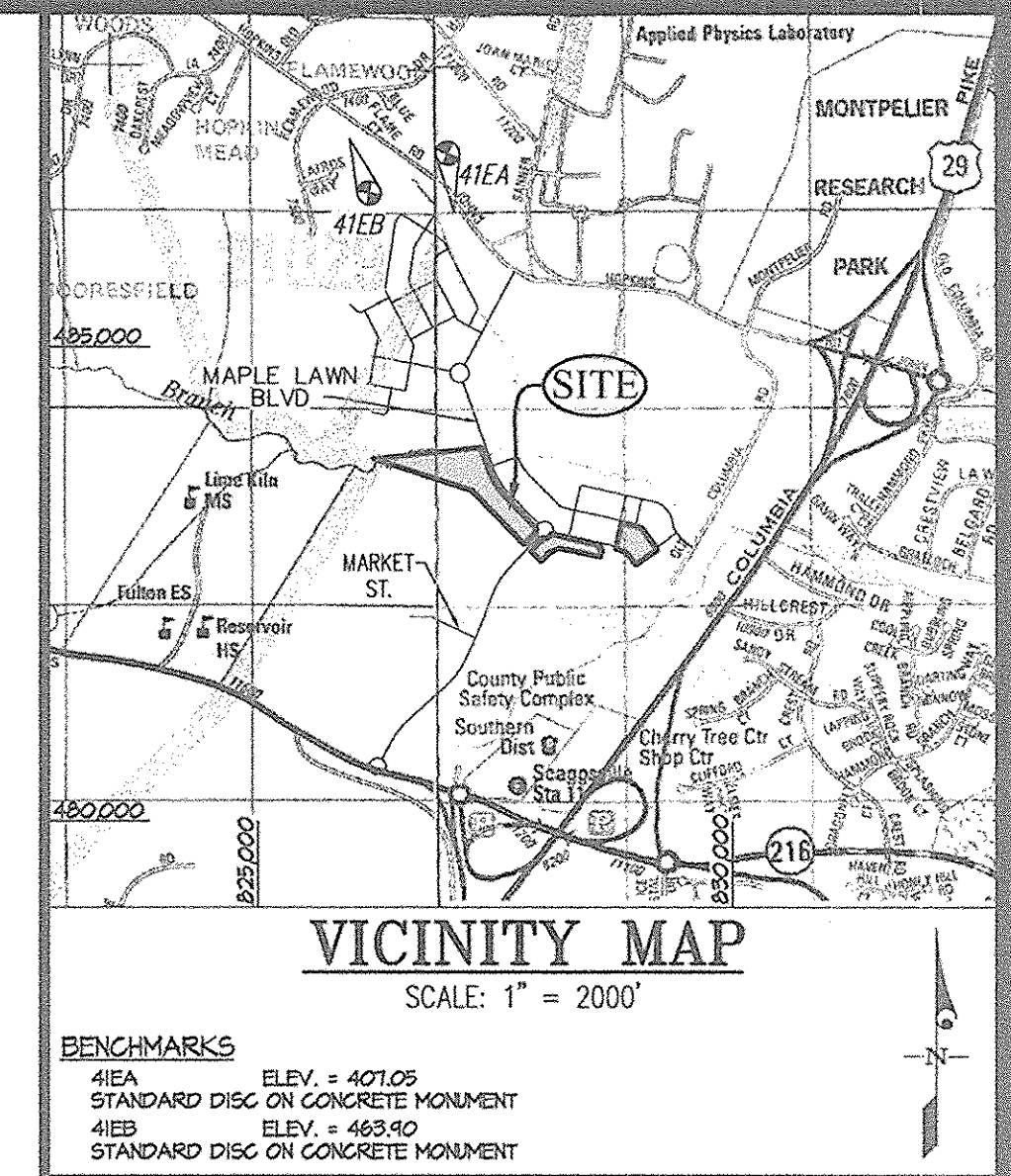
# MAPLE LAWN FARMS

## Hillside District - Area 4

### Lots 222 through 321, Open Space Lots 322 through 324, and Common Open Space Lots 325 through 328

#### SHEET INDEX

- 1. COVER SHEET
- 2. PRELIMINARY PLAN (1"=50')
- 3. PRELIMINARY PLAN (1"=50')
- 4. GRADING AND EXISTING FEATURES PLAN
- 5. PRELIMINARY FOREST CONSERVATION PLAN
- 6. PRELIMINARY FOREST CONSERVATION NOTES & DETAILS
- 7. PRELIMINARY LANDSCAPE PLAN



#### SUMMARY OF DEVELOPMENT CRITERIA

- Required Project Boundary Setbacks:
  - 50-foot minimum open space buffer adjacent to existing residential communities.
  - 50-foot minimum setback for residential units from Johns Hopkins Road.
  - 50-foot minimum setback for commercial buildings from Johns Hopkins Road.
  - 300-foot minimum setback for residential buildings from Md. Route 216.
  - 50-foot minimum setback for all commercial structures from Md. Route 216, and 300-foot minimum setback for all multi-story structures from Md. Route 216, and 500-foot minimum setback for all commercial structures greater than four stories from Md. Route 216.

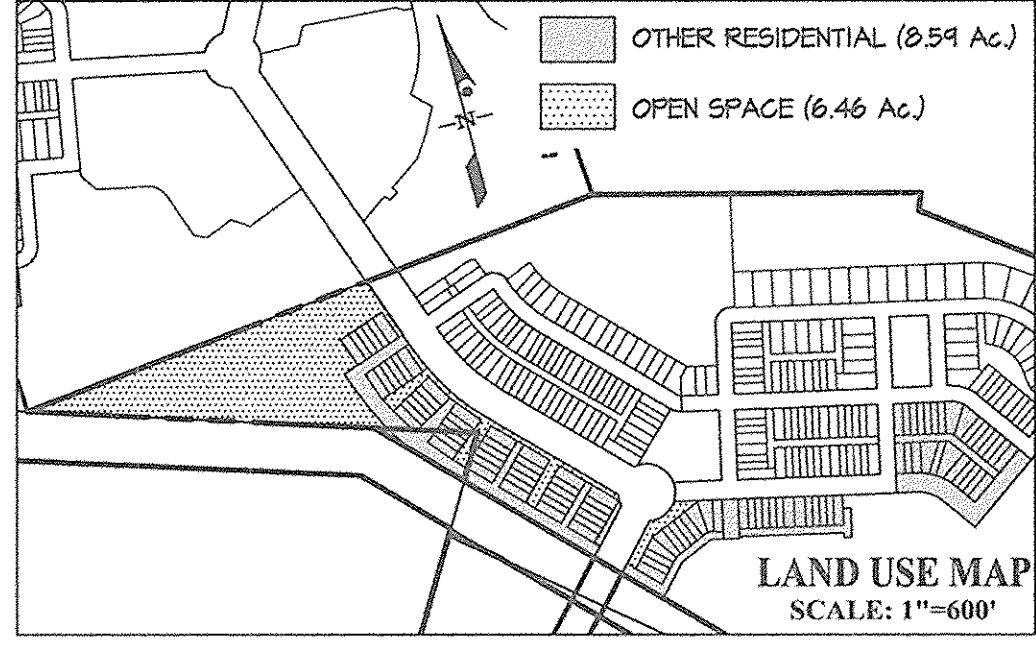
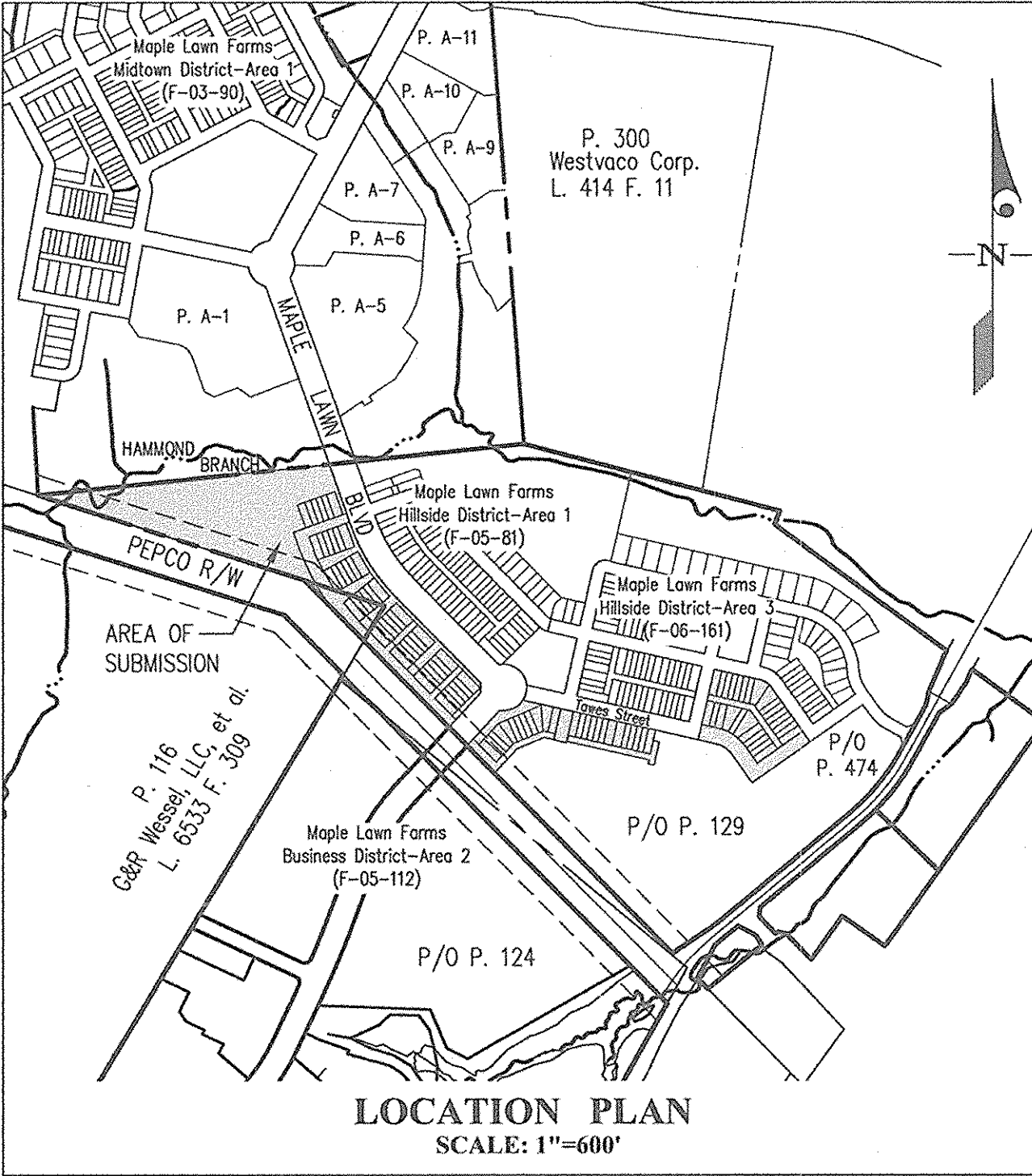
#### Other Residential (OR)

LOT TYPE	M.N. FRONT SETBACK	MIN. SIDE SETBACK	MINIMUM REAR SETBACK TO PRINCIPAL STRUCTURE	TO REAR GARAGE ATTACHED OR DETACHED OR TO ACCESSORY STRUCTURE	MINIMUM FRONT, SIDE, AND REAR SETBACK FROM MAPLE LAWN BLVD.
SINGLE FAMILY ATTACHED	0'	0'	20'	5'	20'
LIVE-WORK	0'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	5'	20'
SEMI-DETACHED	0'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	5'	20'
TWO-FAMILY	0'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	5'	20'
APARTMENT	0'	4' EXCEPT FOR GARAGE WHICH MAY BE 0'	20'	5'	20'

Habitable space and/or open/enclosed decks may be built over attached garages. In those cases, the garage setbacks shall govern. Where the rear lot line is contiguous to green open space, the rear principal structure setback may be reduced to 10' and the rear setback for decks may be reduced to 5'. Other decks must be a minimum of 10' from rear property line, and are subject to side yard setbacks.

Facing accessory structures and detached garages (across an alley/rte R.O.W.) shall be a minimum of 30' apart. Between apartment buildings, the minimum setback distances shall be 30' front to front, 50' back to back, 50' front to back and 15' for all other conditions. Between single-family attached buildings, the minimum setback distances shall be 30' front to front, 50' back to back (except across an alley), 50' back to front and 5' (or as required by the Building Code) for all other conditions.

#### Location Map



#### LEGEND

- 400 EX. CONTOUR
- PROP. CONTOUR
- EXISTING TREE LINE
- SB STREAM BUFFER
- WB WETLAND BUFFER
- STRUCTURE NUMBER
- CENTERLINE CURVE
- PROPERTY CORNER
- 15' HDPE PROP. STORM DRAIN
- PROP. BARRICADE
- 100 YEAR FLOODPLAIN
- LIMIT OF WETLAND
- NETLAND AREA
- CENTERLINE OF STREAM
- BOTTOM OF STREAM
- PROPOSED 6' PATHWAY
- FOREST CONSERVATION EASEMENT

#### OVERALL TRACKING CHART

PHASE NO.	FILE REF. NO.	GROSS ACREAGE	NON-BUILDABLE					PUB. RD.					PRIV. RD. ACREAGE	SFD UNITS	OR UNITS (APT./S.F.A.)	SFD DENSITY	OR DENSITY	EMP. BLDG. AREA	EMP. F.A.R.		
			SF	OR	EMP	OS	%	S.F.D. AC. (%)	O.R. AC. (%)	EMP. AC. (%)	O.S. AC. (%)	SF								OR	EMP
1	F-02-01	51.98	0.00	0.00	0.00	0.00	(0.0)	-----	-----	30.85 (59.3)	21.15 (40.7)	0.00	0.00	4.35	-----	-----	-----	-----	-----	-----	
2	F-03-00	37.43	0.52	0.43	0.24	0.00	(8.2)	10.84 (29.0)	8.04 (21.6)	1.56 (4.2)	15.75 (42.1)	3.72	3.74	1.96	1.68	-----	65	65	5.1/AC	8.0/AC	-----
3	F-04-02	58.20	-0.52	-0.43	2.71	0.00	(5.0)	7.11 (12.1)	12.28 (20.9)	14.80 (25.2)	22.85 (39.1)	2.92	0.46	0.00	1.00	-----	41	71	5.8/AC	6.4/AC	-----
4a	F-05-21/F-05-82	15.47	0.00	1.48	-1.64	0.00	(-1.4)	0.00 (0.0)	1.21 (8.1)	1.61 (10.4)	6.70 (43.3)	0.50	3.40	1.64	0.46	-----	51	-----	8.1/AC	-----	-----
4b	F-05-21/F-01-06	3.12	0.00	0.00	-1.26	0.00	(-40.0)	0.00 (0.0)	0.00 (0.0)	3.12 (100.0)	1.22 (39.4)	0.00	0.00	2.04	-----	-----	-----	-----	-----	-----	
4c	F-05-12/F-05-18	3.00	0.00	0.00	0.00	(0.0)	0.00 (0.0)	0.00 (0.0)	3.00 (100.0)	0.00 (0.0)	0.00 (0.0)	0.00	0.00	3.00	-----	-----	-----	-----	-----	-----	
5a	F-06-43	0.00	0.00	-1.26	0.00	(0.0)	0.00 (0.0)	1.25 (0.0)	0.00 (0.0)	0.00 (0.0)	0.00	0.00	0.00	-----	-----	-----	16	-----	15.0/AC	-----	-----
5b	F-06-161	33.26	0.00	-0.23	0.00	(0.0)	1.73 (5.2)	7.26 (21.8)	0.00 (0.0)	18.50 (55.6)	2.22	3.16	0.00	0.88	41	65	5.3/AC	8.7/AC	-----	-----	
6	P-01-02	15.05	0.00	0.00	0.00	(0.0)	0.00 (0.0)	8.94 (59.1)	0.00 (0.0)	6.46 (42.9)	0.00	0.80	0.00	2.07	-----	100	-----	11.5/AC	-----	-----	
TOTALS		218.11	0.00	0.00	0.00	(0.0)	25.68 (11.8)	44.76 (20.5)	55.05 (25.2)	12.64 (5.8)	32.88	6.20	191	392	5.3/AC	8.5/AC	0.00	0.00	-----	-----	-----
OVERALL DENSITY TABULATION			PROPOSED		ALLOWED		LAND USE ACREAGES*		PROPOSED		ALLOWED		MAX. RES. UNITS ALLOWED		S-06-16						
OVERALL S.F.D./GROSS ACRE			5.3 UNITS/AC		8.9 UNITS/AC		SINGLE FAMILY DETACHED (S.F.D.)		25.68		192.6		SINGLE FAMILY DETACHED		807 (37.8%)						
OVERALL O.R./GROSS ACRE			14.0 UNITS/AC		14.0 UNITS/AC		OTHER RESIDENTIAL (O.R.)		44.76		73.6		APARTMENTS (O.R.)		210 (9.7%)						
OVERALL EMPLOYMENT F.A.R.			0.25		0.25		EMPLOYMENT		55.05		122.0		SINGLE FAMILY ATTACHED		623 (28.5%)						
OVERALL S.F.D./O.R. DENSITY			2.4 UNITS/AC		2.2 UNITS/AC		OPEN SPACE		42.84		27.1		TOTAL		1540						

\*LAND ACREAGES INCLUDE NON-BUILDABLE AREAS

#### OVERALL OPEN SPACE TRACKING CHART

PHASE NO.	FILE REF. NO.	GROSS ACREAGE	O.S. AC. (%)	ACTIVE O.S. AC. (%) *
1	F-02-01	51.98	21.15 (40.7)	-----
2	F-03-00	37.43	15.75 (42.1)	1.52 (4.1) ①
3	F-04-02	58.20	22.85 (39.1)	-----
4a	F-05-21 / 82	15.41	6.70 (43.3)	0.24 (1.5) ②
4b	F-05-181	3.12	1.22 (39.4)	-----
4c	F-05-12/18	3.00	0.00 (0.0)	-----
5a	F-06-43	0.00	0.00 (0.0)	-----
5b	F-06-161	33.26	18.50 (55.6)	1.61 (4.7)
6	P-01-02	15.05	6.46 (42.9)	-----
TOTAL		218.11	42.64 (19.5)	9.42 (4.3)

\* The percent of active open space is based upon the total open space provided.  
① 1.52 ACRES = Community Center (05.125 - 5.01 Ac.), O5.126 (0.35 Ac.), and O5.230 (1.16 Ac.)  
② 0.24 ACRES = Pathways

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

*Handwritten signature and date: 4/18/07*  
PLANNING DIRECTOR DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3908 NATIONAL DRIVE - SUITE 250 - BURTONVILLE ESTABLISHED 1986  
TEL: 301-421-4024 FAX: 301-421-4185

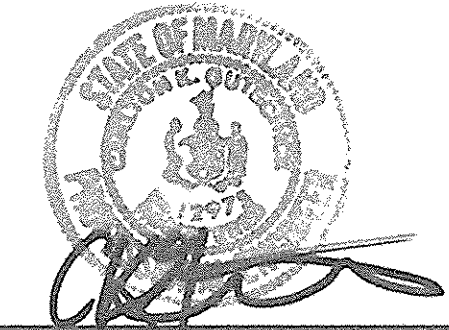
PREPARED FOR:  
G&R MAPLE LAWN INC  
SUITE 300 WOODHOLME CENTER  
1829 REISTERSTOWN ROAD  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

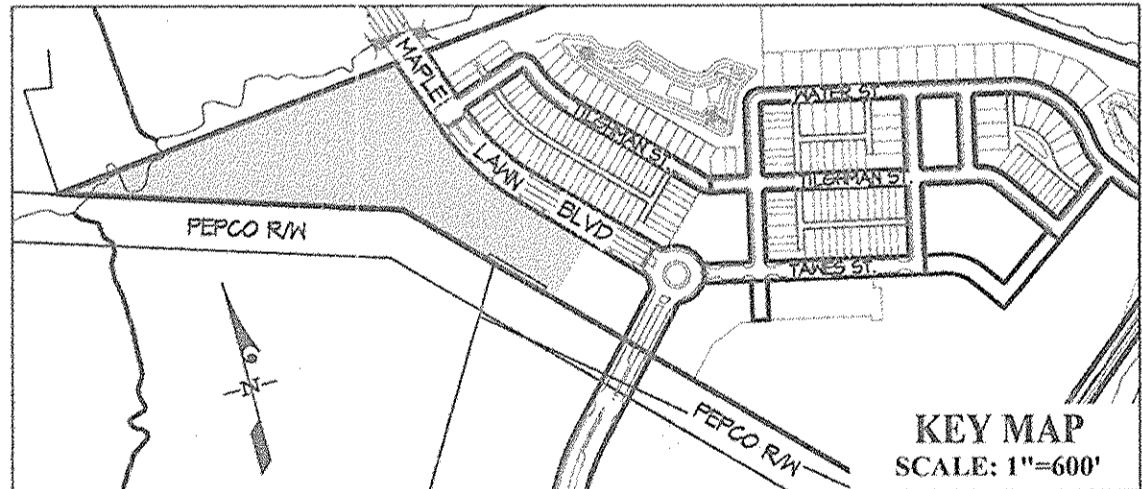
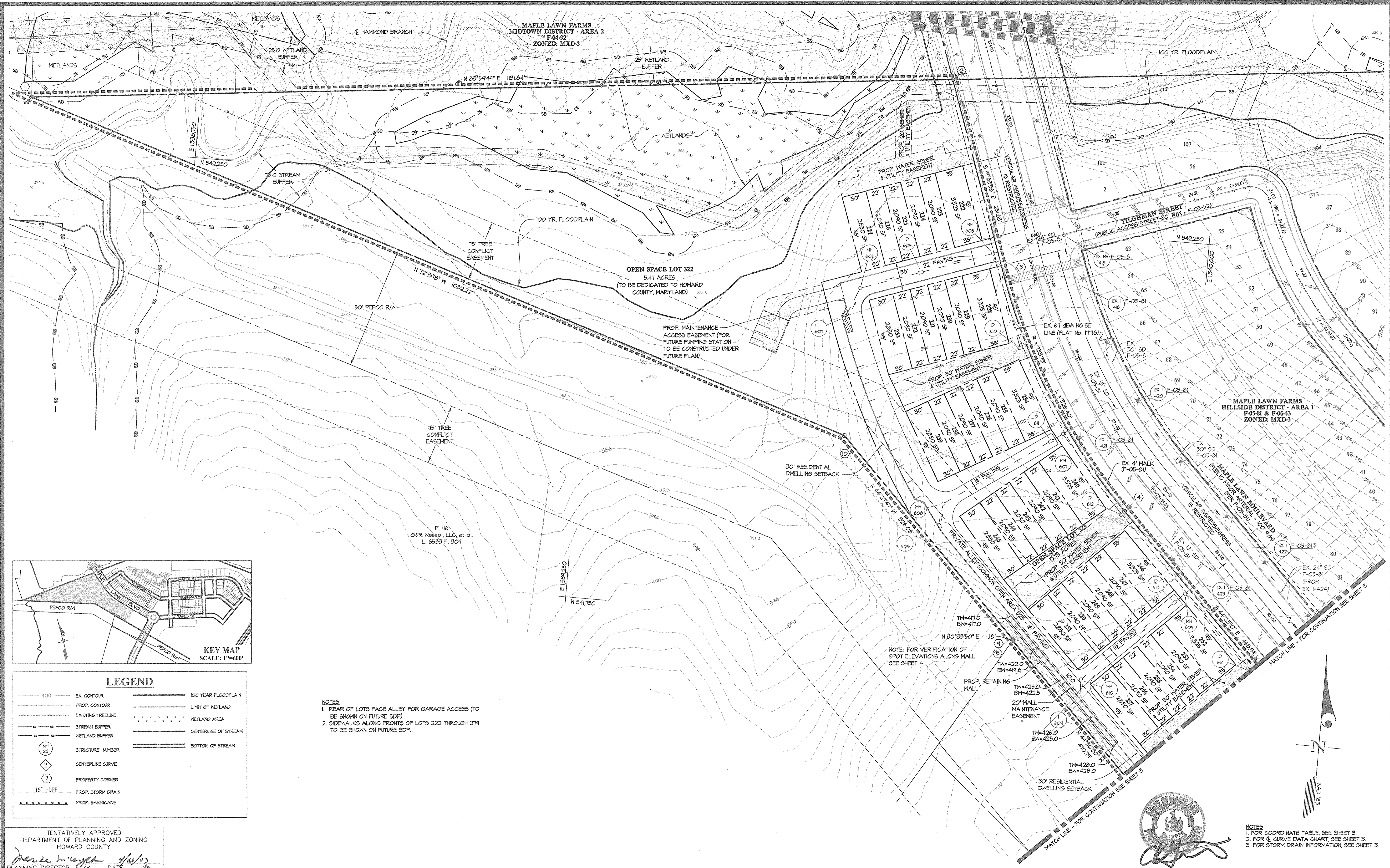
#### COVER SHEET

MAPLE LAWN FARMS  
HILLSIDE DISTRICT - AREA 4  
Lots 222 through 321, Open Space Lots 322 through 324, and Common Open Areas 325 through 328

THE LIMITS OF THIS PRELIMINARY PLAN COVERS PART OF THE DEVELOPMENT PROPOSED BY S-06-16 AS ANNUAL PHASE 6 (ALLOCATION YEAR 2009).

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	1 OF 7





**LEGEND**

--- 400 ---	EX CONTOUR	---	100 YEAR FLOODPLAIN
---	PROP. CONTOUR	---	LIMIT OF WETLAND
---	EXISTING TREELINE	---	WETLAND AREA
---	STREAM BUFFER	---	CENTERLINE OF STREAM
---	WETLAND BUFFER	---	BOTTOM OF STREAM
MH 20	STRUCTURE NUMBER		
⊙	CENTERLINE CURVE		
⊠	PROPERTY CORNER		
---	15' HOPE		
---	PROP. STORM DRAIN		
---	PROP. BARRICADE		

**NOTES**  
 1. REAR OF LOTS FACE ALLEY FOR GARAGE ACCESS (TO BE SHOWN ON FUTURE SDP).  
 2. SIDEWALKS ALONG FRONTS OF LOTS 222 THROUGH 214 TO BE SHOWN ON FUTURE SDP.

NOTE: FOR VERIFICATION OF SPOT ELEVATIONS ALONG WALL, SEE SHEET 4.

**NOTES**  
 1. FOR COORDINATE TABLE, SEE SHEET 3.  
 2. FOR CURVE DATA CHART, SEE SHEET 3.  
 3. FOR STORM DRAIN INFORMATION, SEE SHEET 3.

TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY  
*Charles M. Gutschick* 4/25/07  
 PLANNING DIRECTOR DATE

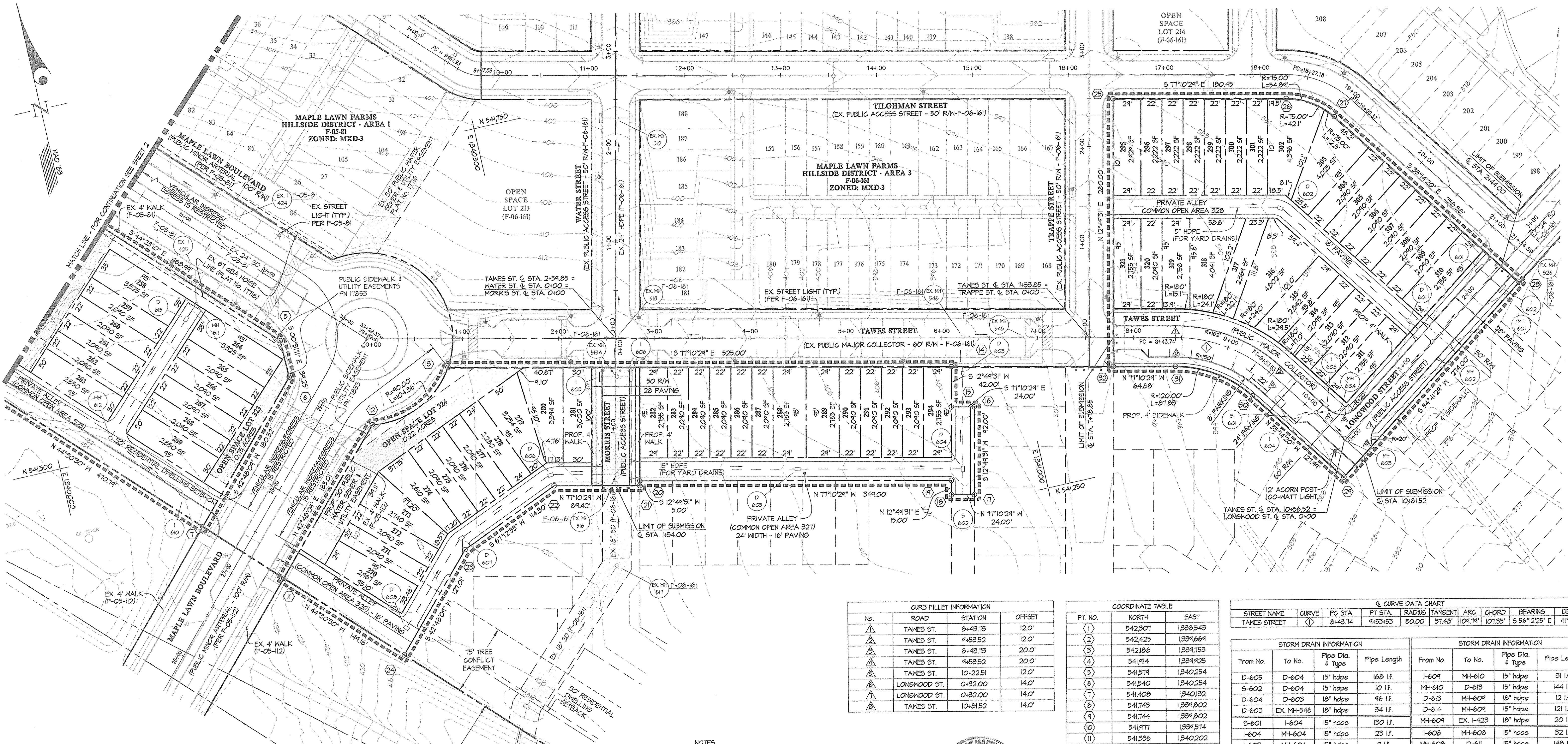
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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PREPARED FOR:  
 G&R MAPLE LAWN INC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN ROAD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

PRELIMINARY PLAN  
**MAPLE LAWN FARMS**  
 HILLSIDE DISTRICT - AREA 4  
 Lots 222 through 321, Open Space Lots 322 through 324,  
 and Common Open Areas 325 through 328  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	2 OF 7

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**LEGEND**

--- 400 ---	EX. CONTOUR	---	100 YEAR FLOODPLAIN
---	PROP. CONTOUR	---	LIMIT OF WETLAND
---	EXISTING TREELINE	---	WETLAND AREA
---	STREAM BUFFER	---	CENTERLINE OF STREAM
---	WETLAND BUFFER	---	BOTTOM OF STREAM
⊙	STRUCTURE NUMBER	---	
⊙	CENTERLINE CURVE	---	
⊙	PROPERTY CORNER	---	
---	15' HDPE	---	PROP. STORM DRAIN
---		---	PROP. BARRIAGE

- NOTES**
- REAR OF LOTS FACE ALLEY FOR GARAGE ACCESS (TO BE SHOWN ON FUTURE SDP).
  - SIDEWALKS ALONG FRONTS OF LOTS 222 THROUGH 214 TO BE SHOWN ON FUTURE SDP.

**CURB FILLET INFORMATION**

No.	ROAD	STATION	OFFSET
1	TAWES ST.	8+43.75	12.0'
2	TAWES ST.	9+53.52	12.0'
3	TAWES ST.	8+43.75	20.0'
4	TAWES ST.	9+53.52	20.0'
5	TAWES ST.	10+22.51	12.0'
6	LONGWOOD ST.	0+32.00	14.0'
7	LONGWOOD ST.	0+32.00	14.0'
8	TAWES ST.	10+81.52	14.0'

**COORDINATE TABLE**

PT. NO.	NORTH	EAST
1	542,307	1338,543
2	542,425	1339,664
3	542,188	1339,153
4	541,914	1339,425
5	541,574	1340,254
6	541,540	1340,254
7	541,408	1340,132
8	541,143	1339,802
9	541,144	1339,802
10	541,171	1339,574
11	541,336	1340,202
12	541,412	1340,328
13	541,513	1340,418
14	541,346	1340,330
15	541,355	1340,420
16	541,350	1340,444
17	541,260	1340,423
18	541,266	1340,400
19	541,280	1340,403
20	541,352	1340,587
21	541,348	1340,585
22	541,367	1340,448
23	541,323	1340,343
24	541,230	1340,307
25	541,632	1341,157
26	541,542	1341,333
27	541,562	1341,371
28	541,350	1341,327
29	541,42	1341,303
30	541,297	1341,229
31	541,344	1341,158
32	541,354	1341,045

**STORM DRAIN INFORMATION**

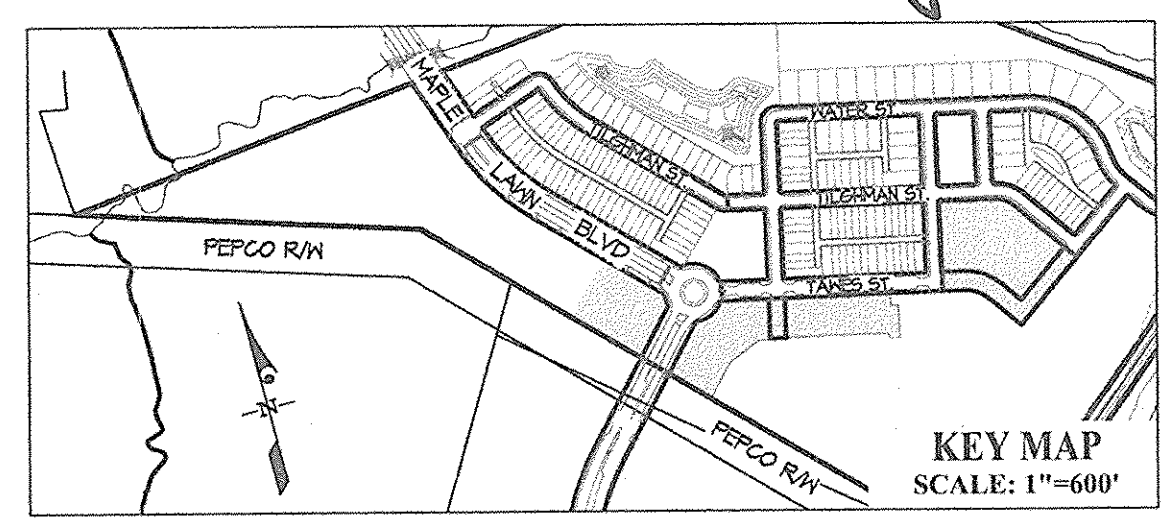
From No.	To No.	Pipe Dia. & Type	Pipe Length
D-605	D-604	15" hdpe	160 I.F.
S-602	D-604	15" hdpe	10 I.F.
D-604	D-603	18" hdpe	96 I.F.
D-603	EX. MH-546	18" hdpe	34 I.F.
S-601	I-604	15" hdpe	130 I.F.
I-604	MH-604	15" hdpe	23 I.F.
I-603	MH-604	15" hdpe	9 I.F.
MH-604	MH-603	18" hdpe	37 I.F.
MH-603	MH-602	18" hdpe	132 I.F.
D-602	D-601	15" hdpe	174 I.F.
D-601	MH-602	18" hdpe	28 I.F.
MH-602	MH-601	18" hdpe	86 I.F.
I-602	MH-601	15" hdpe	11 I.F.
I-601	MH-601	15" hdpe	13 I.F.
MH-601	EX. MH-526	18" hdpe	37 I.F.
D-608	D-607	15" hdpe	106 I.F.
D-607	D-606	18" hdpe	108 I.F.
D-606	EX. MH 516	24" hdpe	64 I.F.
I-606	EX. MH-518A	15" hdpe	11 I.F.
I-605	EX. MH-518A	15" hdpe	13 I.F.
I-610	MH-612	15" hdpe	111 I.F.
MH-612	D-615	15" hdpe	143 I.F.
D-615	MH-611	18" hdpe	14 I.F.
MH-611	EX. I-425	18" hdpe	34 I.F.

**STORM DRAIN INFORMATION**

From No.	To No.	Pipe Dia. & Type	Pipe Length
I-609	MH-610	15" hdpe	31 I.F.
MH-610	D-613	15" hdpe	144 I.F.
D-613	MH-609	18" hdpe	12 I.F.
D-614	MH-609	15" hdpe	121 I.F.
MH-609	EX. I-423	18" hdpe	20 I.F.
I-608	MH-608	15" hdpe	32 I.F.
MH-608	D-611	15" hdpe	148 I.F.
D-611	MH-607	18" hdpe	12 I.F.
D-612	MH-607	18" hdpe	119 I.F.
MH-607	EX. I-421	18" hdpe	17 I.F.
I-607	MH-606	15" hdpe	88 I.F.
MH-606	D-609	18" hdpe	72 I.F.
D-609	MH-605	18" hdpe	87 I.F.
D-610	MH-605	15" hdpe	117 I.F.
MH-605	EX. MH 413	24" hdpe	86 I.F.

NOTE: "hdpe" indicates High-Density Polyethylene Pipe, such as N-12 by ADS, H-2 by Hansco, or an approved equal.

NOTE: I-601 THROUGH I-604, D-601 THROUGH D-605, AND S-601 AND S-602 OUTFALL INTO THE POND CONSTRUCTED UNDER F-06-161. ALL OTHER DRAINS AND INLETS OUTFALL INTO THE POND CONSTRUCTED UNDER F-05-81.



TENTATIVELY APPROVED  
DEPARTMENT OF PLANNING AND ZONING  
HOWARD COUNTY  
PLANNING DIRECTOR: *Paula M. Taylor* 4/12/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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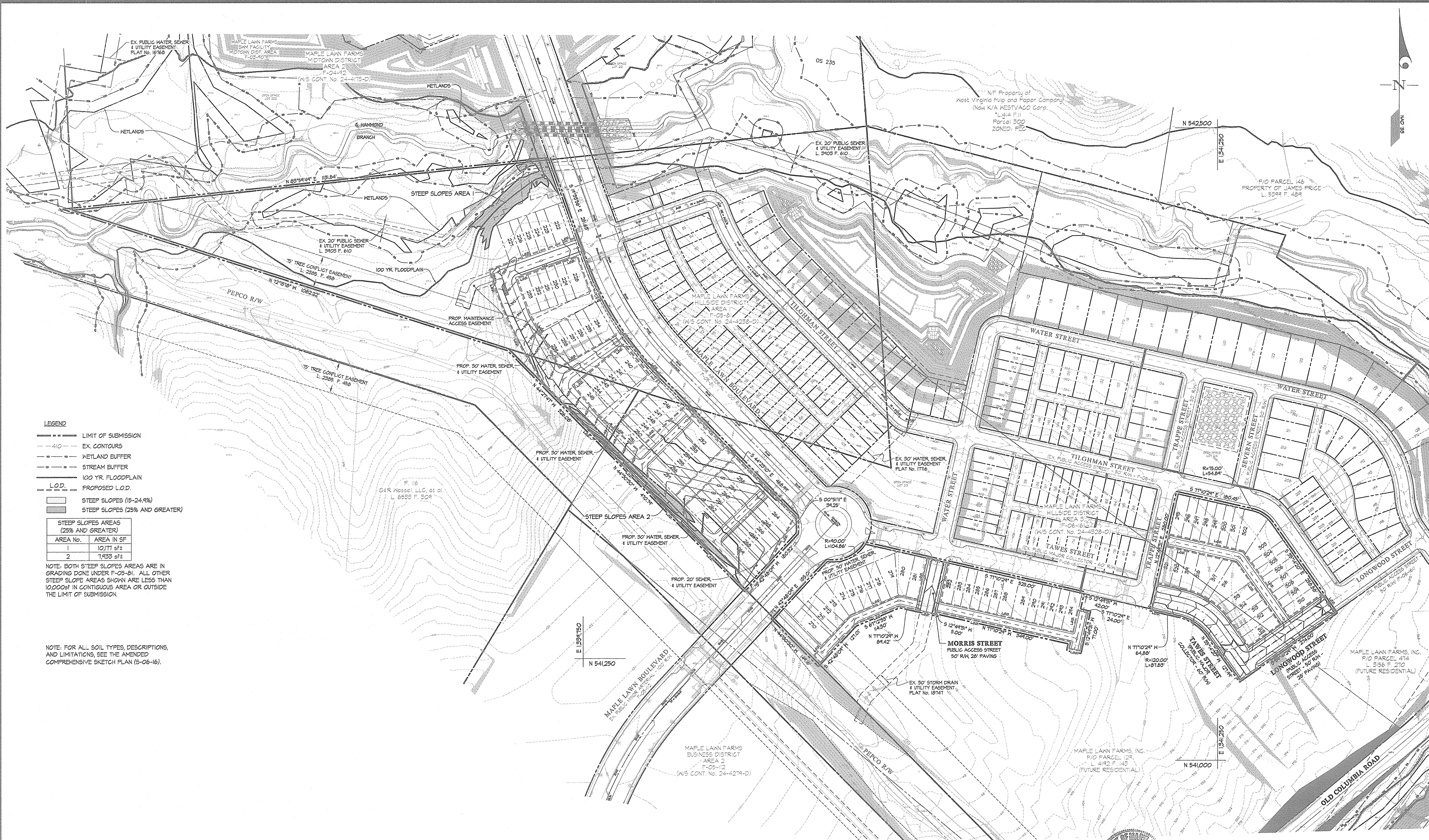
PRELIMINARY PLAN  
**MAPLE LAWN FARMS**  
HILLSIDE DISTRICT - AREA 4  
Lots 222 through 321, Open Space Lots 322 through 324,  
and Common Open Areas 325 through 328

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	3 OF 7

DATE	REVISION	BY	APP'R.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



- LEGEND**
- LIMIT OF SUBMISSION
  - 40- EX. CONTOURS
  - - - WETLAND BUFFER
  - - - STREAM BUFFER
  - - - 100 YR. FLOODPLAIN
  - - - L.O.D.
  - - - PROPOSED L.O.D.
  - STEEP SLOPES (15-24.9%)
  - STEEP SLOPES (25% AND GREATER)

**STEEP SLOPES AREAS (25% AND GREATER)**

AREA No.	AREA IN SF
1	10,171 sf±
2	1,933 sf±

NOTE: BOTH STEEP SLOPES AREAS ARE IN GRADING DONE UNDER F-05-01. ALL OTHER STEEP SLOPE AREAS SHOWN ARE LESS THAN 10,000sf IN CONTIGUOUS AREA OR OUTSIDE THE LIMIT OF SUBMISSION.

NOTE: FOR ALL SOIL TYPES, DESCRIPTIONS, AND LIMITATIONS, SEE THE AMENDED COMPREHENSIVE SKETCH PLAN (S-06-16).

TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY  
*Mark A. Logan* 4/13/07  
 PLANNING DIRECTOR & DATE

**GLWGutschick Little & Weber, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-885-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 G&R MAPLE LAWN INC  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN ROAD  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

GRADING AND EXISTING CONDITIONS PLAN  
**MAPLE LAWN FARMS  
 HILLSIDE DISTRICT - AREA 4**  
 Lots 222 through 321, Open Space Lots 322 through 324,  
 and Common Open Areas 325 through 328  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND



SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	4 OF 7

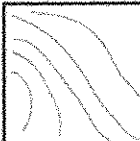


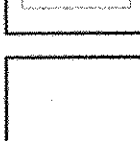
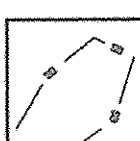



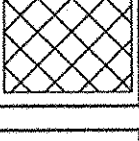

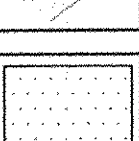
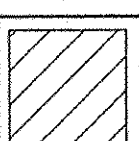

**SITE DATA**

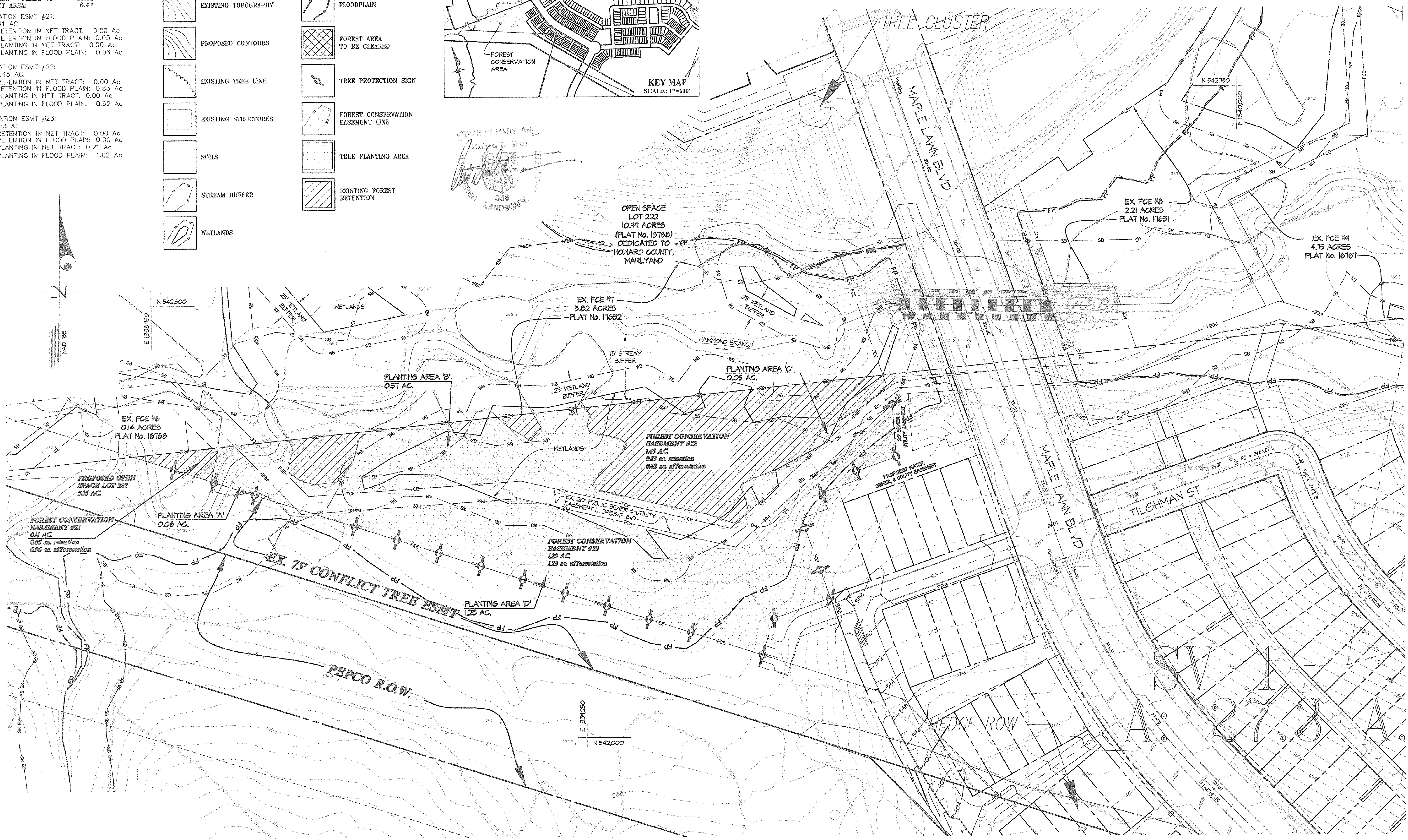
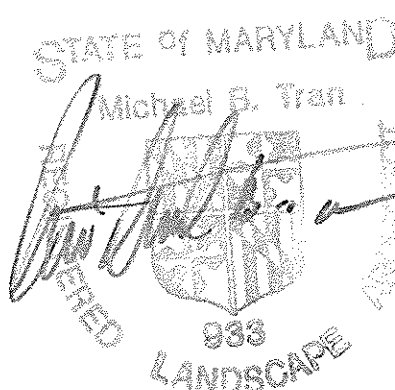
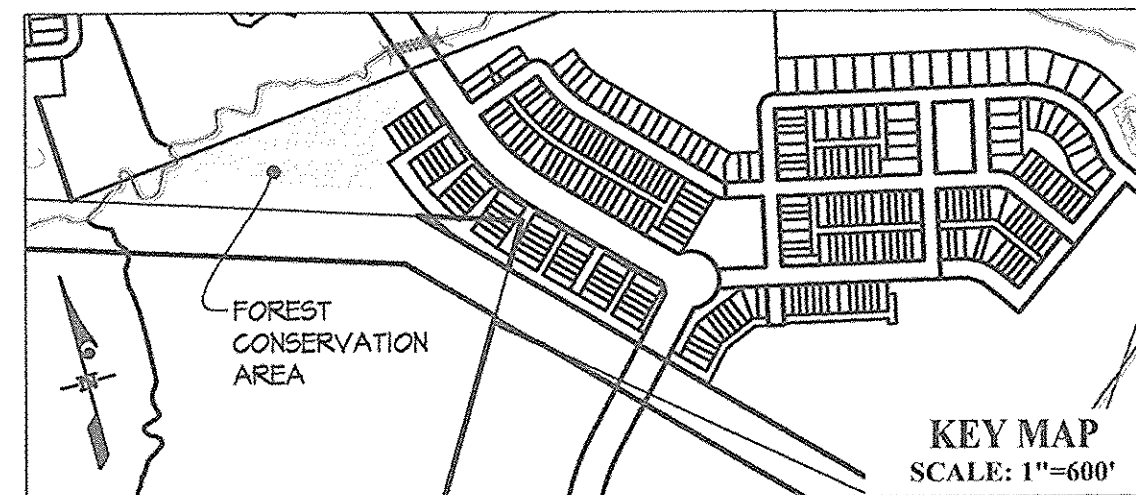
GROSS AREA - PHASE Vb: 10.31  
 NET TRACT AREA: 6.47

CONSERVATION ESMT #21:  
 AREA: 0.11 AC.  
 FOREST RETENTION IN NET TRACT: 0.00 AC  
 FOREST RETENTION IN FLOOD PLAIN: 0.05 AC  
 FOREST PLANTING IN NET TRACT: 0.00 AC  
 FOREST PLANTING IN FLOOD PLAIN: 0.06 AC

CONSERVATION ESMT #22:  
 ACRES: 1.45 AC.  
 FOREST RETENTION IN NET TRACT: 0.00 AC  
 FOREST RETENTION IN FLOOD PLAIN: 0.83 AC  
 FOREST PLANTING IN NET TRACT: 0.00 AC  
 FOREST PLANTING IN FLOOD PLAIN: 0.62 AC

CONSERVATION ESMT #23:  
 AREA: 1.23 AC.  
 FOREST RETENTION IN NET TRACT: 0.00 AC  
 FOREST RETENTION IN FLOOD PLAIN: 0.00 AC  
 FOREST PLANTING IN NET TRACT: 0.21 AC  
 FOREST PLANTING IN FLOOD PLAIN: 1.02 AC

-  EXISTING TOPOGRAPHY
-  PROPOSED CONTOURS
-  EXISTING TREE LINE
-  EXISTING STRUCTURES
-  SOILS
-  STREAM BUFFER
-  WETLANDS
-  FLOODPLAIN
-  FOREST AREA TO BE CLEARED
-  TREE PROTECTION SIGN
-  FOREST CONSERVATION EASEMENT LINE
-  TREE PLANTING AREA
-  EXISTING FOREST RETENTION



TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY

*Michael B. Trant* 4/23/07  
 PLANNING DIRECTOR DATE

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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**PRELIMINARY FOREST CONSERVATION PLAN**

**MAPLE LAWN FARMS**  
 HILLSIDE DISTRICT - AREA 4  
 Lots 222 through 321, Open Space Lots 322 through 324,  
 and Common Open Areas 325 through 328

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=50'	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	5 OF 7

FOREST CONSERVATION PLANTING NOTES

RETENTION / AFFORESTATION / REFORESTATION SUMMARY TABLE FOR MAPLE LAWN FARM PROJECT

PHASE NO.	GROSS AC.	FLOODPLAIN AC.	NET TRACT AREA	EXG. FOREST IN AC.	FOREST CLEARED	FOREST RETAINED	EXCESS RETENTION	REF/AFF REQUIRED	CREDITED PLANTING PROVIDED	EXCESS FOREST CON (PLANTING/RETENTION)	COMMENTS
1	51.48	3.40	48.58	4.45	0.51	8.94	0.63	0.00	4.56	5.14	Per F-03-07
2	75.20	2.38	72.82	0.00	0.00	0.00	0.00	10.92	6.67	-4.25	Per F-03-40
2	5.70	0.00	5.70	0.00	0.00	0.00	0.00	0.86	0.00	-0.86	Per SDP-03-140
3	19.04	14.85	4.24	0.21	0.00	0.21	0.00	0.43	10.44	10.06	Per F-04-92
3	-	-	-	-	-	-	-	-	-1.16	-1.16	Per F-05-82
4a	15.48	3.00	12.48	1.92	1.85	0.27	0.00	3.21	0.88	-2.33	Per F-05-81
4b	3.12	0.55	2.77	0.00	0.00	0.00	0.00	0.42	-0.12	-0.54	Per F-05-139
4c	3.00	0.00	3.00	0.00	0.00	0.00	0.00	0.45	0.00	-0.45	Per F-05-112
5a	0.00	-	-	-	-	-	-	-	-	-	Per F-06-43
5b	54.61	7.27	47.34	3.76	0.51	3.24	0.00	4.36	5.74	1.38	Per F-06-161
6	10.31	3.84	6.47	0.00	0.00	0.00	0.00	0.97	1.91	0.94	Per this Plan
<b>TOTAL</b>	<b>238.44</b>	<b>35.04</b>	<b>203.40</b>	<b>15.34</b>	<b>2.67</b>	<b>12.66</b>	<b>0.63</b>	<b>21.62</b>	<b>28.98</b>	<b>7.94</b>	

- ① Includes future phase areas of Maple Lawn Farms. When those areas are recorded in future phases, the forest conservation requirements will already have been met.
- ② 19.04 ACRES = 59.20 ACRES (Phase 3 site total) - 40.71 ACRES (Area of forest con. in Phase 3 already provided by F-03-40 (35.01 Ac) and SDP-03-140 (5.70 Ac.))
- ③ Reduced from 6.97 Ac. as shown on F-03-40 to 6.67 Ac. because of the 0.16 Ac. reduction of Conservation Easement #4 on F-04-19 and the 0.14 Ac. reduction of Conservation Easement #5 on F-04-82.
- ④ F-05-82 is a revision of Open Space Lots 221 & 222, and a conversion of Parcel E to R/W. Forest Conservation Easement (FCE) #7 will abandon 0.25 ac. and FCE #8 will abandon 0.91 ac.
- ⑤ 3.12 ACRES = 4.38 ACRES (Phase 4 site total) - 1.26 ACRES (Area of forest con. in Phase 4 already provided by F-03-40 and F-04-92).
- ⑥ 0.12 ACRES = Area subtracted from forest conservation area #11 to create Public Drainage and Utility Easement
- ⑦ Phase 5a is a resubdivision of Non-Buildable Parcels F & G. This area was covered under F-05-81.
- ⑧ Total Area for Phase 5b (54.61 Ac.) = Area platted (35.06 Ac.) + Area being mass graded outside platted area (21.55 Ac.)
- ⑨ 0.01 acres of provided planting in FCE #16 to be removed under F-06-162, leaving -2.33 ac. excess under F-05-81
- ⑩ Total Area for Phase 6 (10.31 Ac.) = Area platted (15.05 Ac.) - Area already covered under F-06-161 (4.74 Ac.)

TABULATION OF PROPOSED FOREST CONSERVATION AREAS					
	FOREST CONSERVATION ESMT	21	22	23	TOTAL
CREDITED	FOREST PLANTING PROVIDED IN THE 100-YR FLOOD PLAIN	.06 Ac.	.82 Ac.	1.02 Ac.	1.70 Ac.
CREDITED	FOREST PLANTING PROVIDED OUTSIDE THE 100 YR FLOOD PLAIN	0.00 Ac.	0.00 Ac.	0.21 Ac.	0.21 Ac.
NON-CREDITED	FOREST RETENTION INSIDE THE 100-YR FLOOD PLAIN	.05 Ac.	.83 Ac.	0.00 Ac.	0.88 Ac.
CREDITED	FOREST RETENTION OUTSIDE THE 100-YR FLOOD PLAIN	0.00 Ac.	0.00 Ac.	0.00 Ac.	0.00 Ac.
	<b>TOTAL AREA OF EACH FOREST CONSERVATION AREA</b>	<b>0.11 Ac.</b>	<b>1.45 Ac.</b>	<b>1.23 Ac.</b>	<b>2.79 Ac.</b>

FOREST CONSERVATION PLANTING QUANTITY SCHEDULE					
FOREST PLANTING LOCATION NO.	A	B	C	D	TOTAL
	(esmt.21)	(esmt.22)	(esmt. 22)	(esmt. 23)	
AREA TO BE PLANTED (IN AC.)	.06	.57	.05	1.23	1.91
BASE QUANTITY OF 2" CAL. TREES REQUIRED (AT 100 TREES/AC.)	6	57	5	123	191
CREDIT FOR LANDSCAPE TREES	N/A	N/A	N/A	N/A	N/A
REQUIRED QUANTITY OF 2" CAL. TREES TO BE PLANTED	6	57	5	123	191

FOREST CONSERVATION PLANT LIST					
PLANT NAME (BOTANICAL/COMMON)	FOREST PLANTING AREA				
	A	B	C	D	TOTAL
AMEKANCHIER CANADENSIS/SERVICEBERRY					0
ACER RUBRUM/RED MAPLE	2	19	2	41	64
CERCIS CANADENSIS/EASTERN REDBUD					0
LIRIODENDRON TULIPFERA/TULIP TREE					0
PLATANUS OCCIDENTALIS/AMERICAN SYCAMORE (PLANETREE)	2	19	2	41	64
QUERCUS PALUSTRIS/PIN OAK					0
LIQUIDAMBAR STYRACIFLUA/SWEET GUM					0
QUERCUS RUBRUM/RED OAK					0
QUERCUS BICOLOR/SWAMP WHITE OAK	2	19	1	41	63
PINUS STROBUS/WHITE PINE					0
<b>TOTAL</b>	<b>6</b>	<b>57</b>	<b>5</b>	<b>123</b>	<b>191</b>

NOTES:  
 1. THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2 1/2" CAL. TREES AT 20' X 20' SPACING. EVERGREEN TREES SHALL BE 6"-8" HT.

CONSTRUCTION PERIOD PROTECTION PROGRAM

- THE LIMIT OF FOREST RETENTION SHALL BE STAKED AND FLAGGED.
- A PRE-CONSTRUCTION MEETING AT THE SITE SHOULD BE HELD TO CONFIRM THE LIMITS OF CLEARING SPECIFIED. THE MEETING SHOULD INCLUDE THE OWNER OR THE OWNER'S REPRESENTATIVE, THE ON-SITE FOREMAN IN CHARGE OF LAND DISTURBANCE, THE ENVIRONMENTAL CONSULTANT AND THE APPROPRIATE HOWARD COUNTY INSPECTORS.
- FOREST PROTECTION DEVICES AND SIGNS (SEE DETAILS) SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING. THE PROTECTION DEVICES AND SIGNS SHALL BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. NONE OF THE DEVICES SHALL BE ANCHORED OR ATTACHED IN ANY WAY TO THE TREES TO BE SAVED. THE MAINTENANCE TIME FRAME MAY BE EXTENDED TO ACCOMMODATE SUBSEQUENT PHASES OF DEVELOPMENT.
- EQUIPMENT, VEHICLES AND BUILDING MATERIALS SHALL NOT BE WITHIN THE PROTECTED AREA. ACTIVITIES STRICTLY TO IMPLEMENT AFFORESTATION PLANTING AND MAINTENANCE (I.E. WATERING, FERTILIZING, THINNING, PRUNING, REMOVAL OF DEAD AND DISEASED TREES WHERE NECESSARY, ETC.) OF THE CONSERVATION AREA ARE PERMITTED. CLEARING FOR THE PURPOSE OF SODDING OR PLANTING GRASS IS NOT PERMITTED WITHIN THE FOREST CONSERVATION AREA ONCE IT'S ESTABLISHED.
- AT THE END OF THE CONSTRUCTION PERIOD, THE DESIGNATED QUALIFIED PROFESSIONAL SHALL CONVEY CERTIFICATION TO THE ADMINISTRATOR OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM THAT ALL FOREST RETENTION AREAS HAVE BEEN PRESERVED, ALL REFORESTATION AND/OR AFFORESTATION PLANTINGS (IF APPLICABLE) HAVE BEEN INSTALLED AS REQUIRED BY THE FOREST CONSERVATION PLAN AND THAT ALL PROTECTION MEASURES REQUIRED FOR THE POST-CONSTRUCTION PERIOD HAVE BEEN INSTALLED. UPON REVIEW OF THE FINAL CERTIFICATION DOCUMENT FOR COMPLETENESS AND ACCURACY, THE PROGRAM COORDINATOR WILL NOTIFY THE OWNER OF RELEASE FROM THE CONSTRUCTION PERIOD OBLIGATIONS. THE 2-YEAR (MIN) POST-CONSTRUCTION MANAGEMENT AND PROTECTION PERIOD THEN COMMENCES.

FOREST CONSERVATION PROGRAM SEQUENCE

- OBTAIN ALL NECESSARY PERMITS.
  - STAKEOUT LIMITS OF DISTURBANCE.
  - FIELD MEETINGS TO REVIEW AND VERIFY LIMIT OF DISTURBANCE FOR THE LIMITS OF GRADING AND CONSTRUCTION.
  - INSTALL FOREST CONSERVATION SIGNS (SEE DETAIL ON THIS SHEET) AND FOREST PROTECTION DEVICES ALONG THE FCE AREAS (FENCES) ALONG THE PORTION OF THE LIMIT OF DISTURBANCE (THAT INVOLVES CLEARING AND/OR RETENTION OF TREES) SEE ALSO THE SEDIMENT CONTROL PLANS FOR OTHER PROTECTION MEASURES.
  - COMMENCE SITE CONSTRUCTION.
  - INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE CONSTRUCTION PERIOD OBLIGATIONS; START OF POST-CONSTRUCTION MANAGEMENT PERIOD.
  - POST-CONSTRUCTION MANAGEMENT FOR A PERIOD OF 2 YEARS (MIN).
  - FINAL INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE OWNER'S FOREST CONSERVATION OBLIGATION.
- NOTES:  
 1. THE TREE PROTECTION FENCING SHOWN ON THESE PLANS IS TEMPORARY AND SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITY, BUT THE FOREST CONSERVATION SIGNAGE IS PERMANENT AND SHALL REMAIN IN PLACE AROUND THE FOREST CONSERVATION EASEMENTS AFTER THE REMOVAL OF THE TREE PROTECTION FENCING.  
 2. FOREST CONSERVATION SIGNAGE SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION EASEMENT AT 50' TO 100' APART AND AT ALL CORNERS WHERE THE EASEMENT CHANGES DIRECTION.  
 3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

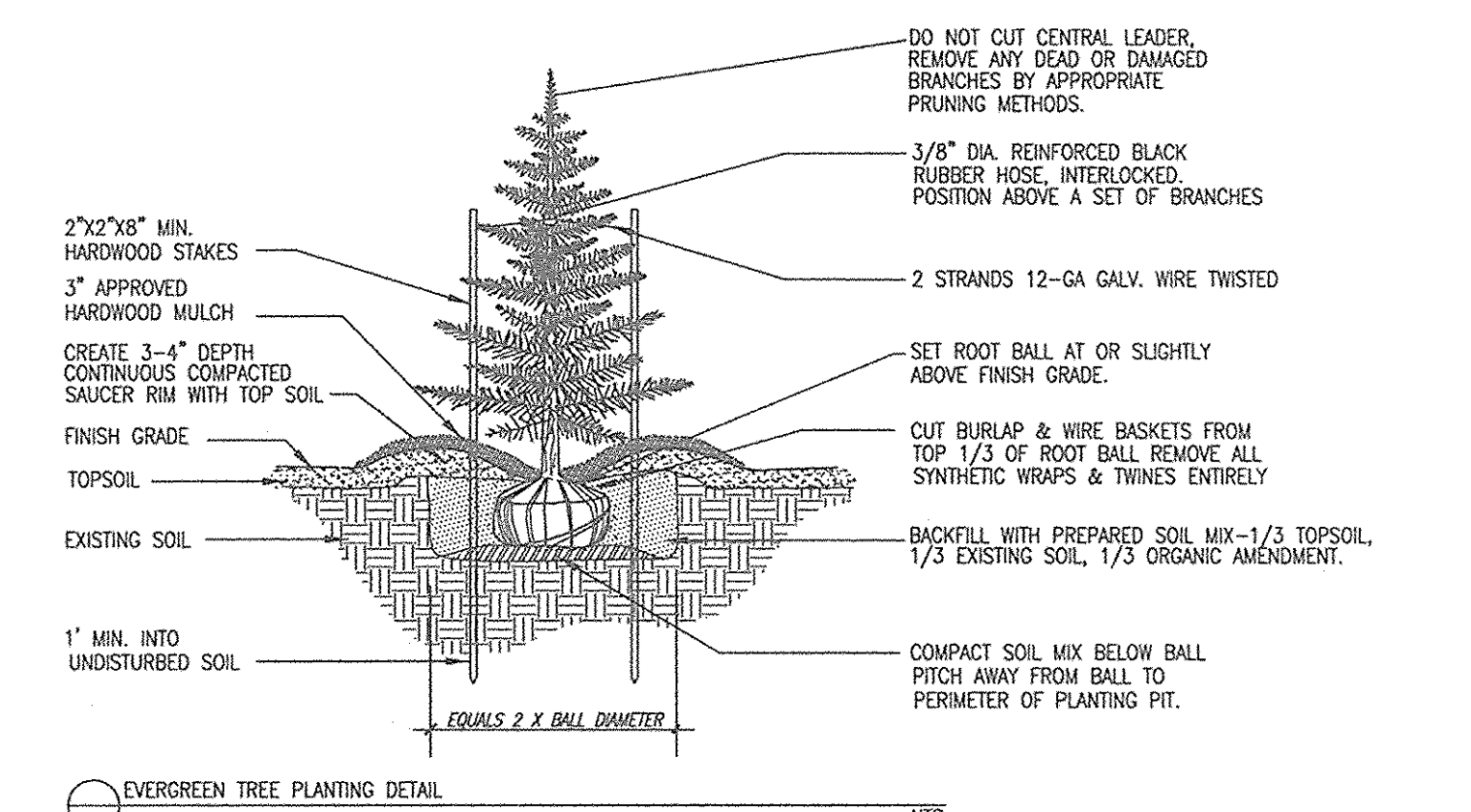
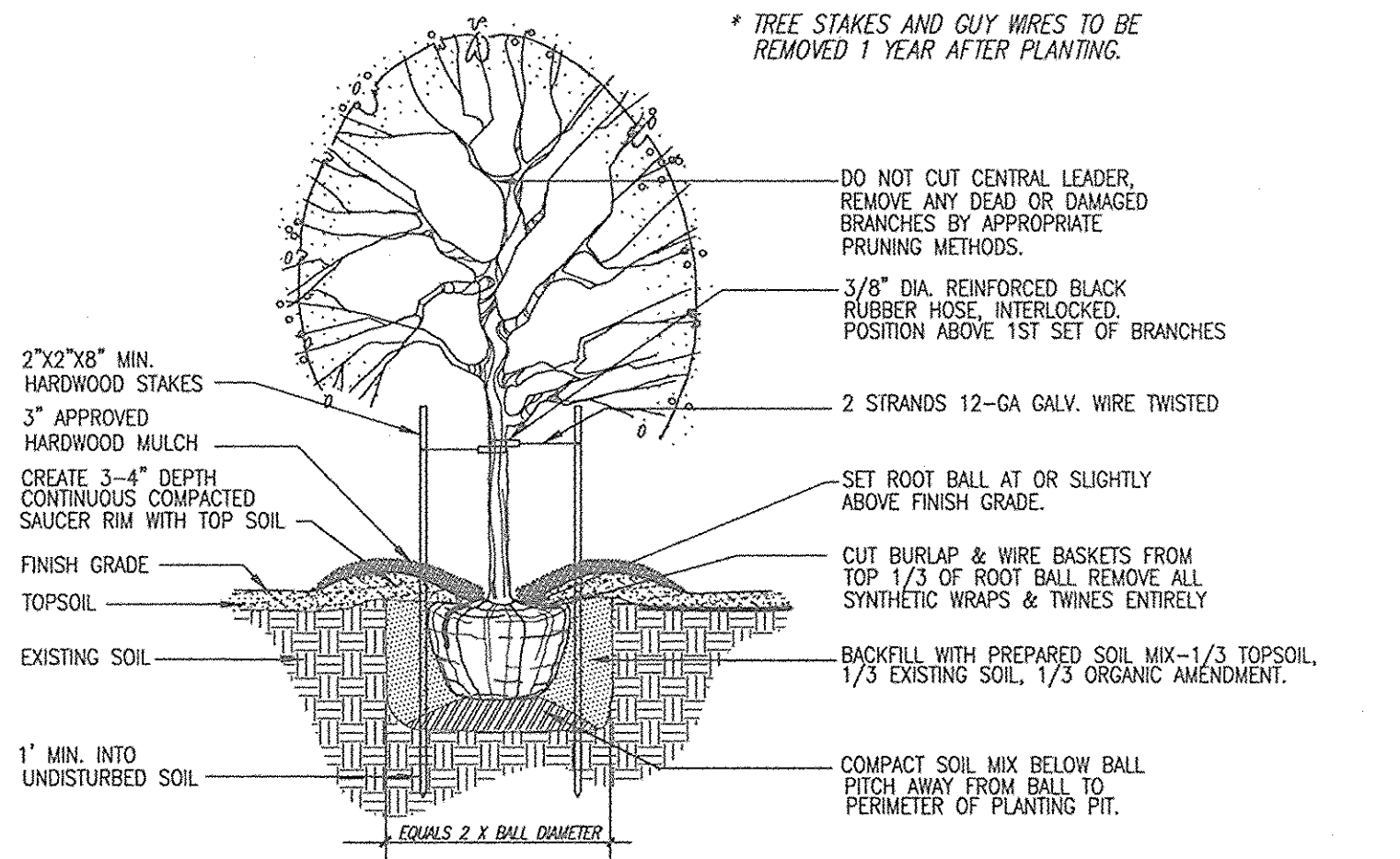
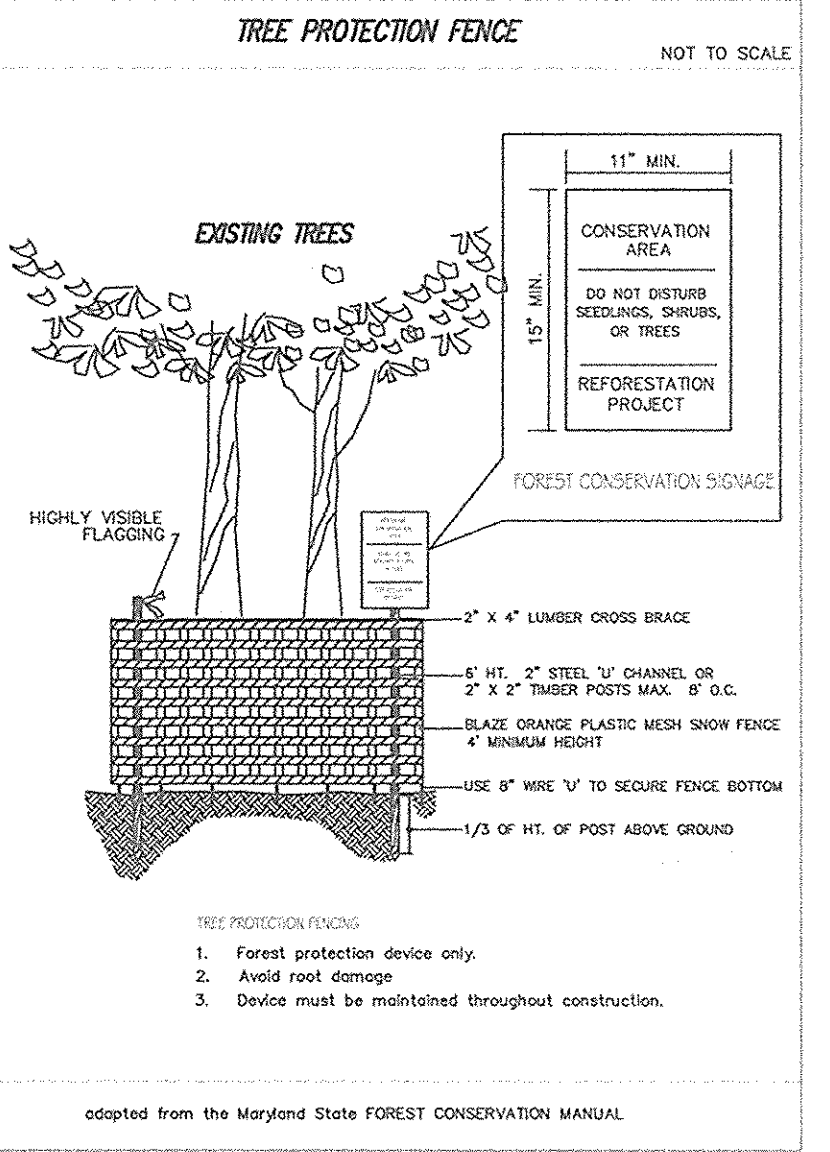
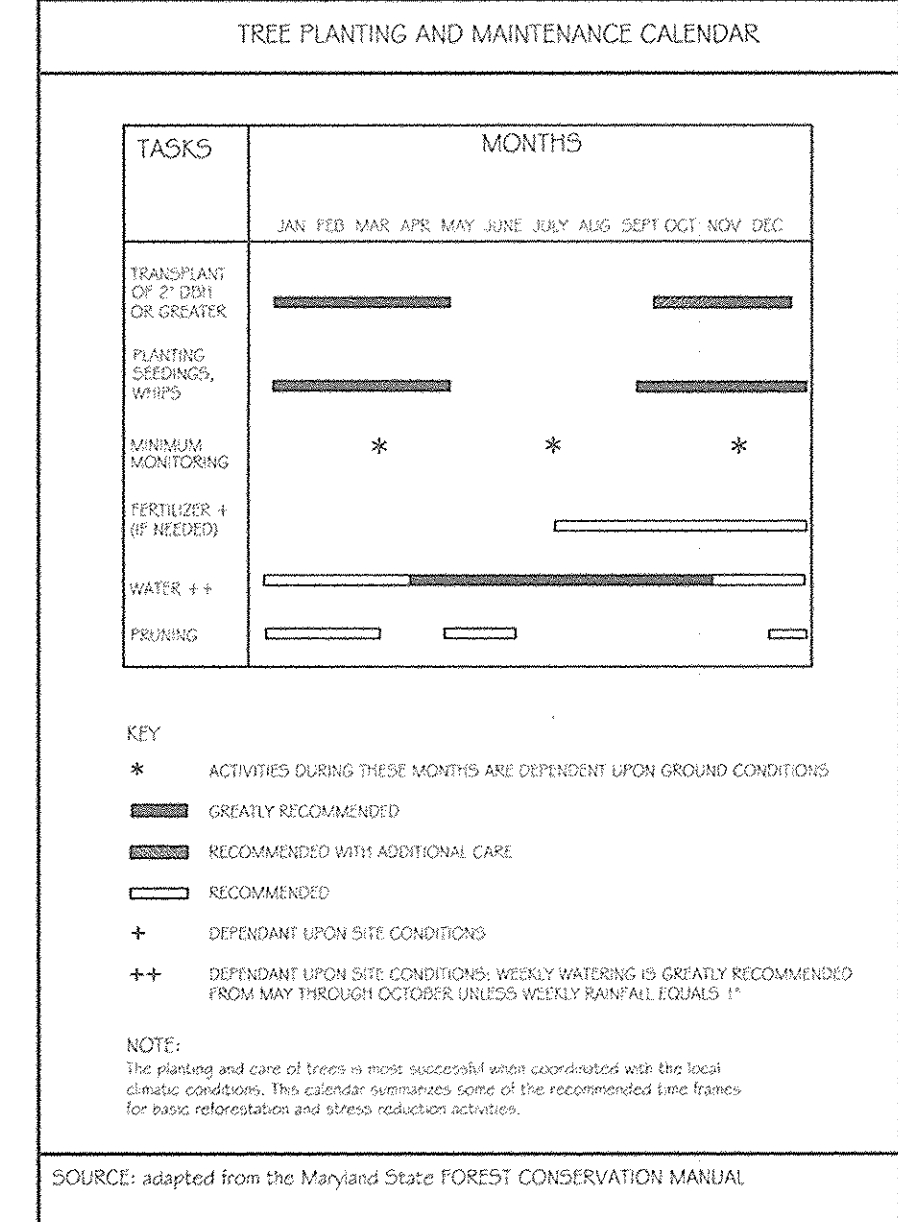
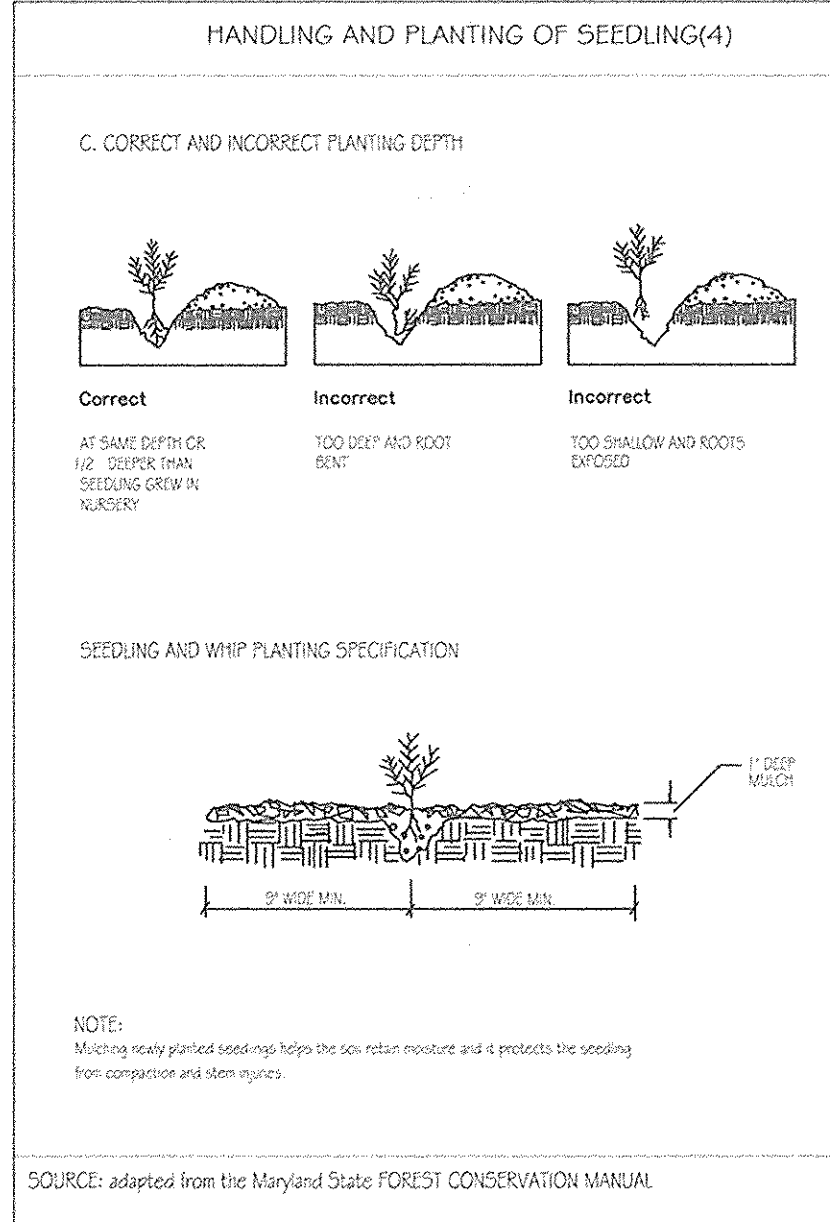
GENERAL NOTES

- This afforestation plan is provided in accordance with the requirements of Subtitle 12 "Forest Conservation" of the Howard County Code.
- Implementation of this plan must be performed by a contractor that is knowledgeable and experienced in afforestation/reforestation techniques and practices.
- The owner is responsible for a 2-year (min.) post-construction maintenance period which involves activities necessary to ensure survival and growth of the conservation area. Two inspections per year by a qualified professional at beginning and end of the growing season, are recommended in order to take remedial steps as necessary. If, after one year, the possibility exists that the original planting (if applicable) will not meet survival rate standards, the applicant may choose to establish reinforcement plantings.
- At the end of the post-construction management and protection period, certification by a qualified consultant will be required before to the owner can be released from his/her forest conservation obligation to the administrator of the Howard County Forest Conservation program.
- The contractor is responsible for the location of any existing utilities. The repair of any utilities damaged by the contractor shall be at the contractor's expense.
- Street trees provided at Final Plan Stage. Landscape and Buffering requirements to be provided at Final Plan Stage or Site Plan Stage.
- The forest conservation easements shown on this plan will be established to fulfill the requirements of the Forest Conservation Program. No clearing, grading or construction is permitted within the forest conservation easements, however, forest management practices as defined in the Deed of Forest Conservation Easement are allowed.
- The forest conservation requirements per Section 16.1202 of the Howard County Code and the Forest Conservation manual for Phase 6 of this project with an afforestation and reforestation obligation of 0.97 acres will be fulfilled with afforestation planting in the amount of 1.91 acres, which leaves 1.94 acres of excess afforestation planting being done in advance as forest conservation credit for future phases of this project.

FOREST CONSERVATION WORKSHEET

SITE DATA	
A. GROSS SITE AREA	10.31
B. AREA WITHIN 100-YEAR FLOOD PLAIN	3.84
C. NET TRACT AREA	6.47
D. LAND USE CATEGORY	MXD-3
E. AFFORESTATION THRESHOLD (15% x NET TRACT AREA)	0.97
F. CONSERVATION THRESHOLD (15% x NET TRACT AREA)	0.97
EXISTING FOREST COVER	
G. EXISTING FOREST ON NET TRACT AREA	0.00
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD (On Net Tract Area)	0.00
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD (On Net Tract Area)	0.00
PROPOSED FOREST CLEARING	
J. FOREST AREAS TO BE CLEARED (On Net Tract Area)	0.00
K. FOREST AREAS TO BE RETAINED (On Net Tract Area)	0.00
PLANTING REQUIREMENTS	
TOTAL REFORESTATION ABOVE THRESHOLD REQUIRED (I + J) x 2.00	0.00
TOTAL AFFORESTATION REQUIRED (E - C)	0.97
TOTAL AFFORESTATION AND REFORESTATION REQUIRED	0.97
PLANTING TO BE PROVIDED	1.91

\*Total Area for Phase 6 (10.31 Ac.) = Area platted (15.05 Ac.) - Area already covered under F-06-161 (4.74 Ac.)



FOREST CONSERVATION SURETY CALCULATIONS	
83,199.60 X \$0.50/S.F. RE/AFFORESTATION	= \$41,599.80
0.00 X \$0.20/S.F. RETENTION	= \$0.00
<b>TOTAL SURETY</b>	<b>= \$41,599.80</b>

TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY  
 David L. Legey 7/10/07  
 PLANNING DIRECTOR & DATE

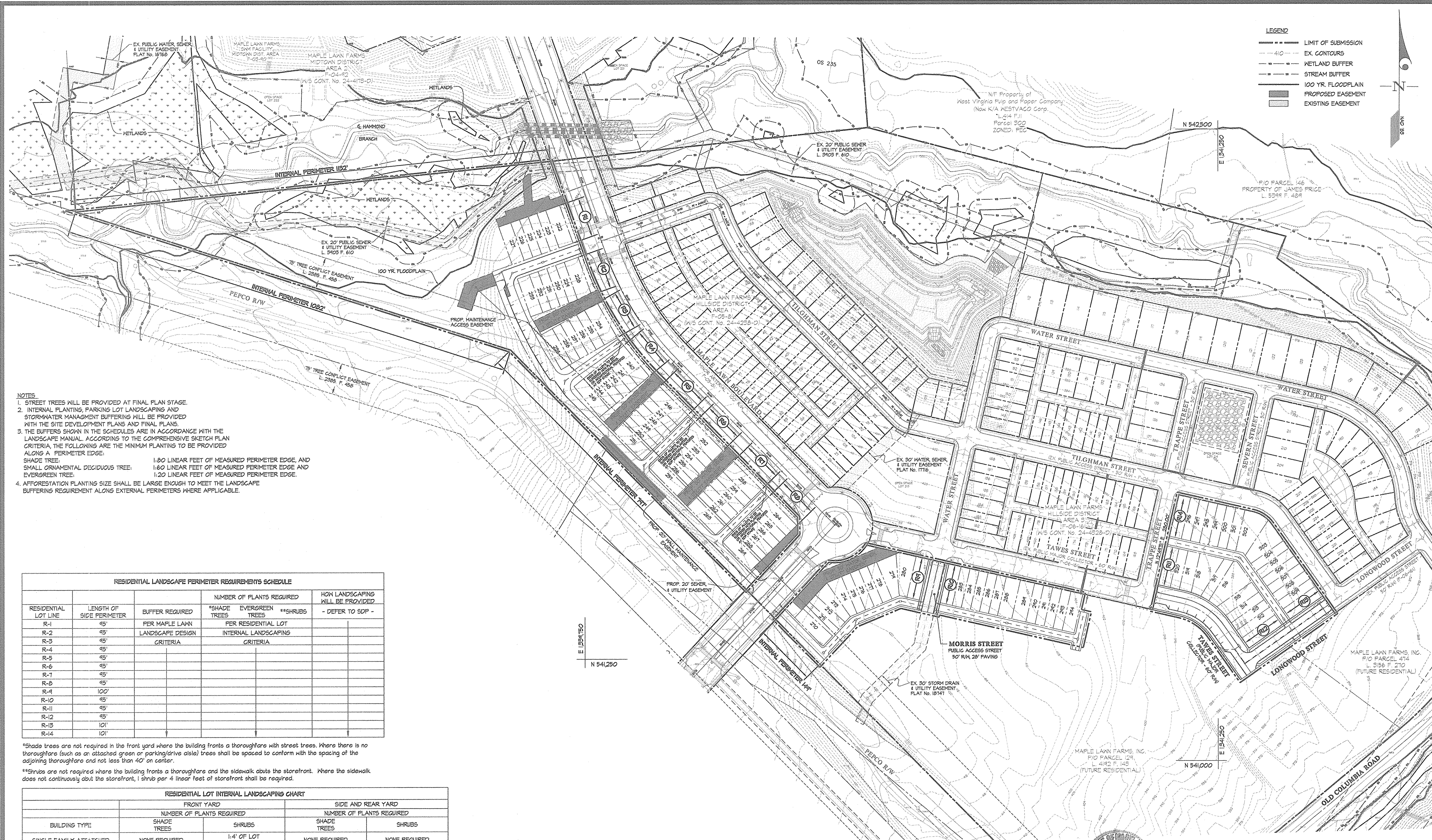
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PRELIMINARY FOREST CONSERVATION DETAILS AND NOTES

**MAPLE LAWN FARMS**  
 HILLSIDE DISTRICT - AREA 4  
 Lots 222 through 321, Open Space Lots 322 through 324,  
 and Common Open Areas 325 through 328

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DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	6 OF 7



**LEGEND**

- LIMIT OF SUBMISSION
- - - EX. CONTOURS
- - - WETLAND BUFFER
- - - STREAM BUFFER
- - - 100 YR. FLOODPLAIN
- ▨ PROPOSED EASEMENT
- ▨ EXISTING EASEMENT

- NOTES**
- STREET TREES WILL BE PROVIDED AT FINAL PLAN STAGE.
  - INTERNAL PLANTING, PARKING LOT LANDSCAPING AND STORMWATER MANAGEMENT BUFFERING WILL BE PROVIDED WITH THE SITE DEVELOPMENT PLANS AND FINAL PLANS.
  - THE BUFFERS SHOWN IN THE SCHEDULES ARE IN ACCORDANCE WITH THE LANDSCAPE MANUAL. ACCORDING TO THE COMPREHENSIVE SKETCH PLAN CRITERIA, THE FOLLOWING ARE THE MINIMUM PLANTING TO BE PROVIDED ALONG A PERIMETER EDGE:  
 SHADE TREE: 1:80 LINEAR FEET OF MEASURED PERIMETER EDGE, AND  
 SMALL ORNAMENTAL DECIDUOUS TREE: 1:60 LINEAR FEET OF MEASURED PERIMETER EDGE AND  
 EVERGREEN TREE: 1:20 LINEAR FEET OF MEASURED PERIMETER EDGE.
  - AFFORESTATION PLANTING SIZE SHALL BE LARGE ENOUGH TO MEET THE LANDSCAPE BUFFERING REQUIREMENT ALONG EXTERNAL PERIMETERS WHERE APPLICABLE.

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS SCHEDULE				
RESIDENTIAL LOT LINE	LENGTH OF SIDE PERIMETER	BUFFER REQUIRED	NUMBER OF PLANTS REQUIRED	HOW LANDSCAPING WILL BE PROVIDED
R-1	45'	PER MAPLE LAWN	*SHADE TREES PER RESIDENTIAL LOT	- DEFER TO SDP -
R-2	45'	LANDSCAPE DESIGN	PER RESIDENTIAL LOT	
R-3	45'	CRITERIA	CRITERIA	
R-4	45'			
R-5	45'			
R-6	45'			
R-7	45'			
R-8	45'			
R-9	100'			
R-10	45'			
R-11	45'			
R-12	45'			
R-13	101'			
R-14	101'			

\*Shade trees are not required in the front yard where the building fronts a thoroughfare with street trees. Where there is no thoroughfare (such as an attached green or parking/drive aisle) trees shall be spaced to conform with the spacing of the adjoining thoroughfare and not less than 40' on center.

\*\*Shrubs are not required where the building fronts a thoroughfare and the sidewalk about the storefront. Where the sidewalk does not continue about the storefront, 1 shrub per 4 linear feet of storefront shall be required.

BUILDING TYPE	FRONT YARD		SIDE AND REAR YARD	
	SHADE TREES	SHRUBS	SHADE TREES	SHRUBS
SINGLE FAMILY ATTACHED	NONE REQUIRED	1-4' OF LOT WIDTH AT BRL	NONE REQUIRED	NONE REQUIRED

TENTATIVELY APPROVED  
 DEPARTMENT OF PLANNING AND ZONING  
 HOWARD COUNTY  
*M. D. Boyle* 4/13/07  
 PLANNING DIRECTOR DATE

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PRELIMINARY LANDSCAPE PLAN  
**MAPLE LAWN FARMS**  
 HILLSIDE DISTRICT - AREA 4  
 Lots 222 through 321, Open Space Lots 322 through 324,  
 and Common Open Areas 325 through 328

SCALE	ZONING	G. L. W. FILE NO.
1"=100'	MXD-3	06001
DATE	TAX MAP - GRID	SHEET
JAN., 2007	41/22-46/4	7 OF 7

L:\CADD\DRAWINGS\04001\06001\PRELIM\06001LS07.dwg	DES. DEV	DRN. AWL	CHK. DEV	DATE	REVISION	BY	APP'R

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND