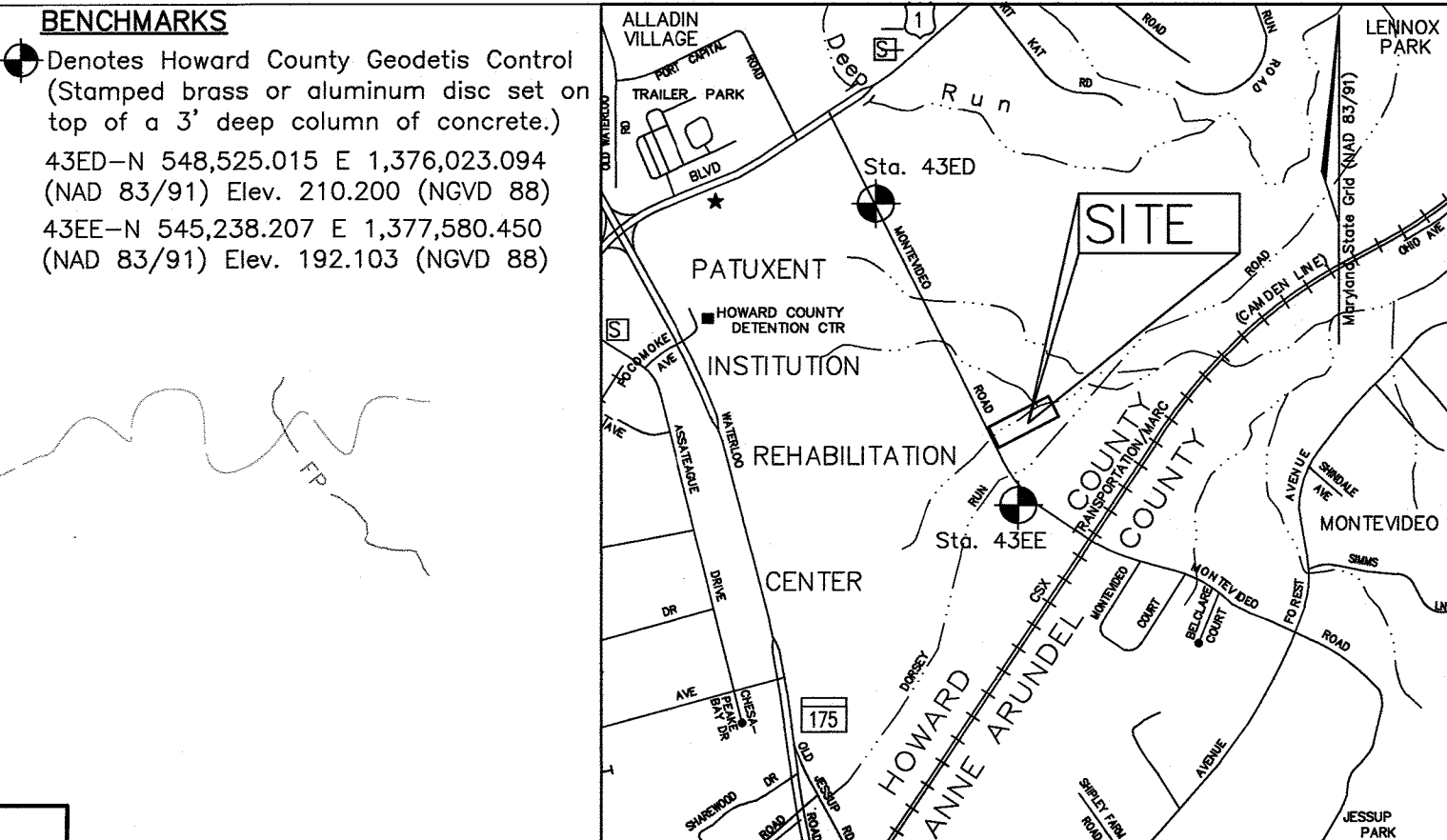


SOILS CHART				SPECIMEN TREE LIST			
SYMBOL	NAME / DESCRIPTION	SOIL GROUP	K _f FACTOR	Number	Common name	Species	Condition DBH
CrD	Croom and Evesboro soils, 10 to 15 percent slopes	C	0.28	ST-1	Tulip Poplar	Liriodendron tulipifera	Good 30.4"
Ha	Hatboro-Cadorus silt loams, 0 to 3 percent slopes	D	0.37	ST-2	Tulip Poplar	Liriodendron tulipifera	Fair 32.7"
SrC	Sassafras and Croom soils, 5 to 10 percent slopes	B	0.32	ST-3	Tulip Poplar	Liriodendron tulipifera	Fair/Poor 33.5"
UFA	Urban land-Fallingstone complex, 0 to 2 percent slopes	D	0.20	ST-4	Tulip Poplar	Liriodendron tulipifera	Good 35.4"
UD	Urban land-Udorthents complex, 0 to 15 percent slopes	D	-	ST-5	Tulip Poplar	Liriodendron tulipifera	Fair/Poor 36.5"

TEST PIT CHART			
T.P. No.	TOP GROUND ELEVATION	BOTTOM TEST PIT ELEVATION	REMARKS
1	148.2	139.2	Water Encountered, 24 hr. Depth at 6'
2	147.8	137.8	No Rock or Water Encountered



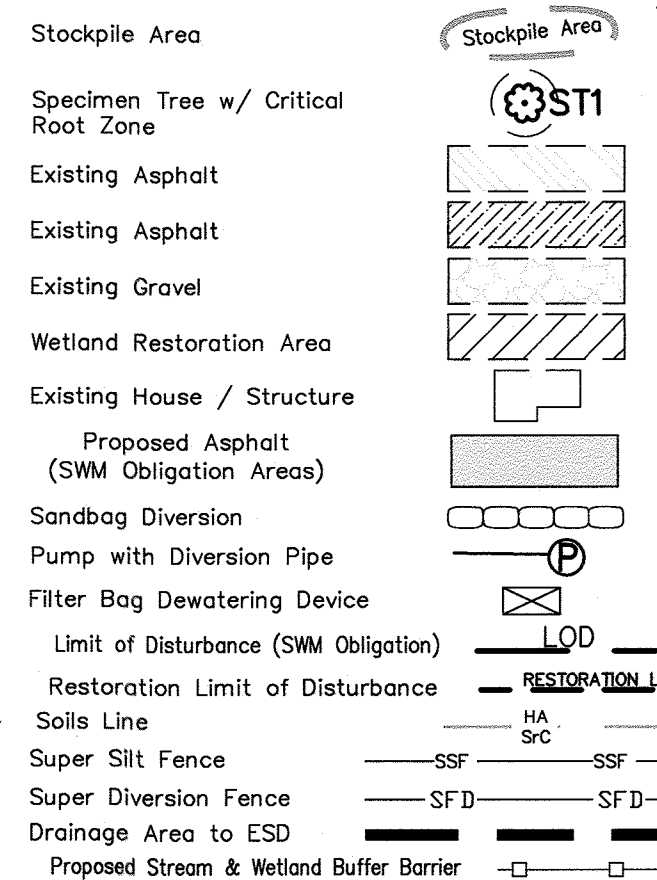
GENERAL NOTES

- Site Data: Property Address: 7461 Montevideo Road, Jessup, MD 20794. Tax Map 43; Grid 16; 1st Election District Parcel 96; Libar 17487 Folia 377; Lot 43ED.
- The subject property is zoned M-2 per the 10/6/13 Comprehensive Zoning Plan.
- Public water and sewer exists on-site. There will be no impacts to these utilities as a result of this development. A sewer house connection is proposed for the rear garage building as shown on this plan.
- There are floodplains, wetlands, wetland buffers, streams and stream buffers located on-site.
- Per FEMA (FIRM Map) 24027C0170D a FEMA delineated floodplain exists within the subject property.
- An alternative compliance request from Sections 16.115(c)(2) and 16.116(a) was denied under WP-18-135 on June 26, 2018. The reasons for denial are as follows:
 - The requested wetlands are self-created herbaceous. The applicant failed to demonstrate that compliance with the applicable regulations would result in extraordinary circumstances. The applicant's difficulty since suitable unencumbered areas exist on-site.
 - The applicant failed to demonstrate that the proposed has no feasible alternatives to impacting environmental features and buffers.
 - The applicant failed to demonstrate that the as-built environmental impacts will not nullify the intent and purpose of the Subdivision and Land Development Regulations. The intent of the Regulations is to preserve and protect natural resources including wetlands, streams, floodplain and wooded areas by avoiding or minimizing impacts. Section 16.114 of the Howard County Code requires that development of a site preserve existing natural features to accommodate the site's unique topography, wetlands, streams, floodplain and forests. Section 16.1205 considers forested streams, wetlands and buffers as the highest priority areas for protection.
- The purpose of this plan is to restore unpermitted activities to the stream, wetlands, buffers and riparian floodplains, see MDE/State Name PAF 18-3072 and Howard County DPZ enforcement case CE-17-246. Grading activities and removal of existing gravel, culvert pipe, contractor equipment and a corport structure are proposed within the environmental areas. The proposed work is necessary to comply with the requirements of the Environment Code, Section 16.114 of the Howard County Code requires that development of a site preserve existing natural features to accommodate the site's unique topography, wetlands, streams, floodplain and forests. Section 16.1205 considers forested streams, wetlands and buffers as the highest priority areas for protection.
 - Approval of site development plan will be required for the proposed stream and wetland restoration and wetland buffers. The species identification and planting specifications shall be shown on the site development plan and shall be in accordance with the Forest Conservation Manual. The plantings will be bonded with a Developer Agreement and inspected for survivability as part of the site development plan approval.
 - A pre-submission community meeting will be required prior to acceptance of a site development plan for stream and wetland restoration and wetland buffers in accordance with Sections 16.128 and 16.156(a) of the Subdivision and Land Development Regulations.
 - The stream crossing shall be the minimum width required for safe single-lane vehicular traffic. All existing sections of the existing stream pipe shall be removed from the stream channel as shown on the plan exhibit.
 - All equipment, storage materials, gravel and pavement shall be removed from the wetlands, streams and their required buffers. The portion of the existing rear garage building and adjacent concrete pad and retaining wall will be permitted to remain within the stream buffer as shown on the plan exhibit. The existing corport structure shall be removed from the wetland and wetland buffer.
 - All disturbed areas within the stream and wetland buffers shall be replanted with a mix of native canopy and understory trees. The species identification and planting specifications shall be shown on the site development plan and shall be in accordance with the Forest Conservation Manual. The plantings will be bonded with a Developer Agreement and inspected for survivability as part of the site development plan approval.
 - All driveways, parking areas and storage areas shall be constructed of asphalt or concrete surface and identified on the site development plan. The storage areas shall be square or rectangular in shape and clearly defined on the plan by dimension and use.
 - A physical barrier shall be constructed along the stream and wetland buffers adjacent to any driveway or storage area. The physical barrier shall be approved by DPZ on a site development plan and shall consist of fencing, guardrail or other permanent structure to discourage encroachment into the environmental areas.
 - Forest conservation for Lots 3 and 4 shall be addressed on the site development plan in accordance with Section 16.1202 of the Howard County Code. The forest conservation calculations will be based on the existing conditions prior to the unpermitted disturbance. Aerial photographs prior to 2017 can be used to determine the extent of the previous treeline. The site contains priority areas for forest conservation and any obligation shall be satisfied on-site through the restoration of forest conservation assessments. The restored environmental areas will be the highest priority for retention within an assessment. A forest stand delineation and forest conservation plan will be required as part of the site development plan.
 - The applicant shall coordinate with the owner of adjacent Parcel 586 to restore the existing forest conservation easement to its previous condition through the replanting of forest resources. A revision to the approved forest conservation plan will be required to identify the restoration areas and planting specifications. The plantings will be bonded with a Developer Agreement and inspected for survivability as part of the site development plan approval and/or a redline revision to the approved site development plan for Parcel 586.
 - Stormwater management specifications will be required on the site development plan. The use of non-structural practices will not be permitted since the site includes vehicle maintenance. No part of the structure management facilities will be permitted within an environmental area buffer. Outfall pipes may be permitted within buffers on a case-by-case basis by DPZ as determined as part of the environmental concept plan and/or site development plan review process.
 - The site development plan shall identify all existing and proposed utilities and their connections to public infrastructure. This includes house connections and associated meter locations.
 - The Planning Director also approved the necessary disturbance request included with the alternative compliance petition for a portion of the existing driveway entrance, parking and retaining wall adjacent to Montevideo Road to remain within the 50' stream buffer in accordance with Section 16.116(c) of the Subdivision and Land Development Regulations. The driveway entrance was created by Howard County after the vertical realignment of Montevideo Road was completed under a capital project. The driveway entrance existed when the current owner purchased the property in 2017. To accommodate safe two-way traffic into and out of the property, the owner constructed a short timber retaining wall (under 3-feet in height). In accordance with the Design Manual, commercial driveway entrances must be at least 24" wide and the existing entrance is approximately 27" wide. Approval of the necessary disturbance is subject to compliance with the proposed mitigation measures and approval conditions stated above. A necessary disturbance request for the proposed SWM outfall pipes and sewer connection will be submitted with a site development plan.

GENERAL NOTES (cont.)

- To the best of our knowledge there are no historic structures or cemeteries on-site.
- This property is subject to the Amended 5th edition of the Howard County Subdivision and Land Development Regulations.
- Field run boundary and topographic survey (within projects disturbed area) was performed by FSI Associates in December 2017, March 2018 and April 2019.
- The existing topography outside of the projects disturbed area was taken from Howard County GIS.
- Forest stand was delineated by Exploration Research Inc. in March 2019.
- Forest stand shown on these plans is an approximation of the size, shape and location. It is understood that this system has not been designed and the actual design may change, altering the number of units allocated for this development.
- The forest conservation obligation will be addressed at the Site Development Plan stage.
- Approval of this EDP does not constitute approval of any subsequent and associated subdivision or site development plan. Review of this project for compliance with the Howard County Subdivision and Land Development Regulations shall occur at the subdivision or site development plan stage. The applicant and consultant should expect additional and more detailed review comments (including comments that may alter the overall site design) as the project progresses through the plan review process.
- On March 8, 2018, members of the Maryland Department of Environment Compliance Program led the effort to investigate the extent of fill placed over natural wetlands. Bamboo test pits TP 1-3 were initially excavated to determine the extent of fill over pre-existing wetlands with additional test pits (TP 4-8) placed as directed by MDE and described by Stephen Huber, Sr. Environmental Specialist of ERI to complete the investigation. All test pits were left open and field surveyed before backfilling. It was agreed that test pits which revealed pre-existing gravel pavement would represent the upland limit of fill over wetlands by the current owner. Test pits (TP-1 to TP-3) were described by MDE in a compliance report by Ms. Punam Tyagi dated March 8, 2018 as revealing original soil surface to be 36 in. deep and hydric soil indicators of low chroma and depletions. (Munsell soil color chart 10R 3/2 and 10 R 5/2). Additional test pits (TP-4 to TP-8) were opened up for observation on March 9th and were described by Mr. Huber on March 9, 2018.

LEGEND



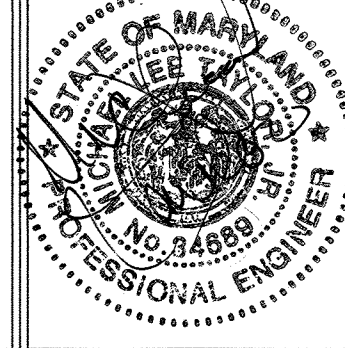
SITE ANALYSIS DATA

- Total area of site = 4.22 ac.±
- Wetlands, Wetland Buffers, Streams and Stream Buffers exist on site.
- A FEMA delineated 100-year floodplain exists on-site.
- Existing forest area on site = 1.64 ac.±
- Area of 15% and greater slopes = 0
- Limits of Disturbance area = 1.04 ac.±
- Proposed impervious area = 0.64 ac.±
- Erodible soils (K > 0.35) = 0.72 ac.±
- Existing site use: Contractor's Yard
- Proposed site use: Contractor's Yard
- 100 Year Floodplain Area = 1.15 ac.±
- Wetland Area = 0.04 ac.±
- Wetland Buffer Area = 0.19 ac.±
- Stream Buffer Area = 2.50 ac.±

ENVIRONMENTAL CONCEPT PLAN

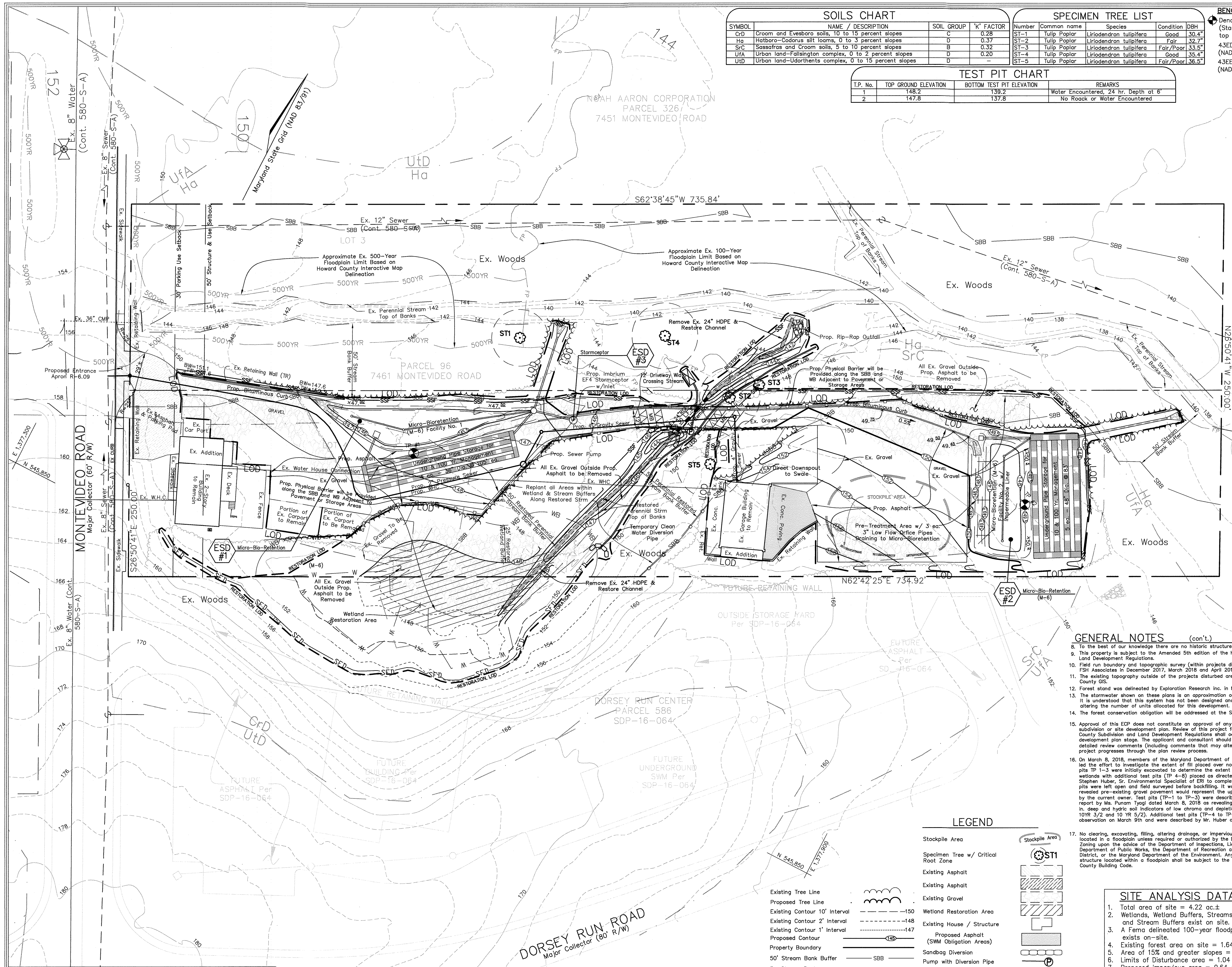
7461 MONTEVIDEO RD

PLAT BOOK 5 PAGE 25 ELLA L. MCADOO SUBDIVISION LOTS 3 & 4
TAX MAP 43 GRID 16 PARCEL 96
1st ELECTION DISTRICT ZONED: M-2 HOWARD COUNTY, MARYLAND



FSH Associates
Engineers Planners Surveyors
6339 Howard Lane, Elkridge, MD 21075
Tel: 410-567-5200 Fax: 410-796-1562
E-mail: info@fsher.com

DESIGN BY: MLT
DRAWN BY: CRH2
CHECKED BY: ZIF
SCALE: 1" = 30'
DATE: Sept. 23, 2019
W.O. No.: 4059
SHEET No.: 1 OF 2



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Clum
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3/17/20
DATE: 3/16/2020

PLAN
SCALE: 1" = 30'
GRAPHIC SCALE
0 15 30 60 90 120
1 INCH = 30 FT.

OWNER/DEVELOPER
7461 Montevideo Road, LLC
7461 Montevideo Road
c/o Ivis Tapones
2842 Stuart Drive
Falls Church, VA 22042
Tel: 703-538-0992

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #34689, Expiration Date: 7/08/2021.

DESIGN NARRATIVE:

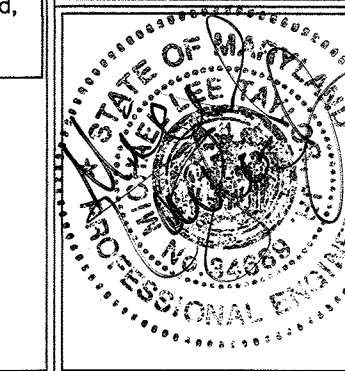
- a.) The onsite natural resources consist of woods, wetlands and streams. Development of the project consists of restoring the disturbed wetland and stream areas and their associated buffers back to their existing conditions to the maximum extent practicable. All natural resource areas that were not disturbed are being protected in their natural state.
- b.) All existing flow patterns were maintained.
- c.) Impervious, existing gravel, areas were reduced to re-establish the wetland and stream and their associated buffer. The remaining existing gravel areas will be paved over. Using permeable paving, as an alternative surface, was not an option due to the type of vehicles and equipment that will be utilizing the proposed paved surfaces.
- d.) Minimal erosion and sediment control measures are required for this project. Erosion and sediment control will be achieved through the use of super diversion fence, super silt fence, pump to filter bag, clean water diversion pipe and mountable berms.
- e.) Stormwater management has been achieved using environmental site design (ESD) practices to the maximum extent practicable (MEP) through the use of a stormceptor device and two micro-bioretentation facilities (M-6). The target Pe and ESDv obligation for the subject project is 1.97" and 4,465 cu.ft. respectively. The provided Pe and ESDv for the subject property is 1.97" and 4,689 cu.ft. respectively. In addition since the site is located upstream of a railroad crossing in the Dorsey Run drainage therefore area 10 and 100 year management is required. 10 and 100 year management will be provided through two underground pipe storage units.

STORMWATER MANAGEMENT SUMMARY

Required ESDv = 4,465 cu.ft.±
Provided ESDv = 4,689 cu.ft.±
ESDv Prov'd through Stormceptor = 195 cu.ft.±
ESDv Prov'd through Micro-Bioretentations (M-6) = 4,494 cu.ft.±
Total ESDv Prov'd = 4,689 cu.ft.±
10-Year Management Volume Required: 5,168 cu.ft.±
100-Year Management Volume Required: 7,806 cu.ft.±
100-Year Management Volume Provided: 7,806 cu.ft.±
10 & 100-Yr Management Prov'd. thru two Underground Pipe Storage Units

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #34689, Expiration Date: 7/08/2021.

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SHEET No.: 2 OF 2

ENVIRONMENTAL CONCEPT PLAN
7461 MONTEVIDEO RD
PLAT BOOK 5 PAGE 25 ELLA L. McADOO SUBDIVISION LOTS 3 & 4
TAX MAP 43 GRID 16 PARCEL 96
1st ELECTION DISTRICT ZONED: M-2 HOWARD COUNTY, MARYLAND

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 3/17/20

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 3/10/2020